

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 80 Verrill St (Lot #22)		Owner: Grondin/Flaherty (?)		Phone:		Permit No: 960018	
Owner Address:		Leasee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Coleman Construction		Address: 31 Wendell St Pctd, ME 04103		Phone: 797-0034		Permit Issued: PERMIT ISSUED JAN 12 1996 CITY OF PORTLAND Zone: CBL:	
Past Use: Vacant Land		Proposed Use: 1-fam dwelling		COST OF WORK: \$ 60,000.00		PERMIT FEE: \$ 270.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group 137 Type 5B BOCA 93 Signature: <i>[Signature]</i>	
Proposed Project Description: Construct 1-fam				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Gresik		Date Applied For: 14 December 1995		Signature:		Date:	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT **Coleman Walsh** ADDRESS: DATE: **14 December 1995** PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

7

D. Jordan

COMMENTS

1/17/96 Called for Foundation insp - not ready - Stakeout out - forms
 in - still digging hole @

1-18-96 - Hips in 18" wide x 6 1/2" H / 8" wall forms / set backs appear OK

2-8-96 2nd Fl Framing OK / 1st Fl. Carry Beams (3 2x10 LVL's) (2 2x10 spaced
 OK per plans

2-29-96 Plumbing Permit OK.

3-4-96 - (Final Insp) (St #15 needed) (Sonic tube supports needed @ sides & Front Platform for stairs)
 Hoisting Permit / 2nd Floor 2 out of 3 rooms unfinished @ second Fl. / Rear AIR UNIT Door
 secured need stairs by July 1, 1996

6-27-96 - Temp Cot O - No sonos under front & side platforms? Can't tell / Deck on rear
 no permit

Inspection Record

Type

Date

Foundation: _____

Framing: _____

Plumbing: _____

Final: _____

Other: _____

Applicant: Coleman Walsh
Address: 80 Verrill St (lot #22)
Assessors No.: ? 300-B-26-27-28?

Date: 1/10/96

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot -

Use - Single family dwelling 26'x32' (no garage) - no Deck shown
AT this time

Sewage Disposal - City

Rear Yards - 25' req - ~33' to rear of bulkhead

Side Yards - 8' req - 10' req 45' shown

Should not be
note TRANS
projection

Front Yards - 25' req - 27' to bldg - 25' to deck of stairs

Projections - bulkhead on rear 6'4" into rear yard OK

Height - 1/2 stories

Lot Area - 6,500^{sq} req - 8,390^{sq} per assessors; Thin Subdivision

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

Off-street Parking -

Loading Bays -

Site Plan - minor/minor

Shoreland Zoning - N/A

Flood Plains -



CITY OF PORTLAND



DEPARTMENT OF PUBLIC WORKS
OPERATIONS / ENGINEERING SECTION
55 PORTLAND STREET
PORTLAND, MAINE 04101
(207) 874-8300 Telephone
(207) 874-8852 FAX Line

FAX TRANSMITTAL COVER PAGE

DATE: 10-4-96

SEND TO 1211 Airport

COMPANY ORGANIZATION: Portland, 10/4/96

FAX NUMBER: 874-8715

FROM: _____

TELEPHONE/EXTENSION: (207) 874-8300 EXT. 74-8301

NUMBER OF PAGES INCLUDING COVER SHEET 2

OPTIONAL MESSAGE This is for 55 VEBILL STREET



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Coleman Construction

14 December 1995

Applicant 31 Wendell St Portland, ME 04103

Application Date _____

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent Coley Walsh 797-0034

80 Verrill St (Lot #22)

Applicant or Agent Daytime Telephone, Fax _____

Address of Proposed Site _____

300-B-26-27-28 299A-B 026

Assessor's Reference: Chart-Block-Lot _____

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

816 GFC 1,456 Total 1.2 acre 8,390# R-3
Proposed Building Square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____

Approval Status:

Reviewer Marge Schmuck

- Approved Approved w/Conditions listed below Denied

1. Separate permits are required for any decks and/or garages

2. _____

3. _____

4. _____

Approval Date 1/11/96 Approval Expiration _____ date Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____

Inspection Fee Paid _____ date _____ amount _____

Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____

Performance Guarantee Released _____ date _____ signature _____

Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____

Defect Guarantee Released _____ date _____ signature _____

Address: Verrill St (Lot #22)



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Coleman Construction
Applicant

14 December 1995
Application Date

31 Wendell St Ptld, ME 04103
Applicant's Mailing Address

80 Verrill St (Lot #22)
Project Name/Description

Coley Walsh 797-0034
Consultant/Agent
797-0034
Applicant or Agent Daytime Telephone, Fax

300-B-26-27-28 = 299A-B-026
Address of Proposed Site
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Other (specify) _____

816 GFC 1,456 Total 3,390 #
Proposed Building Square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____ |

Fees paid: site plan 50.00 subdivision _____

Approval Status:

Reviewer Jaegerman / Seymour

- Approved Approved w/Conditions listed below Denied

- See Attached -
- (Lot grading details)
- Note: OK to issue bldg permit, 1/9/96, J. Seymour to review next week to certify condition compliance.
-

Approval Date 1/9/96 Approval Expiration 1/9/97 Extension to _____ date Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|-------------------------------|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

Address: Verrill St (Lot #22)



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Alex Jagerman, Chief Planner
Kathi Staples, City Engineer
FROM: Kevin Carroll, Code Enforcement Officer
RE: Temporary C of O's/Verrill St

We have several properties on Verrill St occupied under Temporary C of O's, which we are attempting to close out. Many of the issues involved have been imposed by the Planning & Public Works Depts. Would you please review the attached information and advise as to whether or not we can issue a permanent C of O.

Attached: 52 Verrill St
60 Verrill St
61 Verrill St
67 Verrill St
80 Verrill St

I would appreciate a response by 1/23/98 so we may take action on these in January.

Thank You 

cc: Joseph E. Gray
M. Nugent

CITY OF PORTLAND, MAINE

Dept. of Planning & Urban Development

City Hall

389 Congress Street
Portland, Maine 04101

FACSIMILE MESSAGE COVER SHEET

Return Fax #

(207) 874-8716

Date: 6-25-96

Time: 7:45

To the Attention of: David Conway

Company/Entity: PW

Message From: Insp D. Jordan

Department: Insp.

Phone #: 874-8709

Receiving FAX #: 874-8852

Total # of Pages including cover sheet: 3

Message:

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

January 12, 1996

Coleman Construction
31 Wendell Street
Portland, Maine 04103

RE: 80 Verrill Street

Dear Sir,

Your application to construct a single family dwelling has been reviewed and a permit is herewith issued subject to the requirements listed below. This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

Site Plan Review Requirements

Code Enforcement - Separate permits are required for any decks and/or garages - M. Schmuckal
Development Review Coordinator - Read and implement items listed on site plan review conditions of approval - J. Seymour

Building Code Requirements

1. Please read and implement items 1, 2, 7, 9, 11, 13, 14, 15, 16 and 17 of the attached Building Permit Report.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

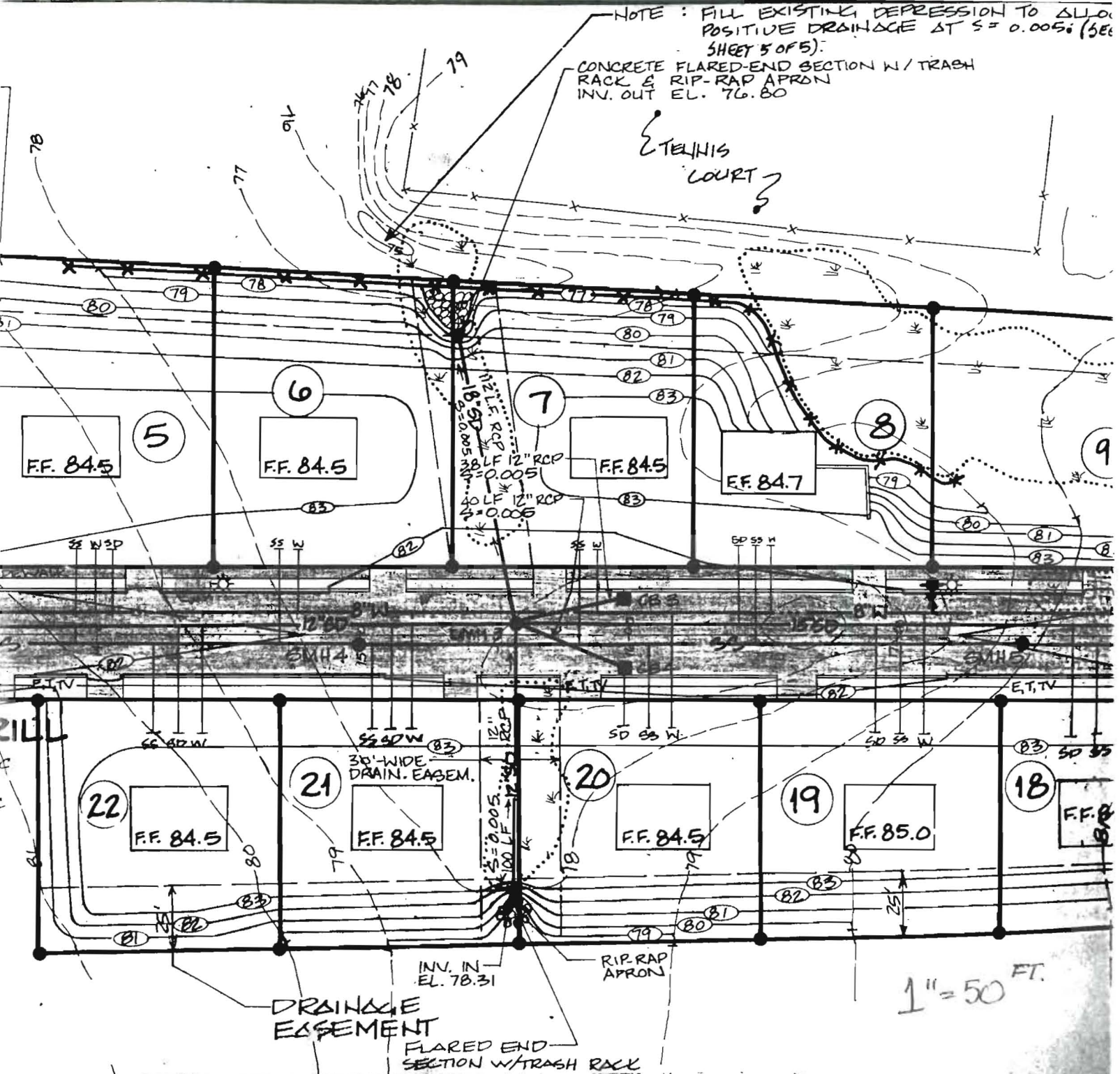
Sincerely,

P. Samuel Hoffses
Chief, Code Enforcement Division

cc: M. Schmuckal, Asst.Ch, Code Enf
J. Seymour, DRC

NOTE: FILL EXISTING DEPRESSION TO ALL POSITIVE DRAINAGE AT S = 0.005 (SEE SHEET 5 OF 5).
 CONCRETE FLARED-END SECTION W/ TRASH RACK & RIP-RAP APRON
 INV. OUT EL. 76.80

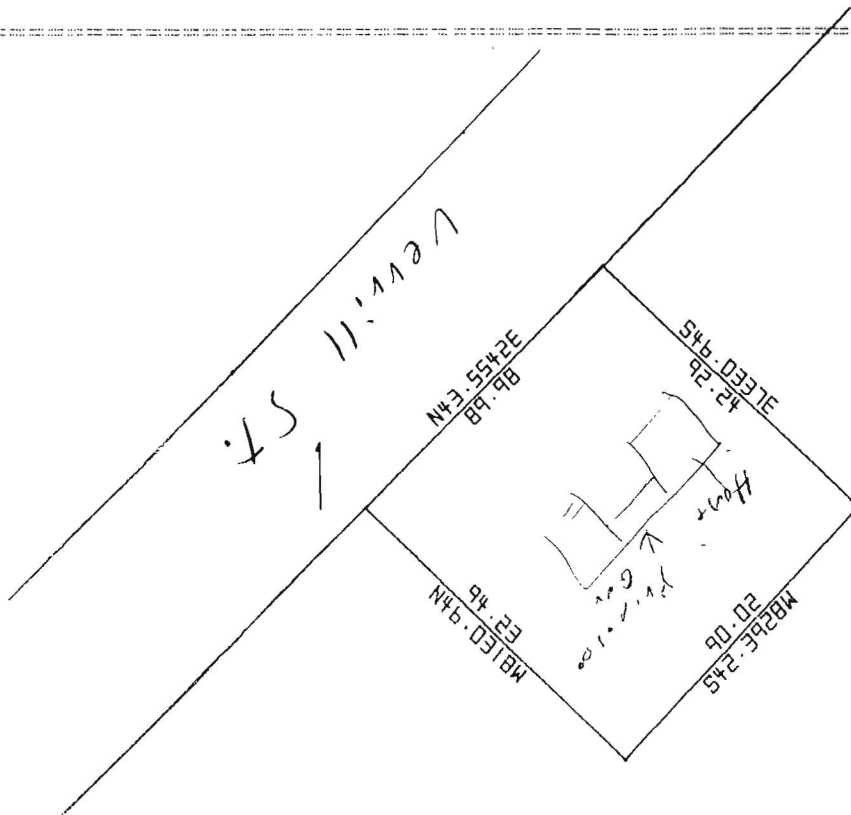
ETELNIS COURT



General Notes

1. All work shall comply with all local, State and Federal safety regulations
2. All work shall be in conformance with City of Portland and other utility companies standards
3. Contractor shall secure all necessary permits for work shown on these plans.
4. Contractor shall verify locations of existing utilities with appropriate utility companies prior to start of construction
5. Contractor shall coordinate work with
10. All underground, power, telephone, & TV Cables shall be run in conduit of a size and type specified by respective utility company under all paved surfaces.
11. Project Benchmark - Disc on 6"x6" granite monument located at the intersection of the ~~Northwestern~~ ^{Northwestern} sideline of Verrill Street and the ~~Northwestern~~ ^{Northwestern} sideline of ~~Apple~~ ^{Apple} Street. Elevation = ^(TO BE SHOWN ON AS-BUILT) N.G.V.D. of 1929.
12. Plan Reference - Plan showing a ~~Standard~~ ^{Standard} Boundary Survey and

Plat of Deed Calls for: Verrill-st-lot-22



Verrill-st-lot-22 AREA CLOSING ERROR ..
Scale : 50 ft/in	Acres : 0.193	Bearing: N09.1926E
North Shift: +0	Sq. Feet : 8390	Feet : 0.01
East Shift : +0	Sq. Meters: 779.5	Meters : 0.003
DMS Rotated: +000.0000	Perimeter : 366.47	Precision: 1/34309

1. N43.5542E 89.98
2. S46.0337E 92.24
3. S42.3928W 90.02
4. N46.0318W 94.23

from Assessors
Program

1/11/96

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: Coleman Construction
 ADDRESS: 31 Wendell St. PORTLAND, ME 04103
 SITE ADDRESS/LOCATION: 80 VERRILL STREET
 DATE: 12-26-95

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN

1. All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
2. Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
3. Your new street address is now 80 VERRILL STREET, the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
4. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a certificate of occupancy. Please schedule any property closing with these requirements in mind.
5. Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable.
6. A sewer permit is required for your project. Please contact Carol Poliskey at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

7. _____ A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300 , ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
8. _____ As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
9. _____ The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
10. _____ The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
11. _____ A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.
12. _____ The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
13. _____ Revised plan must meet the requirements of the Development Review Coordinator

cc: Katherine Staples, P.E., City Engineer

14. _____ Final lot grading to be approved by the Development Review Coordinator; sideyard runoff must drain to rear drainage easement.
15. _____ Rear drainage easement to be graded as swale depicted on approved subdivision plan.

BUILDING PERMIT REPORT

DATE: January 12, 1996 **ADDRESS:** 80 Verrill Street

REASON FOR PERMIT: 80 Verrill Street

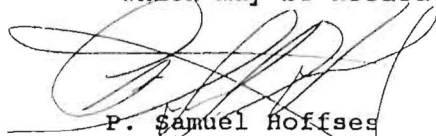
BUILDING OWNER: Grondin/Flaherty

CONTRACTOR: Coleman Construction **APPROVED:** Per items #1,2,7,9,11,13,15,16 & 17

CONDITIONS OF APPROVAL

1. Before concrete for foundation is placed, approvals from Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precautions must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing wit one (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 square feet per sprinkler.
7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 square feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code, Chapter 9, Section 19, 919.3.2 (BOCA National Building Code/1993) and NFPA 101, Chapters 18 and 19. (Smoke detectors shall be installed and maintained at the following locations):
 - a. In the immediate vicinity of bedrooms
 - b. In all bedrooms
 - c. In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1 hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1993)
11. Guardrail and Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups, 42 inches, except Use Group R which is 36 inches. In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4 inches cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10, Section and Subsections 1023. and 1024. of the City's Building Code. (The BOCA National Building Code/1993)
13. Stair construction in Use Group R-3 and R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum is 11" tread, and 7" maximum rise.
14. Headroom in habitable space is a minimum of 7'6".
15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued for demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.



P. Samuel Hoffses
Chief, Inspection Services



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 80 Verrill St (Lot #22) 300-B-026/027/028

Issued to Coleman Construction

Date of Issue 05 March 1996

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 960018, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions: TEMPORARY: See attached memo from James Seymour to David Jordan listing five (5) conditions of approval. Install sono tubes as per code at side & front stairs by 01 July 1996. Stairs or deck to be installed at rear door by 01 July 1996. (Permit required). Second floor contains 2 unfinished room and 1 finished.

This certificate supersedes certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Inspection Services
Michael J. Nugent
Joseph E. Gray, Jr.
Manager
Director

Department of Urban Development



CITY OF PORTLAND
STOP WORK NOTICE

September 12, 2001

Paul J. White
58 Legacy Road
Raymond, Maine 04071

RE: 88 Verrill Street
CBL: 300-b-029

CERTIFIED MAIL# 7099 3400 0019 5716 1257

Dear Mr. White:

An evaluation of the property at 88 Verrill Street revealed that the property fails to comply with Section 111.3 of the 1999 BOCA Building Code of the City of Portland. Section 111.1 states that "*All work shall conform to the approved application and the approved construction documents for which the permit has been issued and any approved amendments to the approved application or the approved construction documents*".

This is a **STOP WORK ORDER** pursuant to Section 117.1 of the 1999 BOCA Building Code. All construction activity at the above referenced property must **STOP** immediately.

Construction may begin after the amendment to your building permit application has been issued and this order has been lifted.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452. This constitutes an appealable decision pursuant to Section 1-16.(2) of the City of Portland Code of Ordinances. Please feel free to contact me at 874-8702, if you wish to discuss the matter or have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Jon Reed'.

Jonathan J. Reed
Code Enforcement Officer

CERTIFIED MAIL

240

CITY OF PORTLAND, MAINE

DEPT. OF PLANNING & URBAN DEVELOPMENT
Room 315, City Hall
PORTLAND, MAINE 04101



7099 3400 0019 5716 1257



Postage Due

Return to Post Office

Return to Sender

Not Deliverable As Addressed

Unable To Forward

No Such Street or Number

Not Known

Vacant

Box Closed - No Order

Returned For Better Address

Postage Due

Not Deliverable As Addressed

Unable To Forward

No Such Street or Number

Not Known

Vacant

Box Closed - No Order

Returned For Better Address

Postage Due

Undelivered

Paul J. White
58 Legacy Road
Raymond, Maine 04071

9-13-01

Name
Date Recd 9-13
End Notice 9-20
Return 9-28

04071+6193 01



