

License Inspection Slip

Applicant Justin Dennesson
 Business Name Dennesson's Towing
^{tow lot} Address 355 Warren Ave
 Phone 846-8090
 Type of License towing

Clerks Office Use Only
 New Renewal _____
 Change of Ownership _____
 Date Issued 9/29/03
 Date of Application/ Renewal/ Council Mtg
9/9/03

Zoning: Approved Denied Zone B-4

CHANGE OF USE PERMIT Required Not required issued date 1967

9/30/03
Date

Maya Schmuckel
Signature of Zoning Enforcement Official

Comments: original permit conditions: Does NOT allow unoperative unlicensed motor vehicles on the Dumping or scattering of vehicle parts on site.
1967 microbiche approved for parking for vehicles & Trucks

Inspection Services: Approved Denied

Date Signature of Inspector

Date Signature of Chief or Asst. Chief of Inspection

Comments:

Fire Prevention Bureau: Approved Denied

Date Signature of Fire Prevention Officer

Comments:

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION Rear 353-361 Warren Ave.

Issued to **John D. Evans**
367 Warren Ave.

Date of Issue **August 28 1967**

This is to certify that the building, premises, or part thereof, at the above location, ~~has been~~
—changed as to use under Building Permit No. _____, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Area as shown on plot plan.

APPROVED OCCUPANCY

Off-street parking for
five passenger cars and five
commercial vehicles.

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

Nelson P. Cartwright
Inspector

Herald E. Musberry
Inspector of Buildings

(Date)

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION Rear 353-355 Warren Ave.

Issued to **John B Vance**
367 Warren Ave.

Date of Issue **August 28 1967**

This is to certify that the building, premises, or part thereof, at the above location, ~~built~~ altered
—changed as to use under Building Permit No. _____, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.

PORTION BUILDING OR PREMISES
Area as shown on plot plan.

APPROVED OCCUPANCY

Off-street parking for
passenger cars and parking and
storing of commercial vehicles
and construction equipment.

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

Nelson F. Cartwright

Gerald E. Mayberry

(Date)

Inspector

Inspector of Buildings

CS 147

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Cplt. 66/16-353-355 Warren Ave.

303/6/12/03/17/21

303/A/1-4, 5, 6, 7

303/0/4-11, 22-26

Nov. 18, 1966

Mr. John B. Vance
367 Warren Avenue

cc to: Corporation Counsel

Dear Mr. Vance:

As you have been previously informed by this office any new use of land must be obtained by applying for a certificate of occupancy at the Building & Inspections Department in Room, 113, City Hall.

Our records indicate that no such application has been made to this office and therefore the only legal use under the City of Portland Zoning Ordinance is that of a dwelling house.

Under Section 18-0-2 of this ordinance not more than three motor vehicles can lawfully be parked on this lot.

The other vehicles now being parked unlawfully on this lot will need to be removed from this site immediately.

Very truly yours,

Gerald E. Hayberry
Building & Inspections Department Director

GEM

APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR USE OF PREMISES

133-200CS-13
21-24

Portland, Maine March 6, 1967

Location Saville Street (Lot 25-BU) Zone 12
WARREN AVE

To the INSPECTOR OF BUILDINGS, Portland, Maine

The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for Parade lot,

as set forth on the attached site plan (made by Phillip J Doughty whose address is 345 Warren Ave. to show compliance with the Zoning

Ordinance according to the intended use and the zone in which the property is located; and in accordance with the following pertinent information:

Owner (name, address and phone number) John B Vance, 367 Warren Ave.

Lessee (name, address and phone number) " " " "

Is proposed use to be accessory to a building or other use on this lot? no
If so, what is use of building or other use _____

If off-street parking is sought, what is proposed maximum number of vehicles to be parked--passenger cars? 5, commercial vehicles? 5

Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks by the Traffic Engineer (Dept. of Pub. Works)? _____
And, if access to the premises is available from more than one street, have you secured similar approval by the Planning Board? _____?

Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? _____

Do you propose to remove or disturb any tree on a public street? no
If so, have you secured on the site plan the written approval of the Director of Parks and Recreation? _____

Signature of Owner

John B Vance

\$2.00 paid 3/6/67

By

(duy authorized thereto)

THIS IS NOT A CERTIFICATE OF OCCUPANCY

To: John B Vance
367 Warren Ave.
Portland Maine

COMMENCING the above proposed use of the premises would be IN VIOLATION of the Zoning Ordinance unless a Certificate of Occupancy is first procured from the Department of Building Inspection.

However, improvement of the premises according to the site plan and the above application may now proceed without further authorization, but subject to the conditions indicated below--not e of readiness for final inspection to be given to this department when the premises have been placed in compliance with the requirements:

DATE

3/22/67

Gerald E. Mayberry
Inspector of Buildings

A.P.- Assessor's 303 C-3-13 Saville Street
21-24
(Rear 353-361 Warren Avenue)

March 22, 1967

John B. Vance
367 Warren Avenue

Dear Mr. Vance:

Permit is being issued to establish off-street parking for vehicles, and storage of contractor's equipment subject to compliance with the City of Portland Zoning Ordinance requirements as follows:

This permit does not allow the parking of unoperative unlicensed motor vehicles or the dumping or scattering of building materials on this site. It is expected that any building materials will be neatly piled so as not to create a junk yard which would be in violation of this Ordinance.

Upon completion of these areas with the required 6 inches of compacted gravel this office is to be notified to give a final inspection so that a Certificate of Occupancy can be issued. Without this Certificate this use cannot be lawfully established.

We understand that these areas are to be graded with at least 6 inches of gravel which is to be compacted. If it is planned to pave this lot at any time in the future with asphalt or other material impervious to water then allowance should be made at this time for drainage within the lot. Section 14-j-3 of this Ordinance states: "A system of surface drainage shall be provided in such a way that the water run-off shall not run over or across any public sidewalk or street."

Very truly yours,

Gerald E. Hayberry
Director of Building & Inspection Services

GEI:m

APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR USE OF PREMISES

303-17-20

Portland, Maine November 21, 1966

Location Warren Avenue Zone I-2 Industrial Zone

To the INSPECTOR OF BUILDINGS, Portland, Maine

The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for parking passenger cars and parking and storing of commercial vehicles and construction equipment as set forth on the attached site plan (made by Gerald DiPietrantonio whose address is Bridgton, Maine to show compliance with the Zoning

Ordinance according to the intended use and the zone in which the property is located; and in accordance with the following pertinent information:

Owner (name, address and phone number) John B. Vance

Lessee (name, address and phone number) 367 Warren Ave. 774-7915

Is proposed use to be accessory to a building or other use on this lot? no
If so, what is use of building or other use _____

If off-street parking is sought, what is proposed maximum number of vehicles to be parked--passenger cars? _____, commercial vehicles? _____.

Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks by the Traffic Engineer (Dept. of Pub. Works)? _____
And, if access to the premises is available from more than one street, have you secured similar approval by the Planning Board? _____?

Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? _____

Do you propose to remove or disturb any tree on a public street? no
If so, have you secured on the site plan the written approval of the Director of Parks and Recreation? _____

Signature of Owner John B. Vance
By _____
(duly authorized thereto)

2.00 Paid

THIS IS NOT A CERTIFICATE OF OCCUPANCY

To: John B. Vance
367 Warren Ave.

COMMENCING the above proposed use of the premises would be IN VIOLATION of the Zoning Ordinance unless a Certificate of Occupancy is first procured from the Department of Building Inspection.

However, improvem: it of the premises according to the site plan and the above application may now proceed without further authorization, but subject to the conditions indicated below--notice of readiness for final inspection to be given to this department when the premises have been placed in compliance with the requirements:

DA: 3/22/67

Gerald E. Grayberg
Inspector of Buildings

A.P.- Assessors 17-20 Warren Avenue -
(rear 353-355 Warren Ave.)

March 22, 1967

John B. Vance
367 Warren Avenue

Dear Mr. Vance:

Permit is being issued to establish off-street parking for vehicles, and storage of contractor's equipment subject to compliance with the City of Portland Zoning Ordinance requirements as follows:

This permit does not allow the parking of unoperative unlicensed motor vehicles or the dumping or scattering of building materials on this site. It is expected that any building materials will be neatly piled so as not to create a junk yard which would be in violation of this Ordinance.

Upon completion of these areas with the required 6 inches of compacted gravel this office is to be notified to give a final inspection so that a Certificate of Occupancy can be issued. Without this Certificate this use cannot be lawfully established.

We understand that these areas are to be graded with at least 6 inches of gravel which is to be compacted. If it is planned to pave this lot at any time in the future with asphalt or other material impervious to water then allowance should be made at this time for drainage within the lot. Section 14-3-3 of this Ordinance states: "A system of surface drainage shall be provided in such a way that the water run-off shall not run over or across any public sidewalk or street."

Very truly yours,

Gerald E. Mayberry
Director of Building & Inspection Services

GEN:m

EB
m
A.P.- Assessor's 303 C-8-13 Saville Street
21-24
(Rear 353-361 Warren Avenue)

March 22, 1967

John B. Vance
367 Warren Avenue

Dear Mr. Vance:

Permit is being issued to establish off-street parking for vehicles, and storage of contractor's equipment subject to compliance with the City of Portland Zoning Ordinance requirements as follows:

This permit does not allow the parking of unoperative unlicensed motor vehicles or the dumping or scattering of building materials on this site. It is expected that any building materials will be neatly piled so as not to create a junk yard which would be in violation of this Ordinance.

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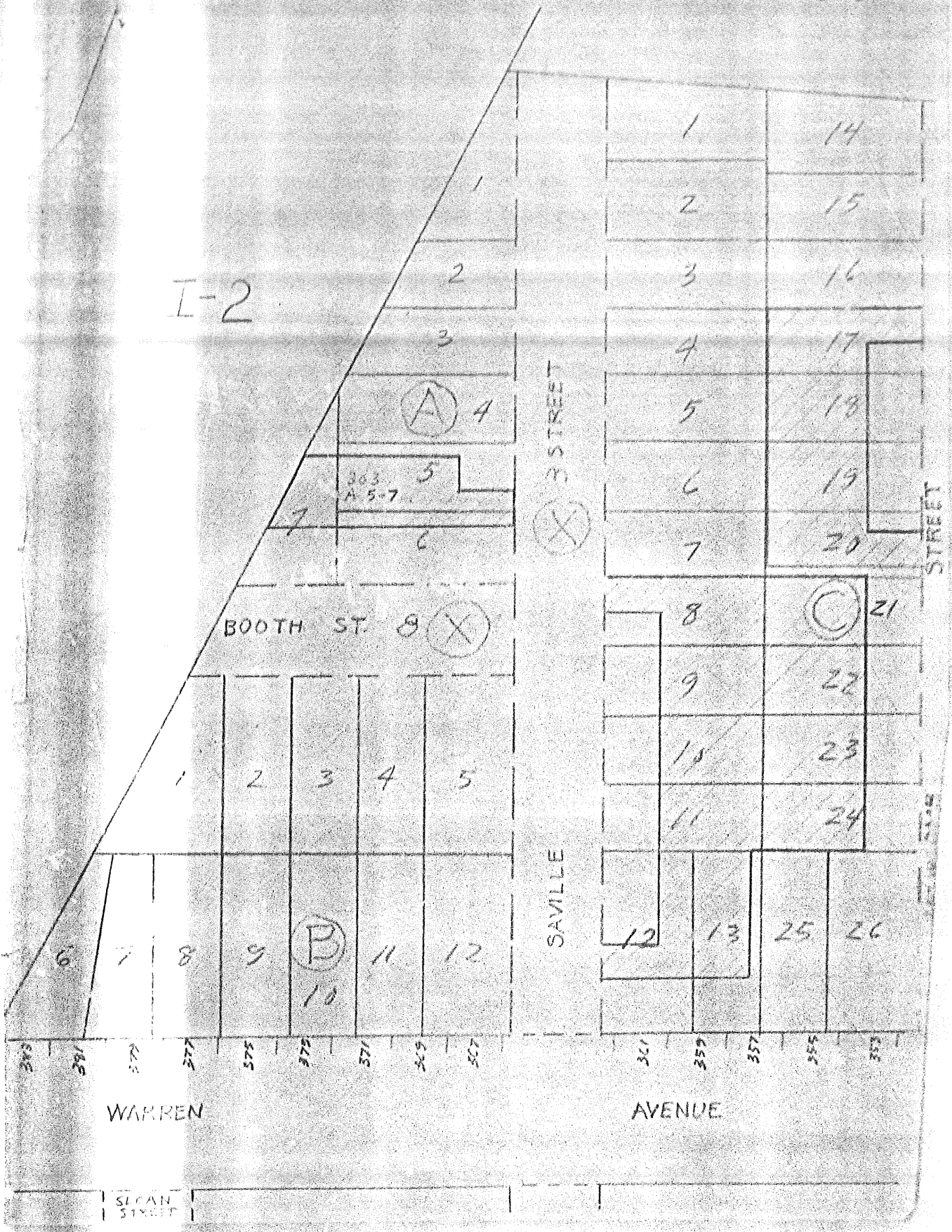
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Very truly yours,

Gerald E. Kayberry
Director of Building & Inspection Services

GE:m

I-2



BOOTH ST.

3 STREET

SAVILLE

STREET

WARREN

AVENUE

SLIGH STREET

343

185

371

377

375

373

371

369

367

361

359

357

355

353

A.P. Assessor's 303-A-5-7 Saville Street
(rear 367-383 Warren Avenue)

March 22, 1967

John B. Vance
367 Warren Avenue

Dear Mr. Vance:

Permit is being issued to establish off-street parking for vehicles, and storage of contractor's equipment subject to compliance with the City of Portland Zoning Ordinance requirements as follows:

This permit does not allow the parking of unoperative unlicensed motor vehicles or the dumping or scattering of building materials on this site. It is expected that any building materials will be neatly piled so as not to create a junk yard which would be in violation of this Ordinance.

Upon completion of these areas with the required 6 inches of compacted gravel this office is to be notified to give a final inspection so that a Certificate of Occupancy can be issued. Without this Certificate this use cannot be lawfully established.

We understand that these areas are to be graded with at least 6 inches of gravel which is to be compacted. If it is planned to pave this lot at any time in the future with asphalt or other material impervious to water then allowance should be made at this time for drainage within the lot. Section 14-j-3 of this Ordinance states: "A system of surface drainage shall be provided in such a way that the water run-off shall not run over or across any public sidewalk or street."

Very truly yours,

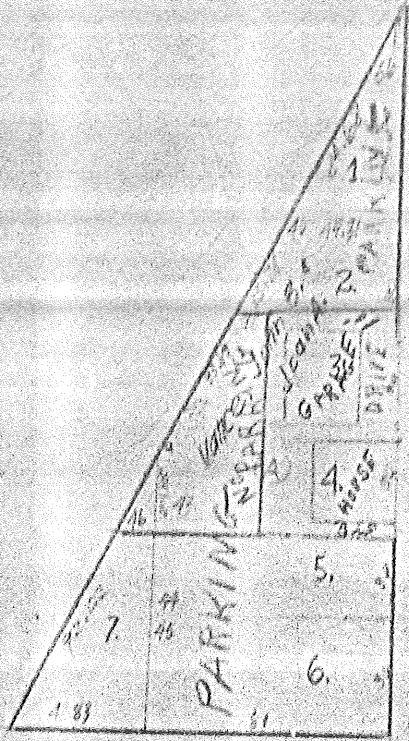
Gerald E. Mayberry
Director of Building & Inspection Services

GEH:AM

Werden, Frank

Volterra, Ann A.

9
88 ACRES



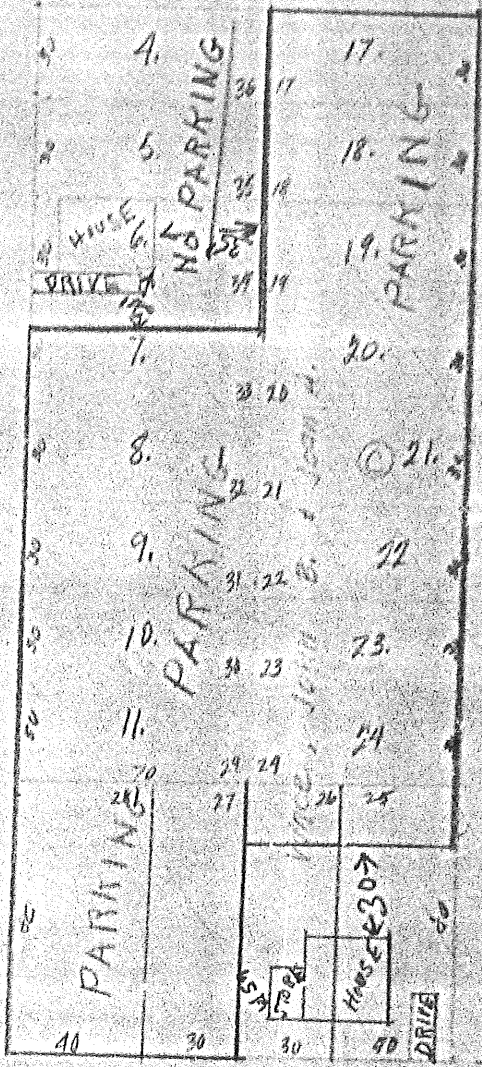
Baugh, J.

143.86

Sloan, George W. & Amelia R.

Smyth, William B.

Dipato, Gracinda & Demetrio



WARREN AVENUE

1/4" scale

Ch 303-4-1-7 Astilla Street -
303-3-11-26 Warren Avenue

Dec. 13, 1966

John B. Vance
367 Warren Avenue

cc to: Gerald Pietrantoni, Bridgton, Maine
cc to: Public Works Department
cc to: Planning Board
cc to: Corporation Council

Dear Mr. Vance:

Although you provided a site plan taken from assessor's records, we are unable to issue certificate of occupancy to establish parking use at the above named location until additional information is provided to show zoning ordinance compliance as follows:

1. The site plan will need to show driveways from streets as well as maneuvering areas. If driveways are to be provided from more than one street then approval of the Planning Board is required by Section 14-3-1 of the zoning Ordinance. If drives to any of these parking areas are from two or more streets then three copies of the site plan will be needed so that one set may be retained by the Planning Board, and one retained by the Traffic Engineer as well as a copy for the buildings and inspections file. Otherwise two sets will suffice.
2. In accordance with Section 14-3-2 of this Ordinance, the surface of driveways, maneuvering areas, and parking areas are to be uniformly graded with a subgrade consisting of gravel or equivalent materials at least six inches in depth, well compacted and with a wearing surface equivalent in qualities of compaction and durability of fine gravel.
3. A system of surface drainage shall be provided in such a way that the water runoff shall not run over or across any public sidewalk or street.
4. Upon completion of the above requirements a certificate of occupancy can be issued by this department which would make the use of parking and storage of construction equipment for which you have applied lawful with the following exceptions:
 - a. Not allowed at this location are junkyards as stated in Section 12-4-3 referring to the Industrial 2 Zone in which this property is located.
 - b. Off-street parking in the 1-2 Industrial Zone is not to include loading, sales, dead storage, repair or servicing of any kind, except when customarily incident to or accessory to a conferring principal building. Our interpretation is that you may repair the equipment and vehicles owned by your construction business.

Very truly yours,
Gerald E. Berry
Planning & Ince
Department

GD:m

I-2

CHECK AGAINST ZONING ORDINANCE

↳ Date - New

✓ Zone Location - I-2

✓ Interior or corner Lot -

✓ 40 ft. setback area? (Section 21) Yes

→ Use - Parking lot - etc.

No Tires

Tankers - No Appliances

No Automobiles

No dead storage repair

Sewage Disposal -

↳ Rear Yards -

↳ Side Yards -

↳ Front Yards -

↳ Projections -

Height -

Lot Area -

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

→ Off-street Parking ?

Requirements for off-street parking lot

(1) (Site plan) must show (A) driveways from streets
3 needed - ? (B) Maneuvering area

(2) (A) If over 2 approaches Traffic Engineers etc. needed
(B) From 2 streets. Planning Board etc. needed

(3) What is surface of driveways & maneuvering area?

(4) How will lot be drained?

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION Rear #367-383 Warren Ave.

Issued to **John B Vance**

Date of Issue **August 28 1967**

This is to certify that the building, premises, or part thereof, at the above location, built ~~altered~~
—changed as to use under Building Permit No. _____, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Area as shown on plot plan

Off-street parking for
parking and storing construction
equipment and passenger cars.

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

Nelson F. Cartwright
(Date) Inspector

Herbert E. Marberry
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

From: Marge Schmuckal
To: Brandi Maxwell
Date: Fri, Sep 19, 2003 12:14 PM
Subject: 355 Warren Ave

Brandi,

Can I see copies of the last approved towing company licenses for this lot? I'm still trying to track down the details on the previous approvals.

Thanks,
Marge

CITY OF PORTLAND, ME - License File Changes - General Information

Functions Help

9/22/2003 1:36:56 PM

Business control number 74

Business name & address
 B & B TOWING
 355 WARREN AVE
 PORTLAND ME 04101

Mailing address
 32 HERFORD AVE
 SOUTH PORTLAND ME 04106

License number 96 00908 Rnw/trn date, nbr 1/01/01 03 00908

Application date 63096 Issue date 63096 Expiration date 63097

License status RN RENEWED

Classification TT TOWING/WRECKER SERVICE

Exemption

License comments

License restrictions

Gross receipts amount

Additional charges
 Extra requirements
 Miscellaneous info
 Sub codes

OK Exit Cancel Code description

*licenses
 to owner of company
 not the location*

B & B signed off 6^{last year} - 72 Ocean St So. Portland

Name of Tow Company	Address of office	Address of Tow Lot/ Storage Facility	Renewal Rec'd	Insurance
A & T Towing	One Industrial Way	314R Warren Ave	7/31	10/22/03
Adams Towing	One Industrial Way	314 R Warren Ave	7/31	10/22/03
✓ Anthony's Towing	84 Cove Street	84 Cove Street	7/7	
✓ B & B Towing	355 Warren Ave	355 Warren Ave	06/11/03	10/06/03
Bayside Towing	57 Castine Ave	355 Warren Ave		06/08/03
✓ Charlie's Auto Transport	37 Newton Street	50 Fern Street	04/17/03	11/1/03
✓ Intown Road Service	(South Portland)	(South Portland)	7/3/03	10/24/03
✓ Nappi's Towing	(Gorham)	508 Riverside Street	6/30/03	02/01/04
✓ Ocean Street Auto	(South Portland)	(South Portland)	04/23/03	05/02/04
✓ Rick's Towing	314 Warren Ave (rear)	314 Warren Ave	05/06/03	ok
✓ S & R Towing	(South Portland)	(South Portland)	7/3/03	10/24/03
✓ Stewart's Getty	1217 Congress Street	Cove Street	04/23/03	2/12/04
Stewart's Towing	33 Huntington Ave	Cove Street	7/29	7/31/03
✓ Tardiff's Towing	84 Cove Street	84 Cove Street	7/7	9/12/03
✓ T & J Towing	314 Warren Ave (rear)	314 Warren Ave	04/28/03	01/09/04

Maretha Towing
Pleasant Hill Auto

7/1/03
7/1/03

6/16/03
emailed Marge for towing
6/27/03 - called Marge + left message to get ok

**City of Portland, Maine
City Clerk's Office
Memorandum**

To : Gary Rogers, Portland Police Department
 From: Brandi Maxwell, Business License Administrator
 Date: 6/27/02
 RE: Towing Renewals

Name of Business	Address of Establishment	PPD Comments:
Ocean Street Auto (Towing)	72 Ocean St (South Portland)	ok
Nappi's Towing	Highland Ave, Gorham, Maine	ok
Adams Towing	Columbia Rd, Portland	ok
Anthony's Towing	Bradley St, Portland	Ok
Anthony's Towing	84 Cove St, Portland	ok
B & B Towing	72 Ocean St (South Portland)	ok
Charlie's Auto Trans.	67 Newton Street, Portland	ok
Coastal Maine towing	PO Box 1775, Portland	
Intown Road Service	51 High Street, Portland	ok
Metro Towing	PO Box 11393, Portland	
R. Stewart towing	1217 Congress Street	ok
Rick's Towing	South Portland, ME	ok
Tardiff's Towing	84 Cove Street, Portland	ok
R & B Towing	No address in phone book	Currently suspended
S & R Towing	Raymond Cape Rd, Portland	ok
A & T Towing	PO Box 8084, Portland	ok
Bayside Towing	57 Castine Ave, Portland	ok
Stewarts towing	Huntington Ave, Portland	ok
A & T Towing	Columbia Rd, Portland	
AAA Towing	425 Marginal Way	
Hamilton's Service Station	205 park Ave	Does not tow w/out permission of owner.
Mainly Towing	Portland/South Portland	
Morris & Sons	188 Warren Ave	
T & J Towing	Portland, ME	OKR
B & M Towing	336 Warren Ave	ok
T & J Towing		

Yellow = submitted application for renewal to City Clerk's office
~~Gray~~
 orange = company has not been in Clerk's office database, but was sent letter giving option to apply (not required, unless on Police tow list and if they tow without the permission of the owner of the vehicle)
 White = company has *not* applied for renewal license; will be sent a reminder to do so.
 PPD column = The company is on the Police Tow List.

**City of Portland, Maine
City Clerk's Office
Memorandum**

To : Gary Rogers, Portland Police Department
 From: Brandi Maxwell, Business License Administrator
 Date: 6/27/02
 RE: Towing Renewals

Name of Business	Address of Tow Lot	PPD Comments:
Ocean Street Auto (Towing)	72 Ocean St (South Portland)	ok N/A - South Portland
Nappi's Towing	508 Riverside Street, Portland	ok warehouse use per municipality
Adams Towing	314A Warren Ave, Portland	ok Daycare & Retail
Intown Road Service	116 Dartmouth Street, South Port.	ok N/A South Portland
R. Stewart towing	Cove Street, Portland	ok
Stewarts towing	Cove Street, Portland	ok ? Address?

PPD column= The company is on the Police Tow List.

Gary Roger - Police - cheneil
 Alex - John P - me - mike
 Lt Vernon Malloch - Police

66 Cove St Allows
 Towing per past
 Permits

Single Document
 1 Brandi M.
 2 Marge
 3 Site Plan Approval

3-3-B-5-I-M

see note