

302-A-6

236 Lane Avenue

Site Alteration

FEMA (Darcy Bingham

#2012-643



PORTLAND MAINE

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Planning & Urban Development Department
Jeff Levine, AICP, Director

Planning Division
Alexander Jaegerman, FAICP, Director

February 12, 2013

Darcy Bingham
FEMA
500 C Street, SW
Washington, D.C. 20472

Denise Brown, P.E. and Mike Mullen
KBR
63 South Royal Street, Suite 200
Mobile, AL 36602

Project Name: Level 1 Site Alteration: **FEMA Equipment Installation**
ID Number: 2012 -643
Address: 236 Lane Avenue, Portland, ME 04103
(owned by Saga Communication of New England)
CBL: 302 A006001
Applicant: FEMA (Darcy Bingham)
Planner: Jean Fraser

Dear Madam/Sir:

On February 12, 2013, the Planning Authority approved with conditions a Level I: Site Alteration site plan for the installation of a transmitter module, two generators, and a 6000 gallon fuel tank immediately adjacent the existing radio transmitter building at 236 Lane Avenue. The equipment is associated with a Loan Agreement between FEMA and Saga Communication of New England to provide power for radio transmission during major emergencies.

The approval is based on the application including the May, 2012 FEMA Equipment Loan Agreement with Saga Communication of New England LLC; KBR letter dated January 24, 2013; letter from Saga Communication of New England LLC dated February 6, 2013; and plans G-001, G-101, C-101, C-102, C-103, C-301, S-502 all dated 1.16.2013 and plan S-102 dated 1.22.2013 as submitted by KBR.

SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

1. That the applicant shall contribute \$310 to the Capisic Brook Watershed water quality treatment program to address the required mitigation of project storm water quality impacts; and
2. That in the event that the license/agreement should lapse/not be renewed, the Planning Authority must be notified and will determine whether or not additional review is necessary; and

3. That the testing of the 75-80kW generator shall take place between the hours of 9am and 4pm Monday through Friday, no more than one time per week and for a duration of up to 1 hour; and
4. That the testing of the 35kW generator shall take place between the hours of 7am and 9pm Monday through Friday, no more than one time per week and for a duration of up to 1 hour; and
5. That the sound levels of the generators during tests and normal operation shall not exceed the maximum noise allowances of the B-4 zone; and
6. That all necessary Federal, State and local permits and approvals shall be obtained prior to use/operation of the equipment, including a Maine State Fire Marshall permit for the above-ground fuel tank.

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STANDARD CONDITIONS OF APPROVAL

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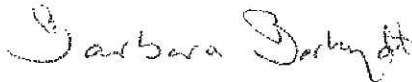
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4. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
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7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
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The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator (Phil diPierro) can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874- 8728.

Sincerely,



Barbara Barhydt
Acting Planning Division Director

Attachment: Performance Guarantee Packet

CC:

Jeff Levine, AICP, Director of Planning and Urban Development
Alexander Jaegerman, FAICP, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator, Planning
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Thomas Errico, P.E., TY Lin Associates
David Senus, P.E., Woodard and Curran
Rick Blackburn, Assessor's Department
Approval Letter File

Jean Fraser - RE: Re: FEMA Equipment Installation WGAN

From: "Denise Brown" <Denise.Brown@kbr.com>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 3/12/2013 12:07 PM
Subject: RE: Re: FEMA Equipment Installation WGAN
CC: "Philip DiPierro" <PD@portlandmaine.gov>

Jean,

We just had the pre-bid walk-thru with potential contractors. Construction is currently estimated to start in mid-April. The contractor will be submitting the performance guarantee.

We still need to complete the building permit process. We are waiting on the generator vendor data so we can remove the "hold" from the foundation drawings. I'm hoping to have that soon.

Denise Brown, P.E.
KBR
63 S. Royal Street, Suite 200
Mobile, AL 36602
251-450-7920
denise.brown@kbr.com

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Tuesday, March 12, 2013 10:30 AM
To: Denise Brown
Cc: Philip DiPierro
Subject: Fwd: Re: FEMA Equipment Installation WGAN

Hello Denise

I was wondering if you could let me know where things stand regarding this project.

The performance guarantee is mainly for the erosion control and the landscaping, and it is the long term viability of the landscaping that is of primary concern given the proximity of residential properties.

The process usually is that you would send in an estimate of the cost of these items and agree it with us, and then would post the guarantee as an escrow account (or letter of credit) that would be returned/drawn down in due course as the work is completed.

My colleague Phil diPierro (copied on this e-mail; 207 874 8632) handles the performance guarantee and the preconstruction meeting on site - and in any case I would like to advise him of the timetable on this project.

Thank you
Jean

>>> Jean Fraser 2/27/2013 4:14 PM >>>
Denise



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February 12, 2013

Darcy Bingham
FEMA
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Planner: Jean Fraser

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Pl. file copy
emailed to KBR on 2-13-13

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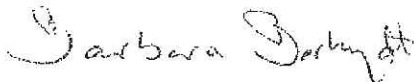
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Approval Letter File

Jean Fraser - Re: FEMA Equipment Installation WGAN

From: Jean Fraser
To: Brown, Denise
Date: 2/27/2013 4:14 PM
Subject: Re: FEMA Equipment Installation WGAN

Denise

I have consulted with senior colleagues here who generally handle these kinds of questions.

What you have listed are all of the items that the performance guarantee covers. Once the items are installed / constructed /planted the performance guarantee would get returned except a 10% defect amount that we retain for a year after the project is completed to cover defects eg dead trees (and then that would be returned if no "defects").

Our main concern is that the fencing and landscaping is installed as shown in your plans and then the trees maintained adequately to achieve the screening- and since the FEMA agreement does not explicitly cover the landscaping nor does the letter from the owner I think we would prefer that a performance guarantee is posted.

I may be able to convince colleagues to have the PG just cover the landscaping if you could show the extra fencing (around the outside generator) is covered by the documentation.

Or if you can document that the landscaping is definitely covered by the Federal funding and would include maintenance, then we could seek a waiver from senior managers but that might take a bit more time.

Thank you
Jean

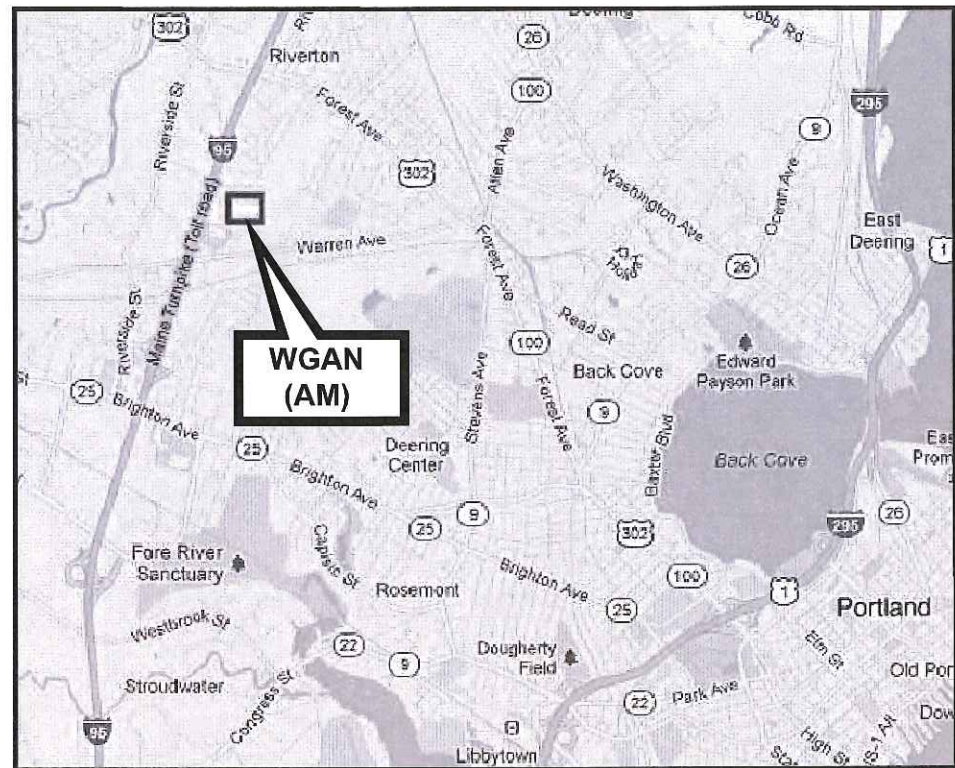
>>> "Denise Brown" <Denise.Brown@kbr.com> 2/27/2013 10:30 AM >>>
Good morning Jean,

I received the Performance Guarantee information and have a few questions. Since this is a project paid for with federal dollars, do we still need to do the performance guarantee? If so, what all do we need to cover with the performance guarantee? From the checklist, it looks like earthwork, landscaping and erosion control may be all that apply.

Thank you!

Denise Brown, P.E.
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63 S. Royal Street, Suite 200
Mobile, AL 36602
251-450-7920
denise.brown@kbr.com

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VICINITY MAP



PROJECT AERIAL VIEW
SEE SITE PLAN, DWG G-101

FEMA EMERGENCY RADIO NETWORK WGAN PORTLAND, MAINE

WGAN TRANSMITTER SITE
236 LANE AVENUE
PORTLAND, ME 04103
CUMBERLAND COUNTY

INDEX

- G-001 VICINITY MAP AND INDEX
- G-101 SITE PLAN
- C-101 STORMWATER MANAGEMENT PLAN
- C-102 CIVIL PLAN
- C-103 LANDSCAPING PLAN
- C-301 CIVIL SECTIONS
- S-001 STRUCTURAL GENERAL NOTES
- S-101 FOUNDATION AND FENCE PLAN
- S-102 SITE GENERATOR FOUNDATION PLAN
- S-301 MISCELLANEOUS SECTIONS
- S-501 MISCELLANEOUS DETAILS
- S-502 SIGN AND FENCE DETAILS
- M-101 MECHANICAL PLAN
- M-201 MECHANICAL FUEL SYSTEM ELEVATIONS
- M-501 MECHANICAL FUEL PIPING DETAILS
- M-601 FUEL SYSTEM P&ID
- E-101 ELECTRICAL SITE PLAN
- E-102 ELECTRICAL GROUNDING PLAN
- E-103 ELECTRICAL POWER PLAN
- E-104 GROUNDING AND POWER PLAN
- E-105 GROUNDING AND POWER PLAN
- E-401 TRANSMITTER / GENERATOR ELECTRICAL PANEL SCHEDULES
- E-402 TRANSMITTER / GENERATOR ELECTRICAL RISER DIAGRAM
- E-403 ELECTRICAL SCHEDULES
- E-404 TRANSMITTER / GENERATOR UPS / TIME DELAY DIAGRAM
- E-501 INSTALLATION DETAILS
- E-502 INSTALLATION DETAILS
- E-503 INSTALLATION DETAILS
- E-504 INSTALLATION DETAILS

REFERENCED BUILDING CODES

- CITY OF PORTLAND TECHNICAL MANUAL 2010
- MAINE UNIFORM BUILDING CODE 2010
- INTERNATIONAL BUILDING CODE 2009
- INTERNATIONAL MECHANICAL CODE 2009
- ASCE 7-05
- NFPA 30, 2008 EDITION
- NATIONAL ELECTRIC CODE, 2008 EDITION
- NFPA 101 LIFE SAFETY CODE, 2009 EDITION

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2-12-2013

*Note - rest of sets circ.
6.6.13 as that was when
Perf. Guarantee posted*

*#5
in explain*

*PLANNING file
set*

*FEMA APPROVED
PLANS
#2012-643
236 Lane Ave*

*Submitted
1-24-13*



Project Manager	
CD Designer	
Applicator	
Structural	
Mechanical	
Electrical	
Civil	

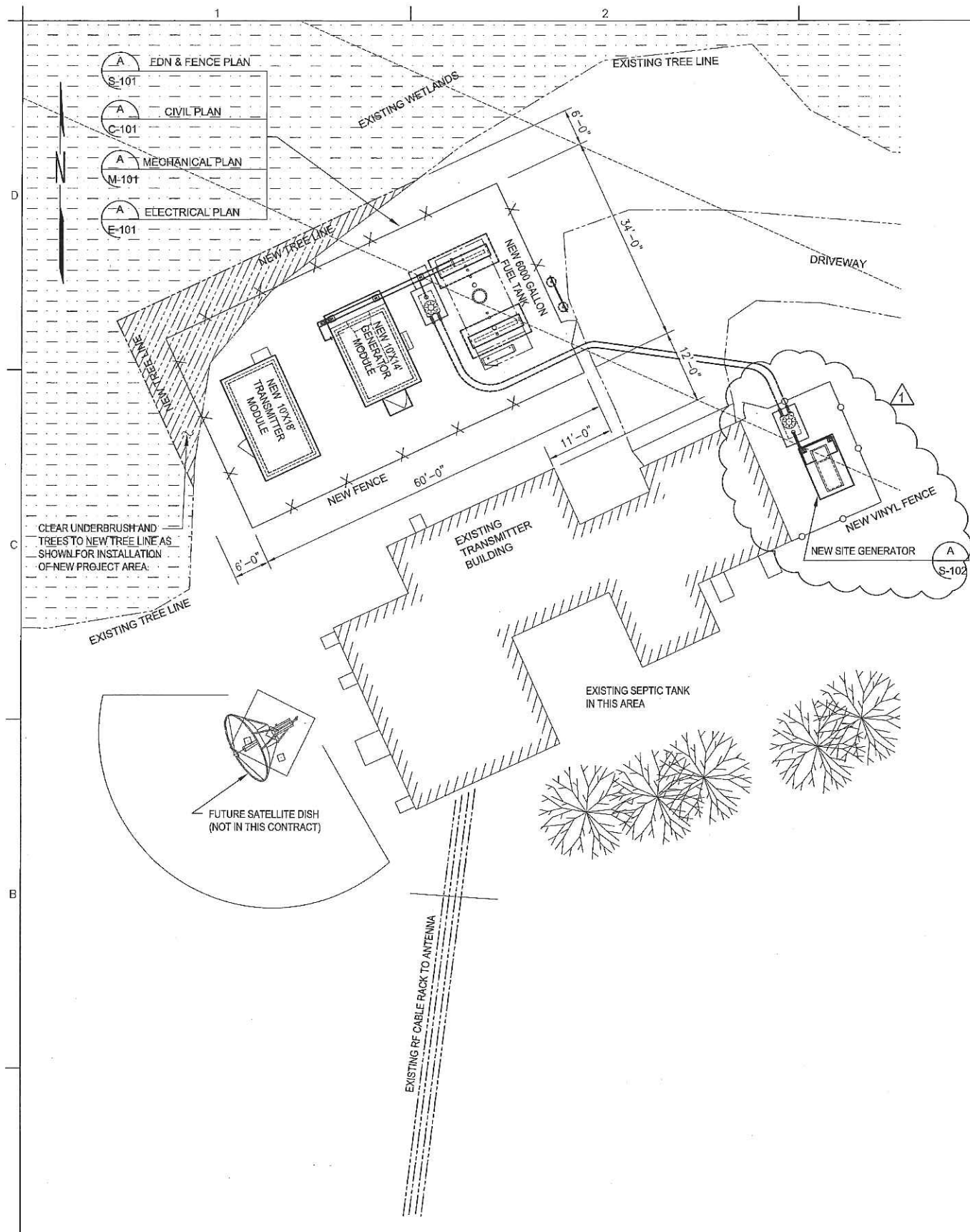
Issue				
1	ASCE LANDSCAPING PLAN USED FOR CONSTRUCTION	01/18/13	11/17/13	Mark
0				

Designed by	DCB
Drawn by	RAM
Checked by	MLM
Reviewed by	DCB
Date:	2012

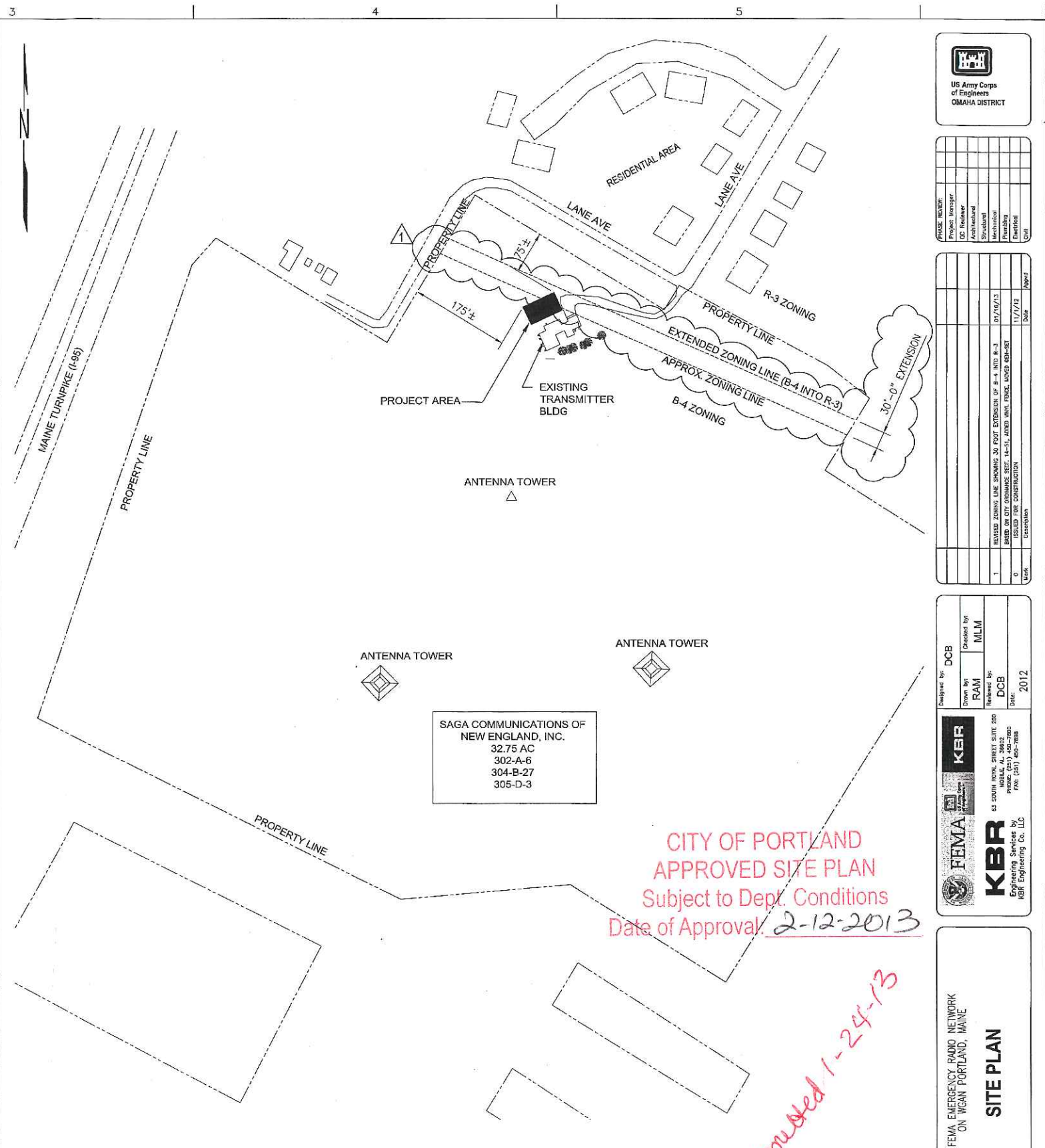


FEMA EMERGENCY RADIO NETWORK
ON WGAN PORTLAND, MAINE
COVER SHEET
VICINITY MAP AND INDEX

Drawing Number:
G-001



1 STATION WGAN - SITE PLAN
G-001 SCALE: 1"=10'-0"

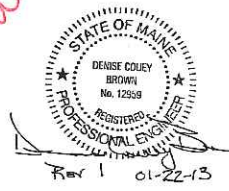


WGAN PROPERTY PLAN
SCALE: 1"=100'



CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2-12-2013

Submitted 1-24-13



Project Number	
DC Reviewer	
Architectural	
Mechanical	
Electrical	
Civil	

Revised					
1	REVISED ZONING LINE SHOWING 30 FOOT EXTENSION OF B-4 INTO R-3. SHOWN BY CITY ORDINANCE SEC. 14-51. ASSESSOR'S MAP FILED 11/17/13. ISSUED FOR CONSTRUCTION.	01/22/13	11/17/13	Sub	Approved
0					
	Description	Work	Date		

Designed by:	DCB
Drawn by:	RAM
Checked by:	MLM
Reviewed by:	DCB
Date:	2012

43 SOUTH ROYAL STREET SUITE 200
PORTLAND, ME 04102
PHONE: (207) 761-7800
FAX: (207) 761-7801

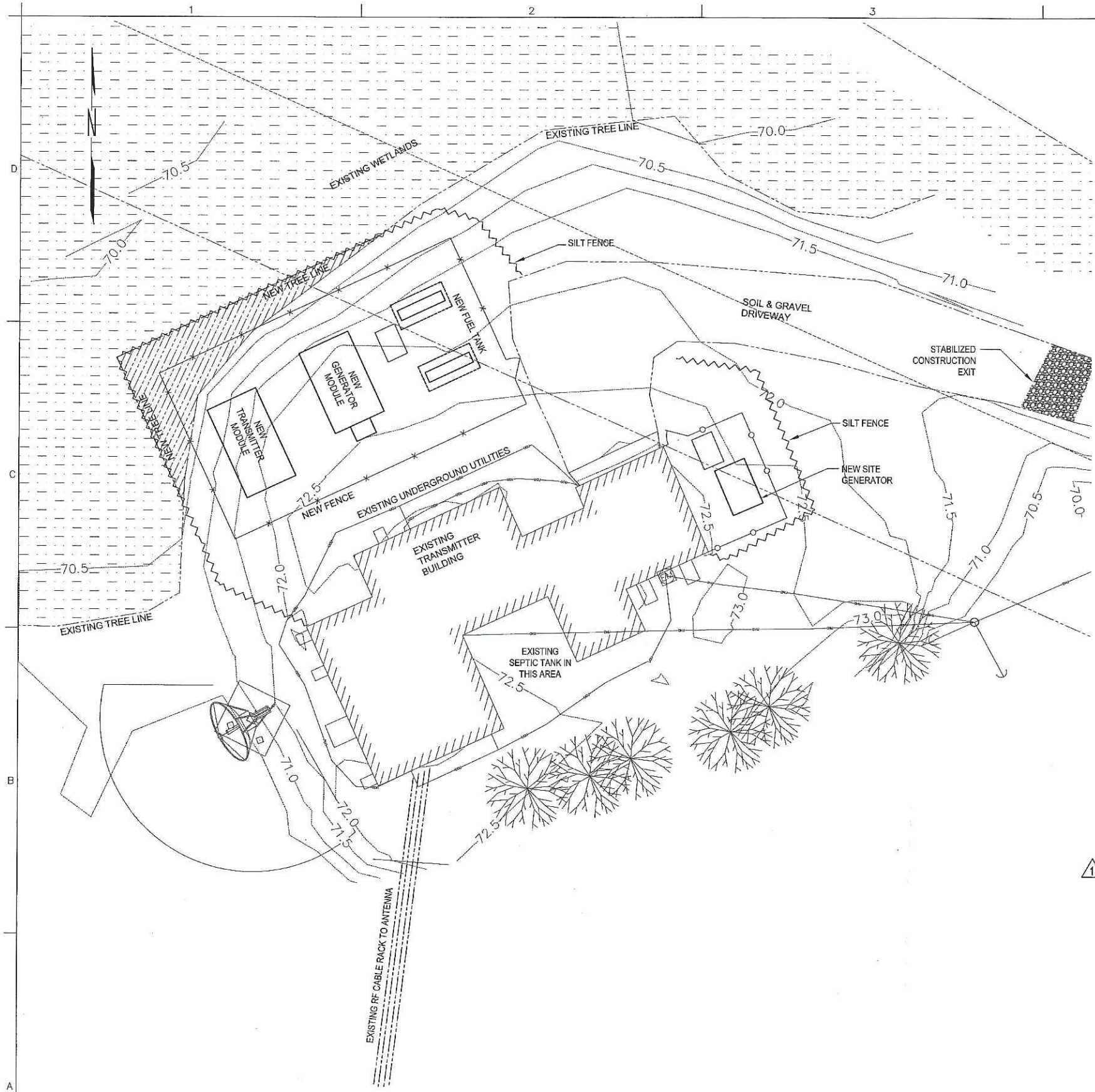
KBR
Engineering Services by
KBR Engineering Co. LLC

FEMA
KBR

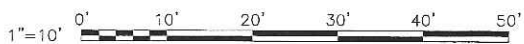
FEMA EMERGENCY RADIO NETWORK
ON WGAN PORTLAND, MAINE

SITE PLAN

Drawing Number:
G-101



1 STATION WGAN - SITE PLAN
G-001 SCALE: 1"=10'-0"



STORM WATER QUALITY NOTES - CONSTRUCTION BMP'S

1. THIS PROJECT SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
2. SUFFICIENT BMP'S SHALL BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
3. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVERAL CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SETTLEMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
4. CONTRACTOR SHALL FIELD ADJUST AND PROVIDE ADDITIONAL SEDIMENT CONTROL MEANS AT NO ADDITIONAL COST TO OWNER IF WARRANTED BY FIELD CONDITIONS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
7. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURES OR COVERED BY WEED CONTROL FABRIC AND CRUSHED STONE, SHALL BE TREATED WITH HYDROSEED, SOD OR EQUIVALENT. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS.
8. ALL EROSION / SETTLEMENT CONTROL FACILITIES SHALL BE MAINTAINED IN WORKING ORDER AND AS SPECIFIED BY THE STATE ENVIRONMENTAL AGENCY. THESE FACILITIES SHALL BE INSPECTED AFTER EVERY PRECIPITATION EVENT. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY. ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE DEVICES FUNCTIONAL. IN ALL CASES, REMOVE DEPOSITS WHERE ACCUMULATIONS REACH 3" ABOVE GRADE. ALL UNDERCUTTING OR EROSION OF THE TOE ANCHOR WILL BE REPAIRED IMMEDIATELY WITH COMPACTED BACKFILL MATERIALS. ADHERE TO ANY MANUFACTURER'S RECOMMENDATIONS.
9. ANY CONTROL STRUCTURE DISTURBED DURING DAILY OPERATIONS SHALL BE REPAIRED, REPLACED OR RECONSTRUCTED AS REQUIRED UPON COMPLETION OF THE WORK DAY.
10. THE CONTRACTOR WILL BE RESPONSIBLE DURING CONSTRUCTION AND FOR ONE YEAR FOR MAINTAINING THE E&S MEASURES TO INSURE COMPLIANCE WITH THE APPROVED PLAN AND THE APPLICABLE REGULATIONS OF THE STATE.
11. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 13 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2.5 TO 3 TONS PER ACRE. ANY STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED DAILY.

SITE AREA

THE PROPOSED CONSTRUCTION PROJECT SHALL IMPACT APPROXIMATELY 0.09 ACRES (510 SF OF CONCRETE, 2250 SF OF GRAVEL GROUND COVER AND 1100 SF OF GRASS). GRADING PROPOSED ON THIS SITE AND POTENTIAL WETLAND IMPACT WILL BE IN ACCORDANCE WITH DWG C-102.

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP 2300510006C, THE SITE IS OUTSIDE THE 500-YEAR FLOODPLAIN.

PLANNING AND ORGANIZATION

DURING CONSTRUCTION, THE KBR SITE MANAGER WILL OVERSEE THE IMPLEMENTATION AND MAINTENANCE OF THE STORMWATER PLAN.

BEST MANAGEMENT PRACTICES

1. SILT FENCE - THE CONSTRUCTION SITE WILL BE SURROUNDED BY A SILT FENCE TO PREVENT RUNOFF OF SEDIMENT.
2. STABILIZED CONSTRUCTION EXIT - A GRAVEL CONSTRUCTION EXIT WILL PREVENT DISPERSION OF SEDIMENT ONTO NEARBY ROADS.
3. WATER QUALITY TREATMENT - 4" LAYER OF CRUSHED STONE OVER AN 18" LAYER OF CLEAN GRANULAR GRAVEL (MDOT 703.06 TYPE A)

ALL BMP'S SHALL BE IN ACCORDANCE WITH THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION PUBLICATION "MAINE EROSION AND SEDIMENT CONTROL BMP'S".

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2-12-2013

Submitted 1-24-13



Project Manager	
DC Designer	
Production	
Checklist	
Plumbing	
Electrical	
Other	

1	ADDED WATER QUALITY TREATMENT MEASURES	01/24/13	
0	USED FOR CONSTRUCTION	11/17/12	
	Description	Date	Mark

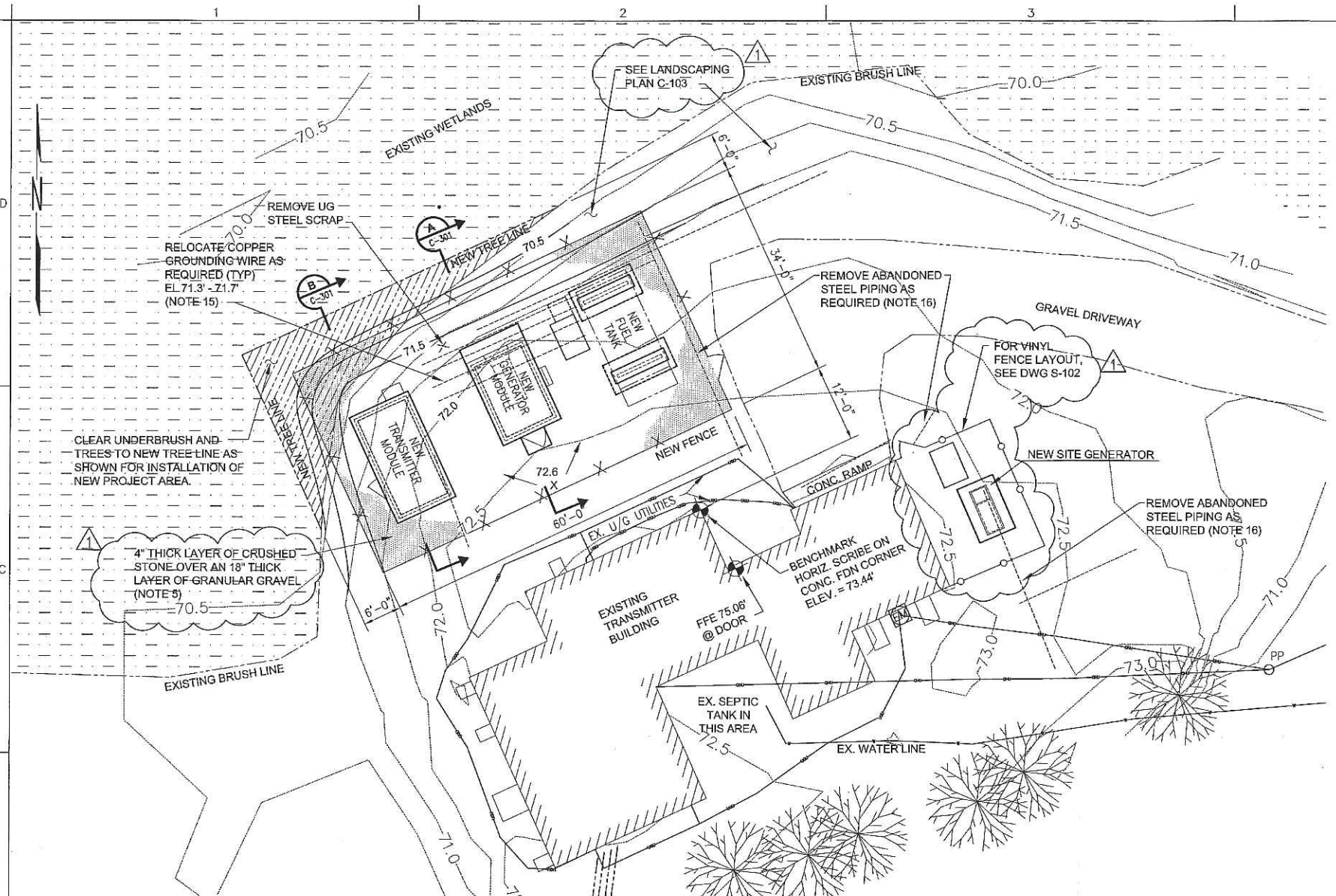
Drawn by:	RAM
Checked by:	MLM
Reviewed by:	DCB
Date:	2012

31 SOUTH ROYAL STREET SUITE 200
 NASHUA, NH 03062
 TEL: (603) 883-1100
 FAX: (603) 429-7488

FEMA EMERGENCY RADIO NETWORK
ON WGAN PORTLAND, MAINE

STORMWATER MANAGEMENT PLAN

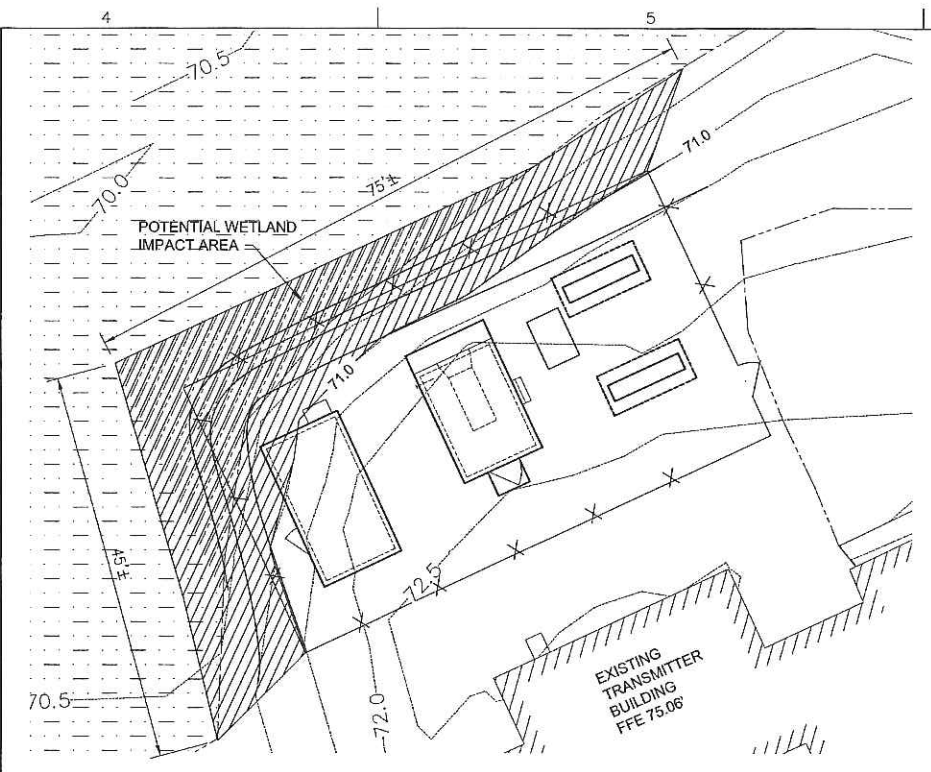
Drawing Number:
C-101



1 STATION WGAN - SITE PLAN
G-001 SCALE: 1"=10'-0"

NOTES:

- SITE PREPARATION, EXCAVATION, AND BACKFILLING SHALL BE ACCOMPLISHED PER THE PLANS, SPECIFICATION 31 23 00.00 20, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT BY SCHONEWALD ENGINEERING ASSOCIATES INC. DATED AUGUST 2012. GEOTECHNICAL SERVICES DURING CONSTRUCTION INCLUDING OBSERVATION AND TESTING OF THE EXCAVATIONS, BACKFILL AND COMPACTION, SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- EXISTING SOILS SHOULD BE OVEREXCAVATED TO 2 FEET BELOW THE SPECIFIED BOTTOM OF FOOTING ELEVATION TO ACCOMMODATE FOR A LAYER OF 2 FEET THICK CRUSHED STONE BEDDING MATERIAL. THE STONE SHOULD BE WRAPPED IN A NON-WOVEN GEOTEXTILE FABRIC. SEE SPECIFICATION 31 23 00.00 20 FOR STONE AND FABRIC MATERIALS.
- DURING DRILLING, GROUNDWATER WAS ENCOUNTERED AT AN APPROXIMATE DEPTH OF 9 FEET BELOW GRADE. POSITIVE DRAINAGE SHALL BE MAINTAINED DURING CONSTRUCTION. CONSTRUCTION DEWATERING MAY BE REQUIRED AND MUST BE PRESERVE THE UNDISTURBED CONDITION OF THE SUBGRADE.
- MAINTAIN UNIFORM MOISTURE CONDITIONS IN THE EXPOSED SUBGRADE SOILS PRIOR TO CONSTRUCTION OF THE FOUNDATION. A 3 INCH THICK SEAL SLAB IS REQUIRED OVER THE BASE OF THE EXCAVATION IF FOUNDATIONS ARE NOT PLACED THE SAME DAY THE EXCAVATION IS COMPLETED.
- 4 INCHES OF CRUSHED STONE OVER 18 INCHES (MINIMUM) OF GRANULAR GRAVEL SHALL BE PLACED WITHIN FENCED AREA AS SHOWN ON THE DRAWINGS. CRUSHED STONE SHALL BE CLEAN AND CONFORM TO ASTM C 33 COARSE AGGREGATE GRADING SIZE 4 (1 1/2" - 3/4"). GRANULAR GRAVEL (STRUCTURAL FILL) SHALL BE CLEAN AND CONFORM TO MDOT 703.06 TYPE A. WEED CONTROL FABRIC SHALL BE PLACED BETWEEN THE CRUSHED STONE AND THE GRANULAR GRAVEL, AND EXTEND 1 FOOT BEYOND FENCE LINE TO ALLOW GRAVEL TO TAPER TO EXISTING GRADE.
- WHERE THE PROPOSED DUCTBANK OR FUEL LINE CROSSES THE EXISTING DRIVEWAY/PARKING AREA, 4 INCHES OF CRUSHED STONE SHALL BE PLACED OVER THE BACKFILLED TRENCHES. WHERE THE DUCTBANK AND FUEL LINE CROSS AN EXISTING GRASSSED AREA, TOPSOIL AND SEEDING SHALL BE PLACED OVER THE COMPACTED BACKFILL. DISTURBED AREAS AROUND THE PROPOSED GENSET AND SUMP SHALL BE SEEDED OR SODDED WITH 3" MINIMUM TOPSOIL. FOR DUCTBANK SECTION, SEE DWG E-504. FOR FUEL LINE TRENCH DETAIL, SEE DWG M-501. FOR TRENCH BACKFILL, SEE SPECIFICATION 31 23 00.00 20.
- FOLLOWING CONSTRUCTION OF FOUNDATIONS, THE SITE ELEVATION SHALL BE REPLACED TO EXISTING GRADE EXCEPT WHERE NOTED ON DRAWINGS. AREA MUST BE GRADED TO DRAIN WITH NO AREAS OF STANDING WATER PRIOR TO INSTALLATION OF GRAVEL.
- THE PROPOSED ELEVATIONS SHOWN ARE TOP OF GRADE. THE CRUSHED STONE WILL BE PLACED OVER THIS GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL DEVICES REQUIRED BY STATE AND LOCAL CODES, LAWS AND REGULATIONS. REFER TO DWG C-101.
- WETLANDS ARE LOCATED ON THE SUBJECT PROPERTY. THE WETLANDS ARE NOT TO BE IMPACTED IN ANY WAY DURING CONSTRUCTION EXCEPT AS NOTED. THE WETLANDS SHOWN ARE NOT DELINEATED AND ARE BASED ON THE U.S. FISH AND WILDLIFE WETLANDS INVENTORY, ELEVATION AND THE EXISTING BRUSH LINE.
- TOPOGRAPHIC SURVEY DATA FOR PROJECT SITE PROVIDED BY SEBAGO TECHNICS, INC. SEE SURVEY PLAN DATED JULY 2012. COORDINATES AND BEARINGS ARE REFERENCED TO GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 1802 (NAD 83). THE VERTICAL DATUM SHOWN IS NAVD 88.
- GEOPHYSICAL DATA FOR THE PROJECT PROVIDED BY HAGER-RICHTER GEOSCIENCE, INC. SEE REPORT DATED JULY 2012 IN APPENDIX D OF THE GEOTECHNICAL REPORT.
- FOR FOUNDATION ELEVATIONS, SEE DWG S-301.
- FENCE TO BE IN ACCORDANCE WITH DETAIL ON DWG S-502 AND SPECIFICATION 32 31 13.53.
- CONTRACTOR TO COORDINATE WITH STATION ENGINEER AND ON-SITE PROJECT MANAGER ON LOCATION OF EXISTING ANTENNA GROUNDING SYSTEMS IN ADDITION TO THOSE SHOWN ON THIS DRAWING. GROUNDING WIRES AND/OR CONDUCTORS TO BE RELOCATED AS SHOWN ON THE ELECTRICAL DRAWINGS PRIOR TO EXCAVATION ACTIVITIES.
- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING UNDERGROUND PIPING SHOWN IS NO LONGER IN SERVICE PRIOR TO REMOVAL.

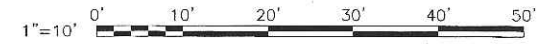
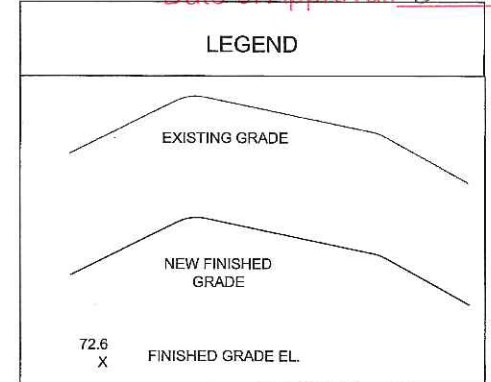


2 WETLANDS IMPACT PLAN
G-001 SCALE: 1"=10'-0"

NOTE - THE LIMITS OF WETLANDS ARE CONSERVATIVELY ASSUMED TO BE ELEVATION 71.0 AND THE IMPACT AREA IS SHOWN ALONG THIS CONTOUR. THE APPROXIMATE TOTAL IMPACT TO THE WETLANDS = 1170 SQ FT WHICH HAS RECEIVED USACE APPROVAL.

ALL EXCAVATION MUST BE CONTAINED WITHIN THE WETLANDS IMPACT LIMITS SHOWN AND COULD POTENTIALLY REQUIRE THE USE OF SHORING IN SOME AREAS.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2-12-2013



Submitted 1-24-13

STATE OF MAINE
DENISE COLBY
BROWN
No. 12959
REGISTERED
PROFESSIONAL ENGINEER
01-22-13

US Army Corps of Engineers
OMAHA DISTRICT

Project Number	DC Reviewer	ASST/Chief	Mechanical	Plumbing	Electrical	Chief

Added	Checked	Date
1	ADD CHANGED STONE AND GRANULAR GRAVEL, REQUIREMENTS, RELATED	8/16/13
0	BUILD FOR CONSTRUCTION	11/17/12
0	OVERSIGHT	

Designed by: DCB
Checked by: M/M
Drawn by: RAM
Reviewed by: DCB
Date: 2012

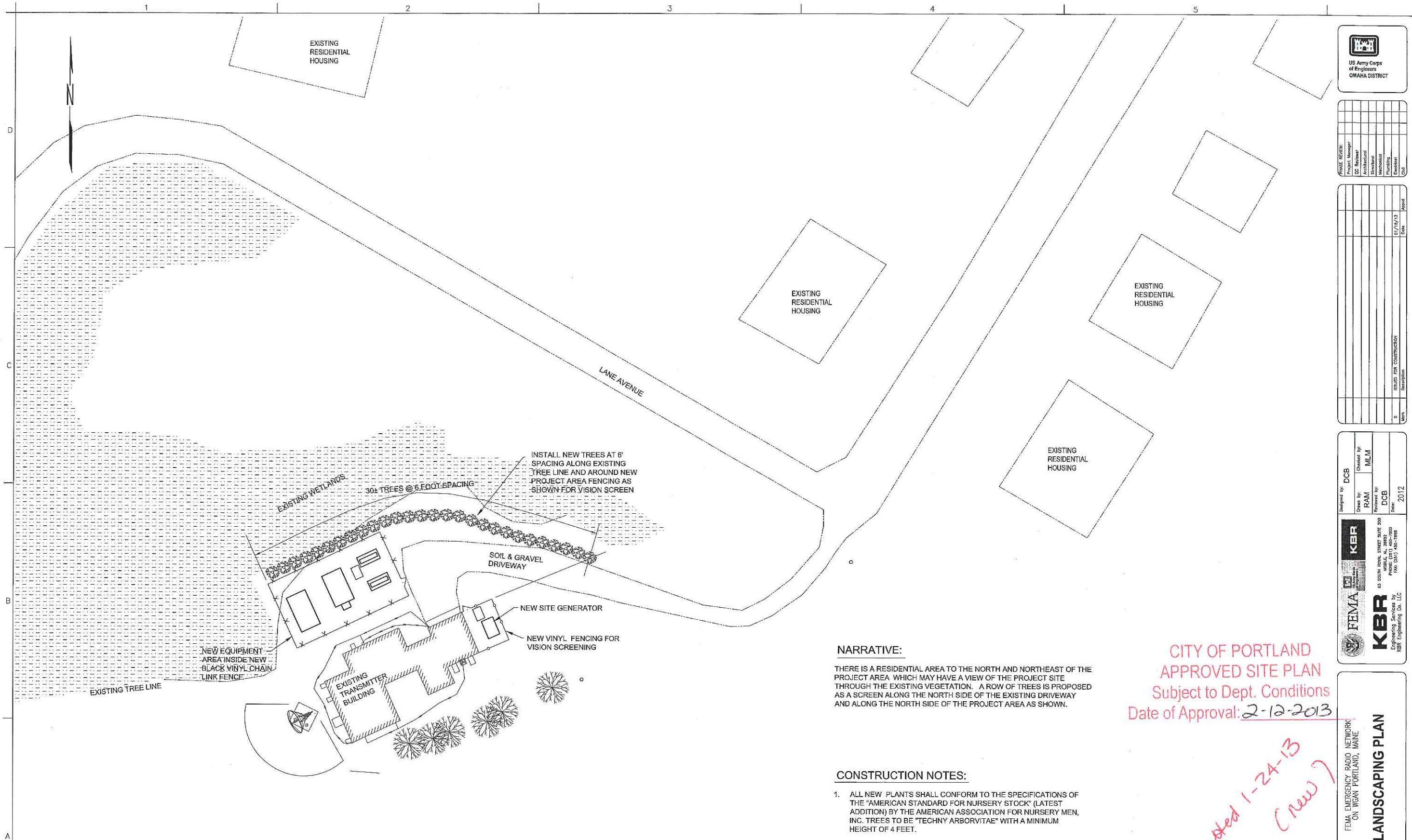
FEMA
KBR
43 SOUTH ROYAL STREET SUITE 200
PORTLAND, ME 04102
PHONE: (207) 761-7800
FAX: (207) 765-7888

Engineering Services by
KBR Engineering Co., LLC

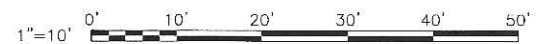
FEMA EMERGENCY RADIO NETWORK
ON WGAN, PORTLAND, MAINE

CIVIL PLAN

Drawing Number:
C-102



1 STATION WGAN - SITE PLAN
G-001 SCALE: 1"=10'-0"



NARRATIVE:

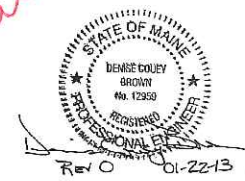
THERE IS A RESIDENTIAL AREA TO THE NORTH AND NORTHEAST OF THE PROJECT AREA WHICH MAY HAVE A VIEW OF THE PROJECT SITE THROUGH THE EXISTING VEGETATION. A ROW OF TREES IS PROPOSED AS A SCREEN ALONG THE NORTH SIDE OF THE EXISTING DRIVEWAY AND ALONG THE NORTH SIDE OF THE PROJECT AREA AS SHOWN.

CONSTRUCTION NOTES:

1. ALL NEW PLANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (LATEST ADDITION) BY THE AMERICAN ASSOCIATION FOR NURSERY MEN, INC. TREES TO BE "TECHNY ARBORVITAE" WITH A MINIMUM HEIGHT OF 4 FEET.
2. THE LAYOUT OF THE TREES SHALL BE APPROVED BY THE SITE MANAGER PRIOR TO PLANTING.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING LOCATIONS OF ANY EXISTING UNDERGROUND UTILITY LINES PRIOR TO PLANTING.
4. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS AND LABOR FOR ONE YEAR.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2-12-2013

*Submitted 1-24-13
(New)*



PHASE REVIEW	Project Manager	DC Review	Architectural	Structural	Mechanical	Plumbing	Electrical	Civil

NO.	DESCRIPTION	DATE	REVISION
1	ISSUED FOR CONSTRUCTION	01/14/13	

Designed by:	DCB	Checked by:	MLM
Drawn by:	RAM	Reviewed by:	DCB
		Date:	2012

KBR
FEMA
KBR Engineering Co., LLC
15 SOUTH RIVINGTON STREET SUITE 200
PORTLAND, MAINE 04106
PHONE (207) 402-7000
FAX (207) 402-7000

FEMA EMERGENCY RADIO NETWORK
ON WGAN PORTLAND, MAINE
LANDSCAPING PLAN

Drawing Number:
C-103

NOTES:

1. FOR CIVIL GENERAL NOTES AND PLAN, SEE DWG C-102.
2. FOR EXCAVATION & BACKFILL REQUIREMENTS, SEE GEOTECHNICAL REPORT AND SPECIFICATION 31 23 00 .00 20.
3. FOR TOP OF CONCRETE ELEVATIONS, SEE DWG S-301.



Project Manager	
DC Reviewer	
Architectural	
Structural	
Mechanical	
Plumbing	
Electrical	
Civil	

1	ADD CRUSHED STONE AND GRANULAR GRAVEL REQUIREMENTS, DELETE DENSED WBC AND DAZZ WBC	01/18/13	
0	SEAL FOR CONSTRUCTION	11/7/12	
Mark	Description	Date	Approved

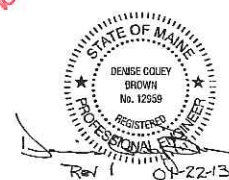
Designed by	DCB
Drawn by	RAM
Checked by	DCB
Reviewed by	CHB
Date:	2012

KBR
 45 SOUTH WYOMING STREET SUITE 200
 PORTLAND, ME 04102
 PHONE: (207) 452-7800
 FAX: (207) 452-7800

FEMA
 Engineering Services by
 KBR Engineering Co. LLC

CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 2-12-2013

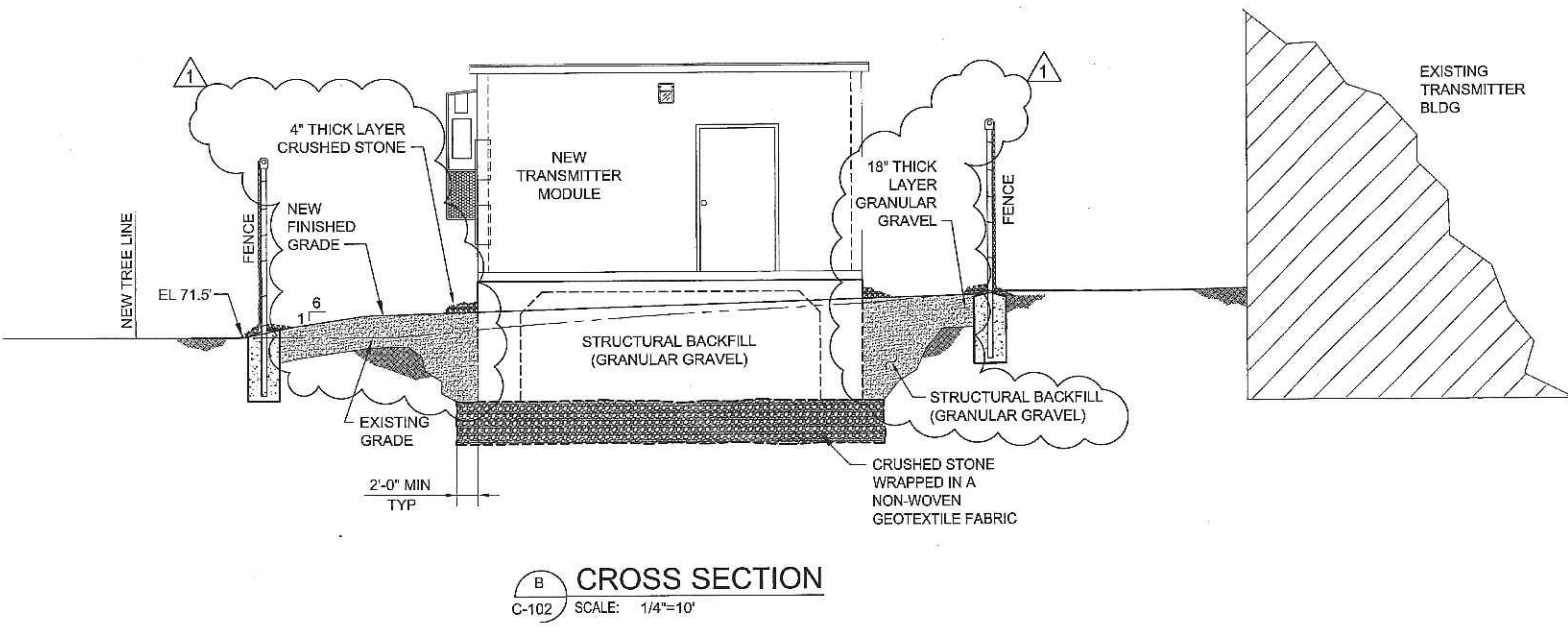
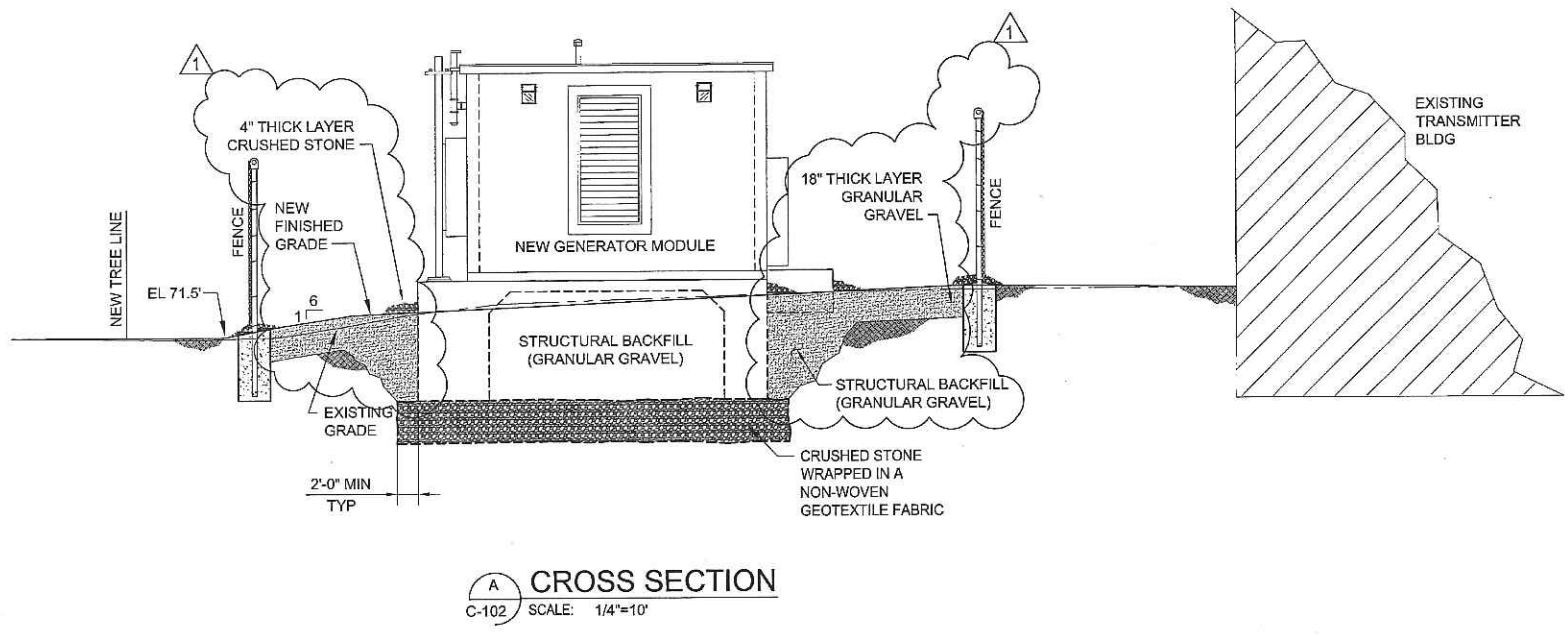
Submitted 1-24-13

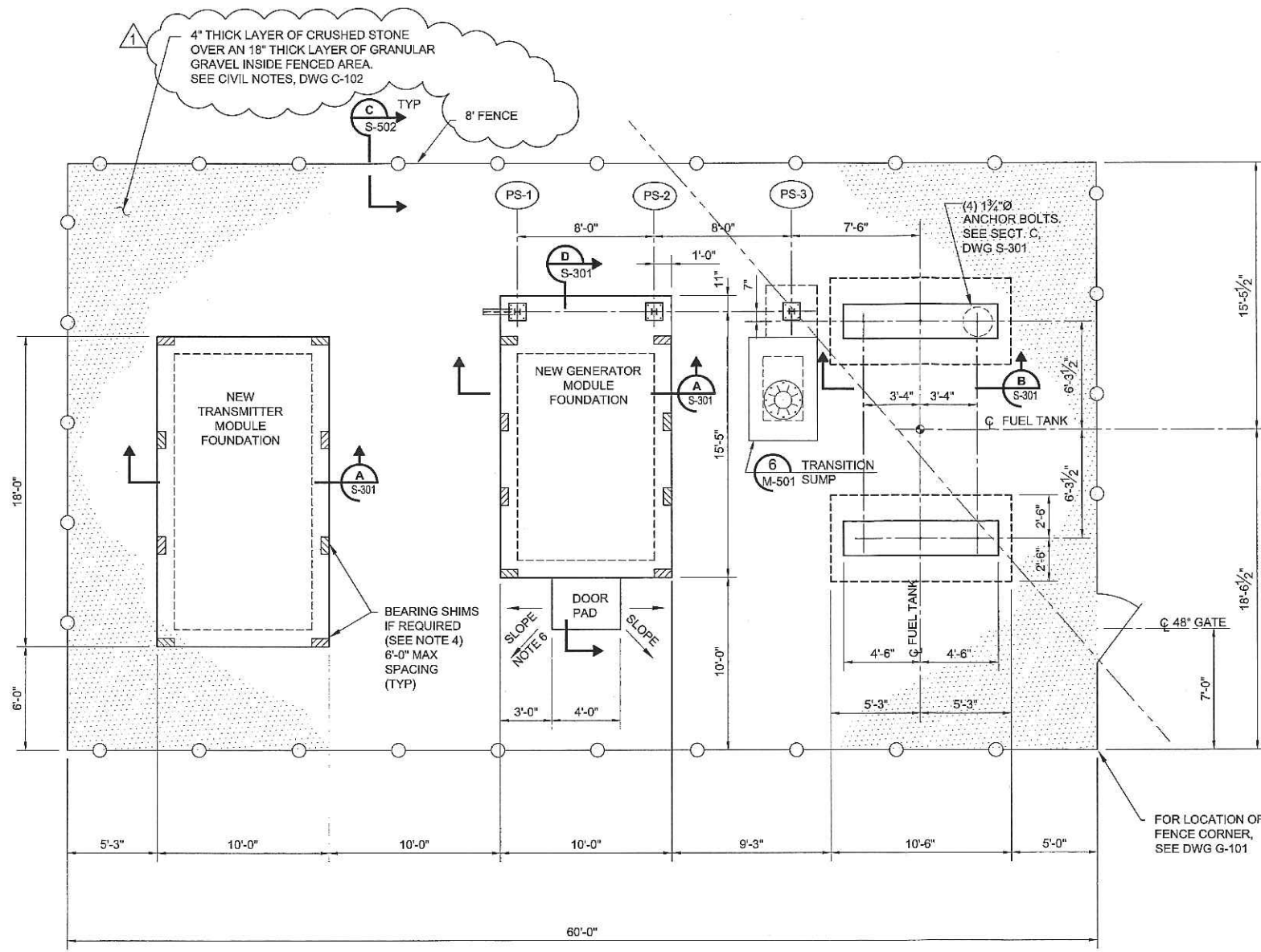


FEMA EMERGENCY RADIO NETWORK
 ON WGAN PORTLAND, MAINE

CIVIL SECTIONS

Drawing Number:
C-301





A FOUNDATION AND FENCE PLAN
 G-101 SCALE: 1/4"=1'-0"



NOTES:

- FOR STRUCTURAL GENERAL NOTES, SEE DWG S-001. FOR CIVIL NOTES, SEE DWG C-102.
- PS-1 PIPE SUPPORT DESIGNATOR. SEE DWG S-501.
- SEE ELECTRICAL DRAWINGS FOR GROUNDING.
- BEARING SHIMS SHALL BE USED AS REQUIRED TO ASSURE PERIMETER BEARING OF GENERATOR AND TRANSMITTER MODULES. BEARING SHIMS PROVIDED WITH MODULE.
- CONTRACTOR TO CONTACT ENGINEER IF WEIGHT OF EQUIPMENT PURCHASED EXCEEDS THE DEAD AND FLUID LOADS SHOWN ON DWG S-001.
- SLOPE FINISHED GRADE AND CRUSHED STONE AWAY FROM DOOR PAD AS SHOWN.



Project Manager	
QC Reviewer	
Architectural	
Structural	
Mechanical	
Electrical	
Other	

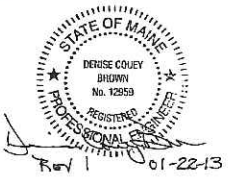
Rev#	Description	Date	Appr
1	ADDED CRUSHED STONE AND GRANULAR GAVEL REQUIREMENTS, DELETED	01/18/13	
0	ISSUED FOR CONSTRUCTION	11/17/12	

Designed by	DCB
Checked by	MILM
Drawn by	RAM
Reviewed by	DCB
Date	2012

FEMA
 65 SOUTH ROYAL STREET SUITE 200
 PORTLAND, MAINE 04101
 PHONE: (207) 450-7600
 FAX: (207) 450-7899

KBR
 Engineering Solutions, LLC
 KBR Engineering Co., LLC

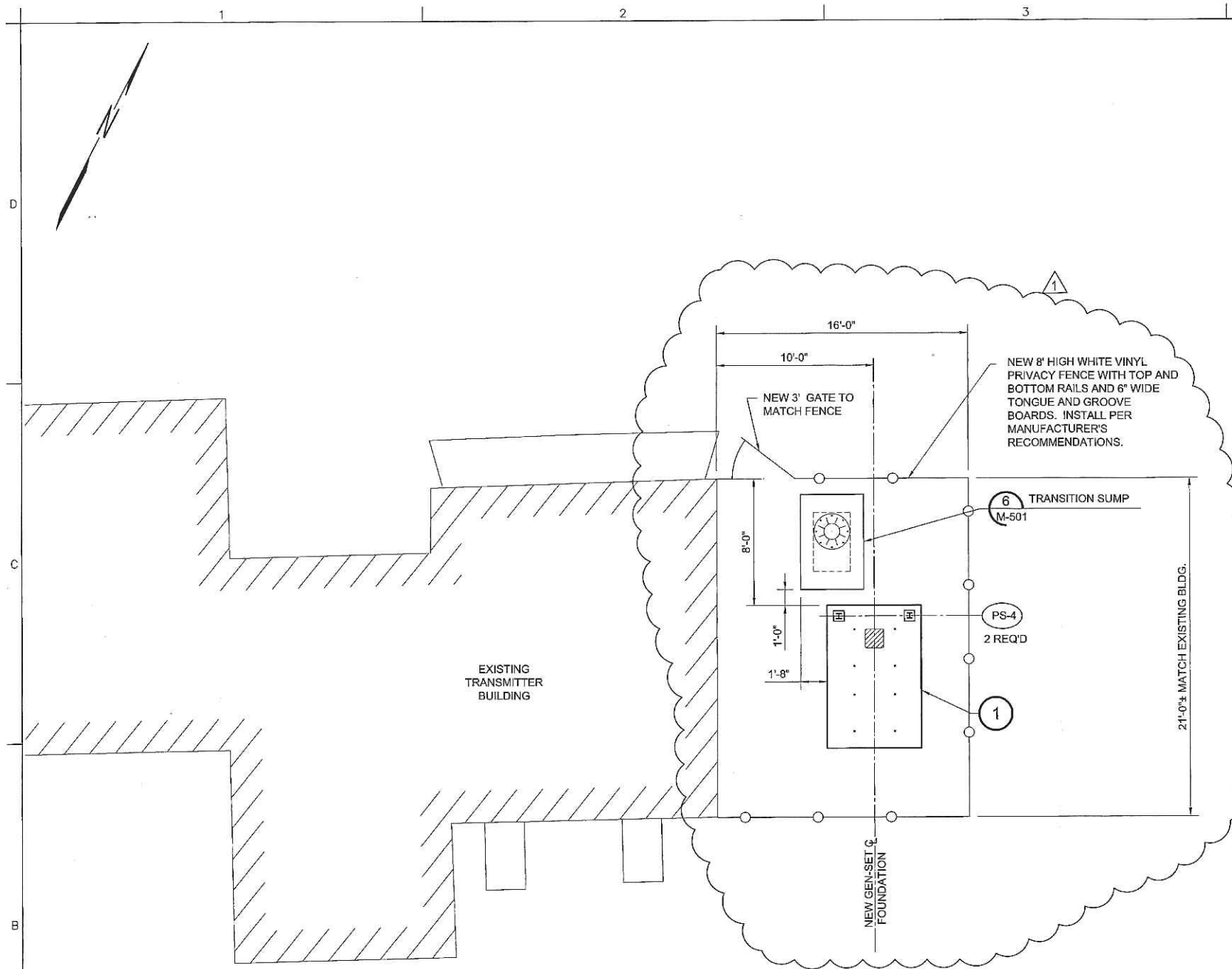
*Not reviewed under
 Sete plan
 Submitted 1-24-13*



FEMA EMERGENCY RADIO NETWORK
 ON WGAN PORTLAND, MAINE

FOUNDATION AND FENCE PLAN

Drawing Number:
S-101

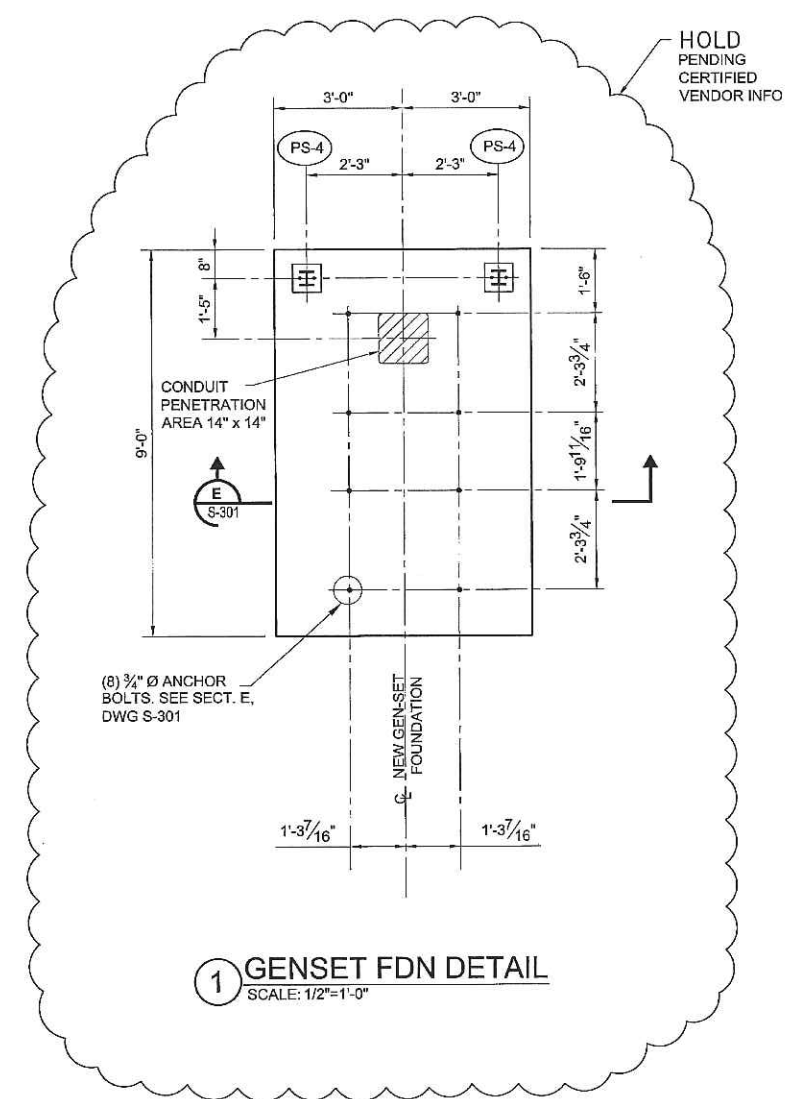


A SITE GENERATOR FOUNDATION PLAN
 G-101 SCALE: 1/4"=1'-0"



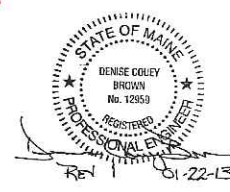
NOTES:

1. FOR STRUCTURAL GENERAL NOTES, SEE DWG S-001. FOR CIVIL NOTES, SEE DWG C-102.
2. **(PS-1)** PIPE SUPPORT DESIGNATOR. SEE DWG S-501.
3. SEE ELECTRICAL DRAWINGS FOR GROUNDING.



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 2-12-2013

Submitted 2-24-13



DATE	DESCRIPTION	BY

NO.	DATE	DESCRIPTION	BY
0	11/7/12	ADDED VINYL FENCING, RELOCATED GEN-SET, SELECTED BOLTS	
1	1/22/13	REVISED FOR CONSTRUCTION	

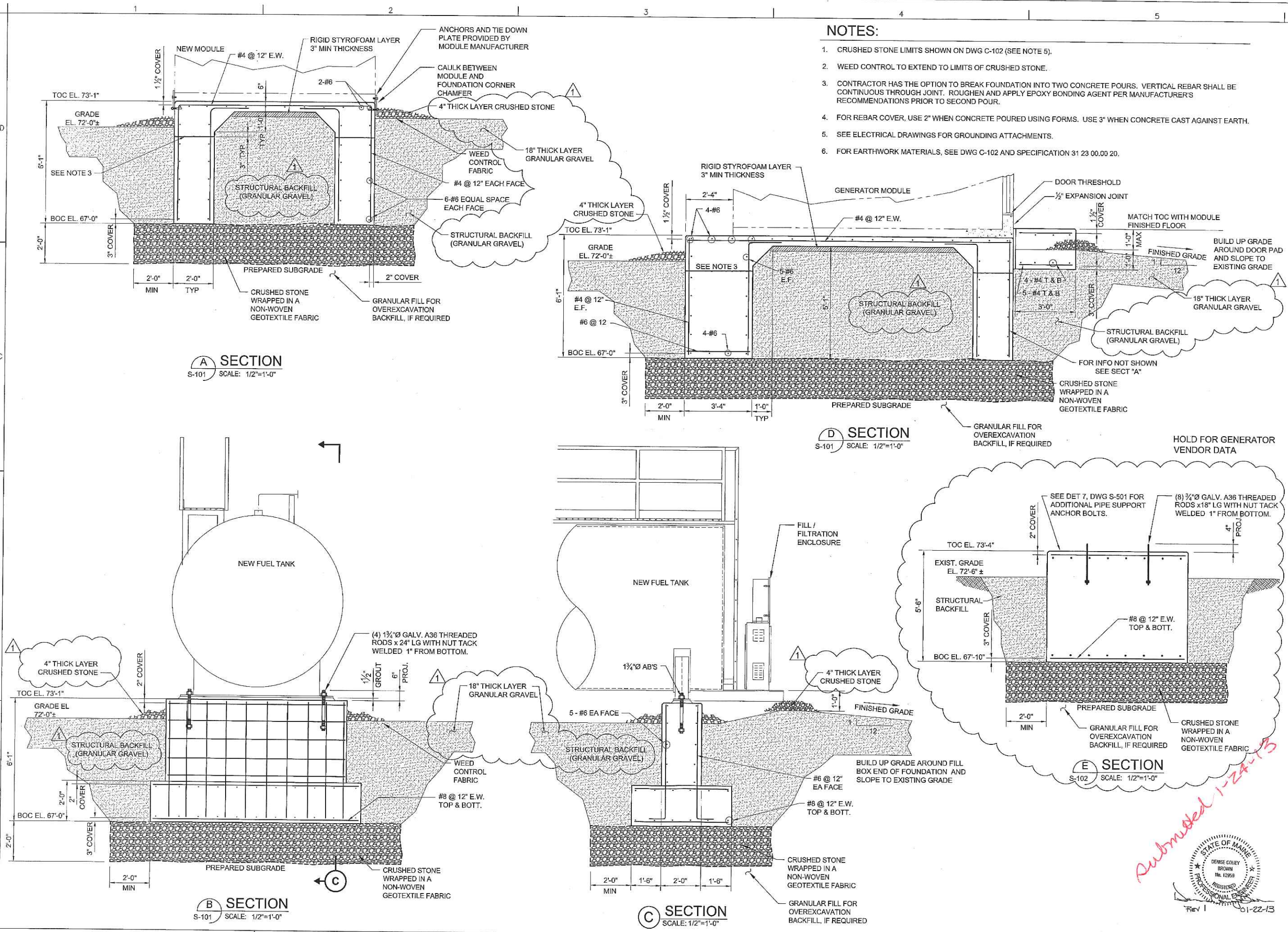
Designed by	DCB
Drawn by	RAM
Checked by	MLM
Reviewed by	CHB
Date	2012

KBR
 43 SOUTH ROYAL STREET SUITE 200
 PORTLAND, ME 04103
 PHONE (207) 763-2000
 FAX (207) 763-2008

FEMA Engineering Services by KBR Engineering Co., LLC

FEMA EMERGENCY RADIO NETWORK
 ON WIGAN PORTLAND, MAINE
SITE GENERATOR FOUNDATION PLAN

Drawing Number:
S-102



NOTES:

1. CRUSHED STONE LIMITS SHOWN ON DWG C-102 (SEE NOTE 5).
2. WEED CONTROL TO EXTEND TO LIMITS OF CRUSHED STONE.
3. CONTRACTOR HAS THE OPTION TO BREAK FOUNDATION INTO TWO CONCRETE POURS. VERTICAL REBAR SHALL BE CONTINUOUS THROUGH JOINT. ROUGHEN AND APPLY EPOXY BONDING AGENT PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO SECOND POUR.
4. FOR REBAR COVER, USE 2" WHEN CONCRETE POURED USING FORMS. USE 3" WHEN CONCRETE CAST AGAINST EARTH.
5. SEE ELECTRICAL DRAWINGS FOR GROUNDING ATTACHMENTS.
6. FOR EARTHWORK MATERIALS, SEE DWG C-102 AND SPECIFICATION 31 23 00.00 20.

A SECTION
S-101 SCALE: 1/2"=1'-0"

D SECTION
S-101 SCALE: 1/2"=1'-0"

B SECTION
S-101 SCALE: 1/2"=1'-0"

C SECTION
SCALE: 1/2"=1'-0"

E SECTION
S-102 SCALE: 1/2"=1'-0"



Project Manager	
GC Engineer	
Architectural	
Structural	
Mechanical	
Electrical	
Estimator	
Other	

Revised	By	Date
1		01/16/13
2		11/17/12
3		
4		
5		
6		
7		
8		
9		
10		

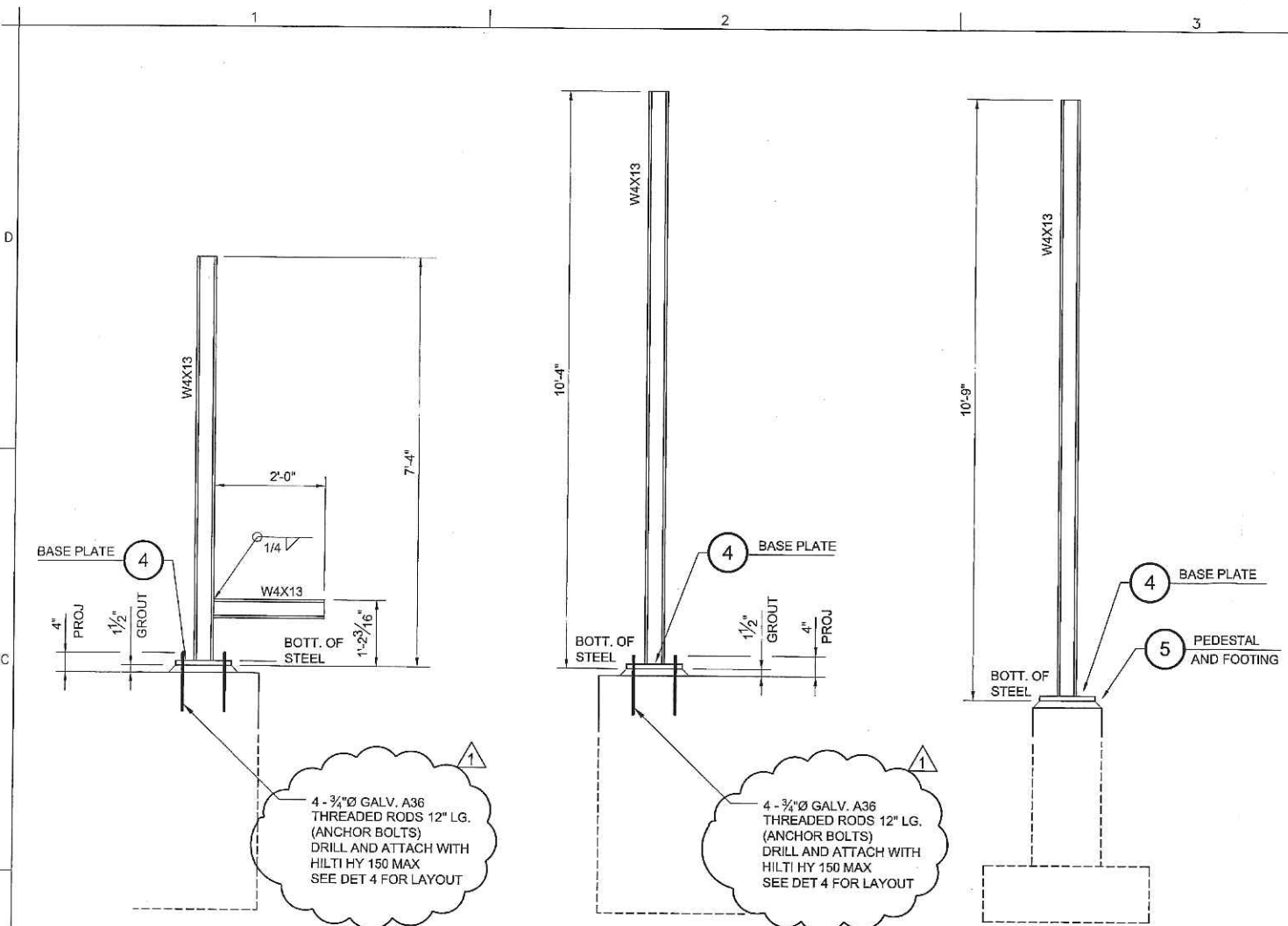
Designed by	DCB
Checked by	MJM
Drawn by	RAM
Reviewed by	DCB
Date	2012

FEMA KBR
KBR Engineering Co., LLC
63 SOUTH RIVER STREET SUITE 200
PORTLAND, MAINE 04101
PHONE (207) 455-7600
FAX (207) 455-7998

Drawing Number:
S-301



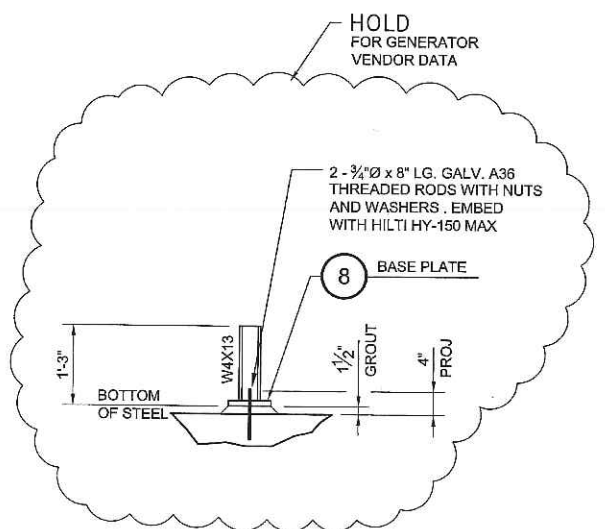
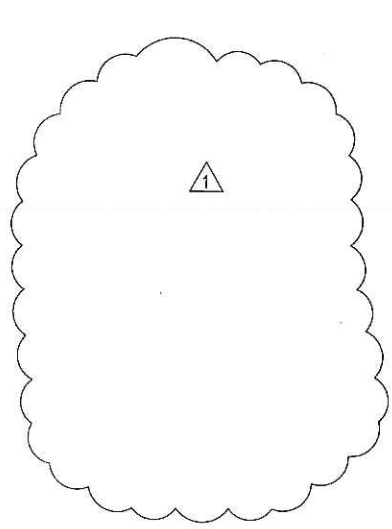
Submitted 1-24-13



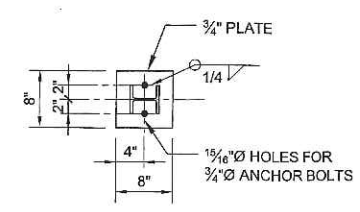
1 PIPE SUPPORT PS-1
S-101 SCALE: 3/4"=1'-0"

2 PIPE SUPPORT PS-2
S-101 SCALE: 3/4"=1'-0"

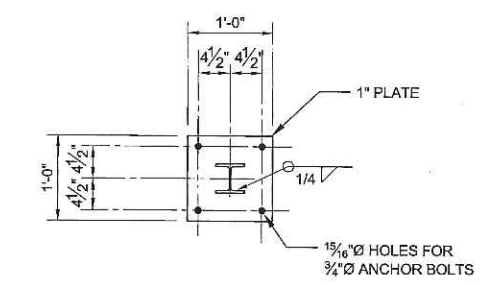
3 PIPE SUPPORT PS-3
S-101 SCALE: 3/4"=1'-0"



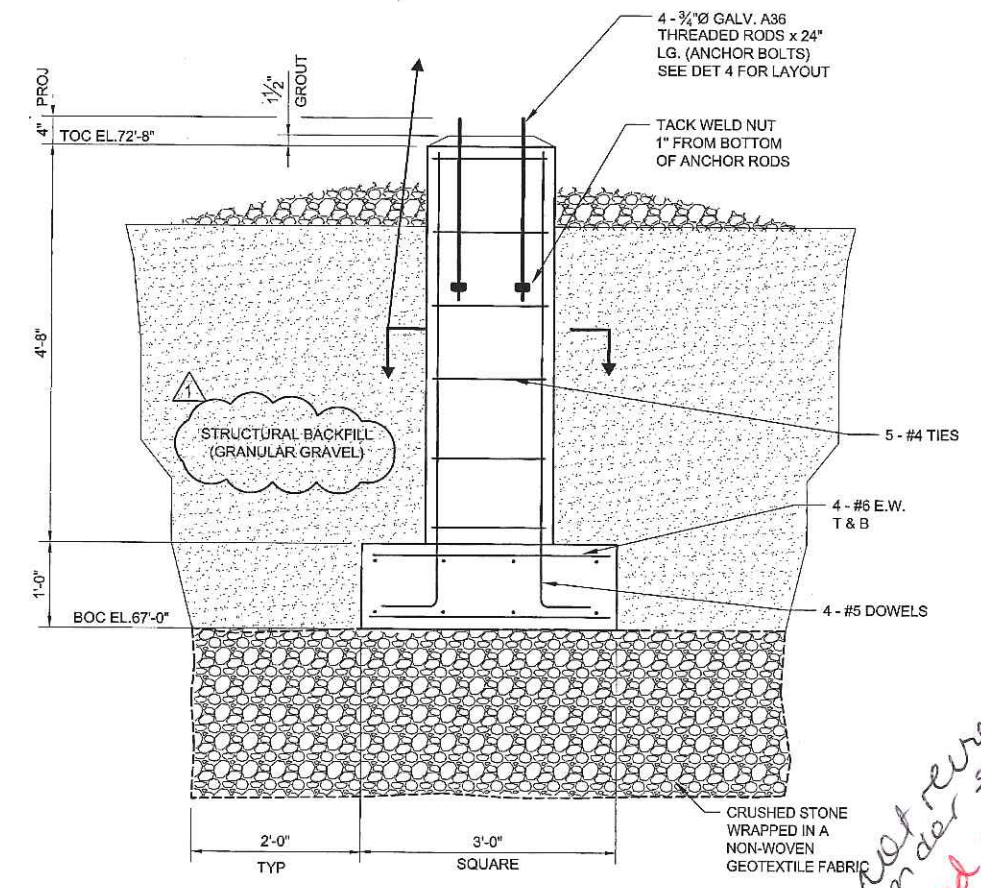
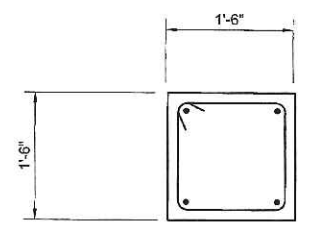
7 PIPE SUPPORT PS-4
S-102 SCALE: 3/4"=1'-0" 2 REQUIRED



8 DETAIL
SCALE: 1"=1'-0"



4 DETAIL
SCALE: 1"=1'-0"



5 DETAIL
SCALE: 1"=1'-0"

*Not reviewed under site plan
Submitted 1-24-13*



Project Manager	
DC Reviewer	
Architectural	
Structural	
Electrical	
Plumbing	
Sanitary	
Other	

Design					
Check					
Draw					
Rev					
Appr					
Date					
Description					
Mark					
Scale					
Sheet					
Project					
Drawn by					
Checked by					
Reviewed by					
Date					
2012					

Designed by: DOB
Checked by: RAM MLM
Drawn by: RAM
Reviewed by: DOB
Date: 2012

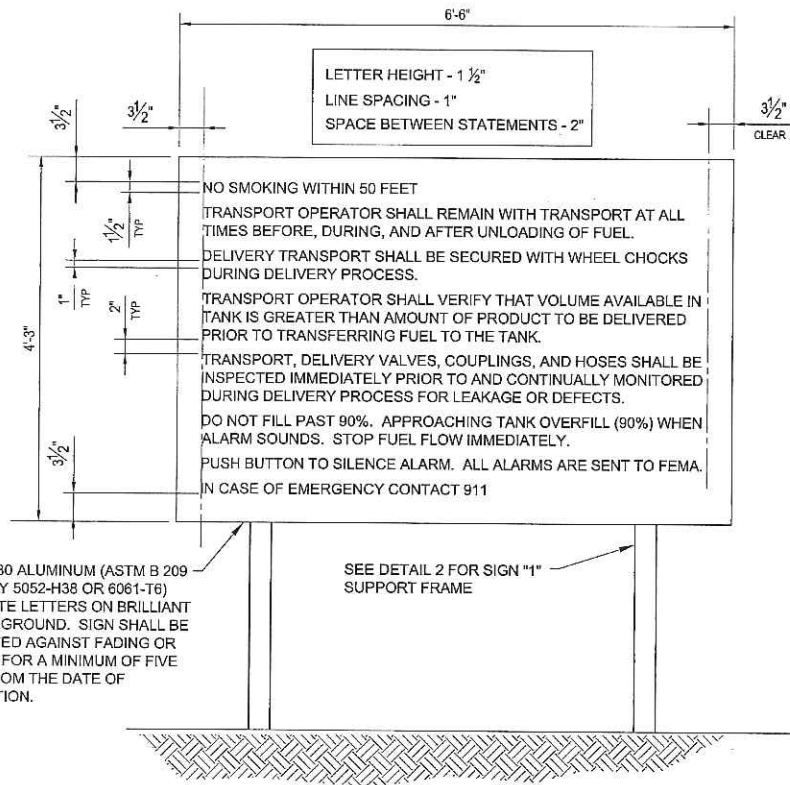
KBR
KBR Engineering Co. LLC
63 SOUTH BROAD STREET SUITE 200
PORTLAND, ME 04103
PHONE: (207) 463-8800
FAX: (207) 463-8801

FEMA
FEMA
43 SOUTH BROAD STREET SUITE 200
PORTLAND, ME 04103
PHONE: (207) 463-8800
FAX: (207) 463-8801

FEMA EMERGENCY RADIO NETWORK
ON WGAN PORTLAND, MAINE

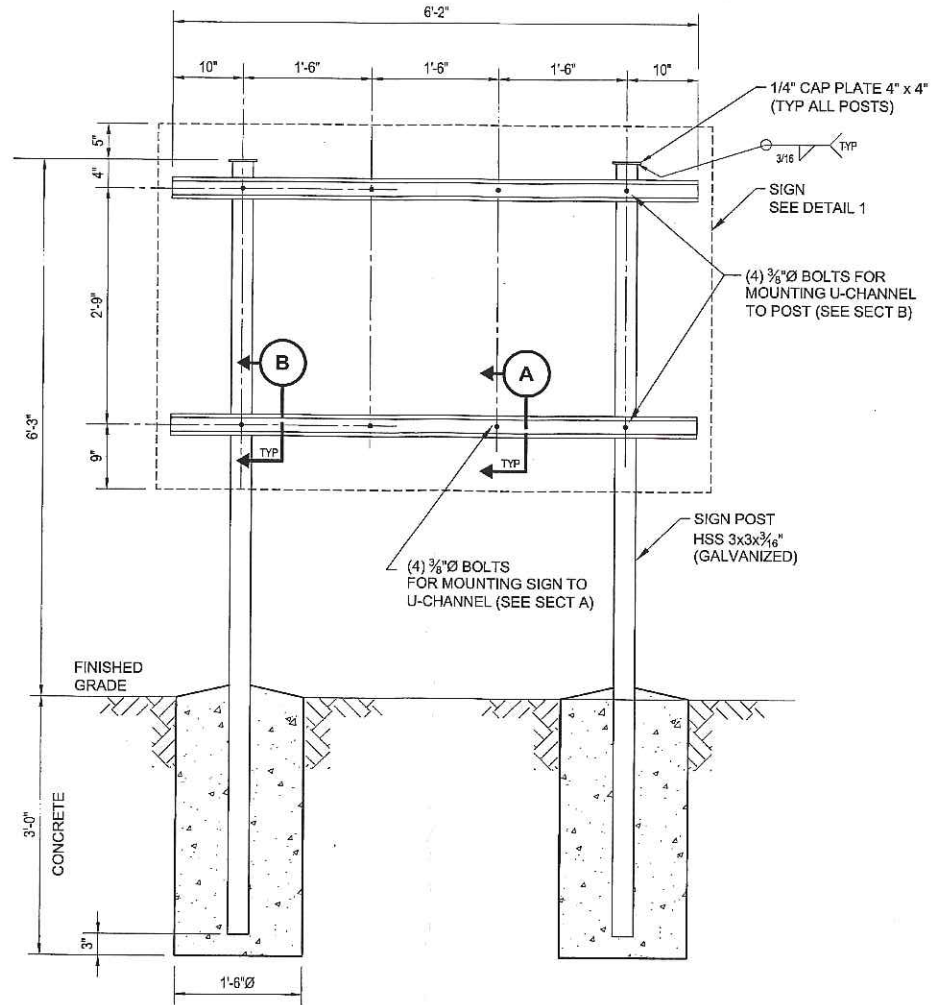
MISCELLANEOUS DETAILS

Drawing Number:
S-501



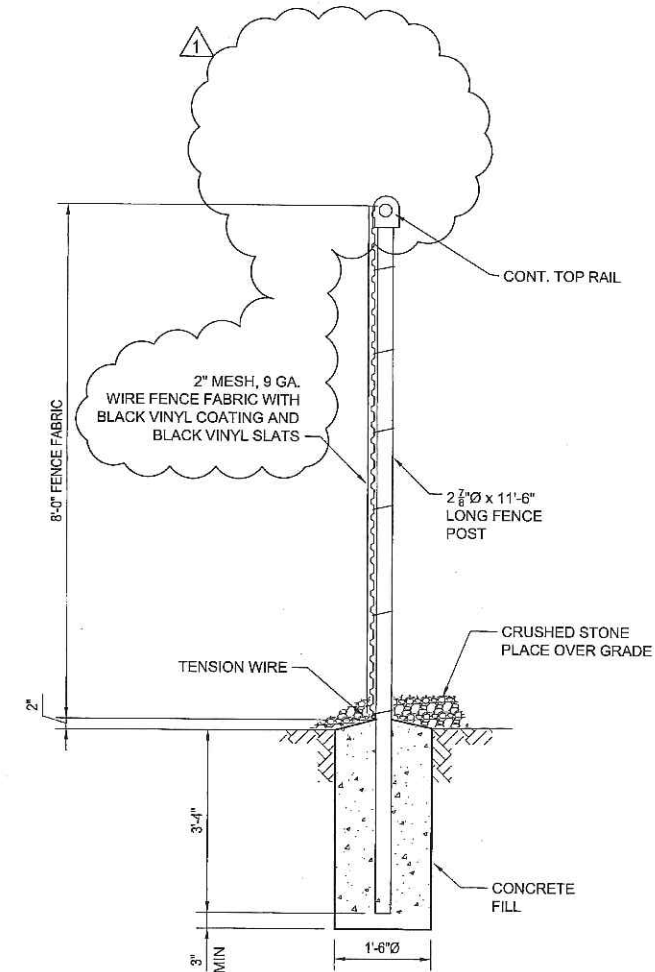
1 SIGN "1" DETAIL
M-101 SCALE: 1"=1'-0"

INSTALLATION CONTRACTOR TO TOUCH UP ALL DAMAGED GALVANIZING WITH ZRC COLD GALVANIZING COMPOUND, OR APPROVED EQUAL.

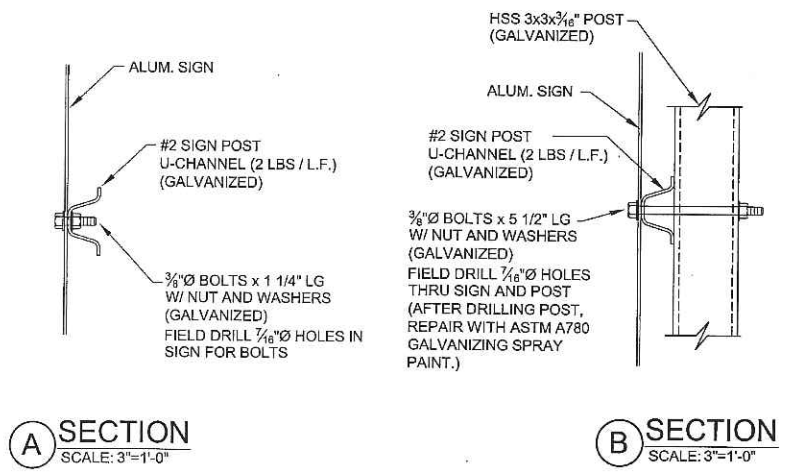


2 SIGN "1" SUPPORT FRAME DETAIL
SCALE: 1"=1'-0"

FOR SIGN LOCATION, SEE MECHANICAL DRAWINGS.



C TYP FENCE SECTION
S-101 SCALE: 3/4"=1'-0"

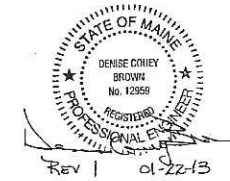


A SECTION
SCALE: 3"=1'-0"

B SECTION
SCALE: 3"=1'-0"

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 2-12-2013

Submitted 1-2-13



Rev 1 01-22-13



Project Manager	
DC Reviewer	
Architectural	
Structural	
Mechanical	
Electrical	
Other	

1	ROUNDED BENDED WIRE AND TAZOR WIRE, ANNEALED BLACK VINYL COATING	07/16/13	
2	AND BLACK VINYL SLATS		
3	SELECT FENCE CONSTRUCTION	11/17/12	
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

Designed by:	MLM
Checked by:	DCB
Drawn by:	RAM
Reviewed by:	CHB
Date:	2012

AS BOUND BY: 10000 STREET STATE 200
WARRIL, N. 3500
PHONE: (201) 450-7900
FAX: (201) 450-7900

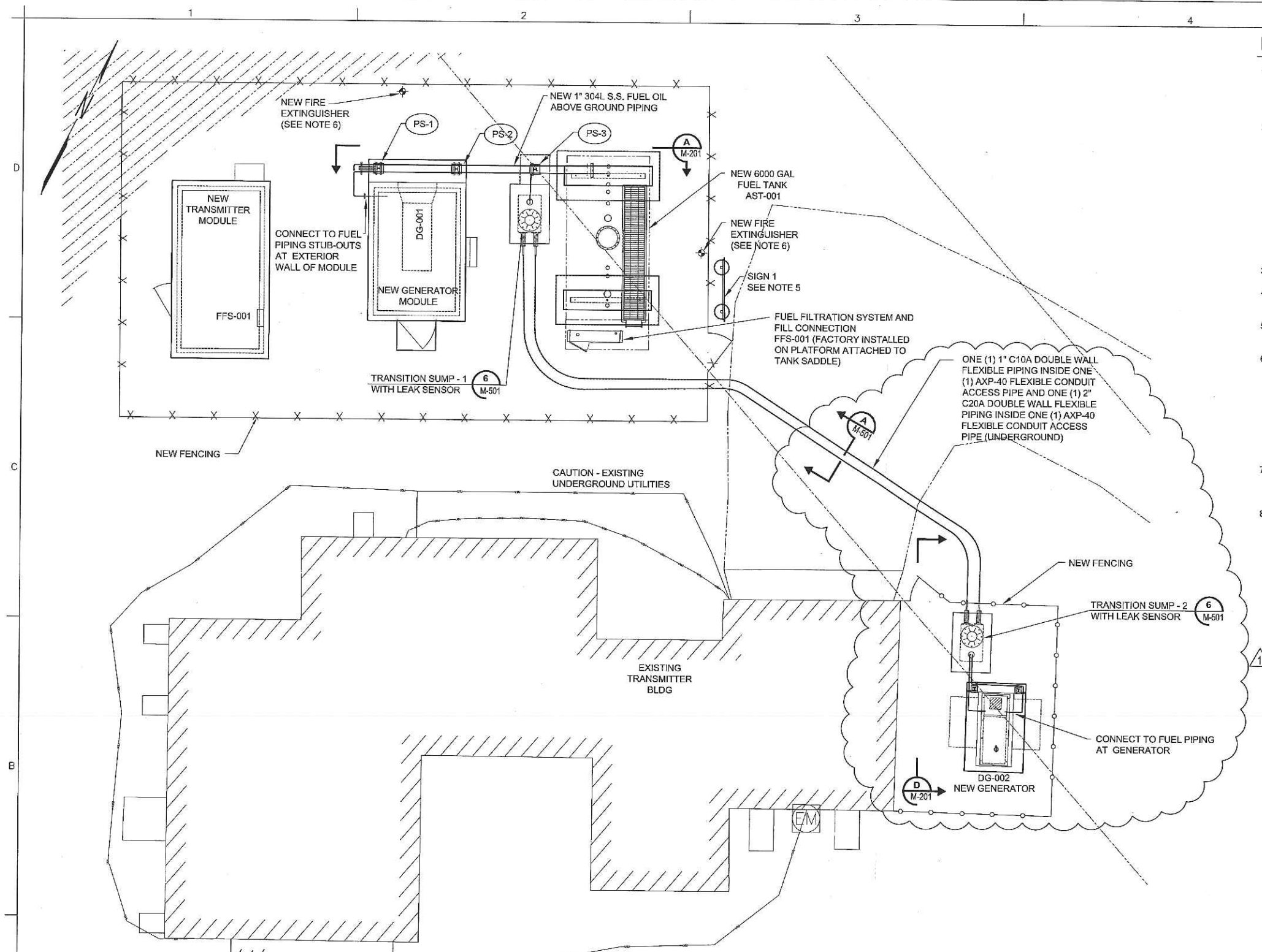
KBR
Engineering Services by
KBR Engineering Co., LLC

FEMA
FEDERAL EMERGENCY MANAGEMENT AGENCY

FEMA EMERGENCY RADIO NETWORK
ON WGAN PORTLAND, MAINE

SIGN AND FENCE DETAILS

Drawing Number:
S-502



NOTES:

1. THE FUEL TANK, APPURTENANCES, AND ASSOCIATED PIPING SHALL MEET ALL U.S. EPA, STATE OF MAINE DEQ, STATE FIRE MARSHAL, NFPA, NEC, MANUFACTURER'S INSTRUCTIONS, LOCAL FIRE DEPARTMENT AND LOCAL REQUIREMENTS, CODES AND GUIDELINES.
2. ABOVEGROUND PIPING SHALL COMPLY WITH NFPA 30, "FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE" AND ASME B31.9, "BUILDING SERVICES PIPING." FOR FUEL OIL PIPING MATERIALS, INSTALLATION, INSPECTION, AND TESTING. STAINLESS STEEL PIPING SHALL CONFORM TO ASTM A312, PIPE, 304L, STAINLESS STEEL, SCHEDULE 40S. STAINLESS STEEL PIPING SHALL HAVE SOCKET WELD FITTINGS AND SOCKET WELD 150# RF FLANGES. ON GEN-SET FUEL LINE CONNECTIONS WITH MNPT STUB-OUTS, CONTRACTOR SHALL INSTALL A THREADED 150# RF FLANGE OF THE SAME MATERIAL AS THE PIPING THE FLANGE IS BEING THREADED TO. FLANGE INSULATING GASKET KITS SHALL BE USED IN CASES WHERE A CARBON STEEL FLANGE IS BEING MATED TO A STAINLESS STEEL FLANGE. ANY REMAINING CARBON STEEL PIPING THAT IS EXPOSED SHALL BE PAINTED AS PER THE SPECIFICATION. GALVANIZED PIPE IS NOT PERMITTED FOR USE FOR FUEL OIL PIPING OR VENT PIPING.
3. (PS-1) PIPE SUPPORT DESIGNATOR. SEE DWG S-501.
4. SEE DRAWING M-601 AND SPECIFICATION SECTION 23 10 20 FOR FULL SCOPE OF WORK FOR THE FUEL OIL SYSTEM.
5. SEE DRAWING S-502 FOR SIGN DETAILS. INSTALLATION CONTRACTOR SHALL DETERMINE EXACT LOCATION TO CLEAR UNDERGROUND ELECTRICAL.
6. PROVIDE A 4A-40BC (MINIMUM RATING) 10 LB FIRE EXTINGUISHER CONFORMING TO NFPA 10. AND APPLICABLE SECTIONS OF NFPA 1, 13.6. PROVIDE LOCKABLE OUTDOOR CABINET WITH BREAKER BAR, SIGNS AND ACCESSORIES AS REQUIRED. VERIFY LOCAL REQUIREMENTS WITH FIRE MARSHAL PRIOR TO PURCHASE. INSTALL FIRE EXTINGUISHERS WHERE INDICATED ON THE DRAWING. COMPLY WITH THE MANUFACTURER'S RECOMMENDATIONS FOR ALL INSTALLATIONS. PROVIDE EXTINGUISHERS COMPLETE WITH MANUFACTURER'S WARRANTY WITH INSPECTION TAG ATTACHED. EXTINGUISHER SHALL BE INSTALLED, INSPECTED, AND TAGGED BY A LICENSED FIRE EXTINGUISHER COMPANY.
7. UNDERGROUND FLEXIBLE PIPING AND CONTAINMENT SYSTEM ARE IDENTIFIED WITH OPW FLEXWORKS MODEL NUMBERS. SYSTEM SHALL BE OPW FLEXWORKS OR APPROVED EQUAL.
8. UNDERGROUND DOUBLE CONTAINMENT SYSTEM SHALL BE PROVIDED BY CONTRACTOR AS A COMPLETE SYSTEM DESIGNED AND FABRICATED BY THE CONTAINMENT SYSTEM MANUFACTURER WITH RESPECT TO THE DRAWINGS, SPECIFICATIONS, AND THE CONDITIONS OF THE SITE. INSTALLATION OF UNDERGROUND DOUBLE CONTAINMENT SYSTEM SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

EQUIPMENT SCHEDULE					
TAG	ITEM	FURNISHED BY	INSTALLED BY	DESCRIPTION	REMARKS
AST-001	ABOVEGROUND STORAGE TANK	OWNER	CONTRACTOR	6,000 GAL. DBL-WALL, UL-2085	PART OF FUEL SYSTEM PACKAGE
DG-001	FEMA GEN-SET	OWNER	OWNER	35 KW IN HEMP SHLD MODULE	PART OF HEMP MODULE PACKAGE
DG-002	NEW GEN-SET	OWNER	CONTRACTOR	75 KW W/ ENCLOSURE & SUB BASE TANK	OWNER TO FURNISH CONTRACTOR TO INSTALL
FFS-001	FUEL FILL/FILTRATION SYSTEM	OWNER	CONTRACTOR	FILL PORT W/ FILTRATION	PART OF FUEL SYSTEM PACKAGE (ON PLATFORM ATTACHED TO TANK)
FSCP-001	FUEL SYSTEM CONTROL PANEL	OWNER	OWNER (SEE ELECTRICAL DWGS & SPECS)	FUEL MONITORING SYSTEM	PART OF FUEL SYSTEM PKG (INSTALLED INSIDE TRANSMITTER MODULE)

A MECHANICAL PLAN
 G-101 SCALE: 3/16"=1'-0"
 0' 5' 10' 20'
 3/16"=1'-0"

*Not reviewed under
 submitted 1-24-13*

STATE OF MAINE
 DAVID BLACKWELL
 HARRIS
 No. 12996
 REGISTERED
 PROFESSIONAL ENGINEER
 01/22/13



PHASE REVIEW	
Project Manager	
OC Reviewer	
Architectural	
Mechanical	
Electrical	
Structural	
Other	

1	ADD FILING, RELOCATED GEN-SET AND PIPING, SEE DRAWINGS	1/22/13	
2	ISSUE FOR CONSTRUCTION	1/27/13	
3			
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17			
18			
19			
20			

Designed by:	DBH
Checked by:	DBH
Drawn by:	RAM
Reviewed by:	CHB
Date:	2012



FEMA EMERGENCY RADIO NETWORK
 ON WGAN PORTLAND, MAINE

MECHANICAL PLAN

Drawing Number:
M-101

Infrastructure Financial Contribution Form
Planning and Urban Development Department
Planning Division

Amount \$ 310.00

City Account Number: 710-0000-236-98-00

Project Code: _____

(This number can be obtained by calling Cathy Ricker, x8665)

Project Name:

FEMA Equipment Installation

Application ID #:

2012-643

Project Location:

236 Lane Ave (Saga Communication of NE land)

Project Description:

Installation of transmitter module, 2 generators and 6000 gal fuel tank w/ associated fencing + landscaping

Funds intended for:

2 Mitigation of project's stormwater quality impacts
Cond 2 of Site Plan Approval

Applicant's Name:

FEMA % Darcy Bingham but also send documents to agent KBR * address below

Applicant's Address:

FEMA, 500 C Street, SW Washington DC 20472

Expiration:

If funds are not expended or encumbered for the intended purpose by _____, funds, or any balance of remaining funds, shall be returned to contributor within six months of said date.

Funds shall be permanently retained by the City.

Other (describe in detail) _____

Form of Contribution:

Escrow Account

Cash Contribution KBR check # 296556 dated 1/23/2013

Interest Disbursement: Interest on funds to be paid to contributor only if project is not commenced.

Terms of Draw Down of Funds: The City shall periodically draw down the funds via a payment requisition from Public Works, which form shall specify use of City Account # shown above.

Date of Form: Feb. 13th, 2013

Planner:

Jean Fraser

- Attach the approval letter, condition of approval or other documentation of the required contribution.
- One copy sent to the Applicant.

Electronic Distribution to: Peggy Axelsen, Michael Bobinsky, Michael Farmer, Kathi Earley, Betsy Beety, David Margolis-Pineo, Jeff Tarling, Alex Jaegerman, Barbara Barhydt, Phil DiPierro, Deb Marquis and Planner for project.

and to KBR: Denise Brown, PE
KBR
63 S. Royal Street, Suite 200
Mobile, AL 36602



63 SOUTH ROYAL STREET, SUITE 200
Mobile, AL 36602
PHONE 251-450-7600 / FAX 251-450-7898

February 5, 2013

Ms. Jean Fraser, Planning Division
4th Floor, Portland City Hall
389 Congress Street
Portland, ME 04101-3509

RE: WGAN Transmitter Site
236 Lane Avenue
Portland, ME 04103
FEMA Emergency Radio Network Project
Level 1 Site Alteration Application (#2012-643)

Dear Jean,

Please find enclosed a check for \$310.00 for the Urban Impaired Stream compensation for the referenced project. This compensation request was one of the comments received in response to our Site Alteration application referenced in your letter dated January 4, 2013. The amount was included in our response letter dated January 24, 2013 and determined based on the following:

Non-Roof Impervious Area (Acres)(\$5,000) = (0.05 ac)(\$5,000) = \$250
Roof Area (Acres)(\$2,000) = (0.01 ac)(\$2,000) = \$20
Landscape Area (Acres)(\$1,000) = (0.04 ac)(\$1,000) = \$40
Total Compensation Fee = \$310

Please let me know if you have any questions or need additional information. Thank you for your assistance with this process.

Sincerely,

Denise Brown, P.E.
KBR
251-450-7920
denise.brown@kbr.com

THIS CHECK HAS MULTIPLE SECURITY FEATURES

Kellogg Brown & Root, Inc. Subs & Affils
P. O. Box 3
Attn Treasury Dept.
Houston TX 77001

Pay Exacly

**** THREE HUNDRED TEN USD****

To The CITY OF PORTLAND
Order 389 CONGRESS
Of PORTLAND ME 04101

KBR

Void after 90 days

Citibank Delaware
One Penn's Way New Castle, DE 19720
296556

Date
01/23/2013

Net Amount
\$*****310.00

David L. Bell
D. S. Bell
Authorized Signature

 Security features
Detail on back

⑈ 296556 ⑈

⑆ 031100209⑆ 38689456 ⑈

THIS CHECK HAS MULTIPLE SECURITY FEATURES

**Infrastructure Financial Contribution Form
Planning and Urban Development Department
Planning Division**

Amount \$ 310.00

City Account Number: 710-0000-236-98-00

Project Code: IN1306

(This number can be obtained by calling Cathy Ricker, x8665)

Project Name: FEMA Equipment Installation
Application ID #: 2012-643
Project Location: 236 Lane Ave (Saga Communication of NE land)
Project Description: Installation of transmitter module, 2 generators and 6000 gal fuel tank w/ associated fencing + landscaping
Funds intended for: 2 Mitigation of project's stormwater quality impacts
Applicant's Name: FEMA % Darcy Bingham but also sent Cond. of Site Plan Approval documents to agent KBR * address below
Applicant's Address: FEMA, 500 C Street, SW Washington DC 20472
Expiration:

- If funds are not expended or encumbered for the intended purpose by _____, funds, or any balance of remaining funds, shall be returned to contributor within six months of said date.
- Funds shall be permanently retained by the City.
- Other (describe in detail) _____

Form of Contribution:

- Escrow Account
- Cash Contribution KBR check # 296556 dated 1/23/2013

Interest Disbursement: Interest on funds to be paid to contributor only if project is not commenced.

Terms of Draw Down of Funds: The City shall periodically draw down the funds via a payment requisition from Public Works, which form shall specify use of City Account # shown above.

Date of Form: Feb. 13th, 2013

Planner: Jean Fraser

- Attach the approval letter, condition of approval or other documentation of the required contribution.
- One copy sent to the Applicant.

Electronic Distribution to: Peggy Axelsen, Michael Bobinsky, Michael Farmer, Kathi Earley, Betsy Beety, David Margolis-Pineo, Jeff Tarling, Alex Jaegerman, Barbara Barhydt, Phil DiPierro, Deb Marquis and Planner for project.

and to KBR: Denise Brown, PE
KBR
63 S. Royal Street, Suite 200
Mobile, AL 36602



63 SOUTH ROYAL STREET, SUITE 200
Mobile, AL 36602
PHONE 251-450-7600 / FAX 251-450-7898

February 5, 2013

Ms. Jean Fraser, Planning Division
4th Floor, Portland City Hall
389 Congress Street
Portland, ME 04101-3509

RE: WGAN Transmitter Site
236 Lane Avenue
Portland, ME 04103
FEMA Emergency Radio Network Project
Level 1 Site Alteration Application (#2012-643)

Cond 1 of
Approval Letter
JF.

Dear Jean,

Please find enclosed a check for \$310.00 for the Urban Impaired Stream compensation for the referenced project. This compensation request was one of the comments received in response to our Site Alteration application referenced in your letter dated January 4, 2013. The amount was included in our response letter dated January 24, 2013 and determined based on the following:

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Roof Area (Acres)(\$2,000) = (0.01 ac)(\$2,000) = \$20
Landscape Area (Acres)(\$1,000) = (0.04 ac)(\$1,000) = \$40
Total Compensation Fee = \$310

Please let me know if you have any questions or need additional information. Thank you for your assistance with this process.

Sincerely,

Denise Brown, P.E.
KBR
251-450-7920
denise.brown@kbr.com



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

Planning & Urban Development Department
Jeff Levine, AICP, Director

Planning Division
Alexander Jaegerman, FAICP, Director

February 12, 2013

Darcy Bingham
FEMA
500 C Street, SW
Washington, D.C. 20472

Denise Brown, P.E. and Mike Mullen
KBR
63 South Royal Street, Suite 200
Mobile, AL 36602

Project Name: Level 1 Site Alteration: **FEMA Equipment Installation**
ID Number: 2012 -643
Address: 236 Lane Avenue, Portland, ME 04103
(owned by Saga Communication of New England)
CBL: 302 A006001
Applicant: FEMA (Darcy Bingham)
Planner: Jean Fraser

Dear Madam/Sir:

On February 12, 2013, the Planning Authority approved with conditions a Level I: Site Alteration site plan for the installation of a transmitter module, two generators, and a 6000 gallon fuel tank immediately adjacent the existing radio transmitter building at 236 Lane Avenue. The equipment is associated with a Loan Agreement between FEMA and Saga Communication of New England to provide power for radio transmission during major emergencies.

The approval is based on the application including the May, 2012 FEMA Equipment Loan Agreement with Saga Communication of New England LLC; KBR letter dated January 24, 2013; letter from Saga Communication of New England LLC dated February 6, 2013; and plans G-001, G-101, C-101, C-102, C-103, C-301, S-502 all dated 1.16.2013 and plan S-102 dated 1.22.2013 as submitted by KBR.

SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

1. That the applicant shall contribute \$310 to the Capisic Brook Watershed water quality treatment program to address the required mitigation of project storm water quality impacts; and
2. That in the event that the license/agreement should lapse/not be renewed, the Planning Authority must be notified and will determine whether or not additional review is necessary; and

3. That the testing of the 75-80kW generator shall take place between the hours of 9am and 4pm Monday through Friday, no more than one time per week and for a duration of up to 1 hour; and
4. That the testing of the 35kW generator shall take place between the hours of 7am and 9pm Monday through Friday, no more than one time per week and for a duration of up to 1 hour; and
5. That the sound levels of the generators during tests and normal operation shall not exceed the maximum noise allowances of the B-4 zone; and
6. That all necessary Federal, State and local permits and approvals shall be obtained prior to use/operation of the equipment, including a Maine State Fire Marshall permit for the above-ground fuel tank.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:


1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
4. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator (Phil diPierro) can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874- 8728.

Sincerely,



Barbara Barhydt
Acting Planning Division Director

Attachment: Performance Guarantee Packet

CC:

Jeff Levine, AICP, Director of Planning and Urban Development
Alexander Jaegerman, FAICP, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator, Planning
Marge Schmuckal, Zoning Administrator, Inspections Division
Tammy Munson, Inspection Division Director
Lannic Dobson, Administration, Inspections Division
Gayle Guertin, Administration, Inspections Division
Michael Bobinsky, Public Services Director
Katherine Earley, Engineering Services Manager, Public Services
Bill Clark, Project Engineer, Public Services
David Margolis-Pineo, Deputy City Engineer, Public Services

Doug Roncarati, Stormwater Coordinator, Public Services
Greg Vining, Associate Engineer, Public Services
Michelle Sweeney, Associate Engineer
John Low, Associate Engineer, Public Services
Rhonda Zazzara, Field Inspection Coordinator, Public Services
Mike Farmer, Project Engineer, Public Services
Jane Ward, Administration, Public Services
Jeff Tarling, City Arborist, Public Services
Jeremiah Bartlett, Public Services
Captain Chris Pirone, Fire Department
Thomas Errico, P.E., TY Lin Associates
David Senus, P.E., Woodard and Curran
Rick Blackburn, Assessor's Department
Approval Letter File

THIS CHECK HAS MULTIPLE SECURITY FEATURES

Citibank Delaware
One Penn's Way New Castle, DE 19720
296556
62-20
311

KEBR
Void after 90 days

Kellogg Brown & Root, Inc. Subs & Affils
P.O. Box 3
Attn Treasury Dept.
Houston TX 77001

Date 01/23/2013

Net Amount
\$*****310.00

Pay Exactly
*** THREE HUNDRED TEN USD ***

To The CITY OF PORTLAND
Order 389 CONGRESS
Of PORTLAND ME 04101

David S. Bell
D. S. Bell

Authorized Signature

Security features
included.
Details on back.

⑆ 296556 ⑆ ⑆ 03100209 ⑆ 38689456 ⑆

THIS CHECK HAS MULTIPLE SECURITY FEATURES

PREPARED 2/15/13, 10:26:08
PROGRAM CR400L
CITY OF PORTLAND, ME

CASH EDIT LISTING

BATCH ID - JMY 2/15/13 00 OVER THE COUNTER DRAWER #: 1

RECEIPT	TOTAL PAYMENT	CUSTOMER	LOCATION NAME/ADDRESS	CUST TP	DETAIL AMOUNT	PT	SV +- LIEN	-+ TM	CHECK#	TENDERED	TOTAL
---------	---------------	----------	-----------------------	---------	---------------	----	------------	-------	--------	----------	-------

0035405	310.00		GM-MISC (NEED ACCT #)		310.00	GM					310.00
CR=710000002369800			Infrastructure Contributn / Plannin								

PJ-IN1306 INFRA. ACCT. #2012-643
CK

ERROR / WARNING MESSAGES

DETAIL TOTALS

PYMT TYPE	DESCRIPTION	COUNT	AMOUNT	ZERO/VOID COUNT	TENDERED AMOUNT	NON-CASH AMOUNT
GM	GM-MISC (NEED ACCT #)	1	310.00	0	310.00	310.00
TENDER METHOD		COUNT				
CK	CHECK	1			310.00	310.00
TENDERED TOTAL					310.00	310.00
CHANGE					.00	.00
GRAND TOTAL					310.00	310.00

ENDORSEMENT CODES

DESCRIPTION	COUNT	AMOUNT
** DEFAULT ENDORSEMENT . . .	1	310.00

BANK CODE TOTALS

CODE	DESCRIPTION	AMOUNT
00	DEFAULT BANK CODE	310.00

VOIDED OR ZERO RECEIPTS	0	.00
ENTERED TOTAL	0	.00
COMPUTED NON-ZERO RCPTS	1	310.00

*** OUT OF BALANCE ****

Jean Fraser - Fwd: Re: WGAN FEMA site 236 Lane Avenue letter

From: Danielle West-Chuhta (Danielle West-Chuhta)
To: Jean Fraser
Date: 2/11/2013 12:19 PM
Subject: Fwd: Re: WGAN FEMA site 236 Lane Avenue letter

I think that the letter that you attached sufficiently addresses all the issues and a condition is not necessary. By the way, did you see that Ms. Ball (on Burnside) was severely burned/injured in a fire over the weekend? Too sad.

Danielle

>>> Jean Fraser 2/11/2013 9:26 AM >>>
Danielle

You may recall - re RTI- that you advised me to get a letter from the owner as they were giving FEMA rights to install equipment etc on their land. You also advised that the owner needed to confirm responsibility for the maintenance of the trees and fencing.

You will see that the owner has provided RTI (I think) but the maintenance question is kicked back to FEMA and its not in the FEMA contract. I have asked (in this forwarded e-mail) for FEMA to confirm they will maintain. I'm not sure of the ordinance basis for requiring the confirmation re landscaping.

I was wondering if I can issue the approval letter (also attached) with a new first condition along these lines:

"That the applicant (FEMA) shall provide a letter, prior to the issuance of a building permit, confirming that the approved landscaping and fencing will be maintained on the same terms as the rest of equipment subject to the loan agreement between FEMA and Saga Communication of New England, LLC, May 2012."

thanks
Jean

>>> Jean Fraser 2/7/2013 2:15 PM >>>
Denise

The letter is fine except that in the agreement that I have seen (attached) there is no requirement for FEMA to maintain the landscaping and fencing. Section VI (2) limits FEMA's maintenance to "equipment".

Our attorney was requesting the owner to confirm that they would maintain the landscaping and fencing but the letter states "This agreement provides the applicant with the rights to install and maintain the equipment as well as the associated fencing and new landscaping..." but rights are not responsibilities.

Can FEMA confirm that they will be responsible for maintaining the fencing and landscaping on the same timetable and terms as the "equipment" in the loan agreement?

thanks
Jean

>>> "Denise Brown" <Denise.Brown@kbr.com> 2/7/2013 2:00 PM >>>



February 6, 2013

Ms. Jean Fraser
Planning & Urban Development, Planning Division Office
Portland City Hall
389 Congress Street
Portland, ME 04101

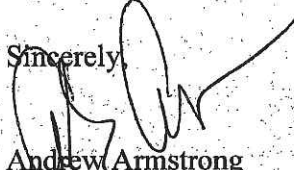
RE: WGAN Transmitter Site
236 Lane Avenue
Portland, ME 04103
FEMA Emergency Radio Network Project
Level 1 Site Alteration Application 2012-643

Dear Ms. Fraser:

Please accept this letter as evidence that the Level 1 Site Alteration applicant, Federal Emergency Management Agency, has an agreement with the property owner, Saga Communication of New England, LLC for the WGAN transmitter site located at 236 Lane Avenue. This agreement is for the installation and maintenance of the proposed fuel tank, generator, transmitter module and generator module and associated equipment to serve the Emergency Alert System as detailed in the Equipment Loan Agreement previously submitted. This agreement provides the applicant with the rights to install and maintain the equipment as well as the associated fencing and new landscaping as finally proposed with the continuing consent of the property owner. Saga is aware of the addition of trees and fencing as detailed on the KBR drawings submitted to the City on January 24, 2013.

We understand the Planning Authority must be notified if the license/agreement should lapse or not be renewed. Should you have any questions, please contact me.

Sincerely,



Andrew Armstrong
Director of Engineering
Saga Communication of New England, LLC
D.B.A. Portland Radio Group
207-774-4561

WGAN • WPOR • WWMG • WYNZ • WZAN • WBAE

420 Western Avenue • South Portland, Maine 04106 • (207) 774-4561 • FAX (207) 774-3788

Jean Fraser - Condition of approval, FEMA Lane Ave

From: Jean Fraser
To: West-Chuhta, Danielle
Date: 2/5/2013 11:46 AM
Subject: Condition of approval, FEMA Lane Ave
Attachments: draft app ltr FEMA.docx; FEMA Equipment Loan Agreement re SAGA land.pdf; FEMA Equip landscape plan Lane Ave.pdf

Danielle

Some weeks ago we discussed the fact that the FEMA license (for transmitter and generator equipment at Lane Ave) was for 10 years and you advised me to include a condition that *"if the license/agreement should lapse/not be renewed, the Planning Authority must be notified and can review the matter again at that time."*

When I put that in the approval letter (see attached, condition 2) it didn't sound right- maybe you can suggest better wording?

I attach the Loan Agreement for reference. Also (as you advised) the owner (Saga) are sending us a letter confirming OK with equipment and with maintenance of it and trees/fencing. Site Landscape Plan also attached.

thanks
Jean



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning & Urban Development Department

Jeff Levine, AICP, Director

Planning Division

Alexander Jaegerman, FAICP, Director

February **X**, 2013

Darcy Bingham

FEMA

500 C Street, SW

Washington, D.C. 20472

Denise Brown, P.E. and Mike Mullen

KBR

63 South Royal Street, Suite 200

Mobile, AL 36602

Project Name: **FEMA Equipment Installation**

ID Number: 2012 -643

Address: 236 Lane Avenue, Portland, ME 04103 (owned by Saga Communication of New England)

CBL: 302 A006001

Applicant: FEMA (Darcy Bingham)

Planner: Jean Fraser

Dear Madam/Sir:

On February **X**, 2013, the Planning Authority approved with conditions a Level I: Site Alteration site plan for the installation of a transmitter module, two generators, and a 6000 gallon fuel tank immediately adjacent the existing radio transmitter building at 236 Lane Avenue. The equipment is associated with a Loan Agreement between FEMA and Saga Communication of New England to provide power for radio transmission during major emergencies.

The approval is based on the application, letter dated January 24, 2013 and plans dated **XXX** [Jan 24 version latest submitted] as submitted by KBR.

SITE PLAN REVIEW

The Planning Authority found the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval:

1. That the applicant shall contribute \$310 to the Capisic Brook Watershed water quality treatment program to address the required mitigation of project storm water quality impacts; and

2. That in the event the license/agreement should lapse/not be renewed, the Planning Authority shall be notified in order to review the matter again at that time.
3. That the testing of generators shall take place between the hours of 7am and 9pm Monday through Friday, no more than one time per week and for a duration of up to X; and
4. That the sound levels of the generators during tests and normal operation shall not exceed the maximum noise allowances of the B-4 zone; and
5. That all necessary Federal, State and local permits and approvals shall be obtained prior to use/operation of the equipment, including a Maine State Fire Marshall permit for the above-ground fuel tank.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
4. **??? Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the

attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874- 8728.

Sincerely,

Barbara Barhydt
Acting Planning Division Director

Attachments:

1. Performance Guarantee Packet

cc: Jeff Levine, AICP, Director of Planning and Urban Development
Alexander Jaegerman, FAICP, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator, Planning
Marge Schmuckal, Zoning Administrator, Inspections Division
Tammy Munson, Inspection Division Director
Lannie Dobson, Administration, Inspections Division
Gayle Guertin, Administration, Inspections Division
Michael Bobinsky, Public Services Director
Katherine Earley, Engineering Services Manager, Public Services
Bill Clark, Project Engineer, Public Services
David Margolis-Pineo, Deputy City Engineer, Public Services
Doug Roncarati, Stormwater Coordinator, Public Services
Greg Vining, Associate Engineer, Public Services
Michelle Sweeney, Associate Engineer
John Low, Associate Engineer, Public Services
Rhonda Zazzara, Field Inspection Coordinator, Public Services
Mike Farmer, Project Engineer, Public Services
Jane Ward, Administration, Public Services
Jeff Tarling, City Arborist, Public Services
Jeremiah Bartlett, Public Services
Captain Chris Pirone, Fire Department
Thomas Errico, P.E., TY Lin Associates
David Senus, P.E., Woodard and Curran
Rick Blackburn, Assessor's Department
Approval Letter File



63 SOUTH ROYAL STREET, SUITE 200
 Mobile, AL 36602
 PHONE 251- 450-7600 / FAX 251-450-7898

Please upload
done

December 3, 2012

Barbara Barhydt
 Development Review Services Manager
 Planning Division
 389 Congress Street
 Portland, ME 04101

RE: WGAN Transmitter Site
 236 Lane Avenue
 Portland, ME 04103
 FEMA Emergency Radio Network Project
 Level 1 Site Alteration Application

2012-643

Please find the enclosed electronic submittal of drawings and attachments following our application for a Level 1 Site Alteration Development Review Permit for the FEMA Emergency Radio Network Project at the WGAN transmitter site.

The following items in PDF form are enclosed for your review:

- Attachment 1 - Documentation discussing application check list
- Attachment 2a – Property Deed
- Attachment 2b – Parcel Map
- Attachment 3 – ELA signed by FEMA and property owner
- Attachment 4 – Correspondence from USACE Portland office personnel
- Attachment 5 – USACE Category 1 Notification Form
- Attachment 6 – Correspondence from Maine DEP
- Attachment 7 – Topographical Survey Plan
- One (1) electronic copy of the followings drawings in PDF format:

Drawing No:	Drawing Title	Revision
G-001	Vicinity Map and Index	0
G-101	Site Plan	0
C-101	Stormwater Management Plan	0
C-102	Civil Plan	0
C-301	Civil Sections	0
S-001	Structural General Notes	0
S-101	Foundation & Fence Plan	0
S-102	Site Generator Foundation Plan	0
S-301	Miscellaneous Sections	0
S-501	Miscellaneous Details	0
S-502	Sign and Fence Details	0
M-101	Mechanical Plan	0
M-201	Mechanical Fuel System Elevations	0



63 SOUTH ROYAL STREET, SUITE 200
Mobile, AL 36602
PHONE 251-450-7600 / FAX 251-450-7898

M-501	Fuel Piping Details	0
M-601	Fuel System P&ID	0
E-101	Electrical Site Plan	0
E-102	Electrical Grounding Plan	0
E-103	Electrical Power Plan	0
E-104	Grounding and Power Plan	0
E-105	Grounding and Power Plan	0
E-401	Transmitter/Generator Electrical Panel Schedules	0
E-402	Transmitter/Generator Electrical Riser Diagrams	0
E-403	Electrical Schedules	0
E-404	Transmitter/Generator UPS/Time Delay Diagram	0
E-501	Installation Details	0
E-502	Installation Details	0
E-503	Installation Details	0
E-504	Installation Details	0

Please let me know if you have any questions or need additional information for the submittal.

Sincerely,

Mike Mullen
KBR
251-450-7896
mike.mullen2@kbr.com

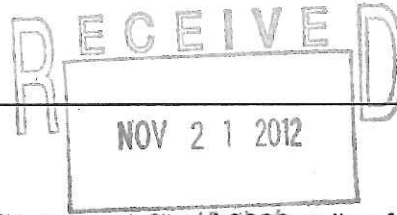
2012-643-

Put R-3 line on plan

PROJECT NAME: FEMA Emergency Radio Network - WGAN Transmitter Site

PROPOSED DEVELOPMENT ADDRESS:

236 Lane Avenue, Portland, ME 04103



PROJECT DESCRIPTION:

Addition of a transmitter module, generator module, site generator and 6000 gallon fuel tank for critical power generation to operate the facility during situations of war, terrorist attack or natural disaster.

CHART/BLOCK/LOT: 302 A006001

CONTACT INFORMATION:

	Applicant's Contact for electronic plans Name: Mike Mullen e-mail: mike.mullen2@kbr.com work #: 251-450-7896
Applicant – must be owner, Lessee or Buyer Name: Darcy Bingham Business Name, if applicable: FEMA Address: 500 C Street, SW City/State : Washington, DC Zip Code: 20472	Applicant Contact Information Work # 202-646-3839 Home# Cell # Fax# e-mail: darcy.bingham@fema.gov
Owner – (if different from Applicant) Name: Saga Communications of New England Inc Address: 420 Western Ave City/State : South Portland, ME Zip Code: 04106	Owner Contact Information Work # 207-771-4561 Home# Cell # Fax# e-mail: aarmstrong@portlandradiogroup.com
Agent/ Representative Name: KBR Address: 63 S. Royal Street, Suite 200 City/State : Mobile, AL Zip Code: 36602	Agent/Representative Contact information Work # 251-450-7896 Cell # e-mail: mike.mullen2@kbr.com
Billing Information Name: KBR Address: 63 S. Royal Street, Suite 200 City/State: Mobile, AL Zip Code: 36602:	Billing Information Work # 251-450-7896 Cell # Fax# 251-450-7898 e-mail: mike.mullen2@kbr.com

**FEMA Emergency Radio Network
WGAN Transmitter Site - Portland, Maine
Level I Site Alteration Documentation
Attachment 1**

Project Description

Under Executive Order 13407, FEMA is undertaking construction activities to establish an effective, reliable and integrated system to alert and warn the American people in situations of war, terrorist attack or natural disaster. These activities will provide selected radio stations with critical power generation, fuel storage and other provisions deemed necessary to operate and maintain their transmitter facilities for an extended period without the availability of commercial power.

The KDWN radio station is participating in this FEMA Emergency Radio Network Program. We are proposing to add equipment near the existing transmitter building including a transmitter module, a generator module housing a 35 kW generator, a 6000-gallon aboveground double-walled fuel storage tank and a 75 kW emergency generator. No towers are proposed or impacted as a part of this project.

Evidence of right, title and interest

The property is owned by Saga Communication of New England. A copy of the deed is attached (*Attachment 2*). Saga has agreed to participate in the FEMA Emergency Radio Network, allowing the equipment to be located at the WGAN transmitter site. Darcy Bingham from FEMA is the applicant for the Site Alteration permit. An Equipment Loan Agreement was signed by FEMA and Saga Communication of New England for this project and is attached (*Attachment 3*).

Copies of Required State and Federal permits

The Portland USACE office has informed us that Category 1 review under the General Permit is all that is required for wetlands permitting due to the limited amount of impact (see attached e-mail correspondence from Jay Clement – *Attachment 4*). A copy of the Category 1 Notification Form is attached. The form was submitted to USACE on November 1, 2012 (*Attachment 5*).

The Maine DEP Bureau of Land and Water Quality have communicated with USACE that the proposed wetland alteration would be considered minor and would be exempt under the Natural Resources Projection Act (see attached e-mail message from Marybeth Richardson – *Attachment 6*).

Zoning

The property is zoned B-4 Commercial Corridor Zone. The property is currently used for a radio transmitter site and this project does not change the use. The existing transmitter building was constructed in 1938 and the property has been used as a radio transmitter site since then. We are installing additional equipment only – towers/antenna will not be added or modified. A permitted use listed for B-4 properties in the Land Use Ordinance is “communications studios and broadcast receiving facilities”.

Easements

No existing easements were found running through the proposed project site. No new easements are proposed for this project.

Waivers

In accordance with the Technical Manual, a boundary survey is required for Level 1 Site Alteration projects. However, since we are impacting less than one-tenth of an acre within a 32.75-acre site, we are requesting an exemption to this requirement.

Because the project site is located in a remote area, not easily seen from a public roadway, we ask for leniency in any requirements for driveway improvements, lighting improvements, sidewalks, landscaping, etc. No additional traffic is expected to the site due to the addition of the FEMA equipment.

We propose to use an 8-foot chain link fence surrounding the project area only and not along the property line. In accordance with section 4.5.7 of the Technical Manual, a 9-gauge fence fabric mounted on schedule 40 pipe posts will be used. However, because the project site is remotely located, we request a waiver to the fence requirements to allow the use of barbed wire and razor wire as additional protection for the fuel tank and equipment and to exempt the use of vinyl coating.

Evidence of Financial and Technical Capacity

The project is being funded by FEMA. The technical design was performed by KBR who has professional engineers licensed in Maine in the disciplines required for this project.

Boundary Survey

This project is expected to impact less than one-tenth of an acre within a 32.75-acre site. We are requesting an exemption to the requirement for a boundary survey for the entire property. A copy of the topographic survey for the project area is *Attachment 7*.

Site Plan

Copies of plan drawings G-101, C-101, C-102 and C-301 are included in this submittal.

- Distance from property line – The approximate distance from the project area to the property line is shown on G-101.
- Existing and proposed paved areas – There are no paved areas on the existing property and no proposed paving is included in this project. The proposed concrete foundations are shown on C-102.
- Proposed protection measures - No significant protection measures are planned for this project with the exception of the silt fencing proposed on drawing C-101.
- Proposed pier rehabilitation – Not applicable
- Existing utilities – Any existing utilities in the project area are shown on drawing C-102
- Existing and proposed grading and contours – Shown on drawing C-102
- Proposed stormwater management/erosion control – Shown on drawing C-101

- Total area and limits of proposed disturbance – Shown on drawings C-102 and C-301
- Existing vegetation to be preserved and proposed site landscaping – The main portion of the project site will be surfaced with crushed stone. The disturbed grassed area around the proposed generator will be seeded. No trees or shrubs are being removed during construction, except along the wetland brushline as shown on drawing C-102. No new landscaping is planned for the site since it is out of view of the public.
- Easements – No existing easements were noted in the project area and no new easements are proposed.



FEMA

UNITED STATES OF AMERICA
DEPARTMENT OF HOMELAND SECURITY
FEDERAL EMERGENCY MANAGEMENT AGENCY
EQUIPMENT LOAN AGREEMENT

Loan Agreement number:

Station FCC Facility ID Number: 58544

Station Call Letters: WGAN

Equipment Loan Agreement between FEMA and:
Saga Communication of New England, LLC

420 Western Avenue, South Portland, Maine 04106

I. BACKGROUND

The Primary Entry Point Program was established to provide the President of the United States with a communications capability to address the people of the United States via the Emergency Alert System during conditions when all other means may not be available, and consists of a network of commercial broadcast stations in the continental United States, plus one each in Puerto Rico, St. Thomas US Virgin Islands, Alaska, and the Hawaii State Emergency Operations Center (EOC). The system has never been used for the intended purpose, but remains ready at all times to fulfill the requirements of the President. At the direction of the Federal Emergency Management Agency, the Primary Entry Point Advisory Committee, Inc. provides certain planning and consulting functions relating to the Primary Entry Point Program.

II. AUTHORITIES:

- (a) 6 U.S.C § 314
- (b) 47 U.S.C. § 606.
- (c) 47 C.F.R. § 11, [Emergency Alert System]

- (d) National Security Presidential Directive 51/ Homeland Security Presidential Directive 20, Continuity, May 4, 2007.
- (e) Executive Order 13407 Public Alert and Warning System, June 2006
- (f) Presidential Communications with the General Public during Periods of National Emergency, Statement of Requirements, September 15, 1995
- (g) Executive Order 12656, November 18, 1988, Assignment of Emergency Preparedness Responsibilities, Section 201 (11)
- (h) The Robert T. Stafford Disaster Relief and Emergency Assistance Act, Section 611(d) and (e), 42 USC. 5196(d) and (e), November 23, 1988
- (i) Presidential Decision Directive 67

III. DEFINITIONS IN THIS AGREEMENT:

- (a) "EAS" means the Emergency Alert System, as defined in 47 C.F.R. § 11.1 *et seq.*
- (b) "ELA" means this Equipment Loan Agreement.
- (c) "Equipment" means the EAS equipment identified on Appendix A. (See paragraph VI (c) below.)
- (d) "FCC" means the Federal Communications Commission.
- (e) "FCC Licensee" means the owner of the Station and any successor owner under common control with FCC Licensee.
- (f) "FEMA" means the Federal Emergency Management Agency.
- (g) "PEPAC" means the Primary Entry Point Administrative Council, Inc.
- (h) "PEP Stations" means those broadcasters that are connected with government activation points pursuant to 47 C.F.R. § 11.14.
- (i) "PEP System" means the Primary Entry Point system, a nationwide network of broadcast stations that is connected with United States Government activation points to distribute Emergency Activation Notifications, Emergency Action Terminations, EAS national test messages and other EAS messages.
- (j) "Station" means the broadcast station identified by the FCC Facility ID number above.

IV. PURPOSE AND SCOPE:

FEMA has determined that the FCC Licensee satisfies the criteria for serving as a PEP Station, and that the loan to FCC Licensee of the Equipment identified on Appendix A hereto is necessary to prevent loss of life, health, and property in the event of a national emergency. This ELA sets forth the terms and conditions under which FEMA will loan the EAS Equipment to FCC Licensee. Terms and protections described by this agreement shall pertain only to FEMA provided Equipment, as defined by this agreement.

V. GENERAL - TERMS OF THE LOAN

The Equipment is loaned to FCC Licensee solely for the purpose of establishing or maintaining the Station as a PEP Station. FEMA and FCC Licensee agree that ownership of the Equipment remains vested in the United States Government. FEMA permits the FCC Licensee custody and possession of the Equipment, subject to the following terms and conditions:

- (a) The term of this ELA shall be ten (10) years, with automatic renewals for successive 10-year periods unless otherwise terminated by FEMA or FCC Licensee in accordance with this ELA.
- (b) FEMA agrees that FCC Licensee may make use of the Equipment during normal broadcast operations, provided that such use does not impair FCC Licensee's ability to activate the Equipment for its intended use as part of the PEP System immediately if required.
- (c) When the PEP System is activated, FCC Licensee agrees to broadcast, in accordance with FCC's rules and without censorship, any and all program material furnished and delivered to the Station by the United States Government. Live broadcasts by the President of the United States during national emergencies must be broadcast by the Station.
- (d) If Appendix A to this ELA includes loaned electric power generating equipment and loaned diesel fuel storage tanks, FEMA agrees to provide FCC Licensee with an initial supply of diesel fuel sufficient to enable the Station to operate for up to 60 days (or an amount equal to the capacity of the loaned diesel fuel storage facilities, whichever is less). Thereafter, FCC Licensee agrees to maintain sufficient diesel fuel to operate the Equipment for a continuous 30-day period without refueling. FEMA will reimburse FCC Licensee for the cost of up to 500 gallons of diesel fuel annually used during required operation and testing of the Equipment.

VI. RESPONSIBILITIES

(a) FEMA Responsibilities

- (1) FEMA is responsible for the initial construction and installation of the Equipment at the FCC Licensee Station and all costs associated therewith, including but not limited to:
 - a. The replacement or restoration of the antenna ground system, to FCC Licensee's satisfaction, from any damage incurred by the installation of the Equipment.
 - b. The replacement or repair of any property fencing, property groundscape or other FCC Licensee personal property damage incurred by the installation of the Equipment.
- (2) FEMA is responsible for the maintenance, repair and replacement of the Equipment and all costs associated therewith, including FEMA supplied fuel tanks and fuel system components and for the costs of any permits, registrations and licenses that relate directly and solely to the operation or installation of the Equipment. Other fees and costs incurred by FCC Licensee in connection with the operation of the Station in the normal course of business shall remain the responsibility of FCC Licensee.
- (3) In consideration of FCC Licensee's agreement to enter into this ELA, FEMA, on behalf of the United States Government, shall indemnify, defend, and hold harmless FCC Licensee, its parent corporation, its affiliates and their respective officers, directors, employees and representatives, and the successors and assigns of any of them, from and against, and shall reimburse them for, all claims, damages, costs and expenses, including, without limitation, interest, penalties, court costs and reasonable attorneys' fees and expenses, resulting from or arising out of (i) any breach by FEMA of any of its

representations, warranties, covenants, obligations or other agreements contained in this ELA; or (ii) any failure by FEMA or its agents to comply with any applicable laws, statutes, ordinances or regulations. In addition, FEMA agrees to be responsible for any claim for personal injury or property damage or otherwise brought on behalf of any third party person, firm or corporation against FCC Licensee as a result of or in connection with FCC's Licensee's custody and operation of the Equipment or FCC Licensee's performance of its obligations under this ELA, including without limitation spills, discharges and other environmental impacts or damages, provided that such claim, damage, cost or expense does not result from the willful, knowing, or intentional acts or the negligence of FCC Licensee and is otherwise within the scope of, and subject to, the Federal Tort Claims Act or other specific federal law. The foregoing indemnities shall survive the termination of this Agreement.

- (4) FEMA retains the right to periodically inspect and verify the operation and condition of the Equipment, upon reasonable notice to FCC Licensee at a minimum semi-annually. Diesel fuel tanks and associated systems are subject to periodic inspection by the United States Army Corps of Engineers (USACE) or its delegated agents.

(b) FCC Licensee Responsibilities

- (1) FCC Licensee will use best efforts to provide space and services, including personnel services, to operate its broadcast facilities during national emergency conditions.
- (2) FCC Licensee agrees to provide reasonable access to its facilities during normal business hours when requested in advance by FEMA or its designee to allow inspection of the Equipment, and the performance of associated work, as determined by FEMA or its designee; provided that a representative of FCC Licensee will be entitled to accompany FEMA or its designee at all times.
- (3) FCC Licensee agrees to notify FEMA of any fuel spills, discharges or other environmental impacts or damages relating to the Equipment immediately upon becoming aware of them. FCC Licensee will grant immediate access to FEMA, PEPAC or their agents upon learning of the case of an incident involving fuel spills, discharges or other environmental impacts or damages relating to the Equipment.
- (4) FCC Licensee agrees that the Equipment will be situated and maintained at the location specified in Appendix A and will not be removed from the site nor will any modifications or attachments be made to any FEMA supplied fuel tanks or fuel system components without prior written consent from FEMA, which consent will not be unreasonably withheld or delayed.
- (5) FCC Licensee agrees not to publicize the installation or operation of the Equipment for the purpose of seeking competitive advantage during non-emergency conditions or situations.
- (6) FCC Licensee agrees to inspect the Equipment on a monthly basis to verify the Equipment is available for use during an emergency; although FCC Licensee cannot guarantee that the Equipment will always be available. FCC Licensee further agrees to perform reasonable visual inspections, and as necessary, use commercially reasonable efforts to assist with providing reasonable access for FEMA and/or its contractors with replacement, repairs, maintenance, and testing of the FEMA owned equipment. FCC Licensee also agrees to maintain a log of all equipment visually inspected.

- (7) FCC Licensee agrees to take reasonable precautions to secure the Equipment from damage, loss, or theft. FCC Licensee will not be held accountable for damage due to fire, flood, natural disaster or other force majeure event, or due to any other circumstances beyond the control of FCC Licensee. FCC Licensee agrees to promptly report any damage, loss, or theft of the Equipment to FEMA.
- (8) It is the responsibility of each PEP Station to be prepared to immediately broadcast emergency messages and information when required by the President and/or FEMA. In order to meet this requirement, FCC Licensee agrees to use commercially reasonable efforts maintain the Equipment in operational order at all times.

(c) Joint FEMA and FCC Licensee Responsibilities

FEMA and FCC Licensee agree to execute a FEMA Custody Receipt for Government Property on Personal Charge Form 61-9 (Form 61-9) with respect to the Equipment, a copy of which is attached hereto at Appendix C. It is understood and agreed that the Form 61-9 is subject in all respects to the terms and conditions of this ELA, and that the execution of the Form 61-9 does not impose on FCC Licensee any obligations, responsibilities or potential liabilities beyond those expressly provided for in the ELA. Upon execution of each Form 61-9 items listed therein shall be appended to list of Equipment maintained in Appendix A. In the event that any Equipment is replaced or any new EAS equipment is installed at the Station, FEMA and FCC Licensee shall promptly amend this ELA to include an updated Form 61-9 at Appendix A that identifies any such new or replacement equipment. In the event that FCC Licensee learns of theft or damage to FEMA owned equipment, FCC Licensee will promptly notify FEMA and report the incident to local authorities and obtain an incident report.

(d) Funding

FEMA provides funding for the operation of the PEP Program.

VII. TERMINATION

- (a) Either party may terminate this ELA without penalty in the event the other party fails or refuses to comply with its terms.
- (b) This ELA may be terminated at the convenience of the United States Government at any time. If terminated, FEMA agrees to remove the Equipment from FCC Licensee's premises at its own expense as soon as possible, but in no event later than one-hundred and eighty (180) calendar days following the date of termination, and shall promptly return FCC Licensee's property to its condition prior to the installation of the Equipment.
- (c) FCC Licensee may terminate this ELA upon not less than one hundred twenty (120) calendar days advance written notice to FEMA at any time prior to expiration of the initial 10- year term. If FCC Licensee elects to terminate this ELA, and does so in accordance with these terms, the FCC Licensee will remove and return the Equipment within one-hundred and eighty (180) calendar days thereafter to such a location as FEMA may direct within a shipping radius of 300 miles. This return will be made at no cost to FEMA and the property will be returned in the condition as originally received, with the exception of reasonable wear and tear and damage by casualty. If FCC Licensee terminates this ELA subsequent to the initial 10 year period, FEMA agrees to remove the Equipment from the FCC Licensee's property as soon as possible, but in no event later than one-hundred and fifty (150) calendar days later, at its own expense, and shall

promptly return FCC Licensee's property to its condition prior to the installation of the Equipment.

VIII. OTHER MATTERS

1. This ELA supersedes any existing equipment loan agreements with FEMA or the FCC for the Licensee related to the Station. Existing ELAs entered into with the FCC have been transferred from the FCC to FEMA, including any and all benefits, responsibilities, rights, and liabilities the FCC may have by virtue to those agreements.
2. This ELA is effective as of the date of last signature by the parties below. Each signatory represents that he or she is duly authorized to enter into this ELA on behalf of its respective party.
3. Nothing in this ELA shall affect in any way FCC Licensee's compliance with regulations regarding the EAS at 47 C.F.R. Part 11 or any other obligation created by law or regulation.

IX. SIGNATURES

Federal Emergency Management Agency – FEMA:

By:  DATE: 05/14/12

Damon Penn, Assistant Administrator of the National Continuity Program Directorate

FCC Licensee: SAGA COMMUNICATIONS OF NEW ENGLAND, LLC.

By:  05/09/2012
SIGNATURE DATE

WARREN S. LAPA, EXEC. VP/OPS
Name and Title

420 WESTERN AVENUE
Address

SOUTH PORTLAND, ME 04106
Address

BK 12543PG308

29174

CONFIRMATORY DEED

SAGA COMMUNICATIONS MANAGEMENT, INC., a Delaware corporation, individually and as the sole general partner of Saga Communications Management, L.P., BOSTON VENTURES LIMITED PARTNERSHIP III, a Massachusetts limited partnership, individually and as a limited partner of Saga Communications Limited Partnership, BOSTON VENTURES III-A INVESTMENT CORP., a Massachusetts corporation, individually and as a limited partner of Saga Communications Limited Partnership and EDWARD K. CHRISTIAN, individually and as a limited partner of Saga Communications Management, L.P. (collectively, the "Grantors") for no monetary consideration hereby grant to SAGA COMMUNICATIONS of NEW ENGLAND, INC., a Delaware corporation, all the right, title and interest of the Grantors in the following property:

Beginning at a point marked by an iron rod set, which point is distant three hundred sixty-three and forty hundredths (363.40) feet on a course N 13° 53' 10" W from an iron in the northwesterly sideline of said Warren Avenue marking the southeasterly corner of land conveyed by Margaret O'Connor to Frank Sangollo, dated July 15, 1920, and recorded in the Cumberland County Registry of Deeds in Book 1057, Page 98;

Thence N 30° 47' E along land now or formerly of Your Home, Inc., a distance of eight hundred fifty and no hundredths (850.00) feet to an iron rod set;

Then N 59° 13' W along said land now or formerly of Your Home, Inc., a distance of three hundred thirty and no hundredths (330.00) feet to an iron rod set;

Thence N 30° 47' E along land now or formerly of Your Home, Inc., a distance of one hundred fifty and no hundredths (150.00) feet to an iron rod set;

Thence N 59° 07' W a distance of three hundred eighty-seven and seventy-five hundredths (387.75) feet to an iron rod set in the southeasterly line of a right of way conveyed by Lee H. Donnelly and Sabina D. O'Connor to Maine Turnpike Authority dated October 11, 1954, and recorded in said Registry of Deeds in Book 2206, Page 400;

Please RETURN TO: CYNTHIA A. HAHN, ESQ.
 EDWARDS & ANGELL
 101 FEDERAL STREET
 BOSTON, MA 02110 32069BOSAIC

Thence S 30° 58' W a distance of twenty-three and forty hundredths (23.40) feet to a railroad spike;

Thence N 59° 09' W a distance of three hundred eighty-seven and seventy-five hundredths (387.75) feet to an iron rod set in the southeasterly line of said Maine Turnpike Authority right of way;

Thence S 30° 58' W by said Maine Turnpike Authority right of way a distance of three hundred and no hundredths (300.00) feet to an iron rod set;

Thence N 59° 09' W a distance of three hundred forty-nine and thirty-six hundredths (349.36) feet to an iron rod set;

Thence S 30° 51' W a distance of seventy-seven and sixty-eight hundredths (77.68) feet to an iron rod set in the easterly line of land conveyed by Guy Gannett Broadcasting Services to Maine Turnpike Authority, by deed dated May 24, 1954, and recorded in said Registry of Deeds, Book 2186, Page 197;

Thence S 18° 06' W along said land of Maine Turnpike Authority a distance of eight hundred forty-seven and sixty-six hundredths (847.66) feet to an iron rod found marking the Northwesterly corner of land now or formerly of Warren Avenue Realty Corp.;

Thence S 64° 03' E along said land of Warren Avenue Realty Corp., other land of Guy Gannett Broadcasting Services and other land now or formerly of Warren Avenue Realty Corp. a distance of seven hundred seventeen and thirty-two hundredths (717.32) feet to an iron rod found marking the northeasterly corner of said land now or formerly of Warren Avenue Realty Corp.;

Thence N 84° 22' E by land conveyed by Guy Gannett Broadcasting Services to Goodwill of Maine, Inc., by deed dated April 29, 1983, and recorded in said Registry of Deeds, Book 6161, Page 100, distance of two hundred seventy-nine and seventy-three hundredths (279.73) feet to an iron rod set;

Thence continuing by other land now or formerly of Goodwill of Maine, Inc., S 59° 13' E a distance of three

hundred thirty and no hundredths (333.00) feet to the point of beginning.

Also conveying an easement for construction and maintenance of subsurface ground system to be used in connection with broadcasting activity as reserved by Guy Gannett Broadcasting Services in its deed to Goodwill of Maine, Inc., dated April 29, 1983, and recorded in said Registry of Deeds in Book 6161, Page 100.

Also conveying a right of way for passage of vehicles and pedestrians to be used in connection with the maintenance and repair of the antenna located on the premises as granted to Guy Gannett Broadcasting Services by Goodwill of Maine, Inc., by deed dated April 28, 1983, and recorded in said Registry of Deeds in Book 6161, Page 98.

Also conveying a right of way in Lane Avenue as established by Agreement between Helen F. Cushman, Alvin B. Lane and William A. Mitchell dated May 24, 1916, and recorded in said Registry of Deeds in Book 1287, Page 107, and conveyed to Portland Broadcasting System, Inc., by deed of Edith M. Taft dated July 19, 1940, and recorded in said Registry of Deeds in Book 1611, Page 410.

This Deed is given to confirm and ratify the Short Form Quitclaim Deed dated December 18, 1992 (the "Deed") pursuant to which SAGA COMMUNICATIONS LIMITED PARTNERSHIP, a Massachusetts limited partnership, granted to SAGA COMMUNICATIONS, INC., a Delaware corporation, the property described therein which is commonly known as 236 Lane Avenue, Cumberland County, Maine (the "Property").

The Deed was recorded in the Cumberland County Register of Deeds on 12/21/92 at Book 10470, Page 228.

This Confirmatory Deed is given to clarify the records and confirm and ratify the transfer of the Property by Saga Communications Limited Partnership to Saga Communications,

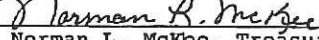
Inc. The undersigned constitute the general and limited partners of the Partnership and their respective successors and assigns who, as of the date hereof, possessed an ownership interest in the Property prior to its transfer to Saga Communications, Inc. pursuant to the Deed.

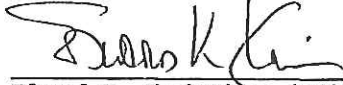
The conveyance effected hereby does not constitute a transfer of all or substantially all of the assets of the Grantors.

Said Deed was mistakenly executed by Saga Communications, Inc. as the general partner of Saga Communications Limited Partnership when the actual general partner of record of Saga Communications Limited Partnership at the time of such transfer was Saga Communications Management, L.P.

SAGA COMMUNICATIONS
MANAGEMENT, INC., individually and
as the sole general partner of
Saga Communications Management,
L.P.

By: 
Edward K. Christian, President

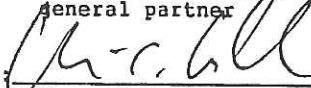
By: 
Norman L. McKee, Treasurer


Edward K. Christian, individually
and as a limited partner of Saga
Communications Management, L.P.

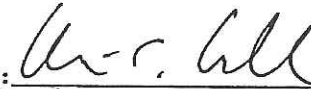
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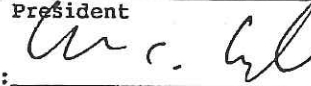
BOSTON VENTURES LIMITED
PARTNERSHIP III, individually and
as a limited partner of Saga
Communications Limited Partnership

By: Boston Ventures Company
Limited Partnership III, its
general partner

By: 
A General Partner

BOSTON VENTURES III-A INVESTMENT
CORP., individually and as a
limited partner of Saga
Communications Limited Partnership

By: 
President

By: 
Treasurer

STATE OF MICHIGAN
COUNTY OF WAYNE

On this 28th day of August, 1995, before me appeared Edward K. Christian, to me personally known, who, being by me duly sworn, did acknowledge that he is the President of Saga Communications Management, Inc. and that the seal affixed to said instrument is the corporate seal of said corporation and that the foregoing instrument was signed and sealed on behalf of said corporation by authority of its board of directors and he acknowledged said instrument to be his free act and deed and the free act and deed of said corporation.

Marcia K. Lobaito
 Marcia K. Lobaito
 Notary Public
 My Commission Expires:

STATE OF MICHIGAN
COUNTY OF WAYNE

On this 28th day of August, 1995, before me appeared Norman L. McKee, to me personally known, who, being by me duly sworn, did acknowledge that he is the Treasurer of Saga Communications Management, Inc. and that the seal affixed to said instrument is the corporate seal of said corporation and that the foregoing instrument was signed and sealed on behalf of said corporation by authority of its board of directors and he acknowledged said instrument to be his free act and deed and the free act and deed of said corporation.

Marcia K. Lobaito
 Marcia K. Lobaito
 Notary Public
 My Commission Expires:

STATE OF MICHIGAN
COUNTY OF WAYNE

The foregoing instrument was acknowledged before me on this 28th day of August, 1995 by Edward K. Christian.

Marcia K. Lobaito
 Marcia K. Lobaito
 Notary Public
 My Commission Expires:

COMMONWEALTH OF MASSACHUSETTS
COUNTY OF SUFFOLK

On this 28th day of August, 1995, before me appeared Richard P. Wallace, to me personally known, who, being by me duly sworn, did acknowledge that he is a general partner of Boston Ventures Company Limited Partnership III which is the general partner of Boston Ventures Limited Partnership III and that the foregoing instrument was signed on behalf of Boston Ventures Limited Partnership III by authority of its general partner and he acknowledged said instrument to be his free act and deed and the free act and deed of said partnership.

Shirley L. Dett
Notary Public
My Commission Expires: 5-3-02

COMMONWEALTH OF MASSACHUSETTS
COUNTY OF SUFFOLK

SEAL

On this 29th day of August, 1995, before me appeared Richard C. Wallace, to me personally known, who, being by me duly sworn, did acknowledge that he is the President of Boston Ventures III-A Investment Corp. and that the seal affixed to said instrument is the corporate seal of said corporation and that the foregoing instrument was signed and sealed on behalf of said corporation by authority of its board of directors and he acknowledged said instrument to be his free act and deed and the free act and deed of said corporation.

Shirley L. Dett
Notary Public
My Commission Expires: 5-3-02

COMMONWEALTH OF MASSACHUSETTS
COUNTY OF SUFFOLK

SEAL

On this 29th day of August, 1995, before me appeared Richard C. Wallace, to me personally known, who, being by me duly sworn, did acknowledge that he is the Treasurer of Boston Ventures III-A Investment Corp. and that the seal affixed to said instrument is the corporate seal of said corporation and that the foregoing instrument was signed and sealed on behalf of said corporation by authority of its board of directors and he acknowledged said instrument to be his free act and deed and the free act and deed of said corporation.

Shirley L. Dett
Notary Public
My Commission Expires: 5-3-02

RECEIVED!
RECORDED, REGISTRY OF DEEDS?

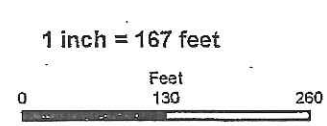
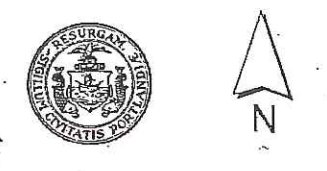
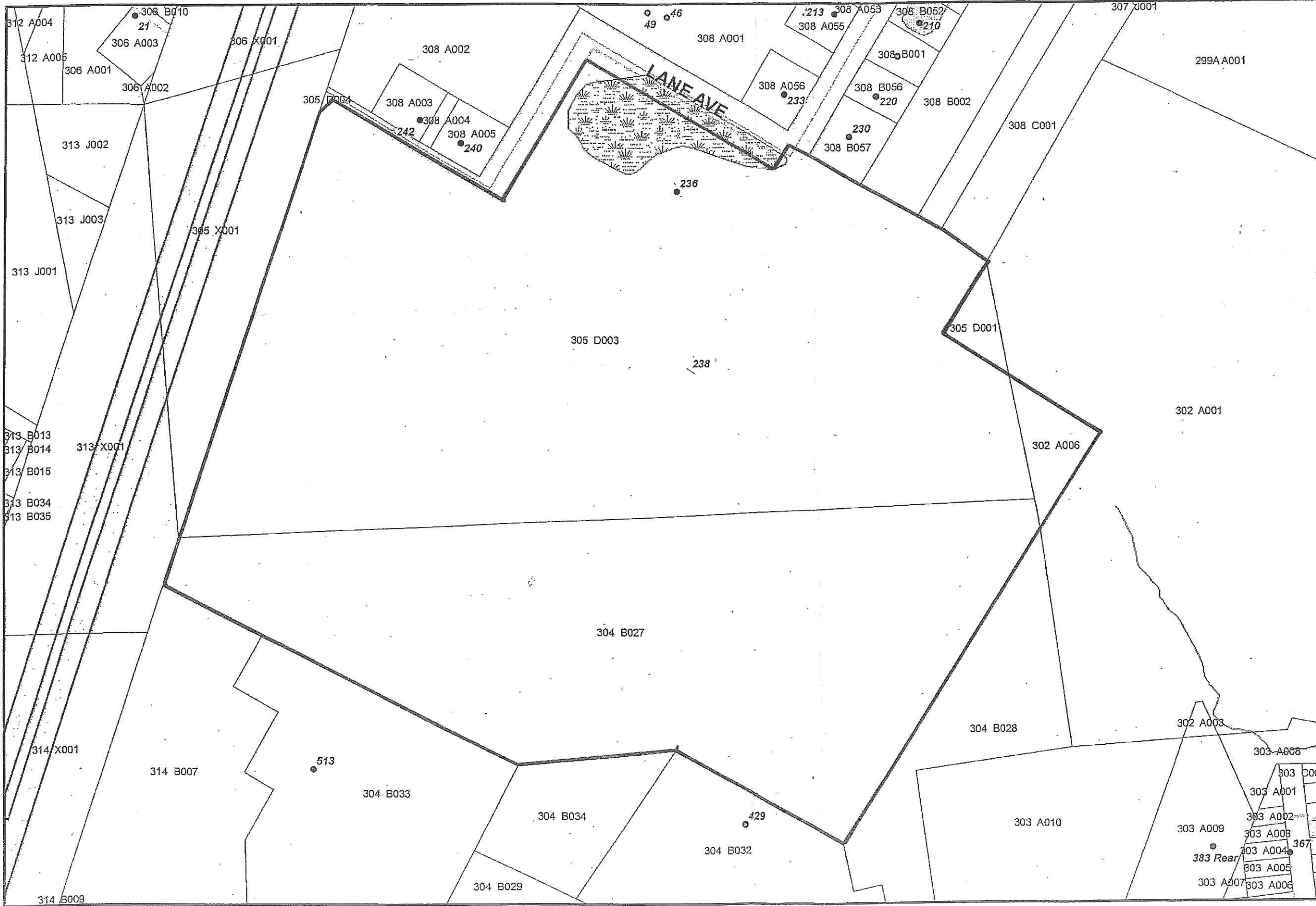
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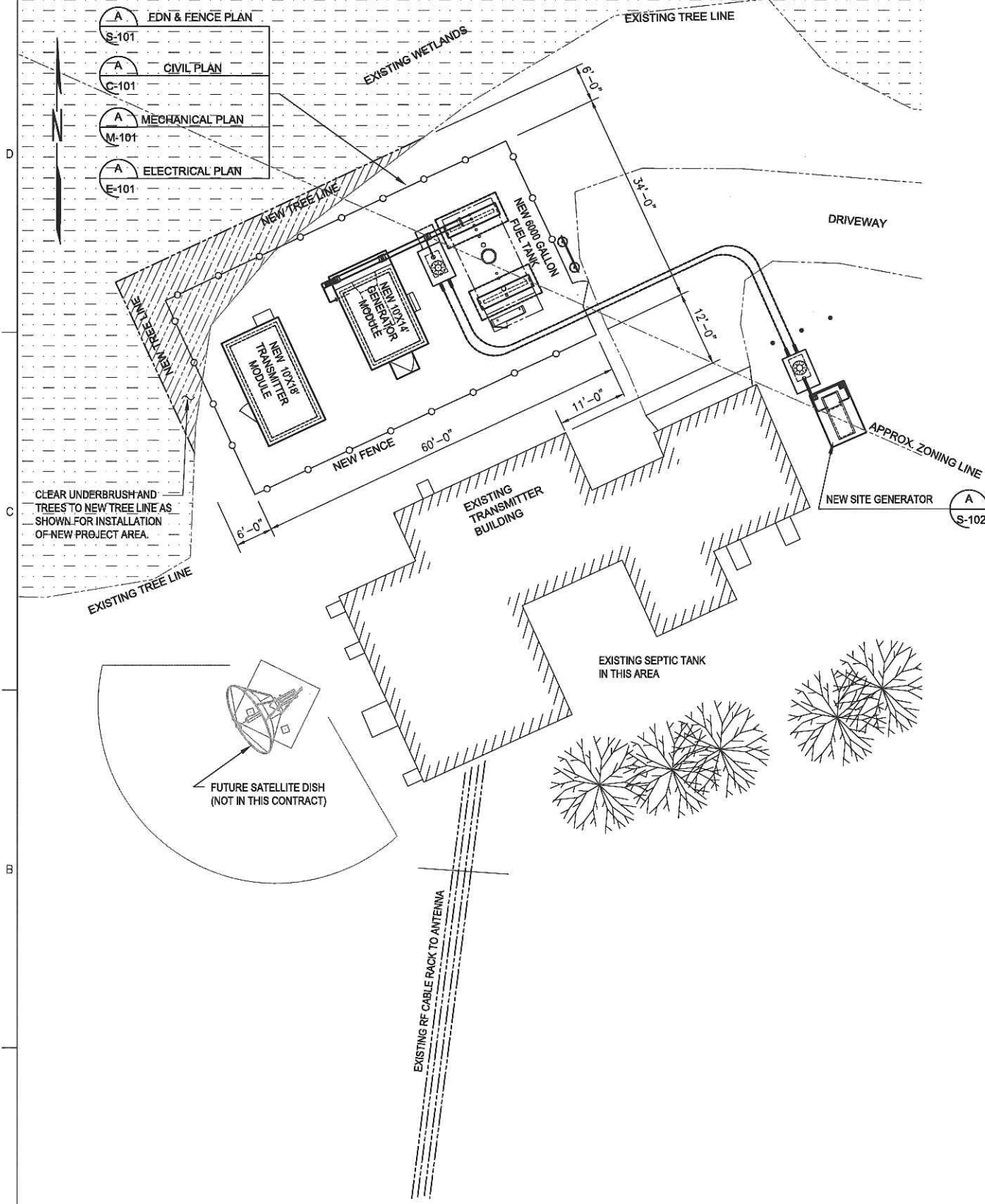
SEAL BOSAC3-366

CUHBERLAND COUNTY

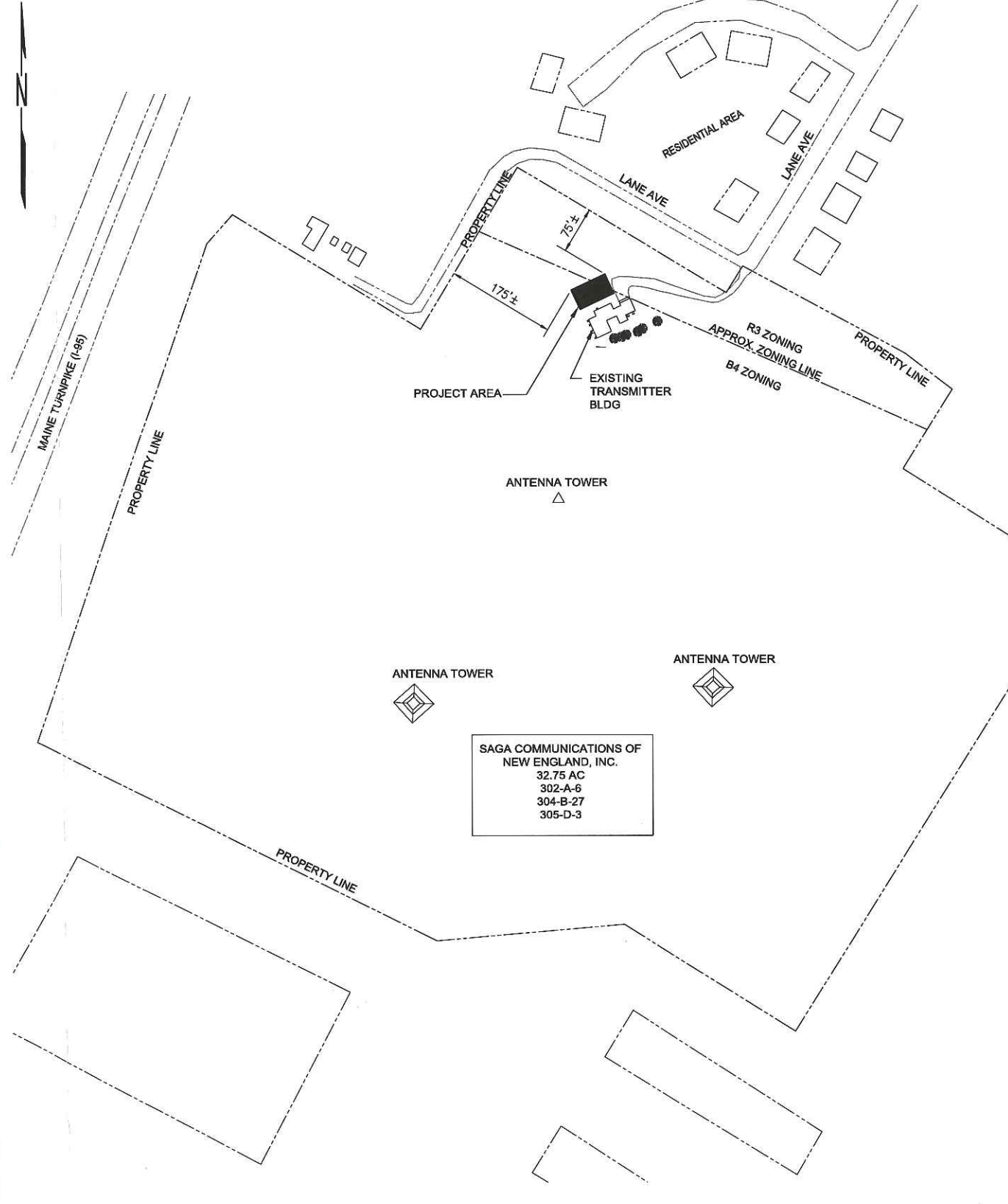
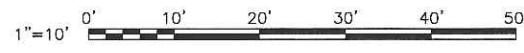
John B. O'Brien



Map Produced by the City of Portland's ArcGIS Server Web Application.

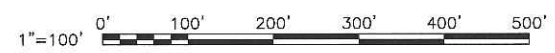


1 STATION WGAN - SITE PLAN
G-001 SCALE: 1"=10'-0"



WGAN PROPERTY PLAN

SCALE: 1"=100'



REVISED WITH ZONING INFORMATION



Project Manager	DC Designer	Architectural	Structural	Mechanical	Electrical	Other

Rev	Description	Date	By	Check
1	ISSUED FOR PERMITTING	12/17/12		
2	ISSUED FOR CONSTRUCTION	11/7/12		

Designed by:	DCB
Drawn by:	RAM
Checked by:	MLM
Reviewed by:	DCB
Date:	2012

KBR
 a Southworth Group Company
 32.75 AC
 302-A-6
 304-B-27
 305-D-3
FEMA
KBR
 Engineering Services by
 KBR Engineering Co., LLC

FEMA EMERGENCY RADIO NETWORK
 ON WGAN PORTLAND, MAINE
SITE PLAN

Drawing Number:
G-101