

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8710

Location of Construction: <i>10 W. 1st St Verrill St Lot 15A</i>		Owner: <i>David Chase</i>		Phone: <i>797-9093</i>		Permit No: 990383	
Owner Address: <i>50 Gray St Falmouth ME 04105</i>		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: <i>JAA</i>		Address:		Phone:		Permit Issued:	
Past Use: <i>Vacant</i>		Proposed Use: <i>1-family</i>		COST OF WORK: <i>\$ 55,000</i>		PERMIT FEE: <i>\$ 295</i>	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>47</i> Type: <i>53</i>	
				Signature: _____		Signature: <i>Hoff</i>	
Proposed Project Description: <i>Construct 1-family dwelling</i>				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zoning Approval: _____	
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: <i>SP</i>		Date Applied For: <i>March 15, 1999</i>					

PERMIT ISSUED
APR 30 1999
CITY OF PORTLAND
Zone: *CBL* 299-E-006

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

*(expired permit - changed plans -
hu reapplied 1/29/00)*

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

SIGNATURE OF APPLICANT	ADDRESS	DATE: <i>March 15, 1999</i>	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

CEO DISTRICT

1

COMMENTS

5/10/99 Pre-con meeting w/ David Chase. Question on property line still not resolved. A home

5-10-00 Permit expired - New permit issued 4/4/00 # 000273 with new plans JB

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

Inspection Services
Michael J. Nugent
Manager



**CITY OF PORTLAND
STOP WORK NOTIFICATION**

November 23, 1999

David Chase
50 Gray St
Falmouth, ME 04105

RE: 10 Wirt Street
CBL: 299-E-006

Dear David Chase;

An evaluation of the property at 10 Wirt Street on 11/18/99 revealed that the Site Plan fails to comply with Section 107.6 of the Building Code of the City of Portland.

Submitted Site Plan boundaries undetermined

This is a **STOP WORK ORDER** pursuant to Section 117.1 of the Building Code(1996 BOCA). All construction activity must Stop immediately.

Survey property boundaries and locate proposed structure in accordance with City zoning standards.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452. This constitutes an appealable decision pursuant to Section 121.5 of the Code. Please feel free to contact me at 874-8707, if you wish to discuss the matter or have any questions.

Sincerely,

David Caddell
Code Enforcement Officer

Cc: Central File
Joseph Gray

389 Congress St Portland, Maine 04101 (207) 874-8

P 487 771 473
US Postal Service
Receipt for Certified Mail
No Insurance Coverage Provided.
Do not use for International Mail (See reverse)

Sent to	
299-E-006	
Street & Number	
10 Wirt St	
Post Office, State, & ZIP Code	
Postage	\$
Certified Fee	
Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt Showing to Whom & Date Delivered	
Return Receipt Showing to Whom, Date, & Addressee's Address	
TOTAL Postage & Fees	\$
Postmark or Date	

Form 3800, April 1995

Certified P 487

I am unsure
what CBL file
this is supposed
to go to

David chase
has:

- 19 Verrill St
- 27 Verrill St
- 30 Verrill St
- 31 Verrill St

38 Verrill St
Wirt St #

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990028
I. D. Number

David Chase
Applicant
50 Gray Rd, Falmouth, ME 04105
Applicant's Mailing Address
SAA
Consultant/Agent
797-9093
Applicant or Agent Daytime Telephone, Fax

3/15/99
Application Date
Wirt Street Lot 15A
Project Name/Description

10 Wirt St
Address of Proposed Site
299-E-006
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
1530

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review **\$300.00** Date: **3/15/99**

DRC Approval Status:

Reviewer **Jim Wendel**

Approved Approved w/Conditions see attached Denied

Approval Date **4/2/99** Approval Expiration **4/2/00** Extension to _____ Additional Sheets Attached
 Condition Compliance **Jim Wendel** **4/2/99**
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

19990028
I. D. Number

David Chase
Applicant
50 Gray Rd, Falmouth, ME 04105
Applicant's Mailing Address
SAA
Consultant/Agent
797-9093
Applicant or Agent Daytime Telephone, Fax

3/15/99
Application Date
Verrill St Lot 15A
Project Name/Description

Verrill St
Address of Proposed Site
299-E-006
Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved Subject to Site Plan Review Addendum Conditions of Approval:

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 10 Wirt Street, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Eroded soil shall be contained on-site. A crushed stone construction entrance shall be placed at the curb cut.

A swale shall be constructed along the southerly property line such that the drainage is directed and discharged onto Verrill Street.

Planning Conditions of Approval

Inspections Conditions of Approval

HARDY WOLF & DOWNING, P.A.

ATTORNEYS AT LAW

WILLIAM F HARDY
FREDDA F WOLF
THOMAS R. DOWNING
SHELDON J. TEPLER
STEPHEN KOTTLER
MICHAEL J. WELCH

REPLY TO: 186 LISBON STREET
P.O. BOX 3065
LEWISTON, MAINE 04243-3065
TEL (207) 784-1589
1-800-992-7333
FAX 795-6296

746 STEVENS AVENUE
PORTLAND, MAINE 04103
(207) 878-0000

FAX TRANSMITTAL COVER SHEET

DATE: Tuesday, August 24, 1999

TO: Mike Nugent - Code Enforcement

FR: Ronald M. Hood - Hardy Wolf & Downing, P.A.

RE: Gayle Elliott vs EsPaolo Builders, LLC and/or Chase Excavation
Our File #200013

Total Number of Pages (including cover sheet): 1

MESSAGE:

PLEASE NOTE: This message is confidential. It is intended for the strict use of the individual or entity to whom it is addressed. If the reader of this message is not the intended recipient, please deliver this communication to the intended recipient. Please be aware that any distribution, copying or other dissemination of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and return the communication to the above address by mail. THANK YOU.

Dear Mike:

Thank you so much for the information that you faxed down to me. I am hoping you can help me get to the information that I need, if it is at all available.

The questions I have are as follows:

- 1). Who is the owner of the property in this area/subdivision?
- 2). Who was the person doing the work on this area/subdivision?
- 3). What are the property lines between Gayle's property and the lot behind her?

The information faxed over was not clear, but only because it had huge run spots on it, like it was caught into the machine, so I had some words that were stretched to an inch in height, so the legibility was not 100%. I assume from your fax that the owner of the property and person doing the work in this area is Chase Excavation. Can you simply verify that for me and if any other written materials confirm this, could you please forward them to me?

Any information you can provide me with would be appreciated.

THANKS! *Ran*

2 SEE ATTACHED SURVEY RAYNES FORMERLY CHASE NOW (SEE DEED) CHASE IS THE LISTED CONTRACTOR



CITY OF PORTLAND, MAINE
 Department of Building Inspection

March 15 1979

Received from C. J. D. Development a fee

of Eight hundred fifty five /100 Dollars \$ 855.00

for permit to alter Garage 3 1 frame

at 15154 9th Avenue SE Est. Cost \$ 55,000 ea.

1012

Inspector of buildings
 Per S. P. Poirard

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$5.00 or 10% whichever is greater.

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Auditors Copy



CITY OF PORTLAND, MAINE
 Department of Building Inspection

March 1, 1977

Received from WPT Development a fee

of Two Hundred /100 Dollars \$ 200.00

for permit to install
 erect
 alter 3/1/77 Sub Plan (3)

at 151 York St move
 demolish Est. Cost \$

#1012

Inspector of buildings
 Per S. [Signature]

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$5.00 or 10% whichever is greater.

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Auditors Copy

JOSEPH R. MAZZIOTTI
ATTORNEY AT LAW

555 FOREST AVENUE
SUITE 200
P.O. BOX 3589
PORTLAND, MAINE 04104

TEL (207) 775-3148
FAX (207) 774-9166

April 27, 1999

Ms. Marge Schmuckal
Code Enforcement Office
Room 315
City of Portland
389 Congress Street
Portland, ME 04101

Re: Lot 15A Verrill Street, Portland, Maine - David A. Chase

Dear Marge:

This will confirm that I have reviewed the records in the Cumberland County Registry of Deeds beginning with the deed to Joseph Warren Raynes dated May 26, 1946 and recorded in the Cumberland County Registry of Deeds in Book 1820, Page 133 in which he was the grantee of two certain lots at Verrill Street being Lots 175 and 176 as shown on a Plan of Lots entitled Portland Villa Sites which plan is dated July 9, 1918 and is recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 7.

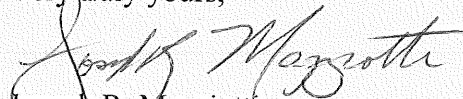
The only two parcels owned by Mr. Raynes were Lots 175 and 176 at Verrill and Wirt Streets in Portland. A further review of the deeds in the chain of title indicate that the successors to Mr. Raynes in the chain of title did not at any time own property abutting Lots 175 and 176 on either Wirt or Verrill Street.

Therefore, according to City Ordinances, these lots would be "grandfathered" and as combined would be a buildable lot.

Please let me know if you require any further information concerning these parcels or if I could be of any further assistance to your office.

Thank you for your assistance.

Very truly yours,


Joseph R. Mazziotti

JRM:ls

Received
4/28/99

Applicant: DAVID Chase

Date: ~~4/20/99~~ 4/29/99 - 3rd revised plan

Address: Verrill St - lot 15A

C-B-L: 299-E-6

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior of corner lot -

Proposed Use/Work - construct new single family home with 8'x8' deck
No garage

Sewage Disposal - city

Lot Street Frontage - 50' req - 71' shown

Front Yard - 25' req - 26' ~~allowed~~ shown

Rear Yard - 25' req - 26' shown

Side Yard - 14' req on left side - ~~20' shown~~ 14' 3" shown

Projections - front stairs
20' req on right side - 20' shown at closest pt

Width of Lot - 65' req on A lot of record - 74' shown

Height - 2 story shown

lot of record

Lot Area - 5,648 sq ft ^{yes} lot of record - 4/20/99 received verification for lot of record from attorney Joseph R. MAZZIOTTI

Lot Coverage/Impervious Surface - 25% = 1412 sq ft max

Area per Family -

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - MINN / MINN

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Zone C

26' x 32' = 832 sq ft

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990028

I. D. Number

David Chase

Applicant

50 Gray Rd, Falmouth, ME 04105

Applicant's Mailing Address

SAA

Consultant/Agent

797-9093

Applicant or Agent Daytime Telephone, Fax

3/15/99

Application Date

Wirt Street Lot 15A

Project Name/Description

10 Wirt St

Address of Proposed Site

299-E-006

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) with 8x8 deck - no garage

1530 5,648 lot of record R-3

Proposed Building square Feet or # of Units 5,648 lot of record Acreage of Site 5,648 lot of record Zoning R-3

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review \$300.00 Date: 3/15/99

Inspections Approval Status:

Reviewer Marge Schmuckal

- Approved **Approved w/Conditions**
see attached Denied

Approval Date 4/29/99 Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____
signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issued | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | |
| | date | | |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | | | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19990028

I. D. Number

David Chase

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797-9093

Applicant or Agent Daytime Telephone, Fax

3/15/99

Application Date

Wirt Street Lot 15A

Project Name/Description

10 Wirt St

Address of Proposed Site

299-E-006

Assessor's Reference: Chart-Block-Lot

Fire Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19990028
I. D. Number

David Chase
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50 Gray Rd, Falmouth, ME 04105
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3/15/99
Application Date
Wirt Street Lot 15A
Project Name/Description

10 Wirt St
Address of Proposed Site
299-E-006
Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved Subject to Site Plan Review Addendum Conditions of Approval:

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Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

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The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Eroded soil shall be contained on-site. A crushed stone construction entrance shall be placed at the curb cut.

A swale shall be constructed along the southerly property line such that the drainage is directed and discharged onto Verrill Street.

Planning Conditions of Approval

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Separate permits shall be required for future decks, sheds, pool and/or garage.

007265

SHORT FORM WARRANTY DEED

Robert J. Esposito of 6 Birkdale Road, North ~~Yarmouth~~ ^{Falmouth ME}, ME, 04106, FOR CONSIDERATION PAID, grants to David A. Chase of Falmouth, ME, with WARRANTY COVENANTS, the following described real property located in the City of Portland, County of Cumberland and State of Maine:

Certain lots or parcels of land, with any improvements thereon, situated on ~~Verrill Street~~, in the City of Portland, County of Cumberland and State of Maine, being Lots 175 and 176 and Lots 271 through 289, as shown on Plan of Lots at Portland Villa Sites, belonging to J.W. Wilbur Company Incorporated, said plan being made by Ernest W. Branch, C.E., dated July 9, 1918, and recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 7. The foregoing premises are further shown on a plan entitled "amended Recording Plat" as recorded in said Registry of Deeds in Plan Book 184, Page 15.

MAINE REAL ESTATE TAX PAID

The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

This conveyance is made subject to unpaid real estate taxes for the current tax year, if any, which the Grantee herein, by acceptance of this deed, assumes and agrees to pay.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantor herein by deed of Joseph A. Raynes and Bonnie Belanger, dated May 7, 1997 and recorded in Book 13068, Page 290 and by deed of Robert M. Close dated April 11, 1997 and recorded in Book 13027, Page.

WITNESS my hands and seals this day of June, 1998.

WITNESS

[Handwritten Signature]
Robert J. Esposito

STATE OF MAINE
Cumberland, ss.

June 11th, 1998

Personally appeared the above named Robert J. Esposito, and acknowledged the foregoing instrument to be his free act and deed.

Before me,

[Handwritten Signature]
Notary Public/Attorney at Law
SEAL
print name

RECEIVED
RECORDED REGISTRY OF DEEDS

1998 JUN 16 PM 1:41

CUMBERLAND COUNTY

[Handwritten Signature]

022523

SHORT FORM WARRANTY DEED

Joseph A. Raynes of 125 Tuttle Road, Cumberland, ME, 04021, and Bonnie Belanger of 5215 Pine Avenue, Waco, TX, 76703, FOR CONSIDERATION PAID, grants to Robert J. Esposito of 6 Birkdale Road, Falmouth, ME, 04103, with WARRANTY COVENANTS, the following described real property located in the City of Portland, County of Cumberland and State of Maine:

Two certain lots or parcels of land, with any improvements thereon, situated on Verrill Street, so called in the City of Portland, County of Cumberland and State of Maine, being lots numbered 175 and 176 as shown on Plan of Lots at Portland Villa Sites, belonging to J.W. Wilbur Co., Inc., said plan made by Ernest W. Branch, C.E., dated July 9, 1918 and recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 7.

The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

This conveyance is made subject to unpaid real estate taxes for the current tax year, if any, which the Grantee herein, by acceptance of this deed, assumes and agrees to pay.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantors herein by deed of Elizabeth L. Raynes dated July 18, 1990 and recorded in the Cumberland County Registry of Deeds in Book 9250, Page 283.

WITNESS our hands and seals this 7th day of May, 1997.

WITNESS

[Signature]

[Signature]
Joseph A. Raynes

[Signature]
Bonnie Belanger, by Joseph A. Raynes, her Attorney-in-Fact 3/25/97 - P.O.A.

STATE OF MAINE
Cumberland, ss.

May 7, 1997

Personally appeared the above named Joseph A. Raynes and acknowledged the foregoing instrument to be his free act and deed individually and in his capacity as Attorney-in-Fact for Bonnie Belanger.

Before me
RECEIVED
RECORDED REGISTRY OF DEEDS
1997 MAY -8 AM 11:20
CUMBERLAND COUNTY
[Signature]

[Signature]
James R. Lemieux, Attorney at Law

MAINE REAL ESTATE TAX PAID

1820
133

Know all Men by these Presents. That

of

I, Mabel W. Raynes of Yarmouth, in the County of Cumberland and State of Maine,

in consideration of one dollar and other valuable considerations, paid by J. Warren Raynes of Yarmouth, in said County and State

never
right,
said

the receipt whereof I do hereby acknowledge, do hereby remise, release, bargain, sell and convey, and forever quit-claim unto the said J. Warren Raynes, his heirs and assigns forever, all my right, title and interest in and to the following described real estate, viz:

of
Be-
on
right

A certain lot or parcel of land, with the buildings thereon, known as the Battery Point cottage property, situated on the Town Road along Prince's Point, in the Town of Yarmouth, in said County and State, running from the Town Road to low water mark, bounded Westerly by land now or formerly of Manning W. Hodgdon and Easterly by a right of way from the Town Road to the wharf and land of Dr. Dibbins.

right,
of the
in
34,
nd

Also, all my right, title and interest in and to the following described real estate, viz:

Two (2) certain lots or parcels of land situated on Verrill Street, so-called, in the City of Portland, in said County and State, being lots numbered one hundred seventy-five (175) and one hundred seventy-six (176) as shown on plan of lots at Portland Villa Sites belonging to J. W. Wilbur Co., Inc. said plan being made by Ernest W. Branch, C. E. dated July 9, 1918, and recorded in Cumberland County Registry of Deeds, Plan Book 14, Page 7.

For more particular description of said lots, reference is hereby made to said recorded plan.

Meaning and intending to convey to the said J. Warren Raynes all the interest in the said premises which came to me by descent from our father, George E. Raynes, late of said Yarmouth, deceased.

im,
never.

On Here and in Hold the same, together with all the privileges and appurtenances thereunto belonging, to the said J. Warren Raynes, his heirs and assigns forever.

~~And~~ ~~agreement with the said~~
~~heirs and assigns, that~~ ~~will warrant and~~ ~~defend the premises to~~ ~~the said~~
~~heirs and assigns forever, against the lawful claims and demands of all persons claiming by, through or under~~

L. L.
arin,
unto

In Witness Whereof, I, the said Mabel W. Raynes, single,

in the

have hereunto set my hand and seal this twenty-fifth day of May in the year of our Lord one thousand nine hundred and forty-six.

Signed, Sealed and Delivered in presence of

Helen A. Ross

Mabel W. Raynes

Seal

and
Seal

State of Maine, Cumberland, ss. May 25, 1946.
Personally appeared the above named Mabel W. Raynes
and acknowledged the above instrument to be her free act and deed.
BEFORE ME, Helen A. Ross, Notary Public Notarial Seal

original.

RECEIVED June 5 19 46 at 12 o'clock 45 m. P. M., and recorded according to the original.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990028
I. D. Number

David Chase
Applicant
50 Gray Rd, Falmouth, ME 04105
Applicant's Mailing Address
SAA
Consultant/Agent
797-9093
Applicant or Agent Daytime Telephone, Fax

3/15/99
Application Date
Verrill St Lot 15A
Project Name/Description

Verrill St
Address of Proposed Site
299-E-006
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1530
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review **\$300.00** Date: **3/15/99**

Inspections Approval Status:

Approved Approved w/Conditions see attached Denied Reviewer _____
 Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <i>Lot 15 - A Verrill St</i>		
Total Square Footage of Proposed Structure: <i>1530</i>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# <i>299</i> Block# <i>E</i> Lot# <i>6-7</i>	Owner: <i>David Chase</i>	Telephone#: <i>797 9093</i>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: <i>50 Gray Rd Fal.</i>	Cost Of Work: <i>\$ 55,000.00</i> Fee: <i>295</i> <i>\$ 300</i>
Proposed Project Description:(Please be as specific as possible) <i>1530 sq ft Cape - full dormer</i>		<i>595</i>
Contractor's Name, Address & Telephone <i>David Chase 50 Gray Rd Fal. 7979093</i>		Rec'd By: <i>J</i>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- **All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.**
- **All plumbing must be conducted in compliance with the State of Maine Plumbing Code.**
- **All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.**
- **HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.**

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (**2 copies are required**). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

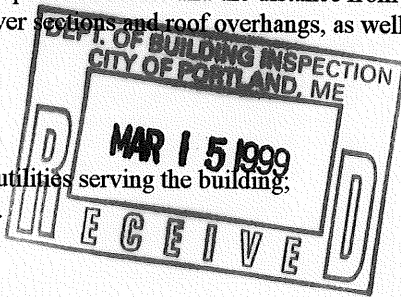
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>P. Chase</i>	Date: <i>3/15/99</i>
---	----------------------

Site Review Fee: \$300.00/Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.



032834

dx9250PGU283

WARRANTY DEED

Know All Men by these Presents,

That I, ELIZABETH L. RAYNES, in consideration of one dollar (\$1.00) and other valuable consideration paid by JOSEPH A. RAYNES and BONNIE BELANGER, whose mailing address is 47 Friar Lane, Cumberland Center, Maine 04021, the receipt whereof I do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said JOSEPH A. RAYNES and BONNIE BELANGER, as tenants in common, their heirs and assigns forever, the real property described in Schedule A attached hereto and incorporated herein by reference.

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said JOSEPH A. RAYNES and BONNIE BELANGER, as tenants in common, their heirs and assigns, to them and their use and behoof forever.

And I do hereby covenant with the said Grantees, their heirs and assigns, that I am lawfully seized in fee of the premises, that they are free of all encumbrances, that I have good right to sell and convey the same to the said Grantees to hold as aforesaid; and that I and my heirs, shall and will warrant and defend the same to the said Grantees, their heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, I, the said ELIZABETH L. RAYNES, have hereunto set my hand and seal this 18th day of the month of July, A. D. 1990.

Signed, Sealed and Delivered
in presence of

Wana M. Tussar

Elizabeth L. Raynes
ELIZABETH L. RAYNES

8X9250PG0284

State of Maine
Cumberland, ss.

July 18, 1990

Then personally appeared the above named ELIZABETH L RAYNES, and acknowledged the foregoing instrument to be my free act and deed.

Before me,

Warren M. Turner
Attorney at Law
Notary Public

WARREN M. TURNER
Printed Name

SCHEDULE A

PARCEL 1

Two (2) certain lots or parcels of land situated on Verrill Street, so-called, in the City of Portland, County of Cumberland and State of Maine, being lots numbered one hundred seventy-five (175) and one hundred seventy-six (176) as shown on plan of lots at Portland Villa Sites belonging to J.W. Wilbur Co., Inc. said plan being made by Ernest W. Branch, C.E. dated July 9, 1918, and recorded in Cumberland County Registry of Deeds, Plan Book 14, Page 7. Being the same premises conveyed to J. Warren Raynes, by deed dated May 25, 1946 and recorded in the Cumberland County Registry of Deeds, Book 1820, Page 133.

PARCEL 2

A certain lot or parcel of land, with the buildings thereon, situated in the Town of Yarmouth, County of Cumberland and State of Maine, and being the homestead place of George A. Allen, situated on the westerly side of the Prince's Point Road, so-called, and on the southerly side of Gilman Street, so-called. Being the same premises described in a deed to J. Warren Raynes dated September 18, 1948 and recorded in said Registry in Book 1933, Page 208. Also two sidelots contiguous to said parcel described as follows: (i) a certain lot or parcel of land beginning at a stone marker located in the westerly sideline of Prince's Point Road, which said stone marker is the southeasterly boundary of land now or formerly of J. Warren Raynes, et al.; thence in a southerly direction along the westerly sideline of said Prince's Point Road two hundred (200) feet to a point; thence turning and running westerly and parallel with the southerly sideline of the land of said Raynes to the land now or formerly of Eric Sanders; thence turning and running in a direction northerly along the easterly boundary of land of said Sanders and also of one, John Tinker, to the land now or formerly of said J. Warren Raynes, et al.; thence turning and running easterly to the point of beginning. Being the same premises described in a deed found in said Registry in Book 2161, Page 270; and (ii) a certain lot or parcel of land beginning at a point at the corner of Gilman Street, so-called, and the Prince's Point Road, so-called; thence southerly along line of land now or formerly of George Raynes to land of Wallace Doyle; thence westerly along line of land now or formerly of Frank Young to said Gilman Street; thence along said Gilman Street to the point of beginning. Being a triangular parcel of land containing three (3) acres, more or less and being the parcel described in a deed found in said Registry in Book 2173, Page 30. Excepting and reserving for the benefit of the Grantor herein, a life estate in all of the real property described herein under the caption "Parcel 2." Also excepting from Parcel 2 any portion thereof conveyed to Central Maine Power Company by deed dated November 22, 1954 and recorded in said Registry of Deeds in Book 2210, Page 231.

Meaning and intending to convey the same parcels conveyed to the Grantor by Deed of Distribution by Personal Representative recorded in the Cumberland County Registry of Deeds in Book 6937, Page 273.

MAHON M. MANSW
103 x 11.03
MAHON M. MANSW

RECORDED IN THE
REGISTRY OF DEEDS

1990 JUL 19 PM 12:43

CUMBERLAND COUNTY

[Signature]

[Signature]

44455
DEED OF DISTRIBUTION

BY PERSONAL REPRESENTATIVE

(Testate)

KNOW ALL PEOPLE BY THESE PRESENTS,

That Joseph A. Raynes of Yarmouth, in the County of Cumberland and State of Maine, duly appointed and acting Personal Representative of the Estate of Joseph Warren Raynes, deceased, whose will was duly admitted to probate in the Probate Court for the County of Cumberland and State of Maine, by the power conferred by the Probate Code and every other power.

For consideration paid, grant to Elizabeth L. Raynes of Yarmouth, in the County of Cumberland and State of Maine, whose mailing address is: RR 1, Box 18, Prince's Point Rd., Yarmouth, Maine, being the person entitled to distribution of the hereinafter described real property located in Yarmouth and Portland, in the County of Cumberland and State of Maine, described as follows:

Parcel 1: Two (2) certain lots or parcels of land situated on Verrill Street, so-called, in the City of Portland, County of Cumberland and State of Maine, being lots numbered one hundred seventy-five (175) and one hundred seventy-six (176) as shown on plan of lots at Portland Villa Sites belonging to J.W. Wilbur Co., Inc. said plan being made by Ernest W. Branch, C.E. dated July 9, 1918, and recorded in Cumberland County Registry of Deeds, Plan Book 14, Page 7. Being the same premises conveyed to Joseph Warren Raynes, 5/25/46 by deed recorded in the Cumberland County Registry of Deeds, Book 1820, Page 133.

Parcel 2: A certain lot or parcel of land, with the buildings thereon, situated in the Town of Yarmouth, County of Cumberland and State of Maine, and being the homestead place of George A. Allen, situated on the Westerly side of the Prince's Point Road, so-called, and on the Southerly side of Gilman Street, so-called. Being the same premises described in a deed into J. Warren Raynes dated 9/18/45 and recorded in said Registry in Book 1933, Page 208.

Also 2 sidelots contiguous to Parcel 2: (a) A certain lot or parcel of land beginning at a stone marker located in the westerly sideline of Prince's Point Road, which said stone marker is the south easterly boundary of land formerly of J. Warren Raynes et al; thence in a southerly direction along the westerly sideline of said Prince's Point Road two-hundred feet (200 feet) to a point; thence turning and running westerly and parallel with the southerly sideline of the land of said Raynes to the land of Eric Sanders; thence turning and running in a direction northerly along the easterly boundary of land of said Sanders and also of one, John Tinker, to the land formerly of said J. Warren Raynes et al; thence turning and running easterly to the point of beginning. Being the same premises described in a deed found in said Registry in Book 2161, Page 270. Also a parcel beginning at a point at the corner of Gilman street, so called, and the Prince's Point Road, so called; thence Southerly along line of land now or formerly of George Raynes to land of Wallace Doyle; thence westerly along line of land now or formerly of Frank Young to said Gilman Street; thence along said Gilman Street to the point of beginning. Being a triangular parcel of land containing three (3) acres, more or less and being the parcel described in a deed found in Book 2173, Page 30.

Witness my hand and seal this 18TH day of OCTOBER, 1985.

WITNESS:

M. J. Glacis

ESTATE OF JOSEPH W. RAYNES

By:

J. A. Raynes
Personal Representative
J. A. Raynes

STATE OF MAINE
CUMBERLAND, ss.

Then personally appeared the above-named Joseph A. Raynes in his capacity and acknowledged the foregoing instrument to be his free act and deed.

Before me,

M. J. Glacis

Notary Public
Attorney at Law

Type name: MARY ANTONIACIO
MY COMMISSION EXPIRES MAY 31, 1990

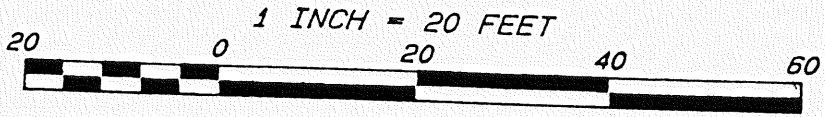
SEAL

RECEIVED
RECORDED REGISTRY OF DEEDS
1985 OCT 21 PM 12:05
CUMBERLAND COUNTY
James J. Walsh

- LOT LINE FROM PLAN REF. #1
 - ++++ BOARD FENCE
 - — — STOCKADE FENCE
 - o — RAIL FENCE
 - EDGE OF PAVEMENT
 - DECIDUOUS TREE
 - * CONIFER TREE
- 123/456 BOOK & PAGE OF RECORDED DEED

This survey conforms to category I condition II as defined by the standards of the Maine State Board of Registration for Land Surveyors dated 1985. Except as noted.

- Exceptions:
- (1) NO SURVEY REPORT
 - (2) NO WRITTEN DESCRIPTION
- JOHN D. PALMITER, PLS#1057



CUMBERLAND SS
SEDS

19

AND RECORDED IN

PAGE

REGISTER

STANDARD BOUNDARY SURVEY

PROPERTY PLAN

67 BELFORT STREET PORTLAND, MAINE 04103

MADE FOR

GAYLE G. ELLIOT

67 BELFORT STREET PORTLAND, MAINE 04103

FIELD BOOK 37 PAGE 6
AUGUST 01, 1994 1" = 20'

JOHN D. PALMITER, PLS 1057
29 MAYBERRY ROAD GRAY, MAINE 04039
TELEPHONE (207) 657-4630 OR 1-800-310-0119

50' R/W

Handwritten signature

73

N/F
JOSEPH W. RAYNES
9250/283

1/4
HANNIGAN
7/19

LOT 177
LOT 172
Handwritten note

LOT 176 LOT 175

(142.29 RECORD)

1 1/4" X 4" N 38°-37'-19" E 80.92'

0.65'

BULKHEAD

DECK

HOUSE

SHED

(72.11 RECORD)
S 52°-42'-50" E 70.99'

S 52°-42'-50" E 142.04'

N 52°-42'-45" W 72.74'
(72.89 RECORD)

PAVED DRIVE

LOT 173 & 174 OF
PORTLAND VILLA SITES

PORCH

50' R/W

S 37°-21'-55" W 80.00'

N 37°-21'-55" E 50.00'

WIRT STREET

BELFORT STREET

BUILDING PERMIT REPORT

DATE: 17 Mar 99 ADDRESS: Verrill ST, Lot 15A CBL: 299-E-006
 REASON FOR PERMIT: To Construct a single family dwelling
 BUILDING OWNER: David Chase
 PERMIT APPLICANT: Chase
 USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

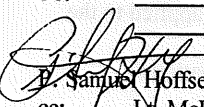
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *3, *4, *5, *6, *9, *11, *13, *14, *15, *19, *27, *29, *30, *31, *32, *33*

- X1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- X2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- X3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- X4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
- X5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
- X6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
- X9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- X11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 76". (Section 1204.0)
- X13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0) see attached detail.
- X14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- X15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)

18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- *19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 &19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- *27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
28. All requirements must be met before a final Certificate of Occupancy is issued.
- *29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
- *30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- *31. Please read and implement the attached Land Use Zoning report requirements.
- *32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
- *33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
34. _____
35. _____
36. _____


 James Hoffses, Building Inspector
 cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSH 12-14-98

* **On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

**CITY OF PORTLAND, ME
BOCA 1996 Plan Review Record
One and Two Family Dwelling**

Valuation: \$55,000.00 Plan Review # 282
 Fee: \$295.00 Date: 17 March 1999

Building Location: Verrill St, Lot 15A CBL: 299-E-006

Building Description: Single Family Dwelling

Reviewed by: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan & building code requirements must be completed before a certificate of occupancy can or will be issued	111.0
2.	Foundation drains	1813.5.2
3.	Foundation anchors	2305.17
4.	Water proofing and damp proofing	1813.0
5.	Concrete protection	1908.0
6.	Chimney & vents BOCA Mech. 1993/Chapter 12	NFPA 211
7.	Guardrails & handrails	1021.0 1022.0
8.	STAIR CONSTRUCTION	1014.8
9.	Sleeping room egress	1018.6
10.	smoke detectors	920.3.2
11.	Fastening schedule	Table 2305.2
12.	Ventilation of spaces	Chapter '96 BOCA Mech 1993

REV: PSH 6-28-98

Foundations (Chapter 18)

Wood Foundation (1808)

~~NA~~ Design
~~NA~~ Installation

Footings (1807.0)

~~X~~ Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
~~NA~~ Insulated footing provided
~~X~~ Soil bearing value (table 1804.3)
~~X~~ Footing width
~~X~~ Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

~~X~~ Design (1812.1)
~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
~~SR~~ Water proofing and damp proofing Section 1813
~~X~~ Sill plate (2305.17)
~~SR~~ Anchorage bolting in concrete (2305.17)
~~X~~ Columns (1912)
~~NA~~ Crawl space (1210.2) Ventilation
~~NA~~ Crawl opening size (1210.2.1)
~~SR~~ Access to crawl and attic space (1211.0)

Floors (Chapter 16-23)

~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
~~X~~ Grade
~~X~~ Spacing
~~X~~ Span
~~X~~ Girder 4" bearing 2305.6.1

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~SM~~ Bridging (2305.16)
- ~~SM~~ Boring and notching (2305.5.1)
- ~~SM~~ Cutting and notching (2305.3)
- ~~SM~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SM~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SM~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SM~~ Notching and boring (2305.5.1)
- ~~SM~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~NA~~ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ~~X~~ Approved materials (1404.1)
- ~~X~~ Performance requirement (1505)
- ~~X~~ Fire classification (1506)
- ~~X~~ Material and installation requirements (1507)
- ~~X~~ Roof structures (1510.0)
- ~~X~~ Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- ~~X~~ Masonry (1206.0)
- ~~NA~~ Factory - built (1205.0)
- ~~NA~~ Masonry fireplaces (1404)
- ~~NA~~ Factory - built fireplace (1403)
- ~~SM~~ NFPA 211

**Mechanical
 1993 BOCA Mechanical Code**

~~SR~~

State Plumbing Code

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>46 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

- SA Labeling (2402.1)
- SA Louvered window or jalousies (2402.5)
- SA Human impact loads (2405.0)
- SA Specific hazardous locations (2405.2)
- SA Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

- NA General (407)
- NA Beneath rooms (407.3)
- NA Attached to rooms (407.4)
- NA Door sills (407.5)
- NA Means of egress (407.8)
- NA Floor surface (407.9)

Egress (Chapter 10)

- ~~SA~~ ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~NA~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

**Dwelling Unit Separation
Table 602**

**Electrical
NFPA #**

Separate District in
ownership

2898 } 299-E-6
2750 }
5648 } →

7
5
10
9

Separate District in ownership

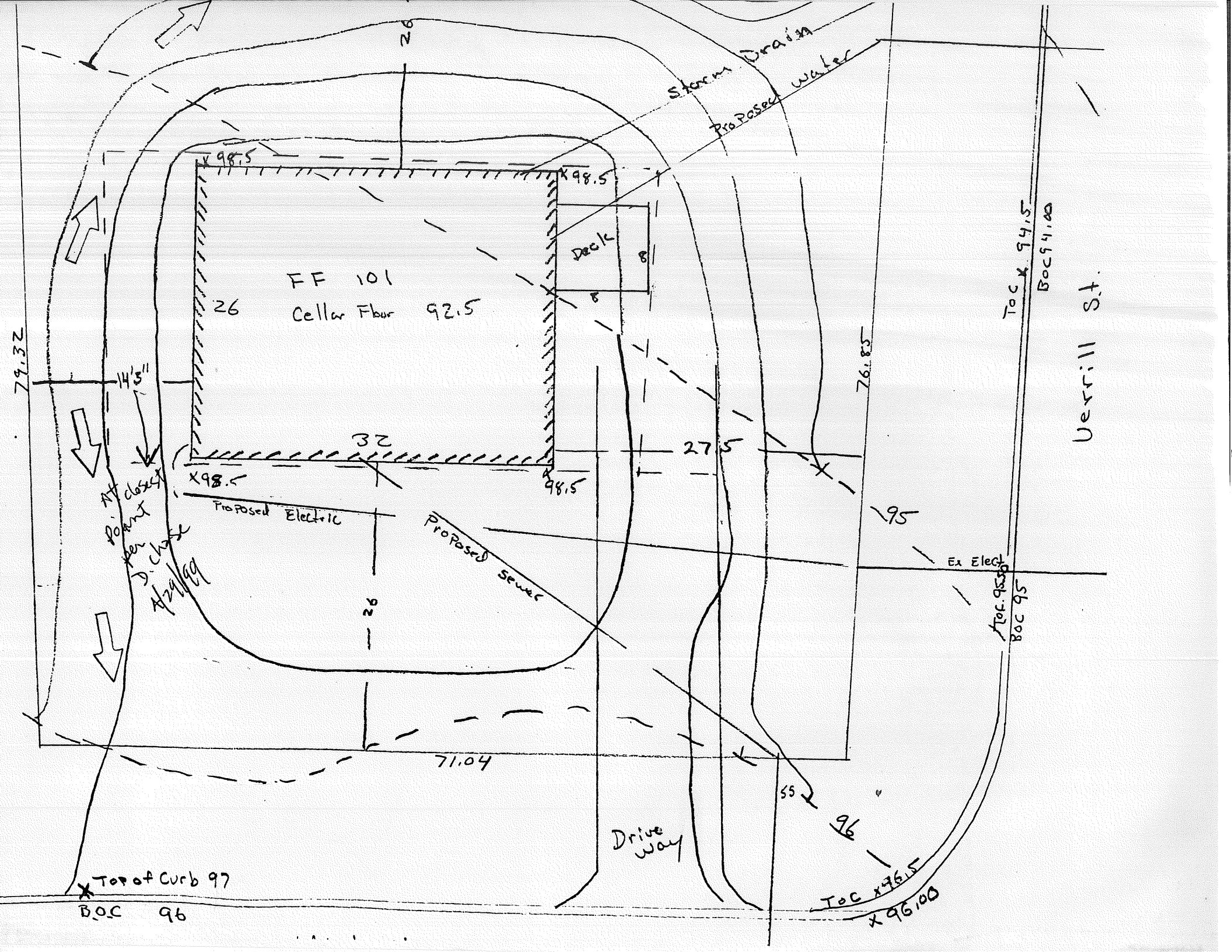
for 299-E-8

299-E-11, 12 or 13

299-D

224

issued for



FF 101
Cellar Floor 92.5

Deck
8
8

26

32

27.5

76.85

95

Ex Elect

Top 94.5

BOC 94.00

Verrill St.

79.32

4 1/2"

98.5

Proposed Electric

Proposed Sewer

98.5

26

71.04

Drive way

55

96

Top 96.5
96.00

Top of Curb 97

BOC 96

Top 95.50

BOC 95

VIGAN
}

177
172

N/F
JOSEPH A. RAYNES
9250/283

LOT 176 LOT 175

LOT 173 LOT 174

1 1/4" X 4"

N 38°-37'-19" E 80.02'

0.65'

BULKHEAD

DECK

HOUSE

SHED

PAVED DRIVE

LOT 173 & 174 OF
PORTLAND VILLA SITES

PORCH

S 37°-21'-55" W 80.00'

(142.29 RECORD)

S 52°-42'-50" E 142.04'

(72.11 RECORD)

S 52°-42'-50" E 70.99'

N 37°-21'-55" E 50.00'

50' R/W

WIRT STREET

(248)
N 52°-42'-50" W 248.02'

LOT 289

3/4" X 4"
SOLID PIN

LOT 290

LOT 291

R/W