

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND**BUILDING INSPECTION****PERMIT**

Please Read
Application And
Notes, If Any,
Attached

PERMIT ISSUED

MAR 04 2004

Permit Number 040198

CITY OF PORTLAND

This is to certify that Vance John B &/selfhas permission to Replace 2-3 joists on 6'x 12' deckAT 7 Newcomb St

303 C017001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0198		Issue Date: MAR 04 2004	CBL: 303 C017001
Location of Construction: 7 Newcomb St	Owner Name: Vance John B &	Owner Address: 393 Warren Ave	Phone: 797-2891
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	Zone: B4
Past Use: Two Family	Proposed Use: Two Family w/deck repair	Permit Fee: \$30.00	Cost of Work: \$1,000.00
Proposed Project Description: Replace 2-3 joists on 6'x 12' deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB
		Signature: JMB 3/4/04	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:	
Permit Taken By: jmb	Date Applied For: 03/04/2004	Zoning Approval	
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 3/4/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Docs Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0198	Date Applied For: 03/04/2004	CBL: 303 C017001
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Location of Construction: 7 Newcomb St	Owner Name: Vance John B &	Owner Address: 393 Warren Ave	Phone: () 797-2891
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	

Proposed Use: Two Family w/deck repair	Proposed Project Description: Replace 2-3 joists on 6'x 12' deck
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 03/04/2004
Note: **Ok to Issue:** ☒

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 03/04/2004
Note: **Ok to Issue:** ☒

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>345 Warren ave</u>		
Total Square Footage of Proposed Structure <u>72 Sq Ft</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>303</u> Block# <u>C</u> Lot# <u>17</u>		Owner: <u>John B Vance</u> Telephone: <u>207 797 2891</u>
Lessee/Buyer's Name (If Applicable) <u>Owned</u>	Applicant name, address & telephone: <u>John B Vance</u> <u>343 Warren</u> <u>207 797 2891</u>	Cost Of Work: \$ <u>1,000.-</u> Fee: \$ <u>30.00</u>
Current use: <u>Two Family</u> If the location is currently vacant, what was prior use: _____ Approximately how long has it been vacant: _____ Proposed use: _____ Project description: <u>6x12 deck replacing 2-3 joists</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: _____ Mailing address: We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>John B Vance</u>	Date: <u>3-4-04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
 If you are in a Historic District you may be subject to additional permitting and fees with the
 Planning Department on the 4th floor of City Hall**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	2 of 2
Parcel ID	303 C017001
Location	7 NEWCOMB ST
Land Use	RETAIL & PERSONAL SERVICE

Owner Address	VANCE JOHN B & JOAN A JTS 393 WARREN AVE PORTLAND ME 04103
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Book/Page	
Legal	303-C-17 TO 26 WARREN AVE 353-355 NEWCOMB ST SAVILLE ST 22400 SF

Valuation Information

Land	Building	Total
\$114,660	\$133,880	\$248,540

Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
2	1900	1	2448	1

Total Acres	Total Buildings Sq. Ft.	Structure Type	Building Name
0.514	6888	RES-1 FAMILY	RUST BUSTER AUTO BDY

Exterior/Interior Information

Section	Levels	Size	Use
1	01/01	688	UNFINISHED RES BSMT
1	01/01	1072	DWELLING
1	02/02	688	DWELLING

Height	Walls	Heating	A/C
7			CENTRAL
8	FRAME	HOT AIR	
8	FRAME	HOT AIR	

Building Other Features

Line	Structure Type	Identical Units
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Yard Improvements

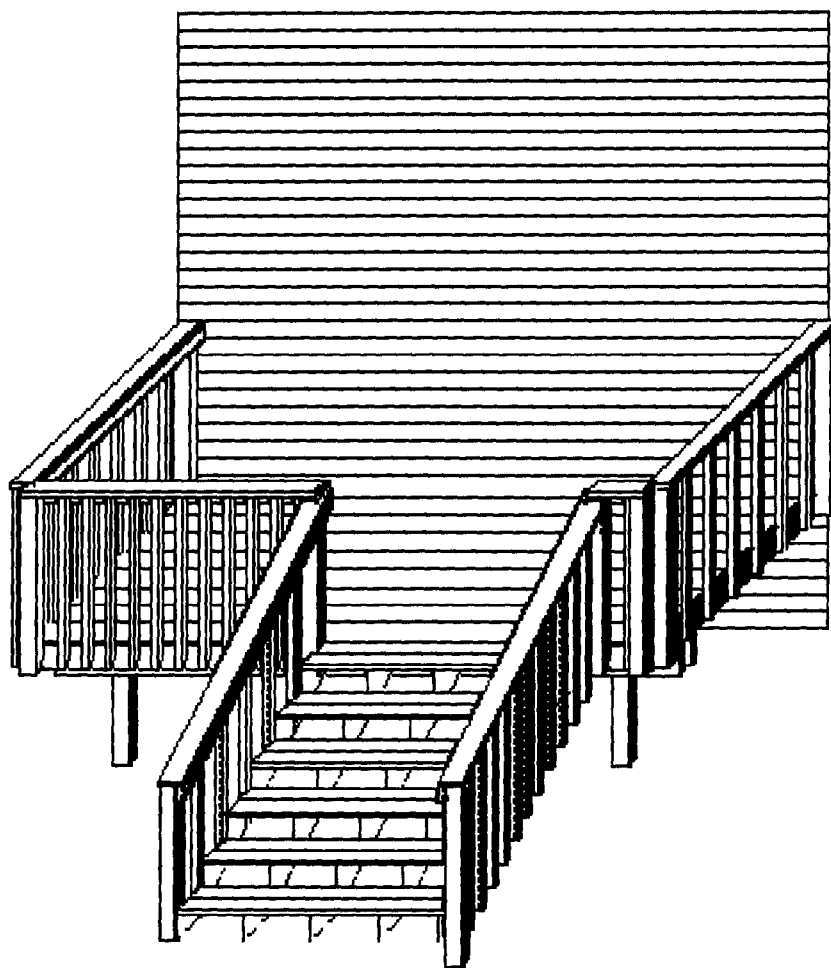
Year Built	Structure Type	Length or Sq. Ft.	# Units
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The Home Depot # 2401
245 RIVERSIDE STREET, PORTLAND, ME 04103
(207) 761-0600
Tue Mar 02 12:10:30 2004

This Project cannot be priced because not all materials are carried in stock.
See Store Associate for prices on non-stock items shown in Bill-of-Materials.

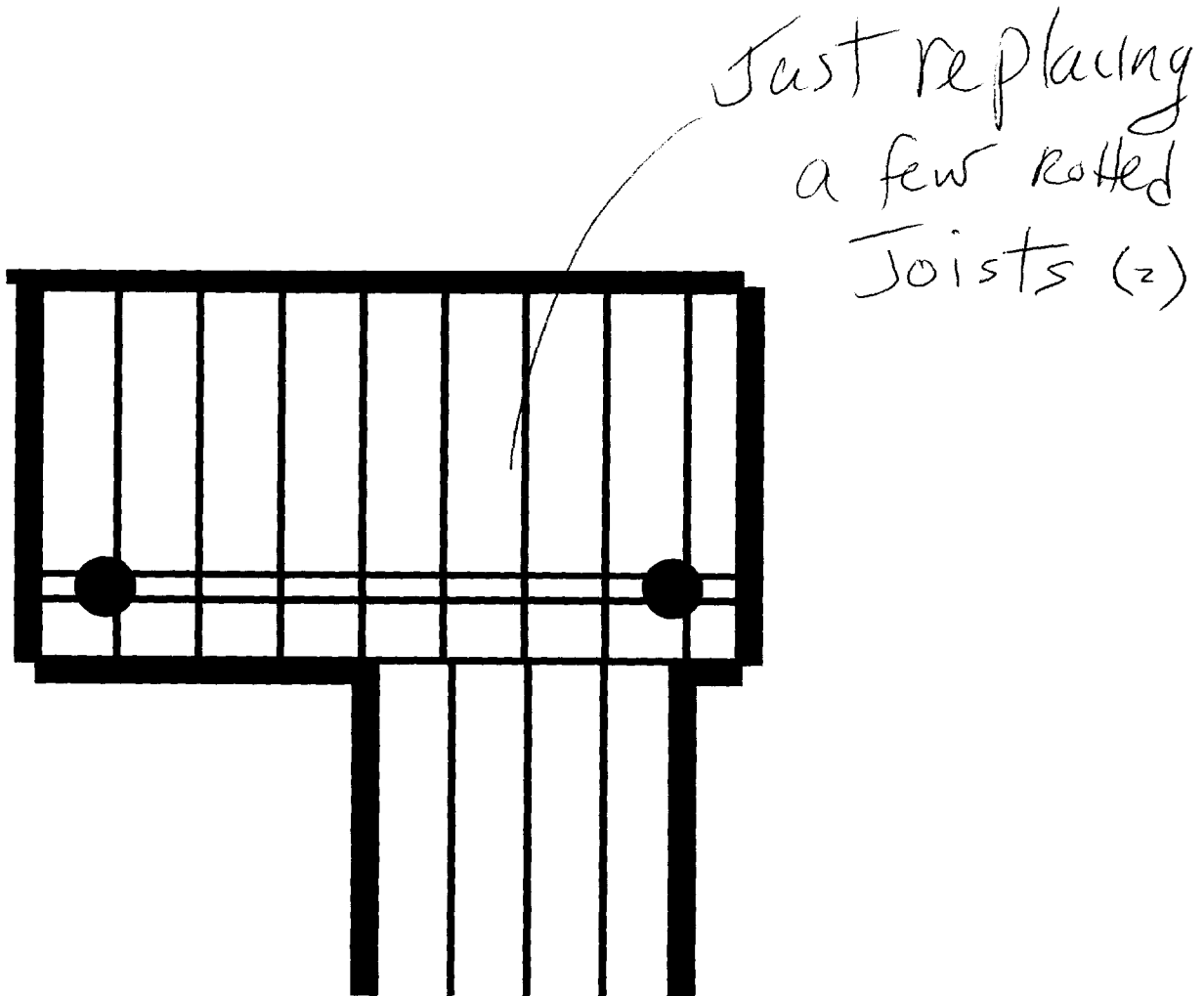
JOHN VANCE
6X12 DECK
180576
3D View

*345 Warren Ave
Portland ME
04103*



The Home Depot # 2401
245 RIVERSIDE STREET, PORTLAND, ME 04103
(207) 761-0600
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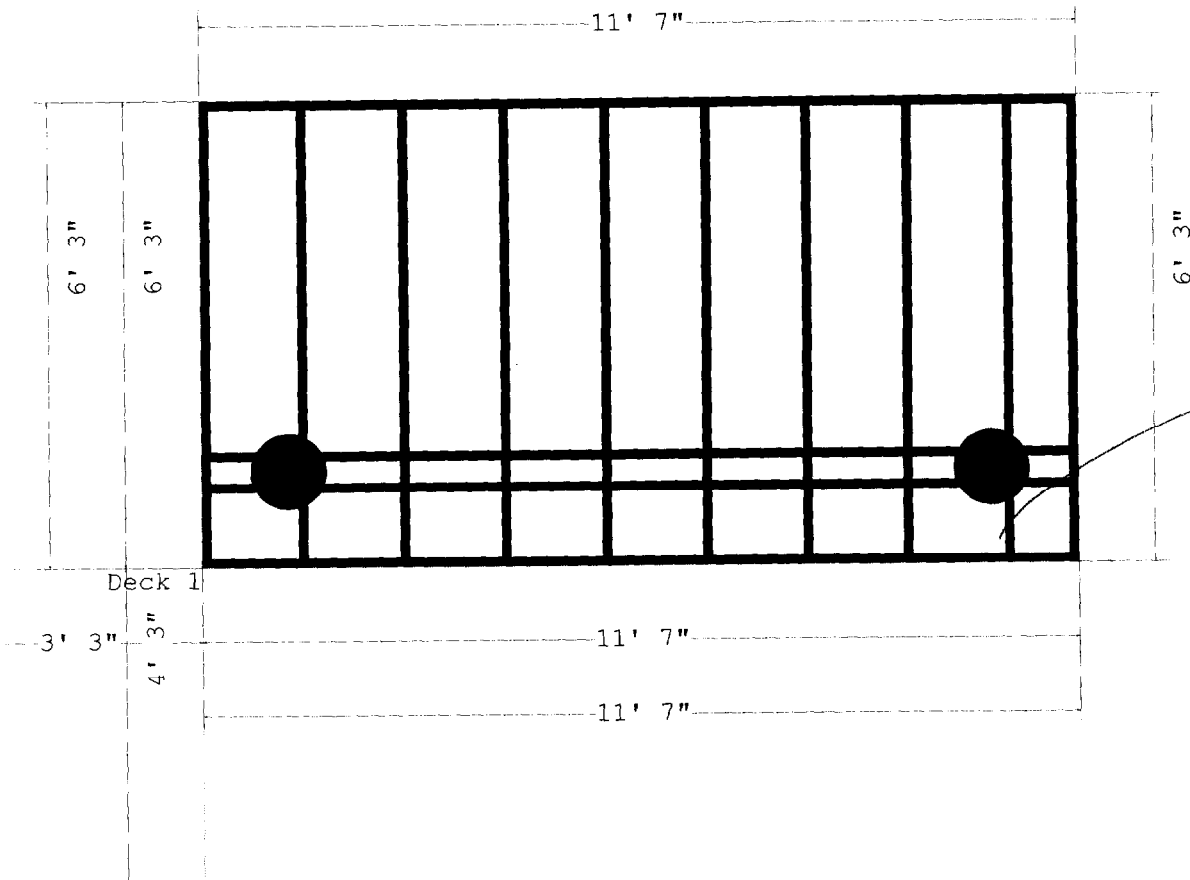
JOHN VANCE
6X12 DECK
180576
Deck Layout



The Home Depot # 2401
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JOHN VANCE
6X12 DECK
180576
Deck Dimensions for Deck 1

345 Warren Ave



*No
Replacement
of Beams
or
Solas*

Joist Spacing = 16 in. o.c.
Baluster Spacing = 3 3/4"
Toe Spacing = 3 3/4"
Railing Height = 36"

The Home Depot # 2401
245 RIVERSIDE STREET, PORTLAND, ME 04103
(207) 761-0600
Tue Mar 02 12:11:38 2004
JOHN VANCE
6X12 DECK
180576

345 W. 2nd St. etc.

Construction Specifications

deck 1:

Construction Method = Beam to Side of Post
Footing Type = In-Ground
Live Load = 60
Dead Load = 10
Decking Spacing = 0 1/8"
Joist Spacing = 16"
Beam Spacing = 51"
Post Spacing = 139"
Decking = 5/4X6 Treated Premium Southern Pine Standard
Beams = 2X8 .25 ACQ Southern Pine No. 1
Joists = 2X6 .25 ACQ Southern Pine No. 1
Posts = 4X4 .40 Treated Southern Pine No. 2
Deck Height = 36"
Diagonal Bracing = No
Deck Skirt = No
Joist Overhang = 12"
Beam Overhang = 12"
Decking Deflection Factor = 360
Joist Deflection Factor = 360
Beam Deflection Factor = 360
Pref Decking Size =
Pref Joist Size = none
Pref Beam Size = none
Pref Post Size = none

Stair 1:

Step Width = 60"
Step Height = 36"
Step Rise = 5 25/32"
Step Run = 11"
Stringers = 2X12 .25 ACQ Southern Pine No. 2
Risers = 5/4X6 Treated Premium Southern Pine Standard
Treads = 5/4X6 Treated Premium Southern Pine Standard

Railing 6:

Railing Height = 36"
Baluster Spacing = 3 3/4"

Railing 7:

Railing Height = 36"
Baluster Spacing = 3 3/4"

Railing 2:

Railing Height = 36"
Baluster Spacing = 3 3/4"

Railing 1:

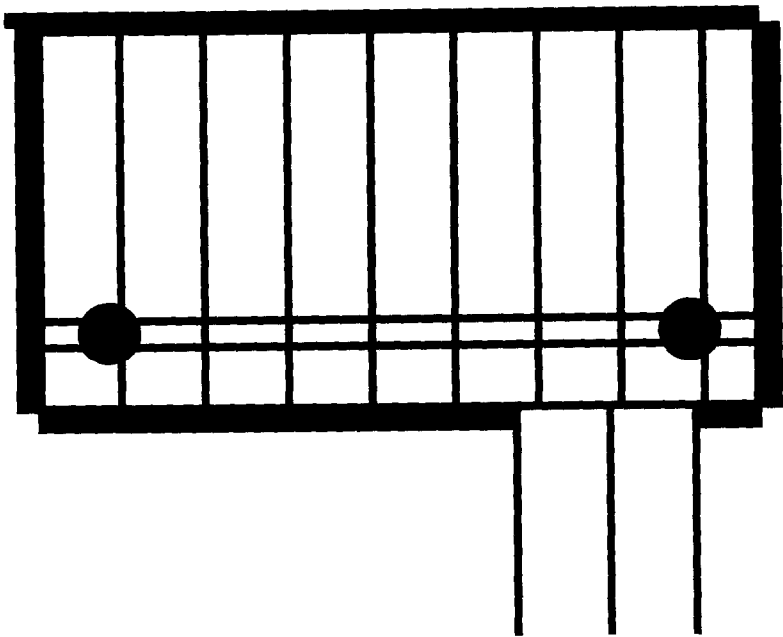
Railing Height = 36"
Baluster Spacing = 3 3/4"

Railing 3:

The Home Depot # 2401
245 RIVERSIDE STREET, PORTLAND, ME 04103
(207) 761-0600
Tue Mar 02 12:16:46 2004
This Project cannot be priced because not all materials are carried in stock.
See Store Associate for prices on non-stock items shown in Bill-of-Materials.

JOHN VANCE
6X12 DECK
180576
Deck Layout

345 Wagon Ave.



CONSUMER INFORMATION SHEET

THIS WOOD HAS BEEN PRESERVED BY PRESSURE TREATMENT WITH AN EPA-REGISTERED PESTICIDE CONTAINING CHROMATED COPPER ARSENATE (CCA) TO PROTECT IT FROM TERMITE ATTACK AND DECAY. WOOD TREATED WITH CCA SHOULD BE USED ONLY WHERE SUCH PROTECTION IS IMPORTANT.

CCA PENETRATES DEEPLY INTO AND REMAINS IN THE PRESSURE-TREATED WOOD FOR A LONG TIME. EXPOSURE TO CCA MAY PRESENT CERTAIN HAZARDS. THEREFORE, THE FOLLOWING PRECAUTIONS SHOULD BE TAKEN BOTH WHEN HANDLING THE TREATED WOOD AND IN DETERMINING WHERE TO USE OR DISPOSE OF THE TREATED WOOD.

USE SITE PRECAUTION FOR CCA PRESSURE-TREATED WOOD

- * WOOD PRESSURE-TREATED WITH CCA PRESERVATIVES MAY BE USED INSIDE RESIDENCES AS LONG AS ALL SAWDUST AND CONSTRUCTION DEBRIS ARE CLEANED UP AND DISPOSED OF AFTER CONSTRUCTION.
- * DO NOT USE TREATED WOOD UNDER CIRCUMSTANCES WHERE THE PRESERVATIVE MAY BECOME A COMPONENT OF FOOD OR ANIMAL FEED. EXAMPLES OF SUCH SITES WOULD BE STRUCTURES OR CONTAINERS FOR STORING SILAGE OR FOOD.
- * DO NOT USE TREATED WOOD FOR CUTTING-BOARDS OR COUNTERTOPS.
- * ONLY TREATED WOOD THAT IS VISIBLY CLEAN AND FREE OF SURFACE RESIDUE SHOULD BE USED FOR PATIOS, DECKS AND WALKWAYS.
- * DO NOT USE TREATED WOOD FOR CONSTRUCTION OF THOSE PORTIONS OF BEEHIVES WHICH MAY COME INTO CONTACT WITH THE HONEY.
- * TREATED WOOD SHOULD NOT BE USED WHERE IT MAY COME INTO DIRECT OR INDIRECT CONTACT WITH PUBLIC DRINKING WATER, EXCEPT FOR USES INVOLVING INCIDENTAL CONTACT SUCH AS DOCKS AND BRIDGES.

HANDLING PRECAUTIONS FOR CCA PRESSURE-TREATED WOOD

- * DISPOSE OF TREATED WOOD BY ORDINARY TRASH COLLECTION OR BURIAL. TREATED WOOD SHOULD NOT BE BURNED IN OPEN FIRES OR IN STOVES, FIREPLACES OR RESIDENTIAL BOILERS BECAUSE TOXIC CHEMICALS MAY BE PRODUCED AS PART OF THE SMOKE AND ASHES. TREATED WOOD FROM COMMERCIAL OR INDUSTRIAL USE (E.G., CONSTRUCTION SITES) MAY BE BURNED ONLY IN COMMERCIAL OR INDUSTRIAL INCINERATORS OR BOILERS IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS.
- * AVOID FREQUENT OR PROLONGED INHALATION OF SAWDUST FROM TREATED WOOD. WHEN SAWING AND MACHINING TREATED WOOD WEAR A DUST MASK. WHENEVER POSSIBLE, THESE OPERATIONS SHOULD BE PERFORMED OUTDOORS TO AVOID INDOOR ACCUMULATIONS OF AIRBORNE SAWDUST FROM TREATED WOOD.
- * WHEN POWER-SAWING AND MACHINING, WEAR GOGGLES TO PROTECT EYES FROM FLYING PARTICLES.* AFTER WORKING WITH THE WOOD, AND BEFORE EATING, DRINKING, AND THE USE OF TOBACCO PRODUCTS, WASH EXPOSED AREAS THOROUGHLY.
- * IF PRESERVATIVES OR SAWDUST ACCUMULATES ON CLOTHES, LAUNDRER BEFORE REUSE. WASH WORK CLOTHES SEPARATELY FROM OTHER HOUSEHOLD CLOTHING.
- * TREATED WOOD SHOULD BE DRY BEFORE HANDLING.

ADDITIONAL INFORMATION IS AVAILABLE AT WWW.EPA.GOV.

EPA APPROVED

The Home Depot # 2401
 245 RIVERSIDE STREET, PORTLAND, ME 04103
 (207) 761-0600
 3/2/2004
 JOHN VANCE
 6X12 DECK
 180576 *345 Warren Ave*

Materials for Deck:

Qty	UOM	SKU	Use	Description
60	EA	557285	Baluster	2X2-42IN. NO.1 SINGLE POINT BALUSTER
2	EA	255676	Beam	2X8-12 #1 SYP .25 ACQ/CA
14	EA	261415	Decking	5/4X6-12 PREM PRESERVE PLUS
6	EA	261124	H Top Rail	5/4X6-8 PREM PRESERVE PLUS
5	EA	255411	Joist	2X6-12 #1 SYP .25 ACQ/CA
1	EA	255457	Joist	2X6-16 #1 SYP .25 ACQ/CA
1	EA	255411	Ledger	2X6-12 #1 SYP .25 ACQ/CA
2	EA	Spec. Order 2	Post	4x4x8 .40 Treated Southern Pine No. 2
6	EA	Spec. Order 2	Railing Post	4x4x8 .40 Treated Southern Pine No. 2
1	EA	255989	Stair Stringer	2X12-12 #2 SYP .25 ACQ/CA
2	EA	256275	Stair Stringer	2X12-16 #2 SYP .25 ACQ/CA
6	EA	261392	Tread	5/4X6-10 PREM PRESERVE PLUS
6	EA	254258	V Top Rail	2X4-8 #1 SYP .25 ACQ/CA
9	EA	865827	2x6 Joist Hanger	ZMAX 2X6 JOIST HANGER
1	EA	735002	BalusterScrewGreen	GREEN 5LB 2 1/2IN DECKMATE DECK SCRW
4	EA	544208	Beam Bolt 4x4	CARRIAGE BOLT-GALV. 1/2 X 8
4	EA	538892	Beam Nut	HEX NUT GALV 1/2
4	EA	538981	Beam Washer	FLAT CUT WASHER GALV 1/2
4	EA	169765	Concln-GroundFoot	80LB. CONCRETE MIX
1	EA	735003	Deck Screws3inGreen	GREEN 5LB 3IN DECKMATE DECK SCRW
1	PK	462810	Hanger Nails 2x6	10D JOIST HANGER NAILS
1	EA	192708	Joist Framing Nails	16D 3-1/2" HOT GALV COMMON 5 LB
9	EA	538981	Lag Bolt Washer	FLAT CUT WASHER GALV 1/2
9	EA	928607	Ledger-Bolt	LAG SCREW GALV 1/2 X 6
24	EA	544208	Rail Post-Bolt	CARRIAGE BOLT-GALV. 1/2 X 8
24	EA	538892	Rail Post-Nut	HEX NUT GALV 1/2
24	EA	538981	Rail Post-Washer	FLAT CUT WASHER GALV 1/2
1	EA	735002	Step Screw Green	GREEN 5LB 2 1/2IN DECKMATE DECK SCRW

The total cost of in stock materials is \$613.17 plus tax.
 This estimate was created on 3/2/2004 and is valid for 3 business days.

Parameters from UBC.cod parameter file.
 Parameters used for Deck 1: 60 psf live load, 48 inch footing depth.

WARNING:

THIS IS NOT A FINAL DESIGN PLAN. VARIATIONS IN BUILDING CODES, SPECIFIC ARCHITECTURAL CONSIDERATIONS, OR SITE CONDITIONS MAY REQUIRE CHANGES TO THIS DESIGN. YOU ARE RESPONSIBLE FOR THE FINAL STRUCTURE, CODE VERIFICATION, MATERIAL USAGE, AND STRUCTURAL SAFETY OF THIS DESIGN. BE SURE TO CHECK AND VERIFY THE DESIGN WITH YOUR LOCAL ARCHITECT AND BUILDING INSPECTOR.

THE COMPANY ASSUMES ABSOLUTELY NO RESPONSIBILITY FOR THE CORRECT USE OF THIS PROGRAM. ALL OUTPUT SHOULD BE EXAMINED BY A QUALIFIED PROFESSIONAL TO DETERMINE IF THEY ARE REASONABLE AND ACCURATE.



CITY OF PORTLAND, MAINE

Department of Building Inspections

March 4 2004

Received from

John Vance

Location of Work

395 Warren Ave

Cost of Construction

\$ 1,000.

Permit Fee

\$ 30.00

Building (IL) ☒

Plumbing (IS) ☐

Electrical (I2) ☐

Site Plan (U2) ☐

Other ☐

CBL:

303-C-17

Check #:

2062

Total Collected \$

30.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy