

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 60 Verrill Owner Address:		Owner: Chris Miller		Phone: 878-8325		Permit No: 970493
Contractor Name:		Lessee/Buyer's Name:		BusinessName:		
Past Use: Single family dwelling		Proposed Use: Same w/home occ		COST OF WORK: \$		Permit Issued: MAY 23 1997 CITY OF PORTLAND
Proposed Project Description: Change of Use - to single fam w/home occupation <i>consulting services</i>		INSPECTION: Use Group R3 Type: 5 ² <i>DOCA 96</i>		PERMIT FEE: \$ 25.00		
Permit Taken By: Vicki Dover		Date Applied For: 5/20/97		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: ok with conditions Special Zone or Reviews: <input type="checkbox"/> Shoreland 5/21/97 <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Signature: Date:		Signature: Date:		Zone: R-3 CBL: 300-B-18		

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Mail to owner

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT <i>Chris Miller</i> Chris Miller	ADDRESS:	DATE: 5/20/97	PHONE: 878-8325
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Action:

Approved
 Approved with Conditions
 Denied

Date: *5/20/97*

D.A.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector	PHONE:
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CEO DISTRICT *#11*
K. Carroll

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <i>60 Verrill</i>		Owner: <i>Chris Miller</i>		Phone: <i>878-8325</i>		Permit No: 070493	
Owner Address:		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name:		Address:		Phone:		PERMIT ISSUED Permit Issued: MAY 23 1997 CITY OF PORTLAND	
Past Use: <i>Single family dwelling</i>		Proposed Use: <i>Same w/home occ</i>		COST OF WORK: \$		PERMIT FEE: \$ 25.00	
Proposed Project Description: <i>Change of Use - to single fam w/home occupation</i>		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:		Zoning Approval: <i>OK with conditions</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>5/20/97</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
		Signature:		Signature: <i>[Signature]</i>			
Permit Taken By: <i>Vicki Dover</i>		Date Applied For: <i>5/20/97</i>		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Signature: _____ Date: _____	

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PERMIT ISSUED WITH REQUIREMENTS

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SIGNATURE OF APPLICANT <i>[Signature]</i> Chris Miller	ADDRESS:	DATE: <i>5/20/97</i>	PHONE: <i>878-8325</i>
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	PHONE:
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White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT *[Signature]*

LAND USE - ZONING REPORT

ADDRESS: 60 Verrill St DATE: 5/21/97

REASON FOR PERMIT: To allow single family home occupation as consulting services

BUILDING OWNER: Chris Miller C-B-L: 300-B-18

PERMIT APPLICANT: owner

APPROVED: with conditions DENIED: _____
#1, #7, #9

CONDITION(S) OF APPROVAL

- 1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
- 2. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
- 3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
- 4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the garage in place and in phases.
- 5. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 6. Our records indicate that this property has a legal use of _____ units. Any change in this approved use shall require a separate permit application for review and approval.
- 7. Separate permits shall be required for any signage. - under home occupation guidelines
- 8. Separate permits shall be required for future decks and/or garage.
- 9. Other requirements of condition There shall be no car displays or sales on the premises. There shall be no repair or painting of automobiles on premises. All these activities shall be off site

Marge Schmuckal

Marge Schmuckal, Zoning Administrator,
Asst. Chief of Code Enforcement

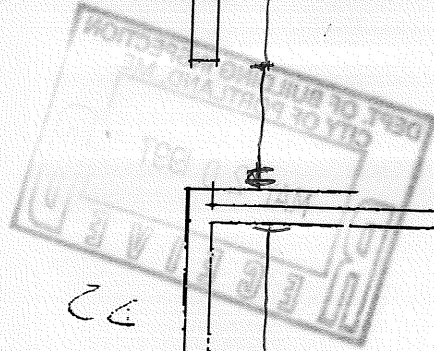
This letter is a request for a home occupation business permit. I wish to open an automotive consulting service. My services will include: finding the customer an automobile using the classifieds and other sources, research the car and calculate a target price, make a visual inspection and if requested negotiate a price with the seller. Most of my consumer contact will take place over the phone, at a dealership or at the customers residence. The following is a list of my intentions outlining how I plan to fully comply with the City of Portland's home occupation code.

- A. The space I will be using will be a small room measuring eight feet by twelve feet. *96th*
- B. All my supplies will be kept in the office space.
- C. Working in a one-man operation, my supplies are limited to paper, folders, pens and some miscellaneous office supplies and equipment.
- D. I plan on having a small sign that will not infringe on any of the code guidelines. *- Shall require a sep. permit*
- E. I do not plan to alter any part to the exterior of the house.
- F. The amount of traffic I generate will be very minimal and can be met with offstreet parking.
- G. There will not be any excessive vibration, smoke, dust, odorous matter, heat or humidity at my place of business.
- H. I will be working alone and have no immediate plans to hire outside help.
- I. Again the traffic I generate will not be a problem.
- J. The only vehicles I have stored on my property are the one's I drive. (1988 Chevy Pick-up and a 1987 Saab)

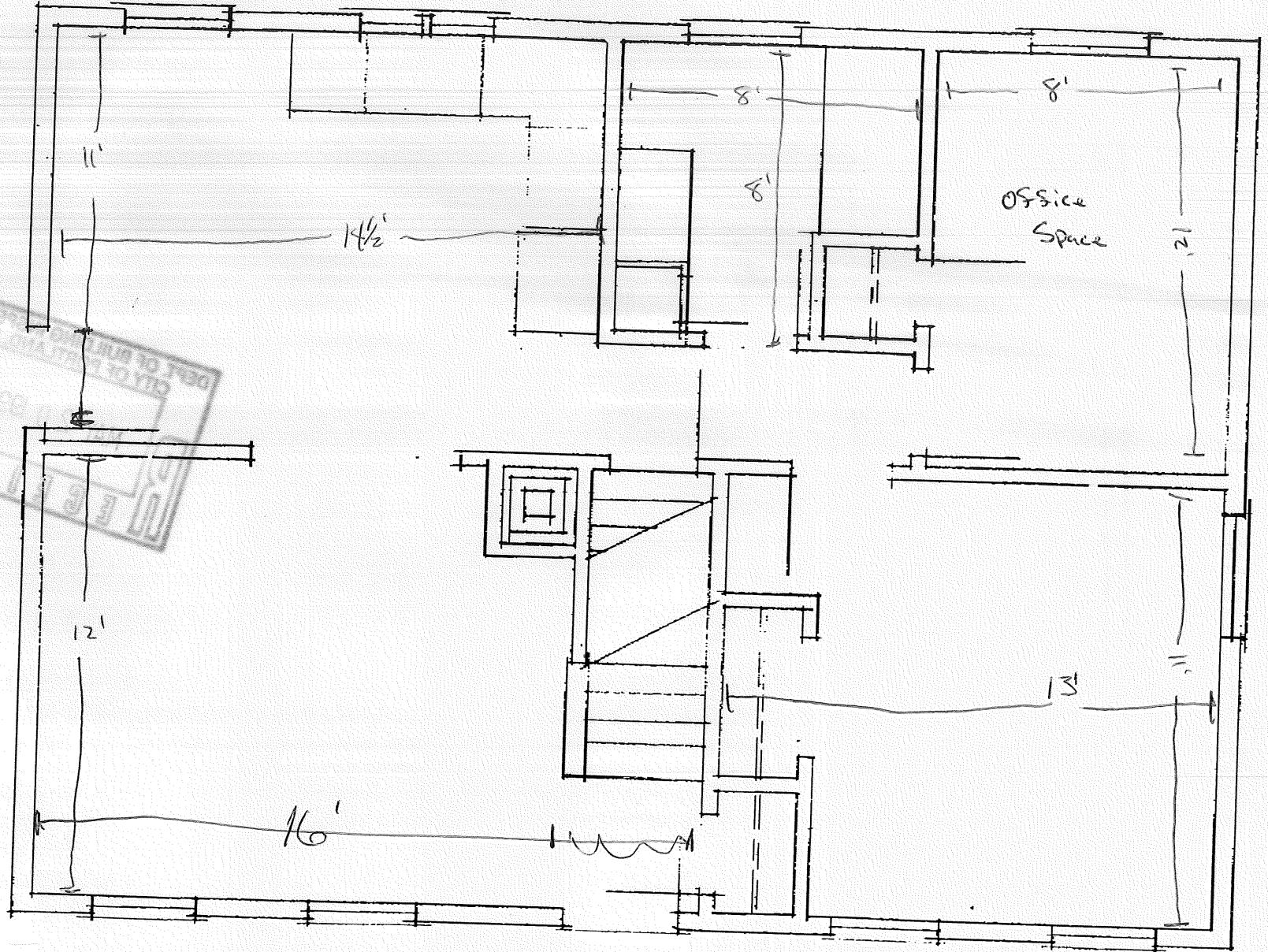
04-04 95 15:56 K STIFFLER BUILDEE

T: 207 892 0875

P: 01



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