

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 52 Merrill St		Owner: Phyllis J. Latini		Phone: 892-0133		Permit No: 950067	
Owner Address: 75 Burke Rd - Standish, ME		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: 3222		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: FEB - 1 1995 CITY OF PORTLAND </div>	
Past Use: vacant lot		Proposed Use: 1-fam dwlg w garage		COST OF WORK: \$ 74,000 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied			
Proposed Project Description: construct 1-fam dwlg w garage		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied <input type="checkbox"/>		Signature:		Signature:	
Permit Taken By: C. Chase		Date Applied For: 1/11/95		Signature:		Date:	

Zone: **R-3** CBL: 300B-14-16 ? ?

Zoning Approval:

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: 1/19/95

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *Phyllis J. Latini* ADDRESS: 25 Burke Rd DATE: 1/11/95 PHONE: 8420133

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: _____ PHONE: _____

CEO DISTRICT 7

M. J. Jordan

COMMENTS

2-7-95- Foundation in without any notification / All back filled (Set back appears to be OK pins in snow)

2-16-95 Framing Insp. Roof 2x4 6/12 Pitch Trusses @ 2' OC (Walls 2x6 16" OC)
 (2x10) Basement Carry Beam 3 member 2 ladders (1st fl) 3 member 2x10 Header
 Roof 1/2 ply w/ clips wall 1/2 OSB / floor 3/4 T&G OSB (2x8 fl joist 16" OC)
 Basement stairs 8 1/2 X

2-23-95- 2x4 Trusses 2' OC, walls 2x4 16" OC, 3 member 2x10 header (door)
 3 (3 member 2x6 headers) ply w/ clips Roof / OSB walls
 (Rough in Plumbing OK) stairs (8 1/2 X 9 1/4 riser)

3-13-95 - garage is up OK per plans 2x4 Trusses 2' OC + 2x4 wall 16" OC 2x6 H + 2x10 H 3

3-28-95 Deck not on prints must File Amendment.
 Heating permit for Furnace, House #'s + Site conditions for COO

3-30-95 Heating permit App.

4-7-95 - no House #'s (deck Foundation call backfilled can't inspect) (Deck meets set back from just stakes)
 (no site conditions Report yet)

Inspection Record

Type	Date
Foundation: <u>no notification</u>	<u>2-7-95</u>
Framing: <u>OK per plans</u>	<u>2-16-95</u>
Plumbing: <u>OK</u>	<u>3-28-95</u>
Final: _____	_____
Other: _____	_____



CITY OF PORTLAND, ME
Department of Building Inspection

Certificate of Occupancy

LOCATION 52 Verrill Street 300-B-014

Issued to Philip Latini

Date of Issue September 22 1999

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 950067, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions:

This certificate supersedes the temporary
certificate issued prior to 9-22-99

Approved:

9-24-99 *Philip Bourke*
.....
(Date) Inspector

Richard J. Kelly
.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 52 Verrill St

Issued to Philip Latini

Date of Issue 10 April 1995

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 950067, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions: TEMPORARY:

See attached seven (7) conditions of approval of memo from Michale O'Sullivan to David Jordan dated 06 April 1995.

This certificate supersedes
certificate issued

Approved:

4/15/95

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

MEMORANDUM

TO: Kevin Carroll, Code Enforcement
Kandi Talbot, Planner

FROM: Jim Wendel, P.E. Development Review Coordinator

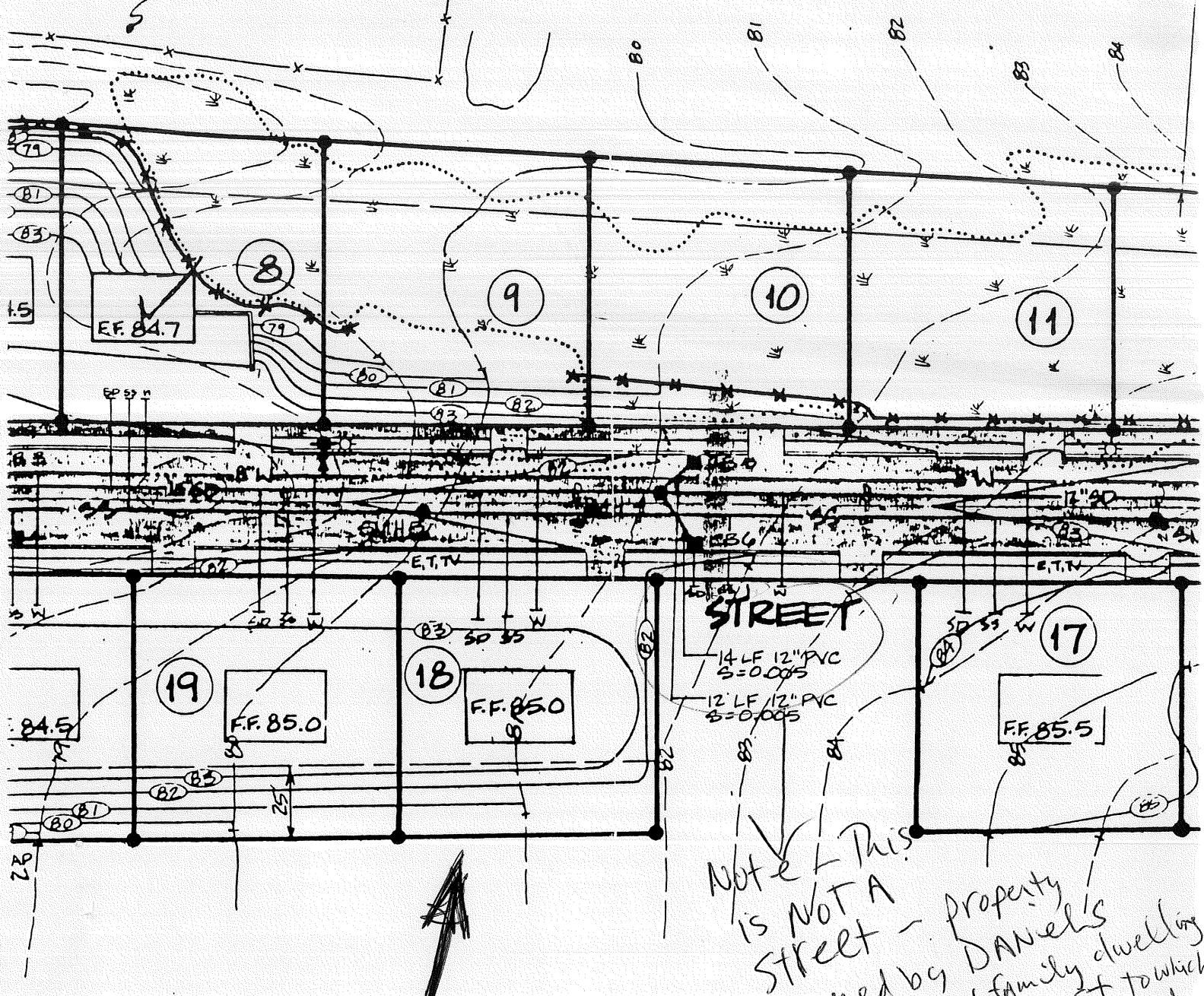
DATE: August 27, 1999 300B-14/16

RE: Certificate of Occupancy
52 Verrill Street (lot 18)

On August 27, 1999 a site visit was made to review the completion of the site plan improvements for conformance with the site plan approval dated 1/18/95. We offer the following comments:

It is our opinion that all the conditions of the site plan approval have been satisfactorily completed and a permanent certificate of occupancy could be issued assuming Code Enforcement has no outstanding issues.

Philip Latini owner/contractor



es

Note - This is NOT A Street - Property owned by DANIEL'S who HAS A 1-family dwelling on Beport St. to which this is attached
300-B-45-46-47

NOTE: HOUSE LOCATION AND LOT GRADING IS SUGGESTED ONLY. FINAL LOCATION & GRADING TO BE SHOWN

All underground, power, telephone, & TV Cables shall be run in conduit of size and type specified by respective utility company under all paved surfaces.

Project Benchmark - Disc on 6"x6" granite monument located at the intersection of the NORTHWESTERLY sideline of Verrill Street and the NORTHEASTERLY sideline of IPPLIN STREET.
Elevation - _____; (TO BE SHOWN ON) AS-BUILTS
M.G.V.D. of 1929.

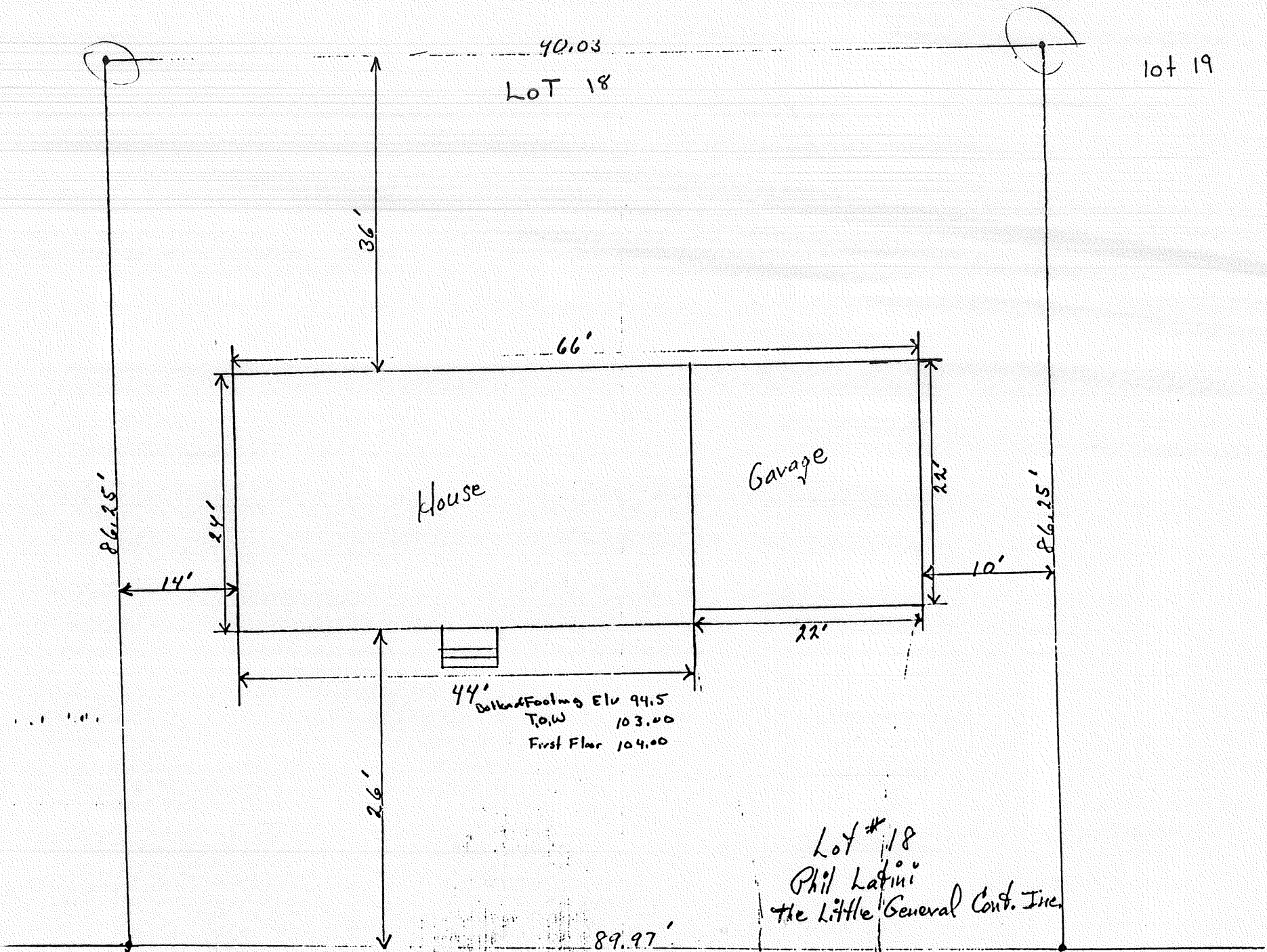
SEE SHEET 2 OF 4 FOR LEGEND

Plan Reference - Plan showing a Standard Boundary Survey and Topographic Survey on Verrill and Wirt Streets for Timothy P. & Marie E. Flaherty, dated March 21, 1989, by Land Use Consultants, Portland, Maine.

See Sheet 2 of 4 for Legend.

40.03
Lot 18

lot 19



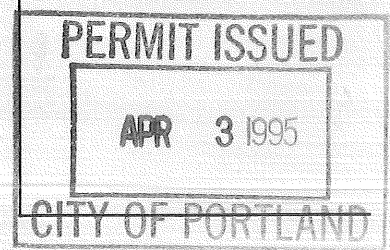
Lot # 18
Phil Latini
The Little General Cont. Inc.

1/2 Ave 11 St.

OSM.H
-1-10

950287

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. _____

Portland, Maine, _____

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE 29 March 1995

The undersigned hereby applies for amendment to Permit No. 950067 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 52 Verrill St (Lot #18) Within Fire Limits? _____ Dist. No. _____

Owner's name and address Philip J. Latini Telephone 892-0133

Lessee's name and address 25 Burke Rd Standish, ME 04084 Telephone _____

Contractor's name and address _____ Telephone _____

Architect _____ Plans filed _____ No. of sheets _____

Proposed use of building 1-fam w/deck No. families _____

Last use 1-fam No. families _____

Increased cost of work 500 Additional fee 30

Description of Proposed Work

Construct Deck to 1-fam dwelling

Handwritten signature of Mary Latini and date 3/30/95

Mary Latini

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Framing lumber — Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____

Girders _____ Size _____ Columns under girders _____ Size _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.

Joints and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: R-3 zone ok 3/30/95

Signature of Owner _____

Approved: _____

INSPECTION COPY — WHITE
APPLICANT'S COPY — YELLOW

FILE COPY — PINK
ASSESSOR'S COPY — GOLDEN

Inspector of Buildings

Handwritten signature of the Inspector of Buildings

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

March 31, 1995

RE: 52 Verrill St.-(lot #18)

Mr. Philip J. Latini
25 Burke Rd.
Standish, ME 04084

Dear Sir:

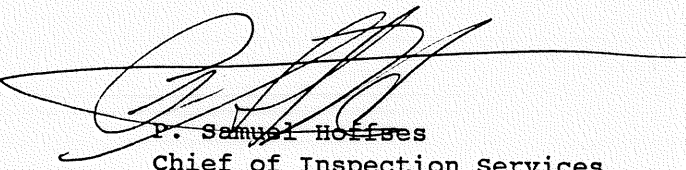
Your applications to construct deck has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

1. A 25 foot rear yard setback is required.
2. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,



P. Samuel Hoffses
Chief of Inspection Services

/el

cc: M. Schmuckal, Asst. Chief of Inspection Services

please check off the appropriate description

FOUNDATION _____ Frost Wall, min 4' below grade.
8" thick

X _____ Sono Tube, 4' below grade.
6" min. on footing, hard pan or
bedrock.

_____ Other

SILL n/a _____ Size

SPAN OF SILL 6' _____ Distance between foundation supports

JOISTS SPAN 6 ft _____

JOISTS SIZE _____ 2 x 6 X _____ 2 x 8 _____ 2 x 10

DISTANCE BETWEEN JOISTS X _____ 16" O.C. _____ 24" O.C. _____ other

DECKING X _____ 5/4 _____ other explain

GUARD HEIGHT _____ 32" X _____ 36" _____ 42"

DISTANCE BETWEEN BALUSTER X _____ 4" spacing between

STAIR CONSTRUCTION minimum 9" tread
maximum 8 1/4" rise

please use space below for drawing of deck with measurements.

8x12

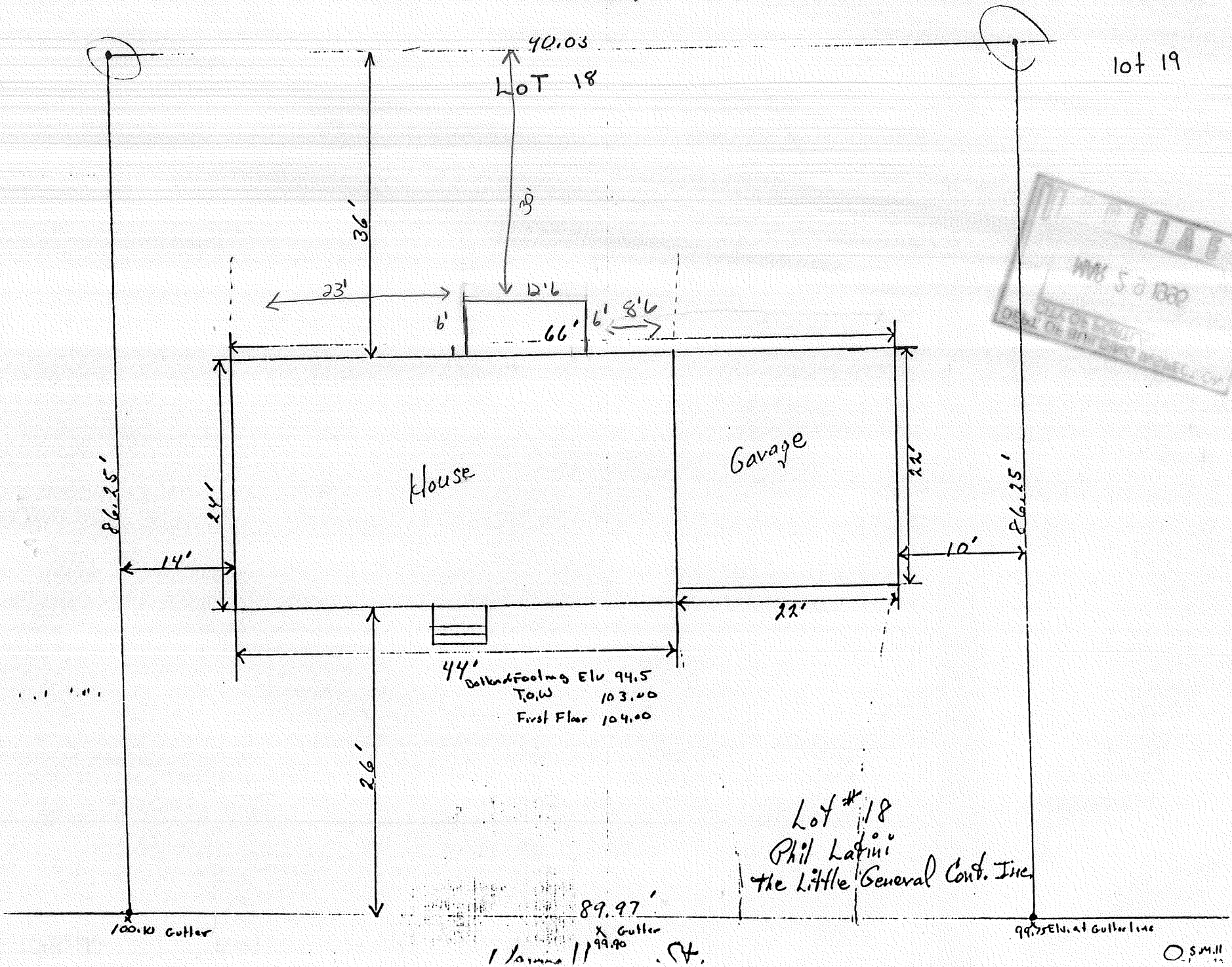


Amended Plan for (Lot 18) Verrill Street - Portland

With Deck

52

lot 19



CITY OF PORTLAND, MAINE
SITE PLAN REVIEW (ADDENDUM)
CONDITIONS OF APPROVAL

APPLICANT: PHILIP J. LATINI
ADDRESS: 25 BURGE RD. STAYFORD, ME. 04084
SITE ADDRESS/LOCATION: 52 VERRILL STREET
DATE: 1/17/95

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to not increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

CONDITIONS CHECKED OFF BELOW ARE IN FORCE FOR YOUR SITE PLAN

- All damage to sidewalk, curb, street, or public utilities shall be repaired prior to issuance of a Certificate of Occupancy.
- Two(2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- Your new street address is now 52 VERRILL STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- The Development Review Coordinator (874-8300, ext. 8722) must be notified five(5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- A sewer permit is required for your project. Please notify Paul Niehoff at 874-8300, ext. 8838. The Sewer Division of Parks and Public works (Jackie Wurslin at 797-5302) must be notified five(5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and storm service connections must be submitted to Parks and Public Works engineering Division (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

A street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvement as necessary due to field conditions.

The site contractor shall establish finish grades at the building foundation to provide positive drainage. Finish grades at front of foundation (street side) shall be set above finish street/curb elevation to provide positive drainage.

The Development Review Coordinator (874-8300, ext. 8722) must be notified at the time the building foundation forms have been installed to perform an inspection.

DMVEWAY ACCESS SHALL BE
FROM EXISTING CURB CUT.

cc: Paul Niehoff, Materials Engineer

Comply w/ attached grading plan. Contact the Development review coordinator prior to lot grading to field review proposed grading.

~~Continuum~~ to reference attached 8 1/2" x 11" copy of boundary survey

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

January 27, 1995

RE: 52 Verrill St., Portland

Mr. Philip Latini
25 Burke Rd.
Standish, ME 04084

Dear Sir:

Your application to construct a single family dwelling with attached garage has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not preclude the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy can be issued until all requirements of this letter are met.

Site Plan Review Requirements


Inspection Services Approved M. Schmuckal, Asst. Chief of Inspections
Planning Division Approved with conditions (see attached) Owens
McCullough, PE.

Building Code Requirements

1. Please read and implement items 1, 2, 7, 9, 10, 11, 13, 14, 15 and 16 of the attached building permit report.
2. Perimeter foundation drains must be installed.
3. The sills of all door openings between private garages and adjacent interior spaces shall be raised not less than 4 inches above the garage floor. (This would be for the stairs into basement)

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el

cc: Marge Schmuckal, Asst. Chief of Inspection Services
Owens McCullough, P.E., Planning

BUILDING PERMIT REPORT

DATE: 27/Jan/95 Address 52 VERNIL ST.

REASON FOR PERMIT: To Construct a single family dwelling.

BLDG. OWNER: Philip J. Latini

CONTRACTOR: Owner

APPROVED:

~~PERMIT APPLICANT:~~ *1, *2, *7, *9, *10, *11, *13, *14, *15, *16

CONDITION OF APPROVAL OR DENIAL:

- *1. Before concrete for foundation is placed, approvals from Public Works and Inspection Service must be obtained. (a 24 hour notice is required prior to inspection).
- *2. Precaution must be taken to protect concrete from freezing.
- 3. It is strongly recommended that a register land surveyor check all foundation forms before concrete is placed.
- 4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hr., including fire doors with selfclosers.
- 5. Each apartment shall have access to (2) separate, remote and approved means of egress. A single exit is acceptable when its exits directly from the apartment to the building exterior with no communications to other apartment units.
- 6. The boiler shall be protected by enclosing with one (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An indication shut-off valve shall be installed in an accessible locations between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. ft. per sprinkler.
- OK *7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of special knowledge or separated tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping room must have minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm) and a minimum net clear opening of 5.7 sq.ft.
- 8. This permit does not preclude the applicant from obtaining any license needed from the City Clerk's office.

OK
7. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code 919.3.2 (BOCA National Building Code 1993), and NFPA 101 Chapter 18 & 19. (smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms;
2. In all bedrooms;
3. In each story within a dwelling unit, including basements.

0. Private garages located beneath habitable rooms in occupancies in Use Group R-1, -2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)

1. Guardrails & Handrails - A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Group 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

2. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024.0 of the City's building code. (The BOCA National Building Code/1993)

3. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise.

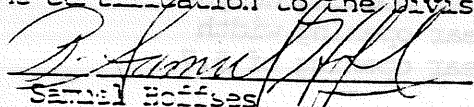
4. Headroom in habitable space is a minimum of 7'6".

5. The minimum headroom in all parts of a stairway shall not be less than 80 inches.

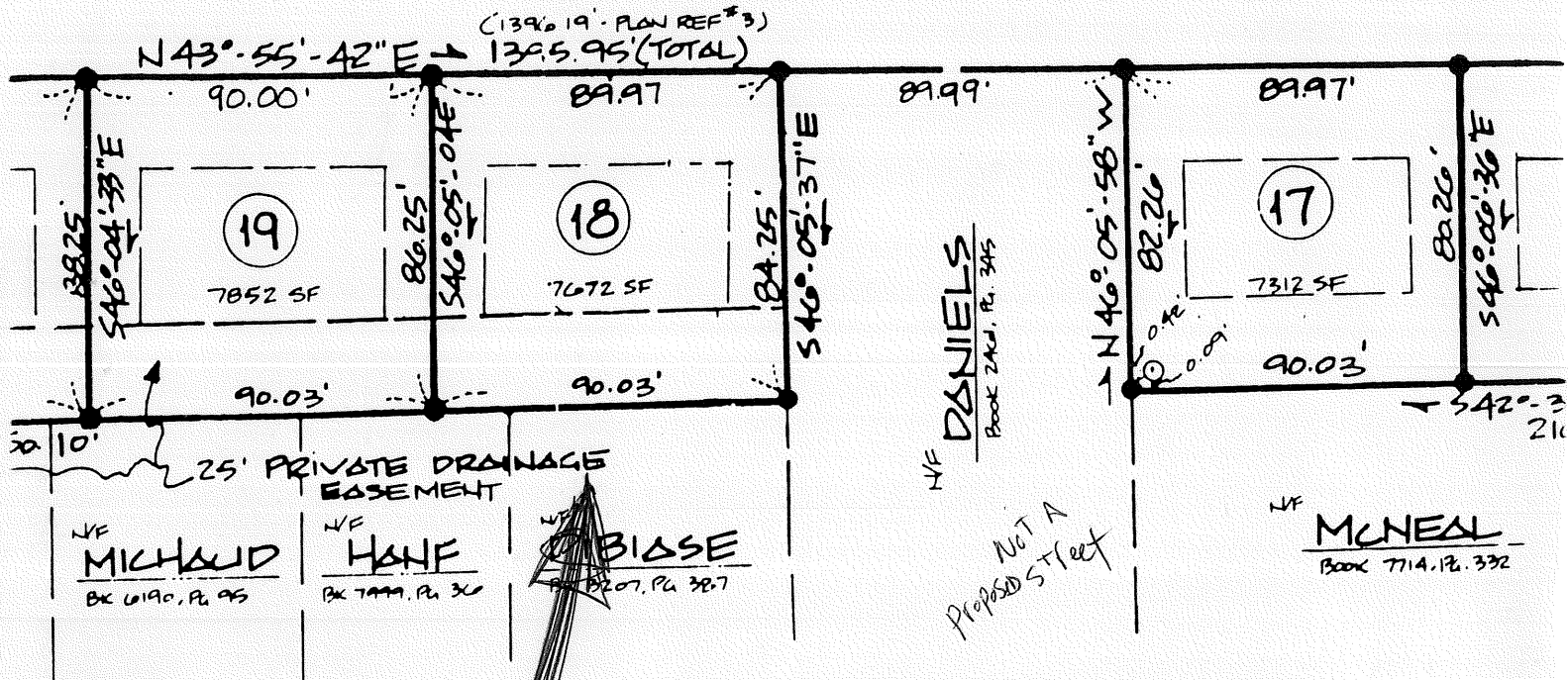
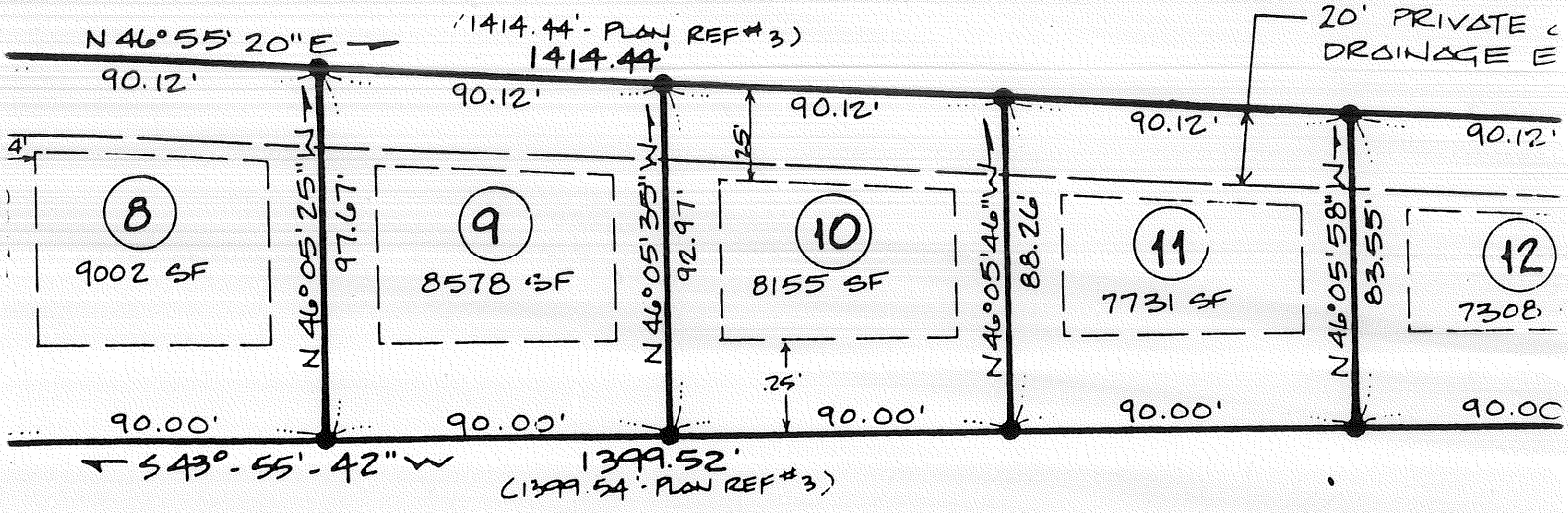
6. All construction and demolition debris must be disposed at the City's authorized explanation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued if demolition permit is granted.

7. Section 25-135 of the Municipal Code for the City of Portland states "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

8. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.


Samuel Hoffes
Chief of Inspections

RIVERTON ELEMENTARY SCHOOL



LOCUS DEED REFERENCES:

- WALD L FOWLER TO TIMOTHY P. & MARIE E. FLAHERTY.
DATED JUNE 4, 1987 - BOOK 7805 PG 233.
- 14 LOTS: 286 THRU 289 & 276 THRU 285 PER PLAN REF # 3).
- 3 B MOIR TO TIMOTHY P. & MARIE E. FLAHERTY.
DATED JULY 31 1987 - BOOK 7903, PG 240.

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form**

Allen's

Applicant _____

Date 52 Vermont St.

Mailing Address _____

Address of Proposed Site _____

Proposed Use of Site _____

Site Identifier(s) from Assessors Maps _____

Acreage of Site / Ground Floor Coverage _____

Zoning of Proposed Site _____

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

1/13/95
(Date Received)

- Major Development — Requires Planning Board Approval: Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN											
APPROVED	<i>Approved w/ attached conditions</i>																						
APPROVED CONDITIONALLY												CONDITIONS SPECIFIED BELOW											
DISAPPROVED												REASONS SPECIFIED BELOW											

REASONS: _____

(Attach Separate Sheet if Necessary)

[Signature] 1/18/95
 SIGNATURE OF REVIEWING STAFF/DATE

Applicant: Philip J. Latini
Address: ~~1410~~⁵² Ferrill St

Date: 1/25/95

Assessors No.: 300B-14>16

CHECK LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or ~~corner~~ lot -

not a street or proposed street
corner of Daniels -> owner's Name

Use - Family Dwelling

Ranch style 1 story, not split per
Mary Latini

Sewage Disposal - City

Rear Yards - 36' shown - 25' req.

→ Side Yards - 14' & 10' shown

20' required ^{N/A} on side St and 8' on ~~both~~ ^{both}

Front Yards - 26' shown - 25' req.

Projections - front stairs

Height -

Lot Area - 7,672^{sq ft} shown - 6500^{sq ft} req.

Building Area -

Area per Family -

Width of Lot - 89.97' shown - 75' req.

Lot Frontage - 89.97' shown - 50' req.

Off-street Parking - N/A

Loading Bays - N/A

Site Plan - minor/minor

Shoreland Zoning -

Flood Plains -

N/A

No structural plans

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

J. Latini 892-0133

1/11/95

Address: Durke Rd- Standish, ME 04108
~~04108~~
04084
 1-fam dwlg w garage

52
~~119~~ - Verrill St.
 Address of Proposed Site
300-B-14-16?

Proposed Use of Site
9000 sq/ft 24' x 66'
 Age of Site / Ground Floor Coverage

Site Identifier(s) from Assessors Maps
 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors _____
 Total Floor Area _____

Other Comments: _____

Date Dept. Review Due: _____
 M M S P

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation _____

- Use complies with Zoning Ordinance — Staff Review Below

Zoning:
 SPACE & BULK,
 as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS
COMPLIES	1/25/95	R-3			1-fam city		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		
COMPLIES CONDITIONALLY																		
DOES NOT COMPLY																		

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: _____

Marya Schmittal 1/25/95
 SIGNATURE OF REVIEWING STAFF/DATE