



# PORTLAND MAINE

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**Planning & Urban Development Department**  
Jeff Levine, AICP, Director

**Planning Division**  
Alexander Jaegerman, FAICP, Director

February 12, 2013

Darcy Bingham  
FEMA  
500 C Street, SW  
Washington, D.C. 20472

Denise Brown, P.E. and Mike Mullen  
KBR  
63 South Royal Street, Suite 200  
Mobile, AL 36602

Project Name: Level 1 Site Alteration: **FEMA Equipment Installation**  
ID Number: 2012 -643  
Address: 236 Lane Avenue, Portland, ME 04103  
(owned by Saga Communication of New England)  
CBL: 302 A006001  
Applicant: FEMA (Darcy Bingham)  
Planner: Jean Fraser

Dear Madam/Sir:

On February 12, 2013, the Planning Authority approved with conditions a Level I Site Alteration site plan for the installation of a transmitter module, two generators, and a 6000 gallon fuel tank immediately adjacent the existing radio transmitter building at 236 Lane Avenue. The equipment is associated with a Loan Agreement between FEMA and Saga Communication of New England to provide power for radio transmission during major emergencies.

The approval is based on the application including the May, 2012 FEMA Equipment Loan Agreement with Saga Communication of New England LLC; KBR letter dated January 24, 2013; letter from Saga Communication of New England LLC dated February 6, 2013; and plans G-001, G-101, C-101, C-102, C-103, C-301, S-502 all dated 1.16.2013 and plan S-102 dated 1.22.2013 as submitted by KBR.

### SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

1. That the applicant shall contribute \$310 to the Capisic Brook Watershed water quality treatment program to address the required mitigation of project storm water quality impacts; and
2. That in the event that the license/agreement should lapse/not be renewed, the Planning Authority must be notified and will determine whether or not additional review is necessary; and

dave  
3/22/13

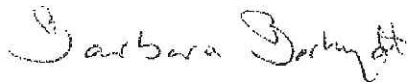
ok

7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator (Phil diPierro) can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874- 8728.

Sincerely,



Barbara Barhydt  
Acting Planning Division Director

Attachment: Performance Guarantee Packet

CC:

Jeff Levine, AICP, Director of Planning and Urban Development  
Alexander Jaegerman, FAICP, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPierro, Development Review Coordinator, Planning  
Marge Schmuckal, Zoning Administrator, Inspections Division  
Tammy Munson, Inspection Division Director  
Lannic Dobson, Administration, Inspections Division  
Gayle Guertin, Administration, Inspections Division  
Michael Bobinsky, Public Services Director  
Katherine Earley, Engineering Services Manager, Public Services  
Bill Clark, Project Engineer, Public Services  
David Margolis-Pineo, Deputy City Engineer, Public Services

Doug Roncarati, Stormwater Coordinator, Public Services  
Greg Vining, Associate Engineer, Public Services  
Michelle Sweeney, Associate Engineer  
John Low, Associate Engineer, Public Services  
Rhonda Zazzara, Field Inspection Coordinator, Public Services  
Mike Farmer, Project Engineer, Public Services  
Jane Ward, Administration, Public Services  
Jeff Tarling, City Arborist, Public Services  
Jeremiah Bartlett, Public Services  
Captain Chris Pirone, Fire Department  
Thomas Errico, P.E., TY Lin Associates  
David Senus, P.E., Woodard and Curran  
Rick Blackburn, Assessor's Department  
Approval Letter File

**Philip DiPierro - RE: WGAN Emergency Radio Network Project Performance Guarantee**

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**From:** Nate Roberts <nroberts@ccb-inc.com>  
**To:** Philip DiPierro <PD@portlandmaine.gov>  
**Date:** 8/21/2013 4:29 PM  
**Subject:** RE: WGAN Emergency Radio Network Project Performance Guarantee  
**CC:** James Tremblay <JTremblay@ccb-inc.com>, Chris Holmes <cholmes@ccb-inc.com>

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Good afternoon Phil,

We are ready for the final inspection for you next **Monday morning** over at the WGAN site. Is there a time that would work for you?

Please let us know when you can.

Thanks,

Nate

Nate Roberts LEED ® GA | Assistant PM/Field Engineer  
**CCB, Inc.** | 65 Bradley Drive | Westbrook, ME 04092  
Direct 207.887.3225 | Fax 207.887.3275 | Mobile 207.899.6018  
Main Office 207.464.2626 | [www.ccb-inc.com](http://www.ccb-inc.com)

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**From:** Philip DiPierro [mailto:PD@portlandmaine.gov]  
**Sent:** Monday, June 17, 2013 8:52 AM  
**To:** Nate Roberts  
**Cc:** Heather Lumb  
**Subject:** RE: WGAN Emergency Radio Network Project Performance Guarantee

Hi Nate, attached is the site plan approval letter I told Heather that I would forward to her. The only required notification for me is that you contact me at least 5 days prior to the final inspection for the certificate of occupancy. At that time I will confirm whether or not the project has been constructed in compliance with the approved site plan. Other than that, I will be stopping by unannounced periodically to check in on the progression of the site work, and to confirm you are in compliance with your erosion control plan.

You should check with the Building Inspections Department for the requirements for their inspections ie., building, electrical, plumbing, etc.

Feel free to contact me with any questions. Thanks.

Phil

Feel free to contact me with any questions. Thanks.

Phi

Philip DiPierro  
Development Review Coordinator  
City of Portland Planning Division  
389 Congress Street  
Portland, Maine 04101

Phone 207 874-8632

Fax 207 756-82581

>>> Nate Roberts <[nroberts@ccb-inc.com](mailto:nroberts@ccb-inc.com)> 5/29/2013 5:20 PM >>>

Phil,

Thank you for the clarifications. Attached please find the completed cost estimate. Do you need a hard copy of this or will email be sufficient? Let me know.

Also, Who is the point of contact to set up the escrow account? This is something that needs to be setup jointly, so please let me know so we can jump on that right away.

Lastly, I'd like to know more about setting up this preconstruction meeting. There are quite a few outstanding questions that absolutely need to be answered by the City in order to proceed forward. This project has a very tight schedule and we cannot afford a scheduling hiccup at this point. Please let me know if you are the point of contact for this or if there is someone else I need to talk with.

Thank you for all of your help.

Nate

Nate Roberts LEED ® GA | Assistant PM/Field Engineer  
**CCB, Inc.** | 65 Bradley Drive | Westbrook, ME 04092  
Direct 207.887.3225 | Fax 207.887.3275 | Mobile 207.899.6018  
Main Office 207.464.2626 | [www.ccb-inc.com](http://www.ccb-inc.com)

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**From:** Philip DiPierro [<mailto:PD@portlandmaine.gov>]  
**Sent:** Wednesday, May 29, 2013 1:05 PM  
**To:** Nate Roberts  
**Cc:** Beth Sturtevant; Heather Lumb; Sean Ferguson  
**Subject:** Re: WGAN Emergency Radio Network Project Performance Guarantee

Hi Nate, please find my responses to your questions in bold type below.

Feel free to contact me with any other questions. Thanks.

Phil

Philip DiPierro  
Development Review Coordinator  
City of Portland Planning Division  
389 Congress Street  
Portland, Maine 04101

Phone 207 874-8632

Fax 207 756-8258

>>> Nate Roberts <[nroberts@ccb-inc.com](mailto:nroberts@ccb-inc.com)> 5/23/2013 5:40 PM >>>

Good Evening Phil,

I appreciate your time yesterday to review the Performance Guarantee items. As a follow up to that conversation there have been some questions arise here that I was hoping you could provide us with some insight on.

-Is the PG needed if the site is on private property? **Yes.**

-Is this location on Private property or City of Portland property or a ROW? **Mostly Private Property.**

-Typically who posts the PG? **Typically the developer post the performance guarantee, although the developer is not required to post it. It really doesn't matter to the City who posts it.**

The reason I ask is that we are a subcontractor on this project and it seems like the General Contractor would be responsible for posting the PG as a part of the building permit process?

-If CCB needs to post the PG we would like to use the escrow account in lieu of the letter of credit. I know this is different than what we spoke about yesterday, but that is the direction we were thinking now. It looks like the City holds 10% of the site improvements cost until the project is completed and signed off by the city. At that point this the City holds 2% on the 10% for 1 year. At the end of the year the money is issued back to CCB? **The performance guarantee needs to be posted in an amount equal to 100% of the cost estimate. When the project is completed, the City will reduce the performance guarantee to the 10% defect guarantee (10% of the original amount). The defect guarantee remains in effect for 1 year. A final inspection will take place 1 year after construction is complete, and assuming there are no defects, the defect guarantee will be released. Prior to construction, a site inspection fee needs to be paid. The site inspection fee equals 2% of the cost estimate, and is paid to the City of Portland, submitted to the Planning Department.**

-What/How is the site improvements cost figured? **Use the City supplied Cost Estimate sheet to figure the costs. The items that are listed on the Cost Estimate sheet are the items that are required to be covered in the performance guarantee.** It is assumed that this cost would be for the excavation/backfill items and trenching, landscaping, ect. Is that correct? **yes.**

-There are three requirements that the city would use to draw from the escrow account if needed.

-Completion of the work

-Deliver to the city a Deed

-Notification for Inspections

My question is that CCB does not have any control over the deed item. Wouldn't this be something handled by the developer/GC in the permitting process? **Typically, yes. The delivery of a deed for this project probably**

**does not apply in this case.**

**-What is the inspection schedule? Please provide. This item will be covered during the required preconstruction meeting.**

**-Who would we coordinate inspections with? This item will be covered during the required preconstruction meeting.**

I am sure there will be additional questions, but if you could get us started with these it would help us gain some clarity on what exactly needs to be done here.

I appreciate your time.

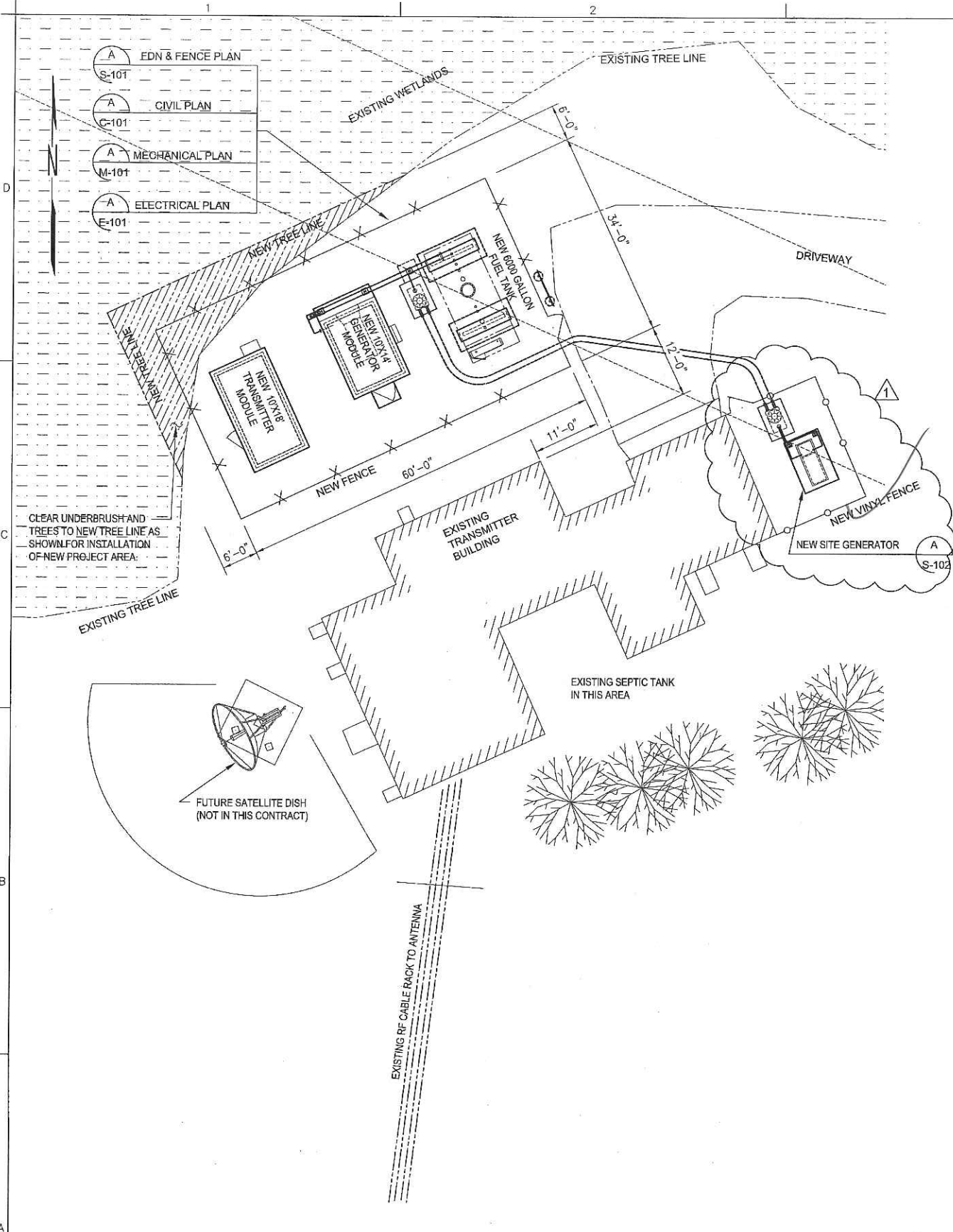
Thanks,

Nate

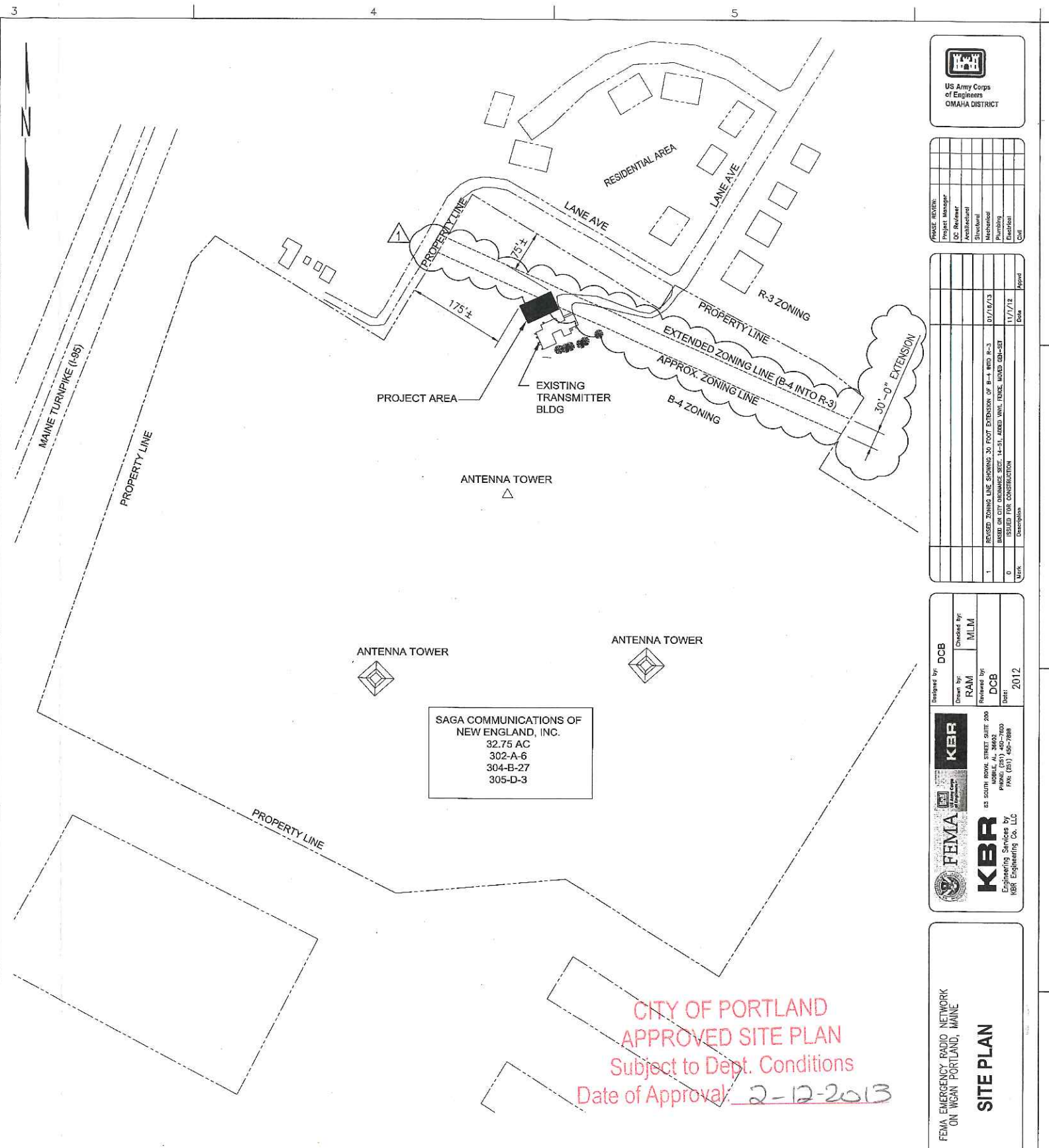
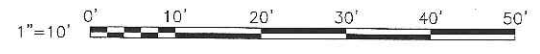
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Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

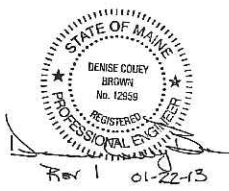




1 STATION WGAN - SITE PLAN  
 G-001 SCALE: 1"=10'-0"



WGAN PROPERTY PLAN  
 SCALE: 1"=100'



Project Manager	
DC Reviewer	
Structural	
Mechanical	
Plumbing	
Electrical	
Other	

Revised Zoning Line Showing 30 Foot Extension of B-4 into R-3	07/17/13
Based on City Ordinance Sec. 14-51, Adopted June, 1990, Ord. 28-53	
Issued for Construction	11/7/12
Mark	Date
	Approved

Designed by	DCB
Checked by	MLM
Drawn by	RAM
Reviewed by	DCB
Date	2012

**FEMIA**  
 83 SOUTH ROYAL STREET SUITE 200  
 NORWELL, MA 01942  
 PHONE (508) 461-7800  
 FAX (508) 461-7808

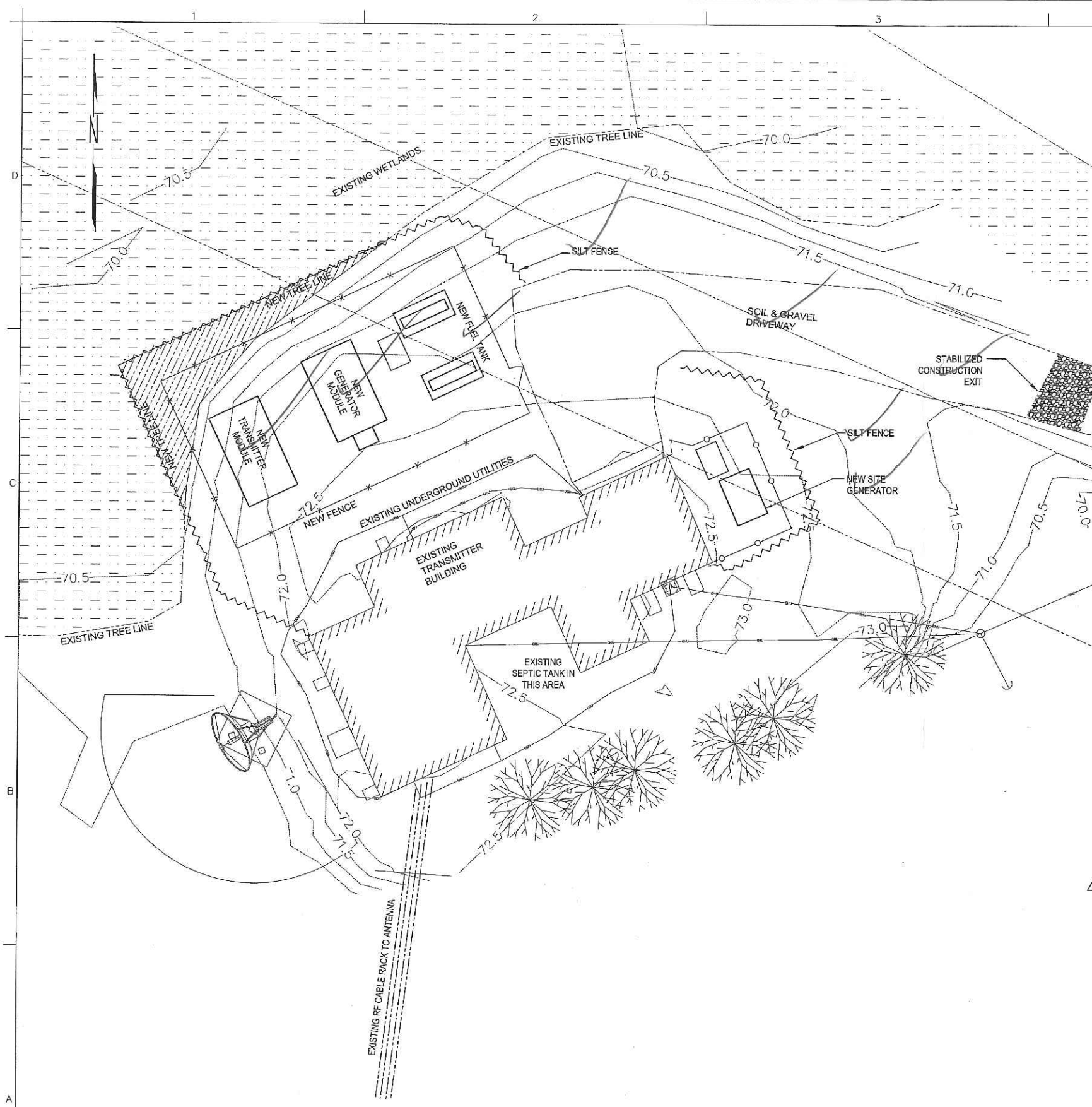
**KBR**  
 Engineering Services by  
 KBR Engineering Co., LLC

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 2-12-2013

FEMA EMERGENCY RADIO NETWORK  
 ON WGAN, PORTLAND, MAINE  
**SITE PLAN**

Drawing Number:  
**G-101**





**STORM WATER QUALITY NOTES - CONSTRUCTION BMP'S**

1. THIS PROJECT SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
2. SUFFICIENT BMP'S SHALL BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
3. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVERAL CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SETTLEMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
4. CONTRACTOR SHALL FIELD ADJUST AND PROVIDE ADDITIONAL SEDIMENT CONTROL MEANS AT NO ADDITIONAL COST TO OWNER IF WARRANTED BY FIELD CONDITIONS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
7. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURES OR COVERED BY WEED CONTROL FABRIC AND CRUSHED STONE, SHALL BE TREATED WITH HYDROSEED, SOD OR EQUIVALENT. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS.
8. ALL EROSION / SETTLEMENT CONTROL FACILITIES SHALL BE MAINTAINED IN WORKING ORDER AND AS SPECIFIED BY THE STATE ENVIRONMENTAL AGENCY. THESE FACILITIES SHALL BE INSPECTED AFTER EVERY PRECIPITATION EVENT. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY. ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE DEVICES FUNCTIONAL. IN ALL CASES, REMOVE DEPOSITS WHERE ACCUMULATIONS REACH 3" ABOVE GRADE. ALL UNDERCUTTING OR EROSION OF THE TOE ANCHOR WILL BE REPAIRED IMMEDIATELY WITH COMPACTED BACKFILL MATERIALS. ADHERE TO ANY MANUFACTURER'S RECOMMENDATIONS.
9. ANY CONTROL STRUCTURE DISTURBED DURING DAILY OPERATIONS SHALL BE REPAIRED, REPLACED OR RECONSTRUCTED AS REQUIRED UPON COMPLETION OF THE WORK DAY.
10. THE CONTRACTOR WILL BE RESPONSIBLE DURING CONSTRUCTION AND FOR ONE YEAR FOR MAINTAINING THE E&S MEASURES TO INSURE COMPLIANCE WITH THE APPROVED PLAN AND THE APPLICABLE REGULATIONS OF THE STATE.
11. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 13 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2.5 TO 3 TONS PER ACRE. ANY STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED DAILY.

**SITE AREA**

THE PROPOSED CONSTRUCTION PROJECT SHALL IMPACT APPROXIMATELY 0.09 ACRES (510 SF OF CONCRETE, 2250 SF OF GRAVEL GROUND COVER AND 1100 SF OF GRASS). GRADING PROPOSED ON THIS SITE AND POTENTIAL WETLAND IMPACT WILL BE IN ACCORDANCE WITH DWG C-102.

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP 2300510006C, THE SITE IS OUTSIDE THE 500-YEAR FLOODPLAIN.

**PLANNING AND ORGANIZATION**

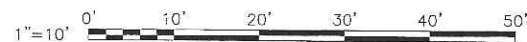
DURING CONSTRUCTION, THE KBR SITE MANAGER WILL OVERSEE THE IMPLEMENTATION AND MAINTENANCE OF THE STORMWATER PLAN.

**BEST MANAGEMENT PRACTICES**

1. SILT FENCE - THE CONSTRUCTION SITE WILL BE SURROUNDED BY A SILT FENCE TO PREVENT RUNOFF OF SEDIMENT.
2. STABILIZED CONSTRUCTION EXIT - A GRAVEL CONSTRUCTION EXIT WILL PREVENT DISPERSION OF SEDIMENT ONTO NEARBY ROADS.
3. WATER QUALITY TREATMENT - 4" LAYER OF CRUSHED STONE OVER AN 18" LAYER OF CLEAN GRANULAR GRAVEL (MDOT 703.06 TYPE A)

ALL BMP'S SHALL BE IN ACCORDANCE WITH THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION PUBLICATION "MAINE EROSION AND SEDIMENT CONTROL BMP'S".

**1 STATION WGAN - SITE PLAN**  
G-001 SCALE: 1"=10'-0"



Project Manager	
QC Engineer	
Architect	
Structural	
Mechanical	
Plumbing	
Electrical	
Other	

Phase	Revision	Date	By
1	0	01/16/13	
2	0	11/17/12	

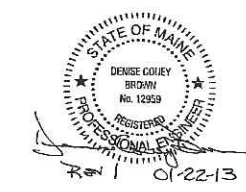
Designed by	DCB
Checked by	MLM
Drawn by	RAM
Reviewed by	DCB
Date	2/12

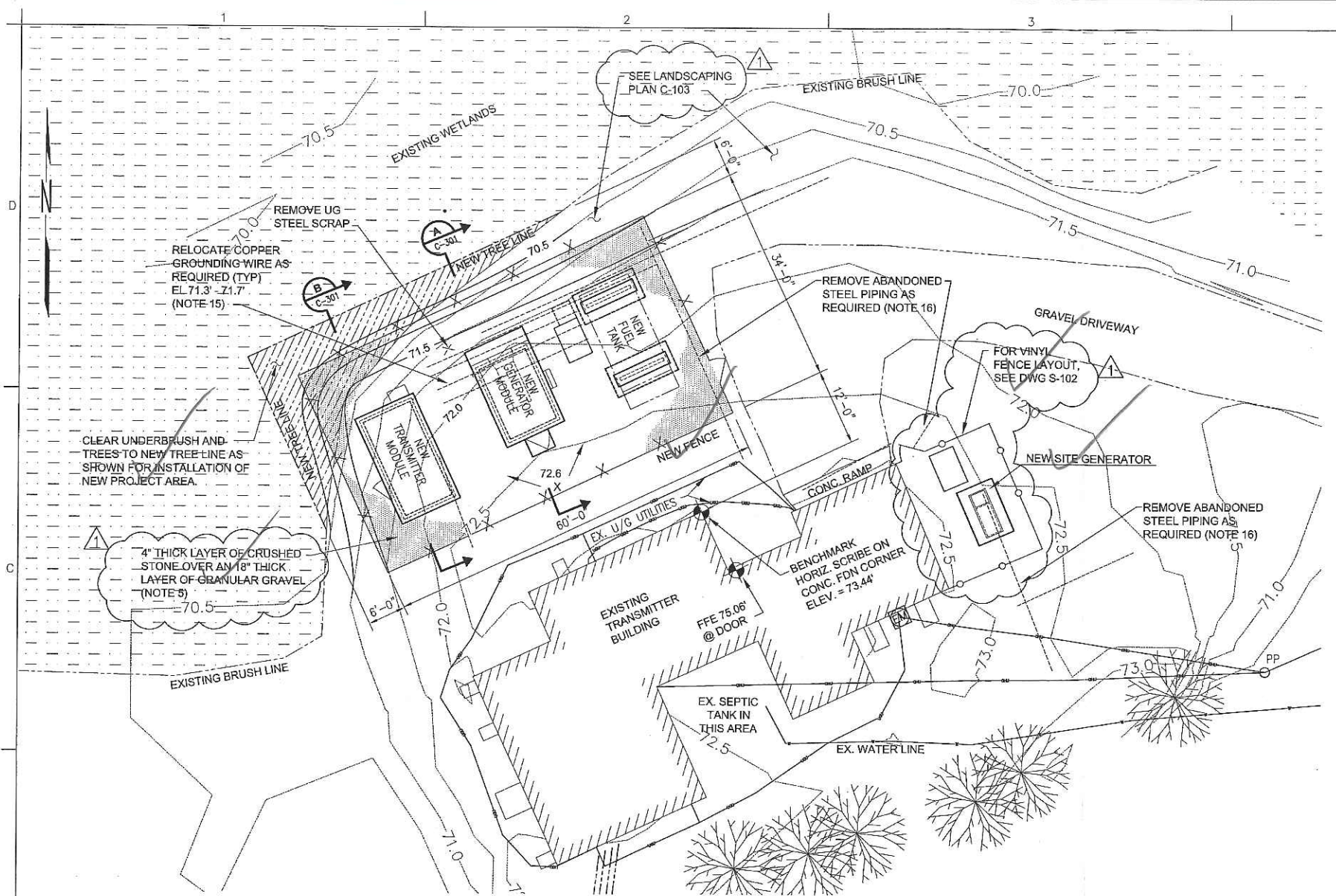
**FEMA**  
KBR  
Engineering Services by  
KBR  
High Engineering Co., LLC

**STORMWATER MANAGEMENT PLAN**

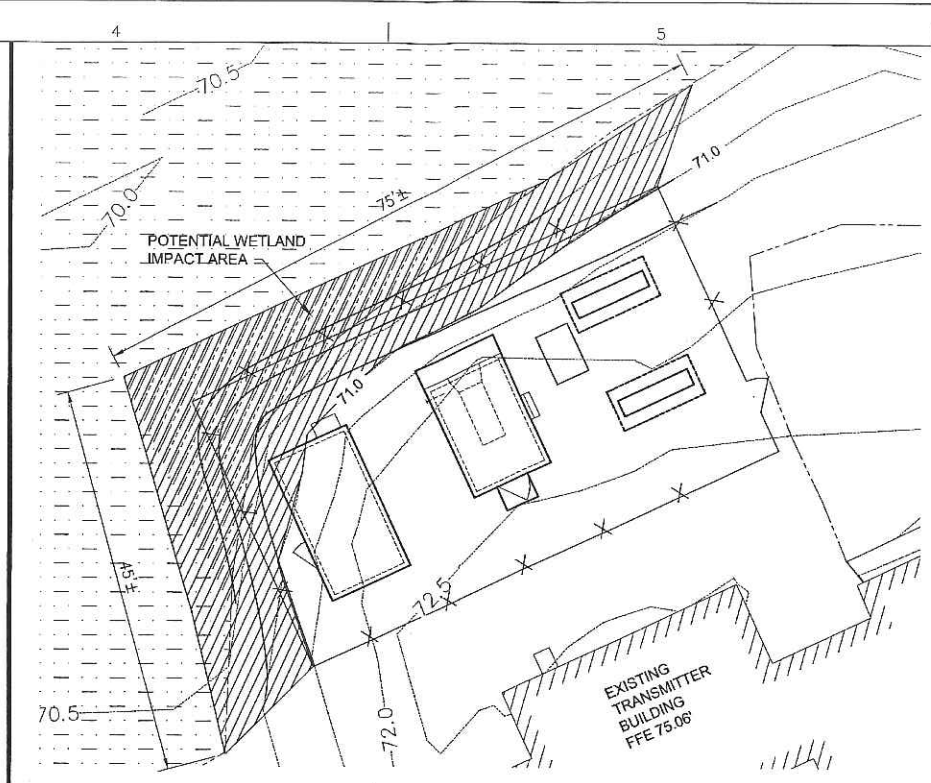
Drawing Number:  
**C-101**

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: 2-12-2013





1 STATION WGAN - SITE PLAN  
G-001 SCALE: 1"=10'-0"



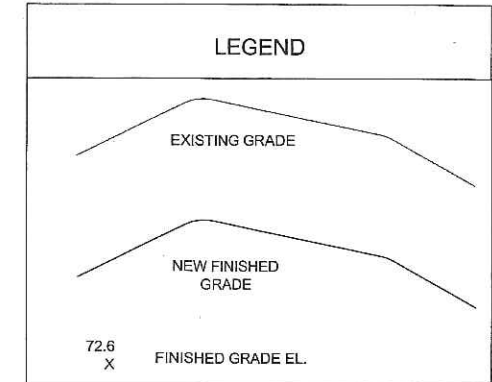
2 WETLANDS IMPACT PLAN  
G-001 SCALE: 1"=10'-0"

NOTE - THE LIMITS OF WETLANDS ARE CONSERVATIVELY ASSUMED TO BE ELEVATION 71.0 AND THE IMPACT AREA IS SHOWN ALONG THIS CONTOUR. THE APPROXIMATE TOTAL IMPACT TO THE WETLANDS = 1170 SQ FT WHICH HAS RECEIVED USACE APPROVAL.

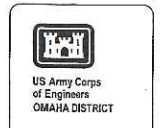
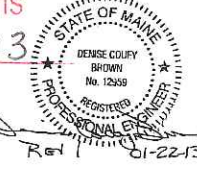
ALL EXCAVATION MUST BE CONTAINED WITHIN THE WETLANDS IMPACT LIMITS SHOWN AND COULD POTENTIALLY REQUIRE THE USE OF SHORING IN SOME AREAS.

NOTES:

- SITE PREPARATION, EXCAVATION, AND BACKFILLING SHALL BE ACCOMPLISHED PER THE PLANS, SPECIFICATION 31 23 00.00 20, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT BY SCHONEWALD ENGINEERING ASSOCIATES INC. DATED AUGUST 2012. GEOTECHNICAL SERVICES DURING CONSTRUCTION INCLUDING OBSERVATION AND TESTING OF THE EXCAVATIONS, BACKFILL AND COMPACTION, SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- EXISTING SOILS SHOULD BE OVEREXCAVATED TO 2 FEET BELOW THE SPECIFIED BOTTOM OF FOOTING ELEVATION TO ACCOMMODATE FOR A LAYER OF 2 FEET THICK CRUSHED STONE BEDDING MATERIAL. THE STONE SHOULD BE WRAPPED IN A NON-WOVEN GEOTEXTILE FABRIC. SEE SPECIFICATION 31 23 00.00 20 FOR STONE AND FABRIC MATERIALS.
- DURING DRILLING, GROUNDWATER WAS ENCOUNTERED AT AN APPROXIMATE DEPTH OF 9 FEET BELOW GRADE. POSITIVE DRAINAGE SHALL BE MAINTAINED DURING CONSTRUCTION. CONSTRUCTION DEWATERING MAY BE REQUIRED AND MUST PRESERVE THE UNDISTURBED CONDITION OF THE SUBGRADE.
- MAINTAIN UNIFORM MOISTURE CONDITIONS IN THE EXPOSED SUBGRADE SOILS PRIOR TO CONSTRUCTION OF THE FOUNDATION. A 3 INCH THICK SEAL SLAB IS REQUIRED OVER THE BASE OF THE EXCAVATION IF FOUNDATIONS ARE NOT PLACED THE SAME DAY THE EXCAVATION IS COMPLETED.
- 4 INCHES OF CRUSHED STONE OVER 18 INCHES (MINIMUM) OF GRANULAR GRAVEL SHALL BE PLACED WITHIN FENCED AREA AS SHOWN ON THE DRAWINGS. CRUSHED STONE SHALL BE CLEAN AND CONFORM TO ASTM C 33 COARSE AGGREGATE GRADING SIZE 4 (1 1/2" - 3/4"). GRANULAR GRAVEL (STRUCTURAL FILL) SHALL BE CLEAN AND CONFORM TO MDOT 703.06 TYPE A. WEED CONTROL FABRIC SHALL BE PLACED BETWEEN THE CRUSHED STONE AND THE GRANULAR GRAVEL, AND EXTEND 1 FOOT BEYOND FENCE LINE TO ALLOW GRAVEL TO TAPER TO EXISTING GRADE.
- WHERE THE PROPOSED DUCTBANK OR FUEL LINE CROSSES THE EXISTING DRIVEWAY/PARKING AREA, 4 INCHES OF CRUSHED STONE SHALL BE PLACED OVER THE BACKFILLED TRENCHES. WHERE THE DUCTBANK AND FUEL LINE CROSS AN EXISTING GRASSSED AREA, TOPSOIL AND SEEDING SHALL BE PLACED OVER THE COMPACTED BACKFILL. DISTURBED AREAS AROUND THE PROPOSED GENSET AND SUMP SHALL BE SEEDDED OR SODDED WITH 3" MINIMUM TOPSOIL. FOR DUCTBANK SECTION, SEE DWG E-504. FOR FUEL LINE TRENCH DETAIL, SEE DWG M-501. FOR TRENCH BACKFILL, SEE SPECIFICATION 31 23 00.00 20.
- FOLLOWING CONSTRUCTION OF FOUNDATIONS, THE SITE ELEVATION SHALL BE REPLACED TO EXISTING GRADE EXCEPT WHERE NOTED ON DRAWINGS. AREA MUST BE GRADED TO DRAIN WITH NO AREAS OF STANDING WATER PRIOR TO INSTALLATION OF GRAVEL.
- THE PROPOSED ELEVATIONS SHOWN ARE TOP OF GRADE. THE CRUSHED STONE WILL BE PLACED OVER THIS GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES REQUIRED BY STATE AND LOCAL CODES, LAWS AND REGULATIONS. REFER TO DWG C-101.
- WETLANDS ARE LOCATED ON THE SUBJECT PROPERTY. THE WETLANDS ARE NOT TO BE IMPACTED IN ANY WAY DURING CONSTRUCTION EXCEPT AS NOTED. THE WETLANDS SHOWN ARE NOT DELINEATED AND ARE BASED ON THE U.S. FISH AND WILDLIFE WETLANDS INVENTORY, ELEVATION AND THE EXISTING BRUSH LINE.
- TOPOGRAPHIC SURVEY DATA FOR PROJECT SITE PROVIDED BY SEBAGO TECHNICS, INC. SEE SURVEY PLAN DATED JULY 2012. COORDINATES AND BEARINGS ARE REFERENCED TO GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802 (NAD 83). THE VERTICAL DATUM SHOWN IS NAVD 88.
- GEOPHYSICAL DATA FOR THE PROJECT PROVIDED BY HAGER-RICHTER GEOSCIENCE, INC. SEE REPORT DATED JULY 2012 IN APPENDIX D OF THE GEOTECHNICAL REPORT.
- FOR FOUNDATION ELEVATIONS, SEE DWG S-301.
- FENCE TO BE IN ACCORDANCE WITH DETAIL ON DWG S-502 AND SPECIFICATION 32 31 13.53.
- CONTRACTOR TO COORDINATE WITH STATION ENGINEER AND ON-SITE PROJECT MANAGER ON LOCATION OF EXISTING ANTENNA GROUNDING SYSTEMS IN ADDITION TO THOSE SHOWN ON THIS DRAWING. GROUNDING WIRES AND/OR CONDUCTORS TO BE RELOCATED AS SHOWN ON THE ELECTRICAL DRAWINGS PRIOR TO EXCAVATION ACTIVITIES.
- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING UNDERGROUND PIPING SHOWN IS NO LONGER IN SERVICE PRIOR TO REMOVAL.



CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 2-12-2013



REVISION	DATE	DESCRIPTION
1	01/16/13	ADDED CRUSHED STONE AND GRANULAR GRAVEL REQUIREMENTS, DELETED BOLLARDS AND ADDED VINYL FENCE
0	11/17/12	ISSUED FOR CONSTRUCTION

Project Manager	DCB
CC Reviewer	RAM
Architectural	MJM
Structural	
Mechanical	
Plumbing	
Electrical	
Civil	

Designed by	DCB
Drawn by	RAM
Checked by	MJM
Reviewed by	DCB
Date	2012

**KBR**  
43 SOUTH AVENUE, SUITE 200  
PORTLAND, MAINE 04106  
PHONE: (207) 460-7600  
FAX: (207) 460-7668

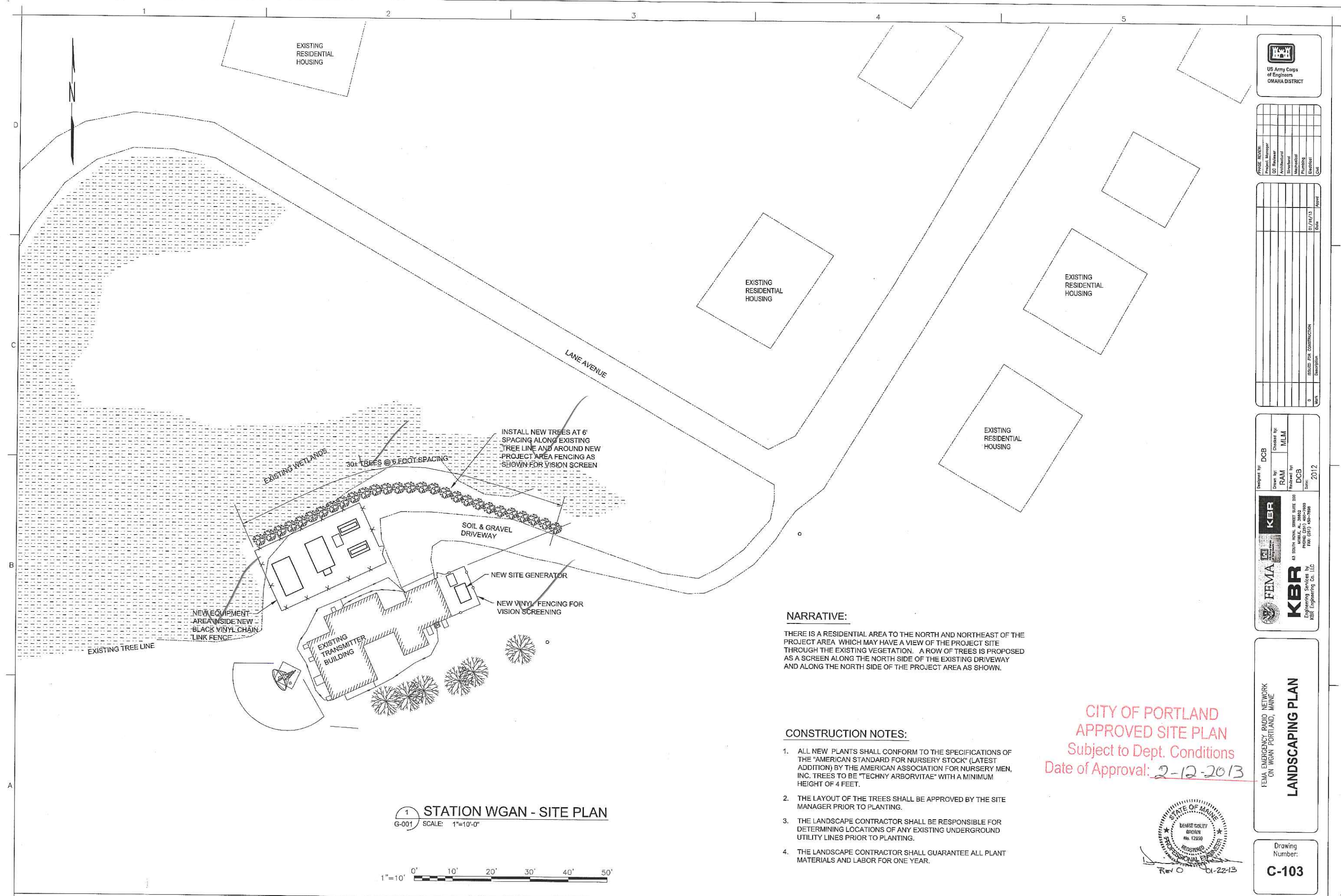
**FEMA**  
FEDERAL EMERGENCY MANAGEMENT AGENCY

**KBR Engineering Services, LLC**

FEMA EMERGENCY RADIO NETWORK  
ON WGAN PORTLAND, MAINE

**CIVIL PLAN**

Drawing Number:  
**C-102**



1 STATION WGAN - SITE PLAN  
G-001 SCALE: 1"=10'-0"



**NARRATIVE:**

THERE IS A RESIDENTIAL AREA TO THE NORTH AND NORTHEAST OF THE PROJECT AREA WHICH MAY HAVE A VIEW OF THE PROJECT SITE THROUGH THE EXISTING VEGETATION. A ROW OF TREES IS PROPOSED AS A SCREEN ALONG THE NORTH SIDE OF THE EXISTING DRIVEWAY AND ALONG THE NORTH SIDE OF THE PROJECT AREA AS SHOWN.

**CONSTRUCTION NOTES:**

1. ALL NEW PLANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (LATEST ADDITION) BY THE AMERICAN ASSOCIATION FOR NURSERY MEN, INC. TREES TO BE "TECHNY ARBORVITAE" WITH A MINIMUM HEIGHT OF 4 FEET.
2. THE LAYOUT OF THE TREES SHALL BE APPROVED BY THE SITE MANAGER PRIOR TO PLANTING.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING LOCATIONS OF ANY EXISTING UNDERGROUND UTILITY LINES PRIOR TO PLANTING.
4. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS AND LABOR FOR ONE YEAR.

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 2-12-2013



Project Manager	
DC Reviewer	
Architectural	
Structural	
Mechanical	
Plumbing	
Electrical	
Other	

Design			
Check			
Issue			
Rev			
By			
Date			
Description			

Designed by:	DCB
Drawn by:	RAM
Checked by:	MLM
Reviewed by:	DCB
Date:	2012

**KBR**  
KBR  
40 SOUTH MAIN STREET SUITE 200  
PORTLAND, ME 04102  
PHONE (207) 480-7600  
FAX (207) 480-7600

**FEMA**  
FEMA  
Engineering Services by  
KBR Engineering Co., LLC

FEMA EMERGENCY RADIO NETWORK  
ON WGAN PORTLAND, MAINE  
**LANDSCAPING PLAN**

Drawing Number:  
**C-103**

**NOTES:**

1. FOR CIVIL GENERAL NOTES AND PLAN, SEE DWG C-102.
2. FOR EXCAVATION & BACKFILL REQUIREMENTS, SEE GEOTECHNICAL REPORT AND SPECIFICATION 31 23 00 .00 20.
3. FOR TOP OF CONCRETE ELEVATIONS, SEE DWG S-301.



Project Manager	
QC Engineer	
Architectural	
Mechanical	
Plumbing	
Electrical	
Civil	

ADD CRUSHED STONE AND GRANULAR GRAVEL REQUIREMENTS, DELETE	01/15/13
BARRER WIRE AND MAJOR WIRE	11/7/12
ISSUED FOR CONSTRUCTION	
Mark	Date

Designed by	DCB
Checked by	DCB
Drawn by	RAM
Reviewed by	CHB
Date	2012

**KBR**  
 43 SOUTH ROYAL STREET SUITE 200  
 PORTLAND, ME 04103  
 PHONE (207) 452-7888

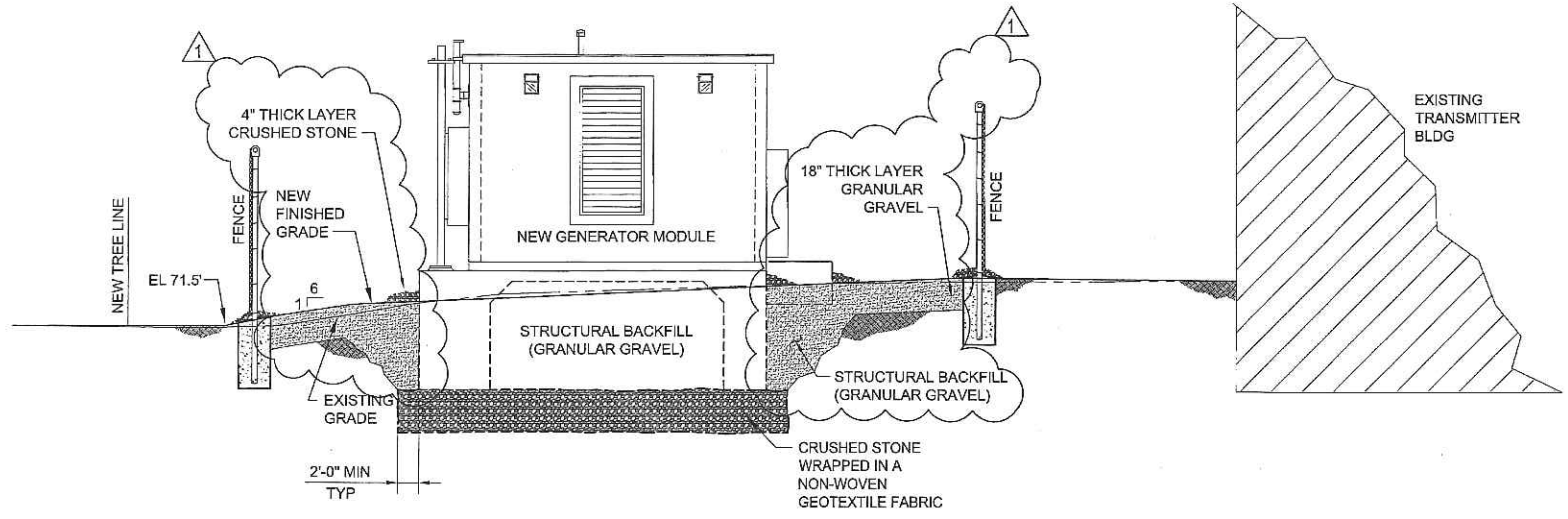
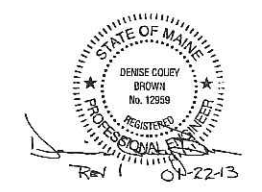
**FEMA**  
 Engineering Services by  
 KBR Engineering Co., LLC

FEMA EMERGENCY RADIO NETWORK  
 ON WIGAN PORTLAND, MAINE

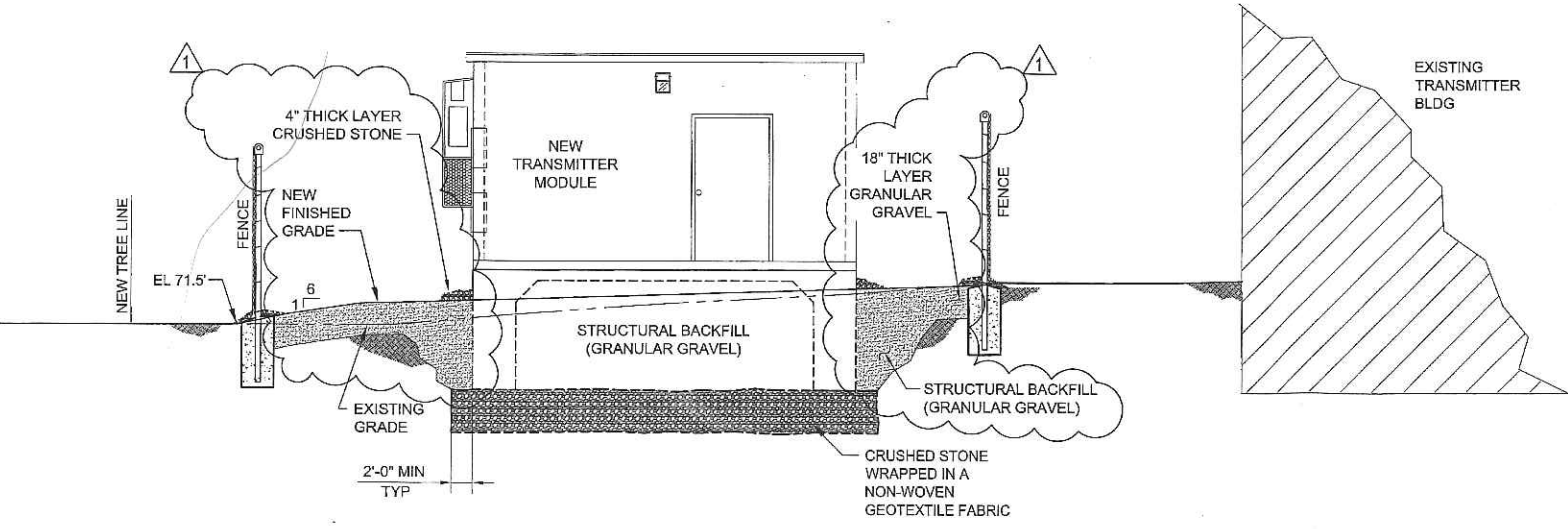
**CIVIL SECTIONS**

Drawing Number:  
**C-301**

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 2-12-2013

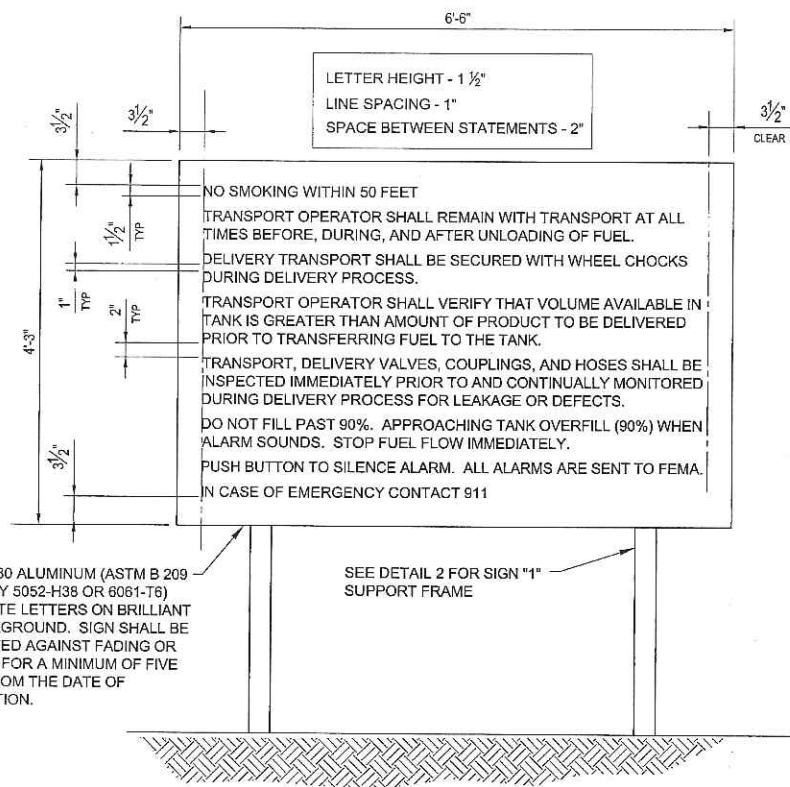


**A CROSS SECTION**  
 C-102 SCALE: 1/4"=10'



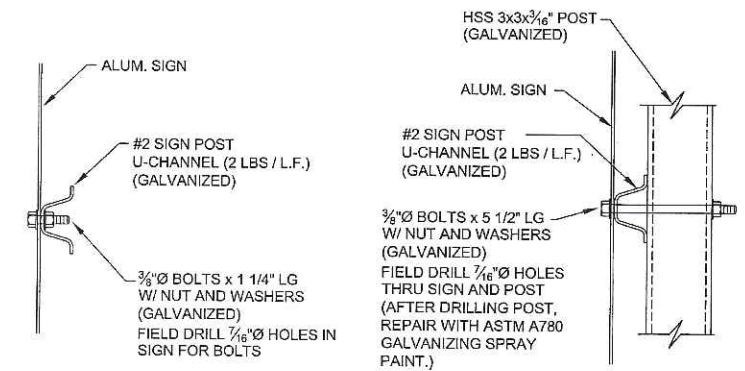
**B CROSS SECTION**  
 C-102 SCALE: 1/4"=10'





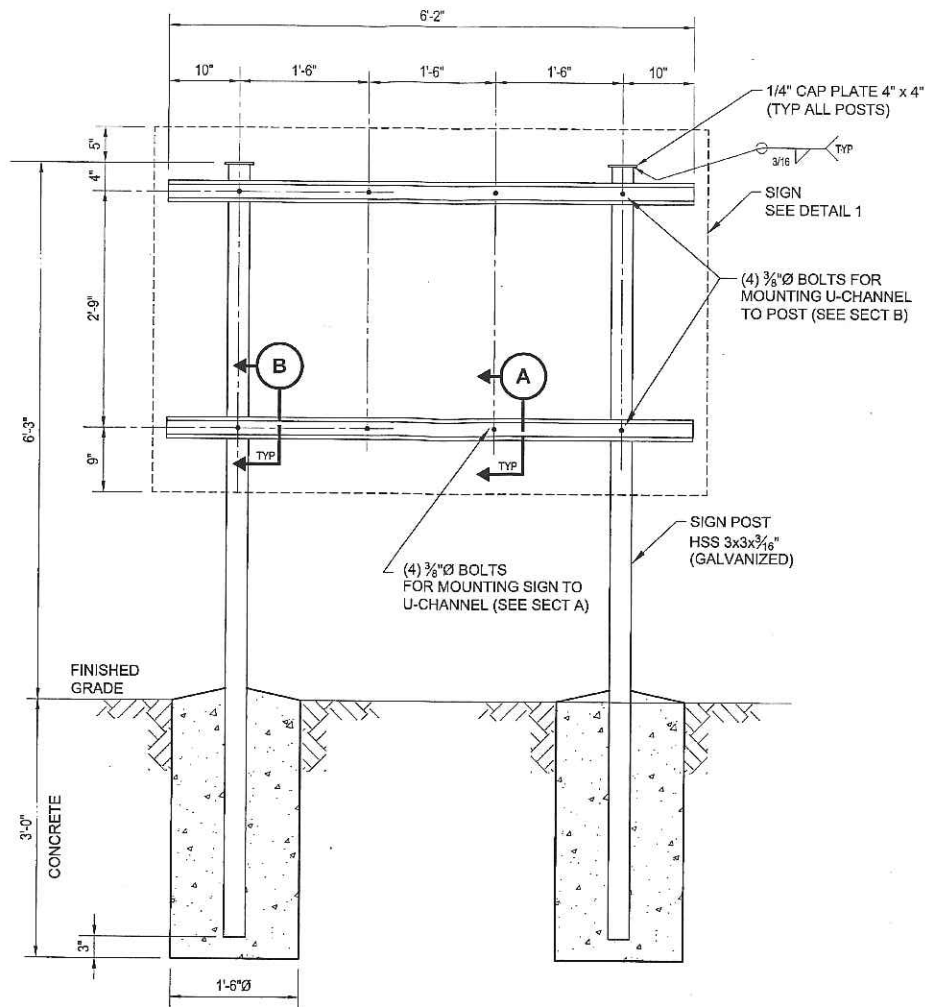
1 SIGN "1" DETAIL  
M-101 SCALE: 1"=1'-0"

INSTALLATION CONTRACTOR TO TOUCH UP ALL DAMAGED GALVANIZING WITH ZRC COLD GALVANIZING COMPOUND, OR APPROVED EQUAL.



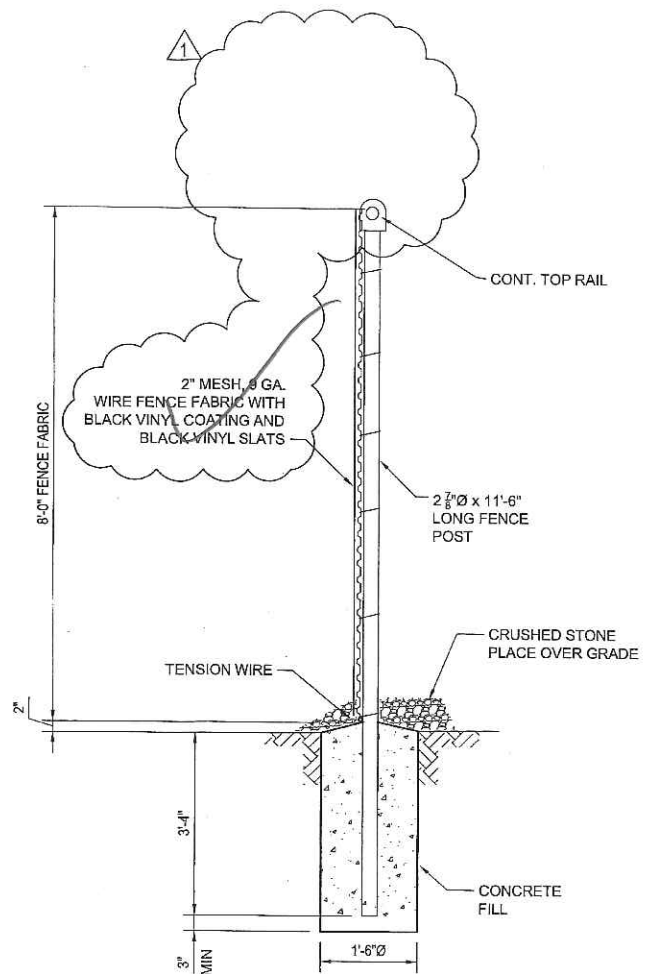
A SECTION  
SCALE: 3"=1'-0"

B SECTION  
SCALE: 3"=1'-0"



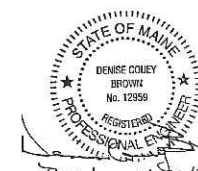
2 SIGN "1" SUPPORT FRAME DETAIL  
SCALE: 1"=1'-0"

FOR SIGN LOCATION, SEE MECHANICAL DRAWINGS.



C TYP FENCE SECTION  
S-101 SCALE: 3/4"=1'-0"

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 2-12-2013



Rev 1 of 22-13



Project Manager	
GC Engineer	
Architectural	
Structural	
Electrical	
Mechanical	
Sanitary	
Other	

1	REVISED SIGNAGE AND SIGNAGE, ADDED BLACK VINYL COATING	01/17/13	
0	ISSUED FOR CONSTRUCTION	11/17/12	

Designed by	MLM
Drawn by	RAM
Checked by	DCB
Reviewed by	CHB
Date:	2012

41 SOUTH BAY STREET SUITE 200  
 MOBILE, AL 36602  
 PHONE: (251) 452-7000  
 FAX: (251) 452-7000

FEMA  
 Engineering Services by  
 KBR Engineering Co., LLC

FEMA EMERGENCY RADIO NETWORK  
ON WIGAN PORTLAND, MAINE

**SIGN AND FENCE DETAILS**

Drawing Number:  
**S-502**

**Jean Fraser - Re: FEMA Equipment Installation WGAN**

**From:** Jean Fraser  
**To:** Brown, Denise  
**Date:** 2/27/2013 4:14 PM  
**Subject:** Re: FEMA Equipment Installation WGAN

*Phil - let no  
know if need  
anything else  
Jean  
3-22-13*

Denise

I have consulted with senior colleagues here who generally handle these kinds of questions.

*Note this needs  
BPR re fire/fuel  
tanks*

What you have listed are all of the items that the performance guarantee covers. Once the items are installed / constructed /planted the performance guarantee would get returned except a 10% defect amount that we retain for a year after the project is completed to cover defects eg dead trees (and then that would be returned if no "defects").

Our main concern is that the fencing and landscaping is installed as shown in your plans and then the trees maintained adequately to achieve the screening- and since the FEMA agreement does not explicitly cover the landscaping nor does the letter from the owner I think we would prefer that a performance guarantee is posted.

I may be able to convince colleagues to have the PG just cover the landscaping if you could show the extra fencing (around the outside generator) is covered by the documentation.

Or if you can document that the landscaping is definitely covered by the Federal funding and would include maintenance, then we could seek a waiver from senior managers but that might take a bit more time.

Thank you  
Jean

>>> "Denise Brown" <Denise.Brown@kbr.com> 2/27/2013 10:30 AM >>>  
Good morning Jean,

I received the Performance Guarantee information and have a few questions. Since this is a project paid for with federal dollars, do we still need to do the performance guarantee? If so, what all do we need to cover with the performance guarantee? From the checklist, it looks like earthwork, landscaping and erosion control may be all that apply.

Thank you!

Denise Brown, P.E.  
**KBR**  
63 S. Royal Street, Suite 200  
Mobile, AL 36602  
251-450-7920  
[denise.brown@kbr.com](mailto:denise.brown@kbr.com)

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# PORTLAND MAINE

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**Planning & Urban Development Department**  
Jeff Levine, AICP, Director

**Planning Division**  
Alexander Jaegerman, FAICP, Director

February 12, 2013

Darcy Bingham  
FEMA  
500 C Street, SW  
Washington, D.C. 20472

Denise Brown, P.E. and Mike Mullen  
KBR  
63 South Royal Street, Suite 200  
Mobile, AL 36602

Project Name: Level 1 Site Alteration: **FEMA Equipment Installation**  
ID Number: 2012 -643  
Address: 236 Lane Avenue, Portland, ME 04103  
(owned by Saga Communication of New England)  
CBL: 302 A006001  
Applicant: FEMA (Darcy Bingham)  
Planner: Jean Fraser

Dear Madam/Sir:

On February 12, 2013, the Planning Authority approved with conditions a Level I: Site Alteration site plan for the installation of a transmitter module, two generators, and a 6000 gallon fuel tank immediately adjacent the existing radio transmitter building at 236 Lane Avenue. The equipment is associated with a Loan Agreement between FEMA and Saga Communication of New England to provide power for radio transmission during major emergencies.

The approval is based on the application including the May, 2012 FEMA Equipment Loan Agreement with Saga Communication of New England LLC; KBR letter dated January 24, 2013; letter from Saga Communication of New England LLC dated February 6, 2013; and plans G-001, G-101, C-101, C-102, C-103, C-301, S-502 all dated 1.16.2013 and plan S-102 dated 1.22.2013 as submitted by KBR.

## SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

1. That the applicant shall contribute \$310 to the Capisic Brook Watershed water quality treatment program to address the required mitigation of project storm water quality impacts; and
2. That in the event that the license/agreement should lapse/not be renewed, the Planning Authority must be notified and will determine whether or not additional review is necessary; and

has  
been  
paid for.



**SUBDIVISION/SITE DEVELOPMENT**  
**Cost Estimate of Improvements to be covered by Performance Guarantee**

Date: 5/29/13

Name of Project: WGAN Emergency Radio Network-Emergency Generator  
 Address/Location: 236 Lane Avenue Portland, ME 04103  
 Application ID #: Kellogg Brown & Root Services, Inc 2451 Crystal Drive, Suite 675  
 Developer: Arlington, VA 22202  
 Form of Performance Guarantee: Escrow Account

Type of Development: Subdivision Emergency Site Plan (Level I, II or III) \_\_\_\_\_  
Generator

**TO BE FILLED OUT BY THE APPLICANT:**

<u>Item</u>	<u>PUBLIC</u>			<u>PRIVATE</u>		
	<u>Quantity</u>	<u>Unit Cost</u>	<u>Subtotal</u>	<u>Quantity</u>	<u>Unit Cost</u>	<u>Subtotal</u>
1. STREET/SIDEWALK						
Road/Parking Areas	_____	_____	_____	_____	_____	_____
Curbing	_____	_____	_____	_____	_____	_____
Sidewalks	_____	_____	_____	_____	_____	_____
Esplanades	_____	_____	_____	_____	_____	_____
Monuments	_____	_____	_____	_____	_____	_____
Street Lighting	_____	_____	_____	_____	_____	_____
Street Opening Repairs	_____	_____	_____	_____	_____	_____
Other	_____	_____	_____	_____	_____	_____
2. EARTH WORK						
Cut	_____	_____	_____	500 CY	18.00	9,000.00
Fill	_____	_____	_____	335 CY	25.00	8,375.00
3. SANITARY SEWER						
Manholes	_____	_____	_____	_____	_____	_____
Piping	_____	_____	_____	_____	_____	_____
Connections	_____	_____	_____	_____	_____	_____
Main Line Piping	_____	_____	_____	_____	_____	_____
House Sewer Service Piping	_____	_____	_____	_____	_____	_____
Pump Stations	_____	_____	_____	_____	_____	_____
Other	_____	_____	_____	_____	_____	_____
4. WATER MAINS	_____	_____	_____	_____	_____	_____
5. STORM DRAINAGE						
Manholes	_____	_____	_____	_____	_____	_____
Catchbasins	_____	_____	_____	_____	_____	_____
Piping	_____	_____	_____	_____	_____	_____
Detention Basin	_____	_____	_____	_____	_____	_____
Stormwater Quality Units	_____	_____	_____	_____	_____	_____
Other	_____	_____	_____	_____	_____	_____

DEVELOPMENT REVIEW COORDINATOR  
POST APPROVAL PROJECT CHECKLIST

Date: 2/15/13

Project Name: FEMA Equipment Installation

Project Address: 236 Lane Ave.

Site Plan ID Number: 2012-643

Planning Board/Authority Approval Date: 2/12/13

Site Plan Approval Date: ~~6/5/13~~ 2/12/13

Performance Guarantee Accepted: 6/5/13

Inspection Fee Paid: 6/5/13

Infrastructure Contributions Paid: 2/13/13 Urban Impaired Stream Contribution

Amount of Disturbed Area in SF or Acres: 3,900 SF

MCGP/Chapter 500 Stormwater PBR: N/A < 1 acre

Plans/CADD Drawings Submitted: N/A

Pre-Construction Meeting: 6/12/13

Conditions of Approval Met: 9/4/13

As-Builts Submitted: N/A

Public Services Sign Off: 8/28/13

Certificate of Occupancy Memo Processed:  
(Temporary or Permanent) 8/28/13

Performance Guarantee to Defect Guarantee: 8/28/13

Defect Guarantee Released: 9/2/14

Memorandum  
Department of Planning and Development  
Planning Division

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TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: August 28, 2013

RE: C. of O. for # 236 Lane Avenue, FEMA Equipment Installation  
Project  
(Id # 2012-643) (CBL 302 A 006001)

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After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Tammy Munson, Inspection Services Manager  
Barbara Barhydt, Development Review Services Manager