

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0627 Issue Date: JUN 20 2002 CBL: 299-D046001

PERMIT ISSUED
CITY OF PORTLAND

Location of Construction: 1592 Forest Ave	Owner Name: City Of Portland	Owner Address: 389 Congress St	Phone: 74-8126
Business Name: n/a	Contractor Name: Zachau Construction, Inc.	Contractor Address: PO Box 1185 US Route One Freeport	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: R3

Past Use: Public School	Proposed Use: Public School / HVAC and Pool Repairs	Permit Fee:	Cost of Work: \$0.00	CEO District: 1
Proposed Project Description: HVAC and Pool Repairs		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: E Type: 2 6/20/02 Signature: [Signature]	

Signature: [Signature]

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ **Date:** _____

Permit Taken By: gg	Date Applied For: 06/07/2002	Zoning Approval	
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1. This permit application does not preclude the applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Major <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: [Signature] 6/7/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: Allied Engineering Inc. / Sample & Drake

Address of Project 1600 Forest Ave

Nature of Project Riverton HVAC & Pool Repair

Date 6/6/02

The technical submissions covering the proposed construction work as described above have been ^{to the best of our belief} have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



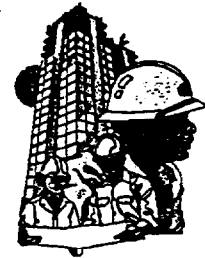
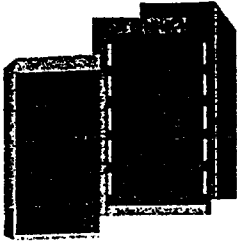
Signature [Handwritten Signature]

Title Principal

Firm Allied Engineering

Address One Westbrook Common
Westbrook, ME 04096

Telephone (207) 854-8126



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Allied Engineering, Inc.

RE: Certificate of Design

DATE: 6/6/02

These plans and/or specifications covering construction work on:

Riverton HVAC + Pool Repairs

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.

(SEAL)



Signature *[Handwritten Signature]*

Title Principal *Ian A. MacDonald*

Firm Allied Engineering, Inc.

Address One Westbrook Common
Westbrook, ME 04096

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

All Purpose Building Permit Application

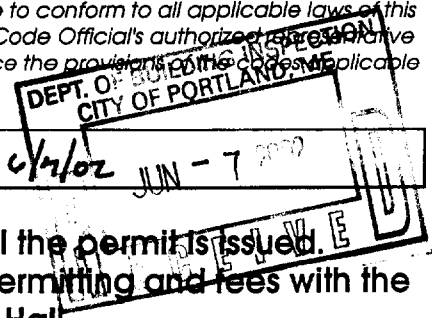
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1400 FOREST AVE., PORTLAND, ME. 04103</u>		
Total Square Footage of Proposed Structure <u>8500 ±</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>599</u> Block# <u>D</u> Lot# <u>046</u>	Owner: <u>PORTLAND PUBLIC SCHOOLS</u> <u>331 VERANDA ST.</u> <u>PORTLAND, ME</u>	Telephone: <u>874-8122</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>ZACHAU CONSTRUCTION, INC.</u> <u>PO BOX J, 1185 US ROUTE ONE</u> <u>FREEMONT, ME 04032-0914</u>	Cost Of Work: \$ <u>708,900 -</u> Fee: \$ <u>4,986</u> ⁰²
Current use: <u>PUBLIC SCHOOL / POOL</u>	Plympton School Board gave SPERM insp. forms to get back to up - will see if fee can be waived	
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>PUBLIC SCHOOL / POOL</u>		
Project description: <u>HVAC AND POOL REPAIRS</u>		
Contractor's name, address & telephone: <u>ZACHAU CONSTRUCTION, INC</u> <u>P.O. BOX J, 1185 US ROUTE ONE</u> <u>FREEMONT, ME 04032-0914</u>	Plans to be emailed	
Who should we contact when the permit is ready: <u>BRUCE HILFRANK</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>865-9925</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the Code applicable to this permit.

Signature of applicant: <u>Bruce Hilfrank</u>	Date: <u>6/7/02</u> JUN - 7 2002
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

COMMERICAL INTERIOR CONSTRUCTION AND CHANGE OF USE LESS THAN 5,000 SQUARE FEET OF LEASEABLE SPACE

Your submissions must include the following to be accepted as a complete application:

- 1 Copy of the deed if you have owned the property less than 365 days
- 1 Copies of floor plan showing dimensions of each area and use to scale
- 1 Copies of the construction detail
- 1 Copies of the cover letter explaining the project in detail
- 1 Copy of the floor plan and construction details on 11" x 17" paper, we can not accept the application without it. Electronic plans may be submitted in place of the 11" x 17" copies.

A plot plan will need to be submitted if there is a change of use, to include the following:

- The shape and dimension of the lot and footprint of all structures
- Location and dimensions of parking areas and driveways (including street spaces in front of business)
- The building frontage of each tenant

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC
AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All electrical installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

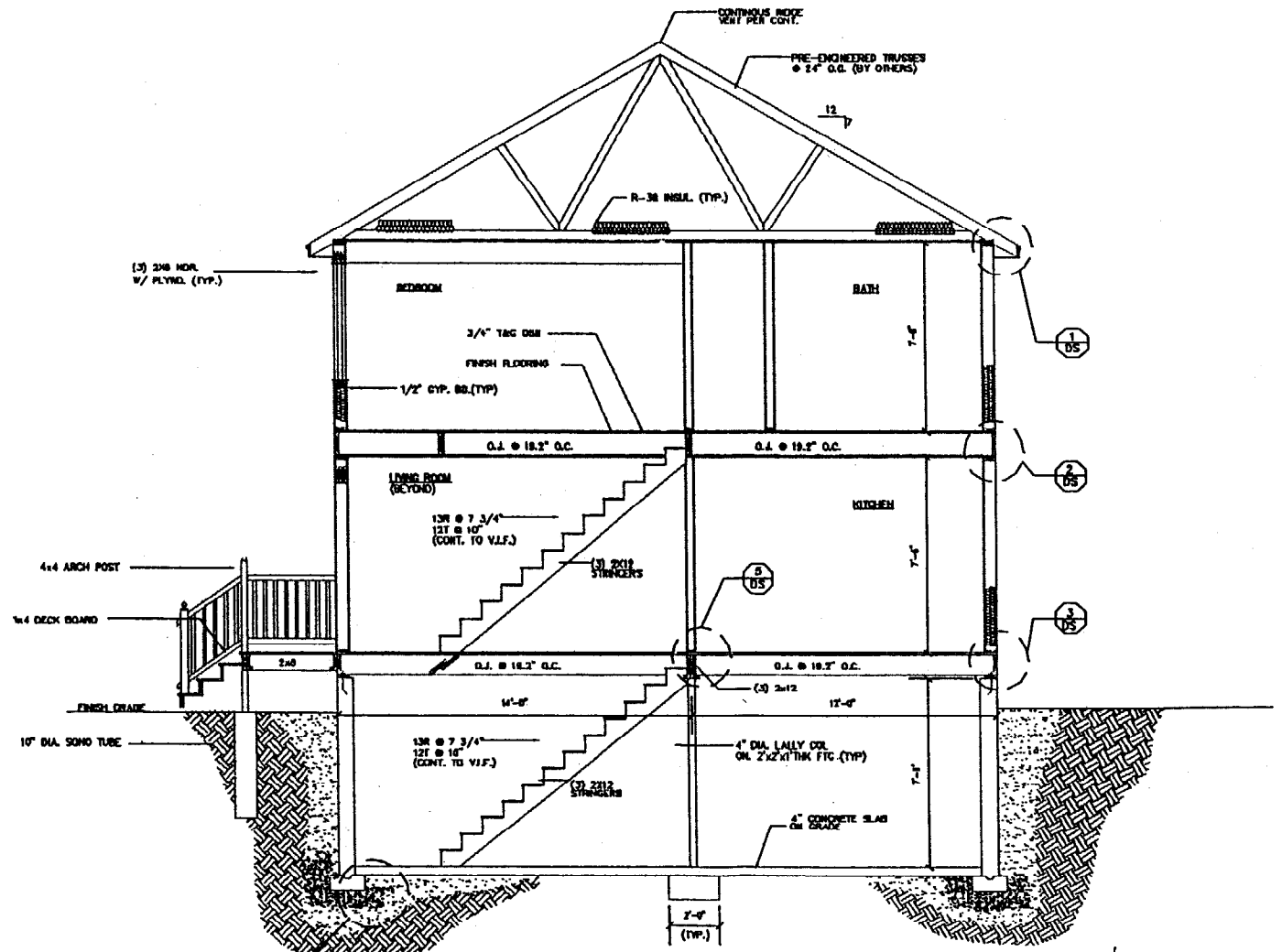
AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THE PERMIT. IF THE REQUIRED INFORMATION AS STATED ABOVE IS NOT SUBMITTED WITH THE APPLICATION, THE APPLICATION WILL BE AUTOMATICALLY DENIED

The cost of the permit is as follows:

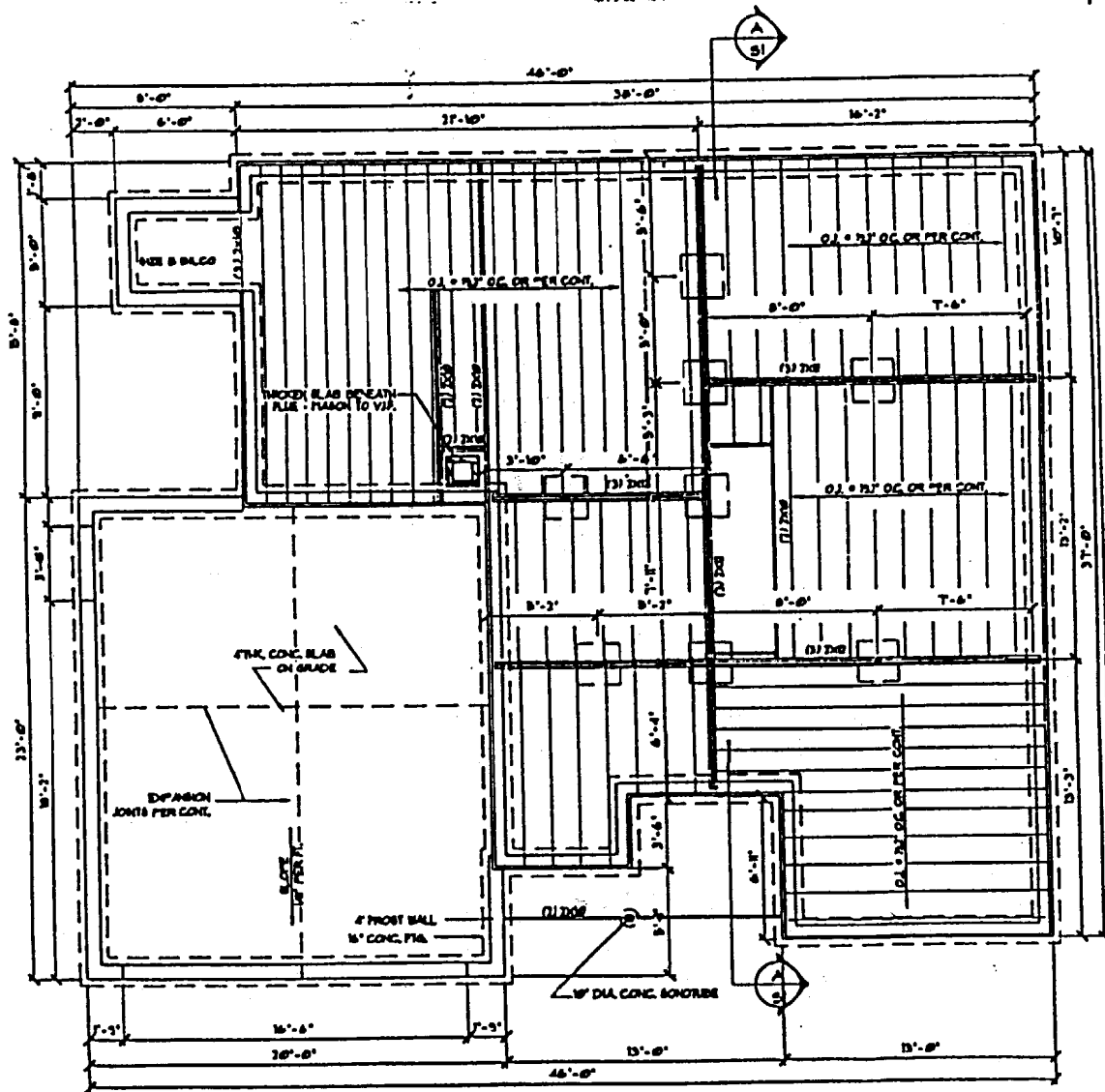
- Basic permit fee: \$30.00
- The first \$1,000.00 worth of construction is covered in the \$30.00 base fee
- Every additional \$1,000.00 of construction will cost \$7.00

Submissions for commercial work over \$50,000.00 must be done by a Design Professional

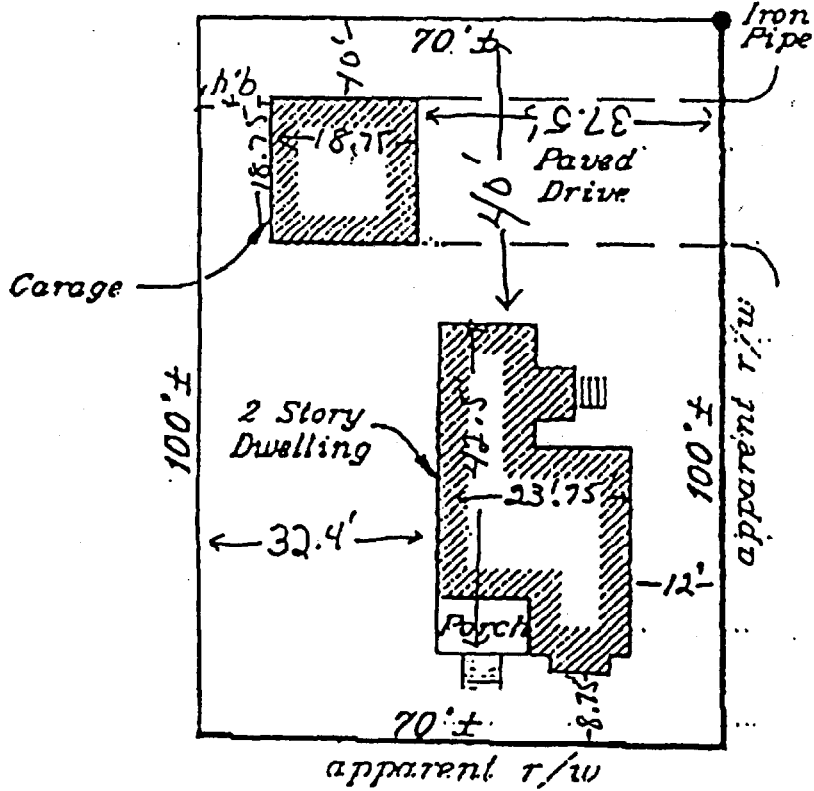
If a Certificate of Occupancy is needed, it must be issued and paid for before the structure may be occupied. The fee is \$75.00



(A) SECTION A
 SCALE: 1/2"=1'-0"



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



Lot Front

allied engineering, inc.

structural mechanical electrical technology

April 11, 2002

FROM: Allied Engineering, Inc.
One Westbrook Common
Westbrook, Maine 04092
Telephone: (207) 854-8126

TO: Prospective Bidders, Suppliers, and Other Parties

RE: Addendum No. 1 to the Bidding Documents for:
RIVERTON HVAC & POOL REPAIRS

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated March 25, 2002. Acknowledge receipt of this Addendum in the space provided on the Bid Proposal Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of three (3) pages.

LIST OF PLAN HOLDERS AND/OR PRE-BID CONFERENCE ATTENDEES FOR REFERENCE:

1. RIVERSIDE MECHANICAL
2. KEELEY CONSTRUCTION
3. COTE CORPORATION
4. PORTLAND AIR CONDITIONING
5. NEW ENGLAND TECH AIR
6. ZACHAU CONSTRUCTION
7. HCI-CRAFTSMAN
8. GERBER CO.
9. AIRTEMP
10. T.E. LOW
11. HARDY POND CONSTRUCTION
12. IRONWOOD CONSTRUCTION
13. MAINLAND STRUCTURES
14. BENCHMARK CO.
15. CCB, INC.
16. C.M. CIMINO
17. HASCALL & HALL
18. PAUL WHITE TILE

CHANGES TO SPECIFICATIONS

Section 01010, Page 1, Part I

Add new paragraph E.6: "The City of Portland's Recreation Department Camp Extreme with 120 Middle School students will use the Gym Mondays through Fridays, 7:30AM to 4:30PM. The YES! Basketball program will have 200 kids on Monday and Friday nights from 6:00PM to 9:00PM, and Saturdays from 8:00AM to 4:00PM.

Add new paragraph E.7: "The Pool, Locker Rooms, and construction areas shall be secured when the contractor leaves the site. The Owner will pay the cost of temporarily re-keying certain doors for Contractor use."

Section 01500, Page 5, Part 3

Add new Paragraph 3.4.F.13: "Seal the following with polyethylene: existing door to Gym (West of dust partition), Janitors Closet, Door 199 and Door 200."

Section 01500, Page 5, Part 3

Delete Paragraph 3.4.B in its entirety.

Add new Paragraph 3.4.B "Site Enclosure Fence: Before construction operations begin, install portable chain-link fencing to screen the construction operations from school operations. Maintain access to loading dock as well as emergency vehicle access. Assume 250 lineal footage of temporary fencing will be required. Exact layout of fencing shall be coordinated with the Owner. Enclose entire Project site or portion determined sufficient to accommodate construction operations. Install in a manner that will prevent people, dogs, and other animals from easily entering site except by entrance gates, control access to existing facilities, protect plants and trees, and separation of construction areas from Owner occupied areas in the building."

Section 07531, Page 4, Part I

Add Paragraph 1.6.C.: "The existing Carlisle pool roofing system was installed in 1999 by D.H. Pinnette & Sons, Inc. Carlisle issued their trademark golden seal total roofing system warranty (CMD990765N) for fifteen (15) years effective December 29, 1999. In addition, the Portland Public Schools received a twenty (20) year sure seal membrane material warranty. All roofing work must be performed consistent with the warranty requirements."

Section 09900, Page 1, Part I

Delete Paragraph 1.2.A.1 in its entirety.

Delete Paragraph 1.2.A.5 in its entirety.

Add Paragraph 3.3 O.: "All three recessed edges of scored CMU on raked joints shall receive material applications with indicated mil thickness by means of brush application."

Section 11480, Page 3, Part 2

Delete Paragraph F.1.a. (1) in its entirety.

Add in its place: "Strips shall be field-drilled for attachment with 3/8" Hilti HIT HY20 w/SS screen tube @ 2'-0" on center with minimum embedment of 3 1/2 inches."

CHANGES TO DRAWINGS

Sheet AD-100

Delete KEY NOTE 3 in its entirety.

Add KEY NOTE 3: "ENTIRE EPOXY FLOOR FINISH AND 4" BASE UP WALL SHALL BE REMOVED TO BARE CONCRETE. OWNER WILL INSTALL NEW TILE FLOORING. REMOVE EXISTING SURFACES TO THE SATISFACTION OF THE OWNER, AND CONSISTENT WITH THE REQUIREMENTS OF THE TCA HANDBOOK SPECIFIED IN SECTION 09300. RECOMMENDED EQUIPMENT FOR REMOVAL INCLUDES POWERED ROTARY FLOOR PLANERS AND MULTI-HEAD SCABLERS OR DECK SCALERS EQUAL TO UNITS MANUFACTURED BY TRELAWNY."

Sheet AE-100

Add note: "FURNISH AND INSTALL NEW BLEACHERS AS SPECIFIED. PROVIDE SIDE CLOSURE PANELS OF ALUMINUM PLATE ON ENDS WHERE SEATING ROW EXTENDS BEYOND ADJACENT WALL. " [Bleachers are shown at South side of pool space.]

Sheet AE-200

Add note: "INSTALL A WARNING SIGN AT EACH END OF PICTURE RAIL. RAILING WEIGHT LIMIT: DO NOT HANG ANY ITEMS HEAVIER THAN 100 LBS. SIGNS SHALL BE SETON CUSTOM WORDED WORKPLACE SIGNS, OR EQUAL; 60-MIL PLASTIC, 10" X 7" DIMENSIONS. COLORS SHALL BE AS SELECTED BY ARCHITECT"

Sheet MD-100

Delete: "REMOVE ALL ROOF DRAIN PIPING WITHIN THE POOL ROOM ENCLOSURE"

Sheet MD-100

Delete note: "LOCKER ROOM FLOOR WILL BE PREPPED AND TILED"

Add note: "LOCKER ROOM FLOOR WILL BE PREPPED FOR TILING BY OWNER"

Sheet MH-100

Delete all references to new roof drain piping.

Add note: "EXISTING ROOF DRAINS AND PIPING TO REMAIN. INSULATE EXISTING PIPING AND ROOF DRAINS AS SPECIFIED IN SECTION 15083."

Sheet MH-100

Add duct size for east end of two duct mains: "20 INCH DIAMETER"

Sheet MH-101

Add note: "AHU-9 AND ASSOCIATED DUCTWORK AND APPURTENANCES ARE ALTERNATE #1."

Sheet MH-101

Add note: "NEW ROOF DRAIN AND PIPING ARE ALTERNATE #2"

--- END OF ADDENDUM # 1 ---

allied engineering, inc.

structural mechanical electrical technology

April 18, 2002

FROM: Allied Engineering, Inc.
One Westbrook Common
Westbrook, Maine 04092
Telephone: (207) 854-8126

TO: Prospective Bidders, Suppliers, and Other Parties

RE: Addendum No. 2 to the Bidding Documents for:
RIVERTON HVAC & POOL REPAIRS

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated March 25, 2002. Acknowledge receipt of this Addendum in the space provided on the Bid Proposal Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of three (3) pages; plus a three (3)-page attachment.

LIST OF PLAN HOLDERS AND/OR PRE-BID CONFERENCE ATTENDEES FOR REFERENCE (updated list):

- | | |
|------------------------------|--|
| 1. RIVERSIDE MECHANICAL | 24. FIELDSTONE WELDING |
| 2. KEELEY CONSTRUCTION | 25. ELECTRICAL MAINTENANCE
& INSTALLATION |
| 3. COTE CORPORATION | 26. IRC |
| 4. PORTLAND AIR CONDITIONING | 27. KNOWLES INDUSTRIAL |
| 5. NEW ENGLAND TECH AIR | 28. S.C.E., INC. |
| 6. ZACHAU CONSTRUCTION | 29. PICKERELL ELECTRIC, INC. |
| 7. HCI-CRAFTSMAN | |
| 8. GERBER CO. | |
| 9. AIRTEMP | |
| 10. T.E. LOW | |
| 11. HARDY POND CONSTRUCTION | |
| 12. IRONWOOD CONSTRUCTION | |
| 13. MAINLAND STRUCTURES | |
| 14. BENCHMARK CO. | |
| 15. CCB, INC. | |
| 16. C.M. CIMINO | |
| 17. HASCALL & HALL | |
| 18. PAUL WHITE TILE | |
| 19. MILLIKEN BROS. | |
| 20. ATLANTIC METAL & PLASTIC | |
| 21. HVAC SERVICES | |
| 22. DEMMONS ROOFING | |
| 23. MERRIMACK BLDG. SUPPLY | |

CHANGES TO SPECIFICATIONS

Section TOC, Page2

Add: new Specification Section in Division 10 – “SECTION 10426 – SIGNAGE AND GRAPHICS”

Add: the Specification Section 10426 – SIGNAGE AND GRAPHICS in Division 10 of the Project Manual (New Section attached to this Addendum #2)

Section I/B. Page 3

Add: to the following dates to Paragraph C.1:

“August 16, 2002: all utility disconnect/service interruptions shall be completed.”

“September 1, 2002: Demolition work shall be completed.”

? Not correct!

Section I/B. Page 3

Delete: Paragraph C.4 in its entirety.

Add: new Paragraph C.4: “For each calendar day that any work specified in this bid remains uncompleted after the specified final completion date in the contract, \$200.00 (Two Hundred Dollars) shall be deducted from any monies due the contractor not as a penalty but as liquidated damages provided, however, that due account shall be taken of any adjustments to the date of completion as provided for above. In addition to the daily amount, an additional fixed charge liquidated damage amount of \$10,000 will be deducted for any and all work which is not completed by November 1, 2002 (unless otherwise extended in writing by the owner).”

CHANGES TO DRAWINGS

Sheet AD-100

Delete: KEY NOTE 2 in its entirety.

Add: KEY NOTE 2: “THE GENERAL CONTRACTOR (GC) SHALL REMOVE ALL LOCKERS. THE CITY OF PORTLAND PARKS DEPARTMENT STAFF WILL SALVAGE THE BEST 25-30 OF THE LOT AND THE PORTLAND PUBLIC SCHOOLS WILL REMOVE 10-15 DOOR HANDLE MECHANISMS PRIOR TO GC DISPOSAL. REMOVE 4” CONCRETE LOCKER BASES WHERE INDICATED TO WITHIN ½” MAXIMUM BELOW SURFACE, SEE DETAIL A3, SHEET AE-100. REMOVE BENCHES WHERE INDICATED, CUT BENCH POSTS OFF TO BELOW FINISHED SLAB SURFACE.”

Sheet AD-100:

Add: the following Note to Key Note 3 as revised in Addendum 1; “AT EACH LOCKER ROOM INTERIOR, CONCRETE SLAB SHALL BE PLANED OR CHIPPED TO A DEPTH OF ½” IN A TAPERED RAMP-LIKE AREA OF 4.5’ x 8’ AT EACH DOOR OPENING (4 LOCATIONS TOTAL).

Sheet SF-101

Delete: Detail A1 – Exterior Elevations, North Elevation, Section Symbol C6 on SF-100.

Add: in its place Section A9 on Sheet SF-500 and reverse direction of cut reference.

Sheet AE-100:

Delete: Keynote 1 at East end of Pool

Add: Keynote 4 at East end of Pool to read “4- (Typical of 6)”.

Sheet AE-100:

Delete: the last two sentences in Key Note 4.

Add: the following to Key Note 4: “REMOVE TILE IN AREA OF 12 TO 16 INCHES SQUARE, CENTERED ON NEW STARTING PLATFORM PEDESTAL LOCATIONS. PREPARE SLAB IN AREAS OF REMOVALS, TO RECEIVE NEW CERAMIC TILE AFTER INSTALLATION OF NEW PLATFORM SOCKETS. INSTALL TILE AND GROUT TO MATCH EXISTING SIZE, COLOR, AND PATTERN.”

- -- END OF ADDENDUM # 2 ---

Attachment: SECTION 10426 – SIGNAGE AND GRAPHICS

SECTION 10426 – SIGNAGE AND GRAPHICS

PART 1. - GENERAL

A. RELATED DOCUMENTS

1. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section

B. SUMMARY

1. This section includes the purchase and installation of the following:
 - a. Interior Signage
 - b. Exterior Sign Panels

C. SUBMITTALS

1. Product data for each type of sign specified, with installation instructions for each unit built-in or connected to other construction. Include methods of installation for each type of substrate.
2. Shop drawings showing installation details of signs permanently affixed to construction, including full-scale installation details of special conditions.
3. Samples for initial selection purposes consisting of manufacturer's standard size samples showing full range of colors, textures, and patterns available for each type of sign required.
4. Samples for verification purposes in full size units of each type of Sign indicated.

D. QUALITY ASSURANCE

1. **Manufacturer Qualifications:** Firm (material producer) with not less than 3 years of production experience, whose published literature clearly indicates general compliance of products with requirements of this section.
2. **Single Source Responsibility:** Provide material produced by a single manufacturer for all signage.

E. DELIVERY, STORAGE, AND HANDLING

1. Deliver materials to project site in original factory wrappings and containers, clearly labeled with identification of manufacturer, brand name, and lot number.
2. Comply with instructions and recommendations of manufacturer for special delivery, storage, and handling requirements.

F. SEQUENCE AND SCHEDULING

1. Sequence accessory installation with other work to minimize possibility of damage soiling during remainder of construction period.

G. MAINTENANCE

1. **Maintenance Instructions:** Submit manufacturer's printed instructions for maintenance of installed work, including methods and frequency recommended for maintaining optimum condition under anticipated use conditions. Include precautions against materials and methods that may be detrimental to finishes and performance.

PART 2. - PRODUCTS

A. MANUFACTURERS

1. **Available Manufacturers:** Subject to compliance with requirements, manufacturers offering products which may be incorporated in the Work include, but are not limited to, the following:
 - a. **Signs and Signage Panels (Interior and Exterior):**
 - (1) Best Manufacturing Co.
 - (2) Mohawk Sign System
 - (3) Seton Name Plate Co.

(4) Welch Stencil Company

B. FABRICATION, GENERAL

1. Provide signage in quantities and with features / text as specified. Manufacturer or product identification on exposed surfaces is unacceptable. Provide products with smooth, consistent finish with no evidence of chipping, uneven coloration, dents, or other imperfections.

C. INTERIOR SIGNS

1. Architectural Sign System consisting of polymer material matte, non-glare finish, radius corner backplate, raised wording, graphics and Grade II Braille permanently embedded in backplate material.
2. Size: Sign face shall be approximately 6" x 10".
3. Text: Letters are to be 5/8" high and raised 1/32" .
4. Color: Shall be selected by Owner from manufacturer's standard full range available with one color used on all custom signs.
5. All signs are to conform to the requirements of the ADA and shall include international symbol of accessibility and/or gender where appropriate.
6. Provide the following:
 - a. One sign for each room accessed from the pool deck (6 rooms total) allowing for 3 numbers and the room names as indicated on the Plan Drawings, and Braille designation.
 - b. One sign at each fire extinguisher (6 total) with words and picture, equal to Best No. WP251.

D. EXTERIOR SIGNS

1. Exterior Architectural Sign Panel consisting of factory finished aluminum facing to be applied to painted marine grade high density overlay plywood panel.
2. Size: Sign face shall be 24" x 48".
3. Text: Letters are to be 4" high and reflective .
4. Color: Panel color shall be selected by Owner from manufacturer's standard, full range of baked enamel colors available.
5. Provide the following:
 - a. One sign for each exterior entrance to the pool (2 total) allowing for the following text:
(1) H. PAULSON POOL

PART 3. - EXECUTION

A. INSTALLATION

1. Verify that materials are those specified before installing.
2. Install signage after other finishing operations, including painting, have been completed.
3. Wall-Mounted Sign Units: Install signage complying with manufacturer's printed instruction, using tamperproof, stainless steel fasteners of type recommended by manufacturer and as appropriate for applicable substrate (typically masonry).
 - a. Interior Signage – Mount in accordance to ADA requirements for height and relationship to doors and hardware.
 - b. Exterior Signage – Mount on exterior face of building in proximity to entry doors where directed by Owner.
4. Clean and polish exposed surfaces of installed signage, using materials and methods recommended by the manufacturer.

B. PROTECTION

1. Protect accessories against damage during remainder of construction period, complying with manufacturer's directions.

END OF SECTION 12900

RIVERTON HVAC AND POOL REPAIRS

RIVERTON ELEMENTARY SCHOOL

PORTLAND, MAINE

ALLIED PROJECT No. 02006

ISSUE FOR CONSTRUCTION

03-22-2002

INDEX OF DRAWINGS



allied *engineering, inc.*
 FULL SERVICE CONSULTING ENGINEERS

STRUCTURAL • MECHANICAL • ELECTRICAL • ENVIRONMENTAL • CONSTRUCTION ADMINISTRATION

One Westbrook Common, Westbrook, Maine 04092-2804

Telephone No: 207-854-8126 • Fax No: 207-854-0803

E-Mail: info@allied-eng.com • www.allied-eng.com

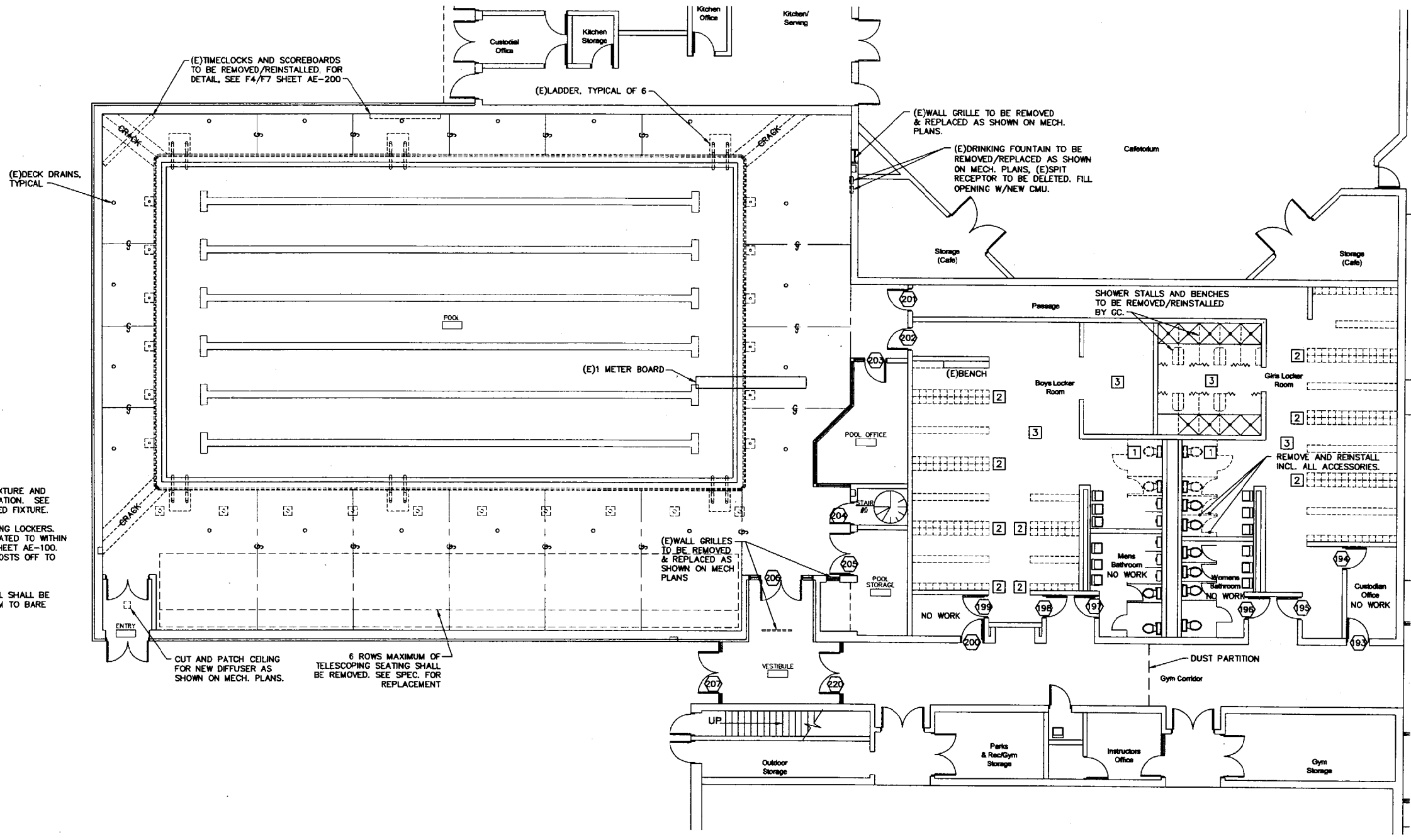
SEMPLÉ & DRANE ARCHITECTS

496 CONGRESS STREET
 PORTLAND, MAINE 04101
 (207) 761-4231
asemple1@maine.rr.com

	COVER
AD-100	ARCHITECTURAL DEMOLITION PLAN
AE-100	ARCHITECTURAL PLAN
AE-200	INTERIOR ELEVATIONS AND DETAILS
SF-100	GENERAL NOTES AND ROOF FRAMING PLAN
SF-101	ELEVATIONS AND ROOF PLANS
SF-500	DETAILS AND SECTIONS
MH-000	PLUMBING AND HVAC NOTES, LEGEND, AND ABBREVIATIONS
MD-100	MECHANICAL DEMOLITION PLAN
MD-101	MECHANICAL ROOM DEMOLITION PLAN
MH-100	MECHANICAL PART PLAN
MH-101	MECHANICAL ROOM PLAN
MH-600	MECHANICAL SCHEDULES
MH-601	MECHANICAL DIAGRAMS
E-100	ELECTRICAL PART PLAN ~ MAIN LEVEL
E-101	ELECTRICAL PART PLAN ~ MECHANICAL ROOM

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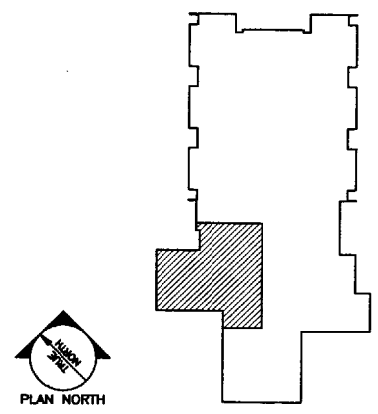


- DEMOLITION KEY NOTES**
- 1 REMOVE EXISTING FIXTURE AND REPLACE W/NEW FIXTURE AND CARRIER @ 18" (Q.) OFF WALL AND ADA RIM ELEVATION. SEE SPECIFICATIONS. PATCH AND PAINT WALL @ REMOVED FIXTURE.
 - 2 GENERAL CONTRACTOR (GC) TO REMOVE ALL EXISTING LOCKERS. REMOVE 4" CONCRETE LOCKER BASES WHERE INDICATED TO WITHIN 1/2" MAXIMUM BELOW SURFACE, SEE DETAIL A3, SHEET AE-100. REMOVE BENCHES WHERE INDICATED, CUT BENCH POSTS OFF TO BELOW FINISHED SLAB SURFACE.
 - 3 ENTIRE EPOXY FLOOR FINISH AND 4" BASE UP WALL SHALL BE REMOVED BY SHOT-BLAST-TRACK AND VAC SYSTEM TO BARE CONCRETE. ALL LOCKER AND SHOWER AREAS.

CUT AND PATCH CEILING FOR NEW DIFFUSER AS SHOWN ON MECH. PLANS.

6 ROWS MAXIMUM OF TELESCOPING SEATING SHALL BE REMOVED. SEE SPEC. FOR REPLACEMENT

B1 ARCHITECTURAL DEMOLITION PLAN
1/8" = 1'-0"



A9 KEY PLAN
NOT TO SCALE

SEMPLER & DRANE ARCHITECTS
486 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
asempler1@maine.rr.com

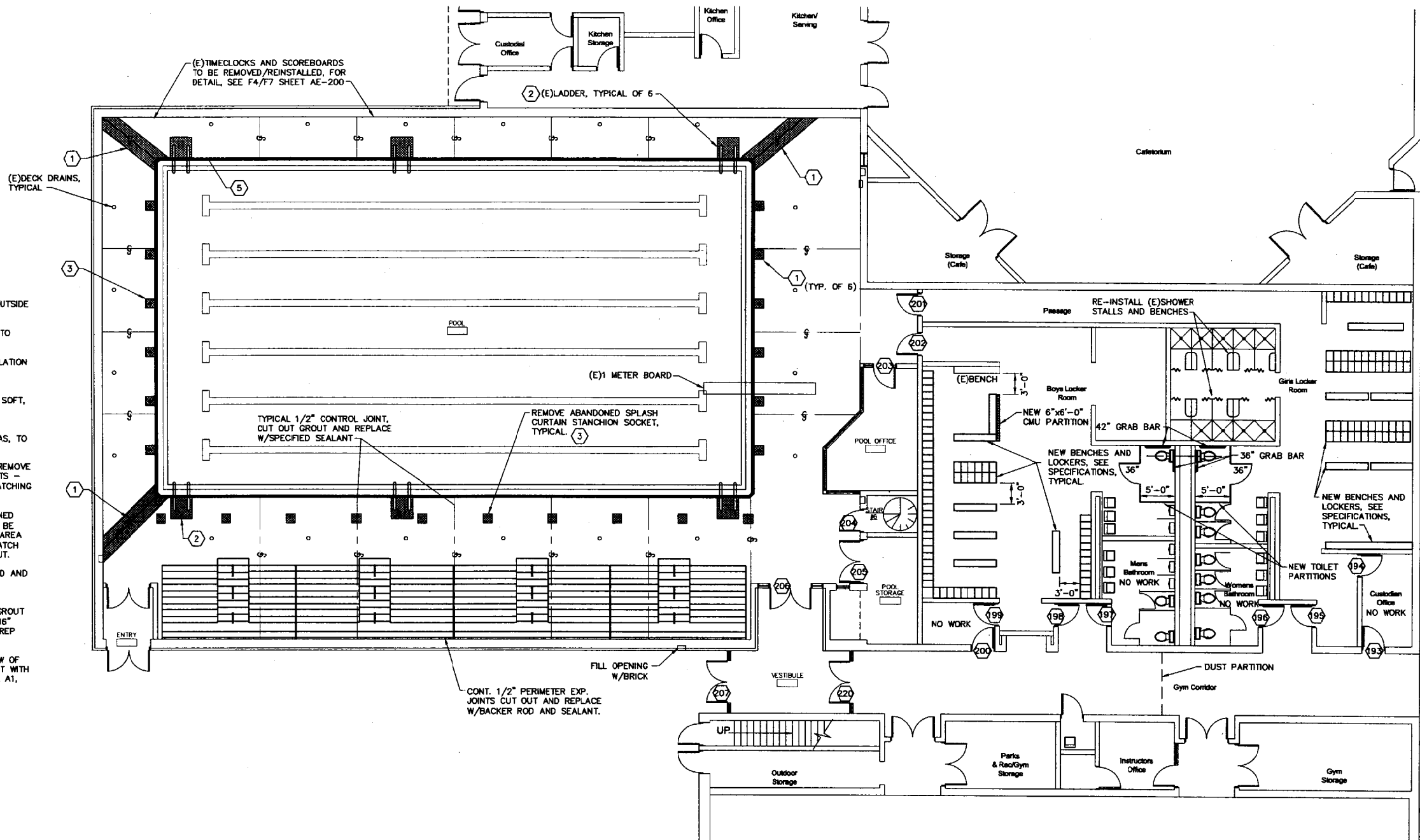
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engineering, inc.
One Westbrook Center, Westbrook, Maine 04092-2604
Telephone No. 207-884-1129 • Fax No. 207-884-0823
E-Mail: info@alliedeng.com www.alliedeng.com



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ARCHITECTURAL DEMOLITION PLAN
RIVERTON HVAC AND POOL REPAIRS
RIVERTON ELEMENTARY SCHOOL
PORTLAND, MAINE

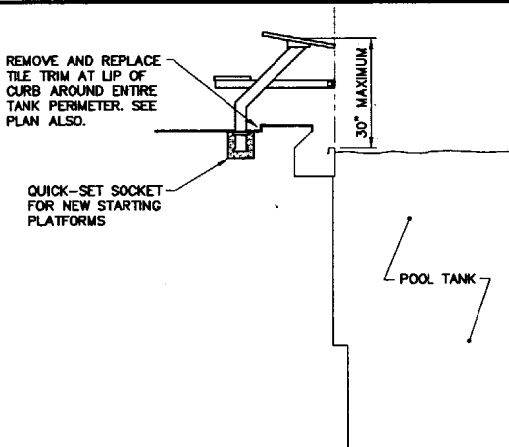
AD-100



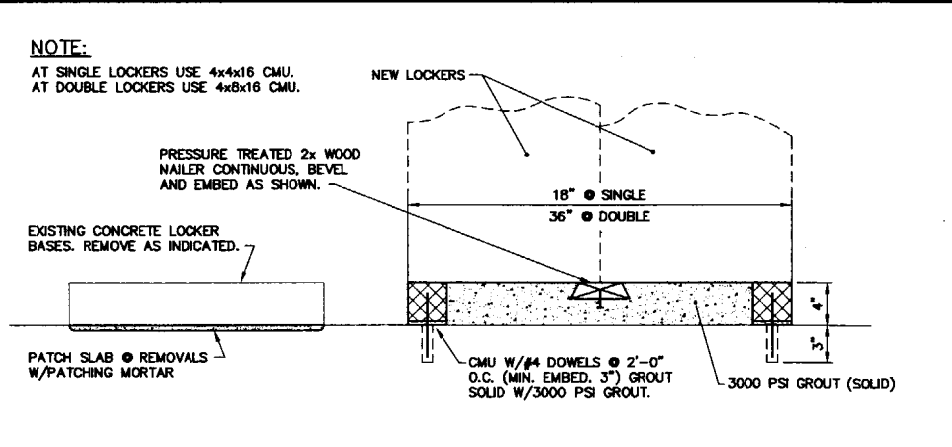
KEY NOTES

- 1) RANDOM DIAGONAL CRACKS FROM POOL TANK CORNER TO OUTSIDE WALL AT 3 LOCATIONS SHALL BE REPAIRED AS FOLLOWS:
 - a) REMOVE TILE FROM EACH SIDE OF CRACK TO 18" OR TO POINT OF SOLID BOND, FOLLOWING TILE PATTERN.
 - b) PREPARE SLAB, ROUT CRACK, AND APPLY CRACK ISOLATION MEMBRANE AS RECOMMENDED BY MEMBRANE MANUFACTURER.
 - c) INSTALL NEW TILE MATCHING EXISTING, ALLOWING FOR SOFT SEALANT FILLED JOINT THAT SURROUNDS CRACK AS RECOMMENDED.
 - d) GROUT REMAINING TILE JOINTS IN ENTIRE REPAIR AREAS, TO MATCH EXISTING.
- 2) REMOVE ALL LADDERS FOR DURATION OF REPAIR PROJECT. REMOVE STAINED AND DAMAGED TILE IN AREAS OF RECESSED SOCKETS - APPROXIMATELY 3'x3'. PREPARE SLAB AND INSTALL NEW, MATCHING TILE AND GROUT AT ALL 6 LOCATIONS.
- 3) ALL EXISTING STARTING PLATFORMS (6 UNITS) AND ABANDONED RECESSED SOCKETS ON SPECTATOR DECK (10 UNITS) SHALL BE CUT OUT OF CONCRETE SLAB IN ENTIRETY. REMOVE TILE IN AREA 12" TO 16" SQUARE CENTERED ON ITEM TO BE REMOVED. PATCH AND PREP SLAB TO RECEIVE NEW, MATCHING TILE AND GROUT.
- 4) NEW STARTING PLATFORMS SHALL BE INSTALLED AS DETAILED AND RECOMMENDED, CENTERED ON EXISTING LANES. CORE DRILL EXISTING PRECAST CONCRETE SLAB TO RECEIVE RECESSED, FLUSH-MOUNT "QUICK-SET" SOCKET. SEE DETAIL A1, SHEET AE-100. SECURE WITH HI-STRENGTH STRUCTURAL SETTING GROUT EQUAL TO SUPER POR-ROK. REMOVE TILE IN AREA 12" TO 16" SQUARE CENTERED ON ITEM TO BE REMOVED. PATCH AND PREP SLAB TO RECEIVE NEW, MATCHING TILE AND GROUT.
- 5) REMOVE OUTER EDGE TRIM AT POOL CURB AND ONE (1) ROW OF TILE AT DECK AROUND ENTIRE PERIMETER, FOR REPLACEMENT WITH MATCHING PROFILE, ACCENT COLORED TILE TRIM. SEE DETAIL A1, SHEET AE-100.

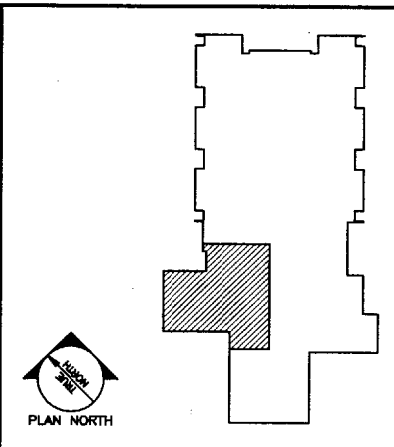
B1 ARCHITECTURAL PLAN
1/8" = 1'-0"



A1 DETAIL - STARTING PLATFORMS
NOT TO SCALE



A3 DETAIL - LOCKER BASE
1-1/2" = 1'-0"



A9 KEY PLAN
NOT TO SCALE

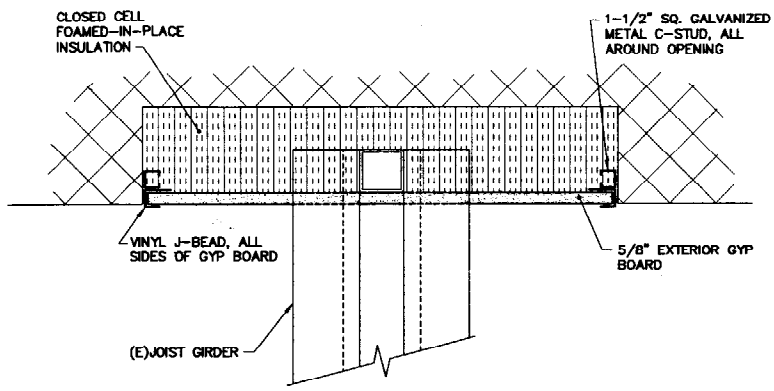
SEMPL & DRANE ARCHITECTS
496 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
ssemple@maine.ae.com

allied engineering, inc.
One Washburn Corner, Washburn, Maine 04092-2004
Telephone: (207) 884-4128 Fax: (207) 884-4003
E-Mail: info@alliedeng.com www.alliedeng.com

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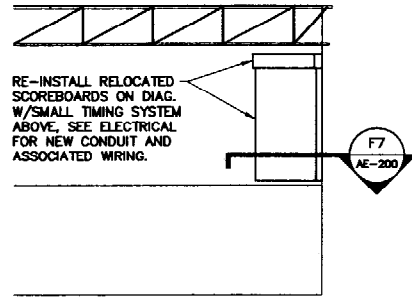
ARCHITECTURAL PLAN
RIVERTON HVAC AND POOL REPAIRS
RIVERTON ELEMENTARY SCHOOL
PORTLAND, MAINE

AE-100



F1 DETAIL - TYPICAL JOIST END

NOT TO SCALE



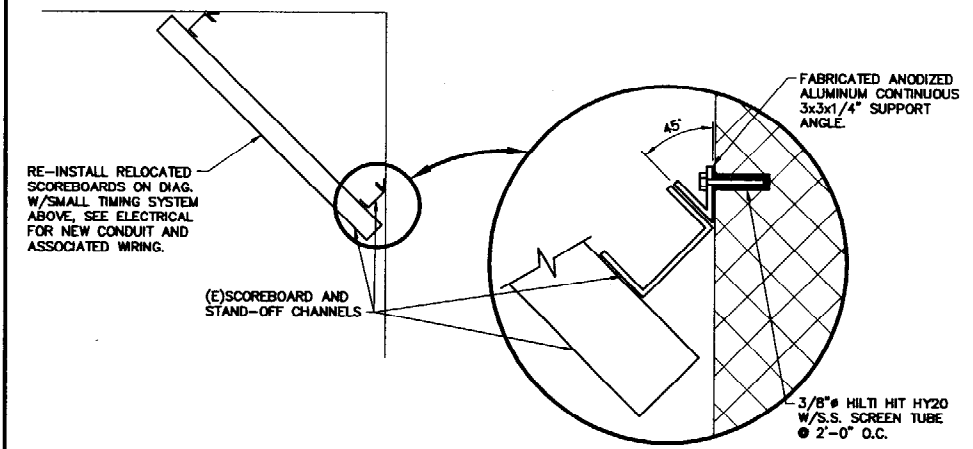
F4 DETAIL - PARTIAL ELEVATION

NOT TO SCALE

- 1 REMOVE ENTIRELY AND RELOCATE TO NEW POSITION UPON COMPLETION OF REFINISHING PROJECT.
- 2 REMOVE AND REINSTALL IN SAME LOCATION UPON COMPLETION OF REFINISHING PROJECT.
- 3 REMOVE AND REPLACE WITH SPECIFIED NEW ITEM.
- 4 ITEM TO REMAIN. PROTECT FROM DAMAGE AND MASK FOR FINISH PROTECTION DURING REFINISHING PROJECT.
- 5 REMOVE ENTIRELY. BLANK-OFF OR INFILL AND PAINT AS NOTED. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
- 6 PREPARE METAL FRAME (TYP. S.S.) AS SPECIFIED, PRIME, AND PAINT. ALL HARDWARE SHALL BE REMOVED AND REPLACED W/NEW UPON COMPLETION OF REFINISHING PROJECT.
- 7 REMOVE AND REPLACE AS INDICATED ON ELECTRICAL DRAWINGS.
- 8 PROVIDE PER ELECTRICAL DRAWINGS.

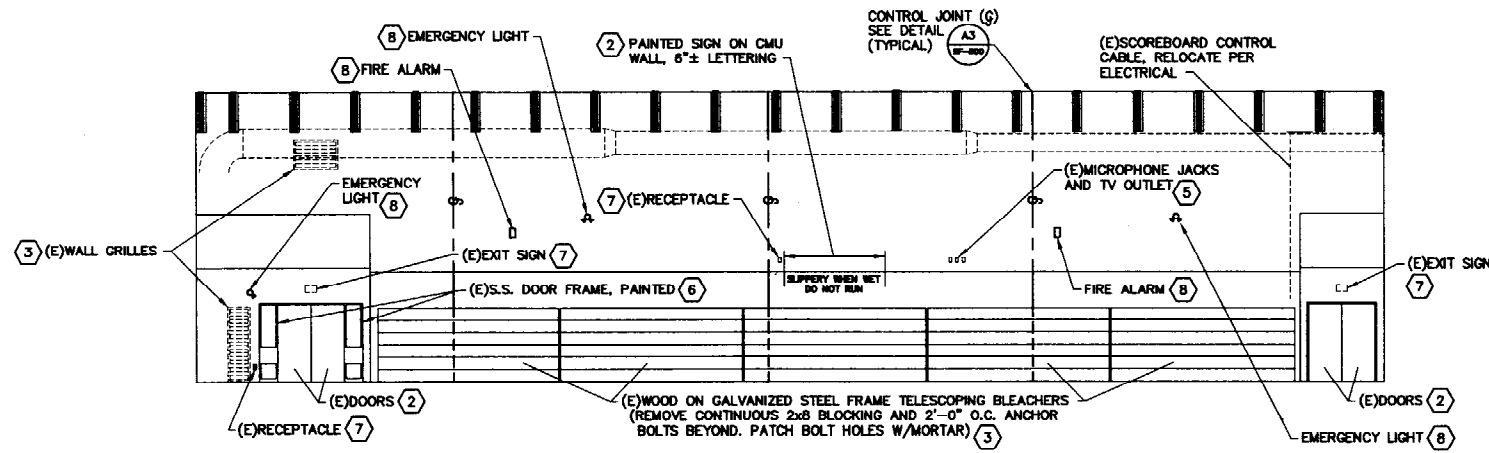
F5 KEY NOTES

(SEE SHEET AD-100 FOR DEMOLITION KEY NOTES)



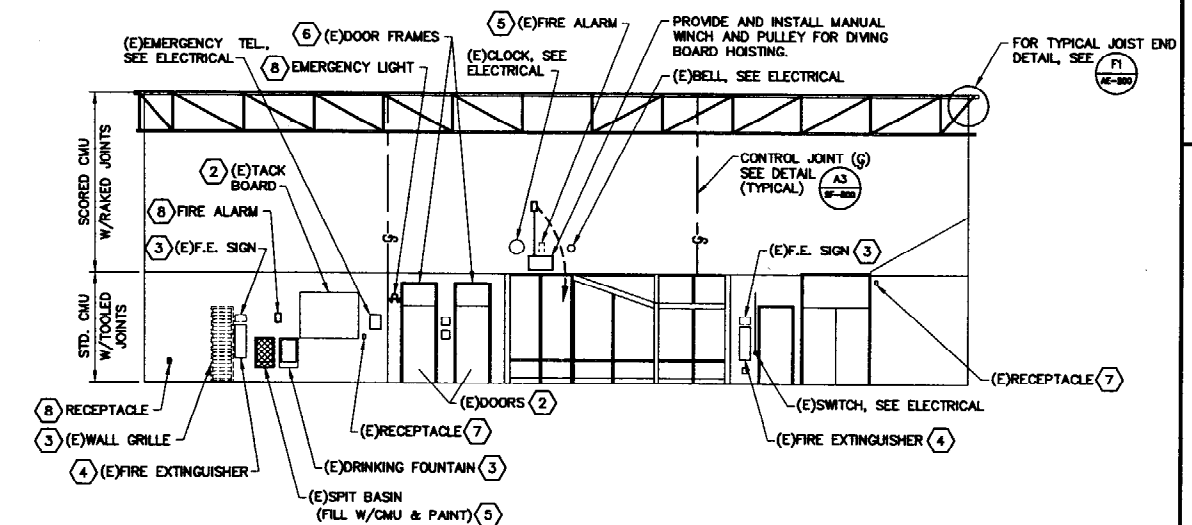
F7 DETAIL - PARTIAL PLAN

NOT TO SCALE



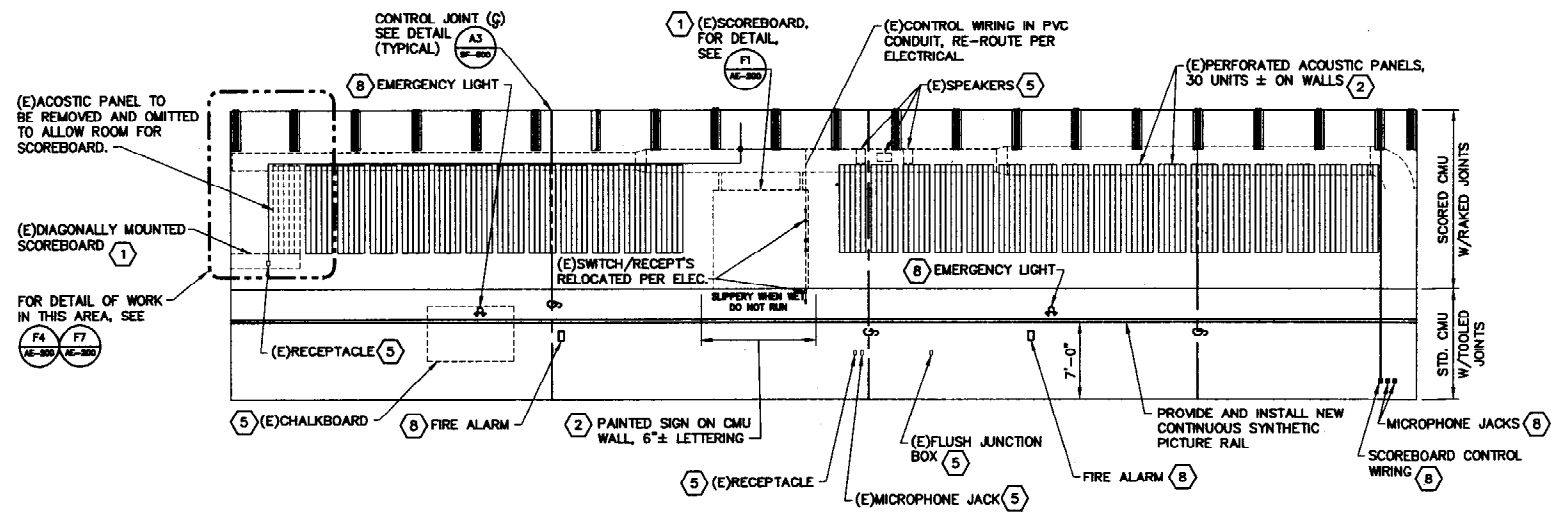
C1 INTERIOR ELEVATION - SOUTH WALL

1/8" = 1'-0"



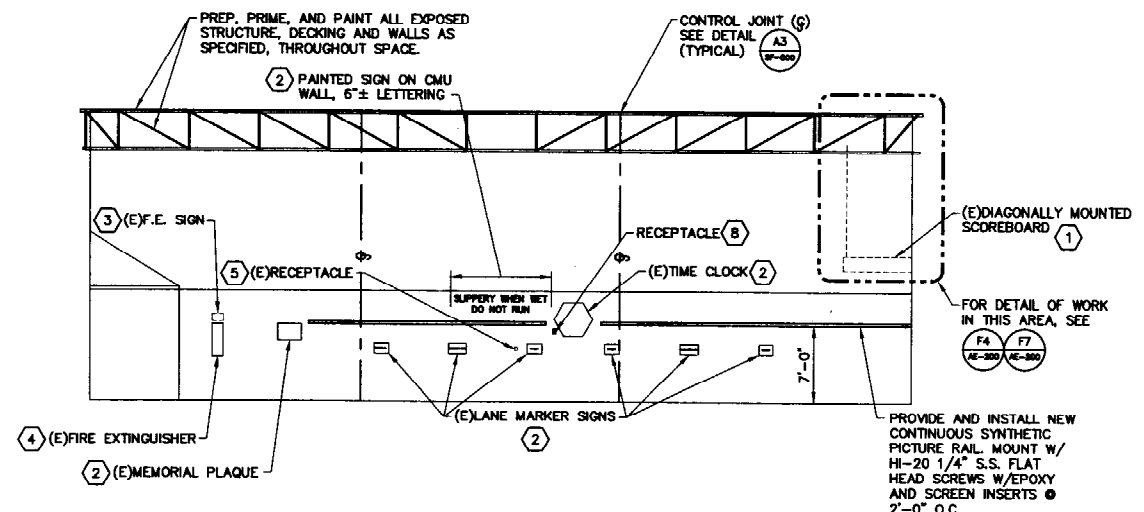
C6 INTERIOR ELEVATION - EAST WALL

1/8" = 1'-0"



A1 INTERIOR ELEVATION - NORTH WALL

1/8" = 1'-0"



A6 INTERIOR ELEVATION - WEST WALL

1/8" = 1'-0"

SEMPLER & DRANE ARCHITECTS
496 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
esempler@maine.rr.com

allied engineering, inc.
One Westbrook Common, Westbrook, Maine 04092-2804
Telephone: 207-688-8128 Fax: 207-688-0882
E-Mail: info@alliedeng.com www.alliedeng.com



REVISION	DATE	BY	DESCRIPTION

Scale: As Noted
Date: 03-22-02
Drawn By: REW
Checked By: SD
Project Mgr: AM
Project No: 02005
Cod File: 020005A.DWG
Print Scale:

INTERIOR ELEVATIONS AND DETAILS
RIVERTON HVAC AND POOL REPAIRS
RIVERTON ELEMENTARY SCHOOL
PORTLAND, MAINE

AE-200

1. ALL WORK SHALL BE DONE IN COMPLIANCE WITH BOCA 1999
2. ALL WORK SHALL BE DONE IN AN ORDERLY AND PROFESSIONAL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK TO BE DONE BY SUBCONTRACTORS, LOCAL AUTHORITIES, STATE AGENCIES AND/OR UTILITY COMPANIES WHICH MAY HAVE JURISDICTION OVER THIS PROJECT.
3. ALL UTILITY EXTENSIONS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES OR AS INDICATED BY THE SPECIFICATIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY EXISTING ITEMS DAMAGED BY NEW CONSTRUCTION, AND FOR ANY INCIDENTAL REPAIRS OF EXISTING FINISHED SURFACES DISTURBED BY NEW CONSTRUCTION; SUCH REPAIRS SHALL MATCH EXISTING TO THE OWNER'S SATISFACTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING, HANDLING, AND STORAGE OF ALL ITEMS/MATERIALS TO REMAIN THE PROPERTY OF THE OWNER WITH THE OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS AND ALL TEMPORARY SHORING, PRECAUTIONS DURING BUILDING OPERATIONS, PROTECTION OF PUBLIC AND WORKERS, REMOVAL OF WASTE MATERIAL, PROTECTION OF ADJACENT PROPERTY, PROTECTION OF HAZARDOUS OPENINGS, SAFETY PRECAUTIONS, AND SANITARY PROVISIONS OF EMPLOYEES AND SUBCONTRACTORS AS REQUIRED FOR THE DURATION OF THE CONTRACT.
7. THE CONTRACTOR SHALL FIELD VERIFY COMPOSITION OF EXISTING ROOF MEMBRANE AND INSULATION SYSTEM DOWN TO THE ROOF DECK PRIOR TO SUBMITTING A BID.

F1 GENERAL NOTES

1. ALL MISCELLANEOUS PLATES, SHAPES, ANGLES ETC. SHALL CONFORM TO ASTM A36 Fy=36ksi.
2. ALL STRUCTURAL WOOD TO CONFORM TO THE LATEST NDS STANDARDS.
3. ALL PLYWOOD TO CONFORM TO THE LATEST PDS STANDARDS.
4. SEE WALL SECTIONS AND DETAILS FOR MISCELLANEOUS STEEL.
5. OPENINGS NOT SHOWN ON THE STRUCTURAL PLANS, SUCH AS THOSE REQUIRED FOR PIPING, CONDUITS, ETC. ARE TO BE CUT AND REINFORCED BY THE TRADES REQUIRING THE OPENINGS.
6. STEEL ROOF DECK SHALL BE 1 1/2", 22 GA. U.N.O. FASTEN TO STEEL BEAMS, BAR JOIST, AND PERIMETER FRAMING ANGLES PER STRUCTURAL DETAILS.
7. FOR ROOF PENETRATIONS OVER 12" DIAMETER-- PROVIDE AND INSTALL 4"x4"x3/8" PERIMETER ANGLE FRAMES AROUND PENETRATIONS.
FOR ROOF PENETRATIONS SMALLER THAN 12" DIAMETER--USE 36"x36"x0.057 PLATE PROVIDED BY THE METAL DECK SUPPLIER.
OPENINGS NOT SHOWN ON THE STRUCTURAL PLANS, SUCH AS THOSE REQUIRED FOR STACKS, CONDUITS, PLUMBING VENTS, ETC. ARE TO BE CUT AND REINFORCED BY THE TRADES REQUIRING THE OPENINGS.
8. ALL MECHANICAL EQUIPMENT RESTING ON THE CONCRETE FLOOR SLAB WILL HAVE A 4" HIGH CONCRETE PAD UNDERNEATH, REINFORCED WITH #3 BARS AT 18" O.C. EACH WAY.

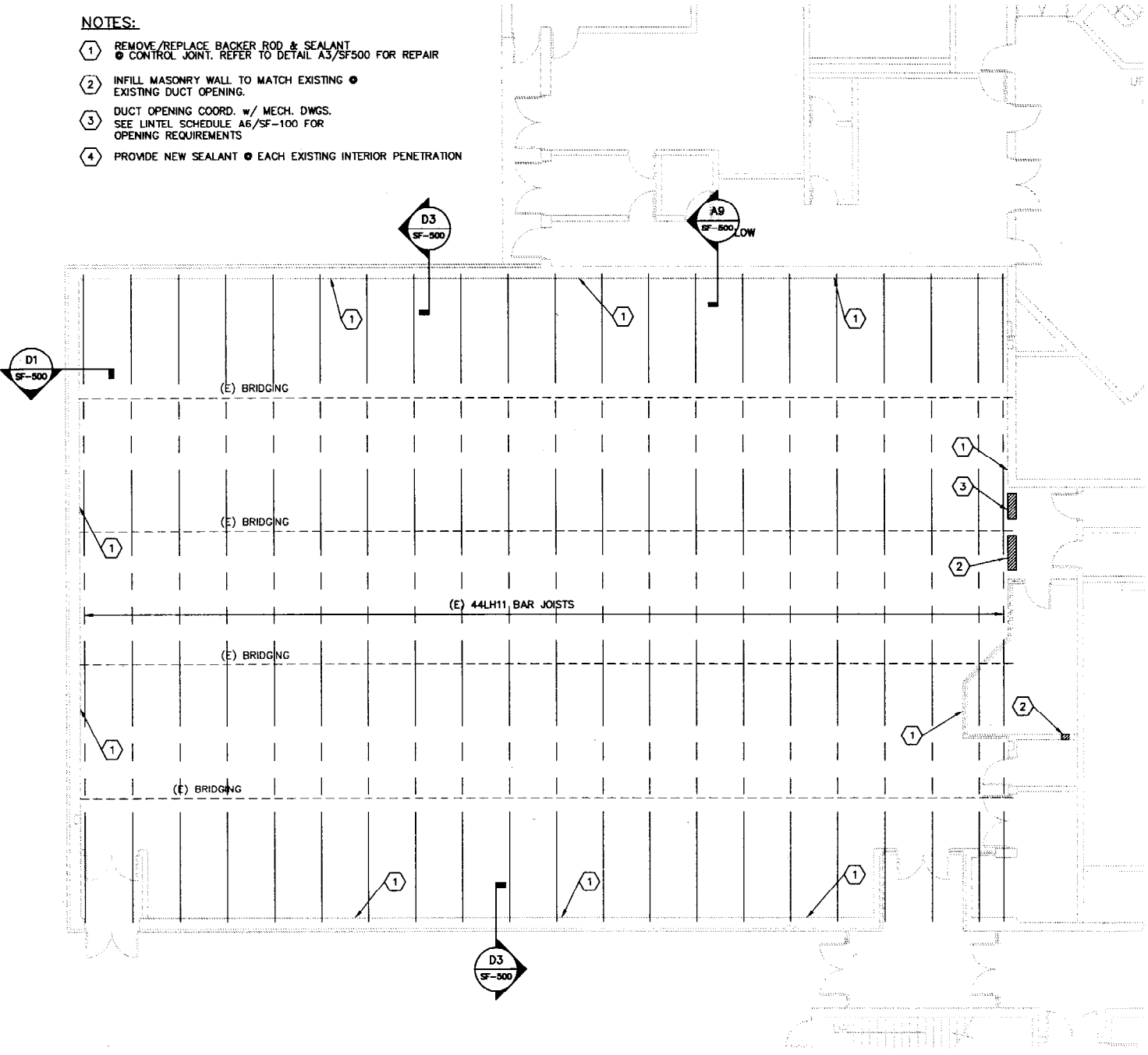
F3 STRUCTURAL NOTES

1. ALL CONCRETE MASONRY AND BRICK LINTELS SHALL HAVE 12" (MIN) END BEARING UNLESS OTHERWISE NOTED.
2. ALL CONCRETE MASONRY BLOCK WALLS WITH VERTICAL REINFORCING, SHALL HAVE CORES FILLED WITH 3000 PSI GROUT. INSTALLATION OF REINFORCEMENT SHALL BE CONTINUOUS AND RUN UNOBSERVED BY BAR JOIST SEAT/BEARING PLATE ARRANGEMENTS. HORIZONTAL REINFORCEMENT SHALL BE PROVIDED @ 16" O.C. VERTICALLY.
3. HOLLOW CONCRETE BLOCK UNITS: GRADE N, 1900 PSI, MINIMUM COMPRESSIVE STRENGTH. WALL DESIGN STRENGTH, FM = 1500 psi.
4. LAY UNITS IN RUNNING BOND/ CORNERS SHALL HAVE A STANDARD BOND BY OVERLAPPING UNITS.
5. MORTAR: TYPE S.
6. GROUT: SEE MASONRY DIV. 4 SPECIFICATIONS. ROD GROUT IMMEDIATELY AFTER POURING AND AGAIN APPROX. 5 MINUTES LATER.
7. PLACE BOND BEAM REINFORCING CONTINUOUS THROUGH EXPANSION AND CONTROL JOINTS, WRAPPING BARS WITH 1/8" THICK BOND BREAKING TAPE 2'-0" BOTH SIDES OF JOINT. DO NOT SPLICE BOND BEAM REINFORCING WITHIN 6'-0" OF AN EXPANSION OR CONTROL JOINT.
8. WET MASONRY WALLS THOROUGHLY FOR 3 CONSECUTIVE DAYS IMMEDIATELY AFTER PLACEMENT IF TEMPERATURES ARE/WILL BE ABOVE 80° DURING THE DAY.
9. NO EXPANSION BOLTS WILL BE ALLOWED IN MASONRY WALLS. (CHEMICAL ANCHORS ONLY)
10. MASONRY LAID IN OUTSIDE AIR TEMPERATURES BELOW 40° F SHALL BE PROTECTED IN ACCORDANCE WITH THE PROVISIONS OF THE "MIAWC RECOMMENDED PRACTICES AND GUIDE SPECIFICATIONS FOR COLD WEATHER MASONRY".
11. ALL MASONRY BLOCK CORES BELOW FINISH FLOOR SHALL BE FILLED SOLID WITH 3000 PSI GROUT.

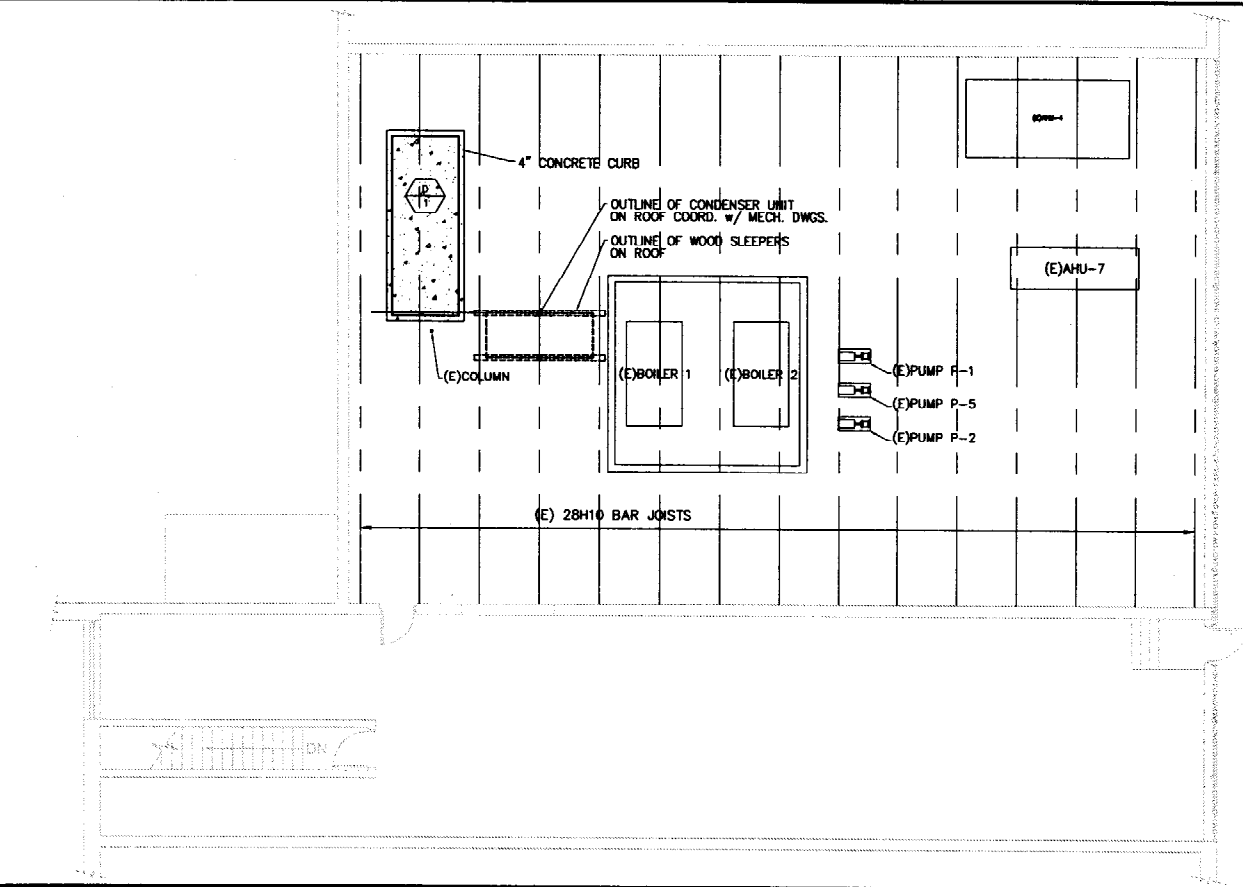
F6 MASONRY NOTES

NOTES:

1. REMOVE/REPLACE BACKER ROD & SEALANT @ CONTROL JOINT. REFER TO DETAIL A3/SF500 FOR REPAIR
2. INFILL MASONRY WALL TO MATCH EXISTING @ EXISTING DUCT OPENING.
3. DUCT OPENING COORD. w/ MECH. DWGS. SEE LINTEL SCHEDULE A6/SF-100 FOR OPENING REQUIREMENTS
4. PROVIDE NEW SEALANT @ EACH EXISTING INTERIOR PENETRATION

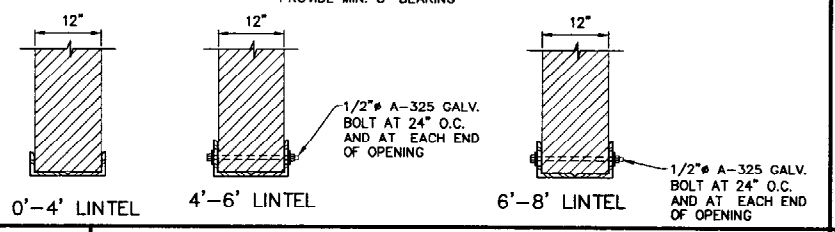


A1 ROOF FRAMING PLAN
1/8"=1'-0"

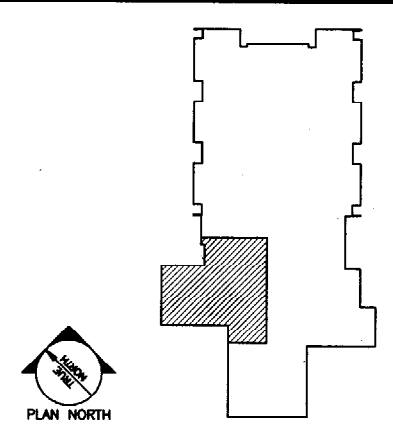


C6 MECHANICAL ROOM PART PLAN
1/8" = 1'-0"

LINTEL SCHEDULE	
LENGTH	12" MASONRY
0'-4"	(2) L4"x6"x3/8" - LONG LEG HORIZONTAL, OUTSIDE FACE OF MASONRY
4'-6"	(2) L6"x6"x1/2" - LONG LEG VERTICAL OUTSIDE FACE OF MASONRY
6'-8"	(2) L6"x6"x1/2" - LONG LEG VERTICAL OUTSIDE FACE OF MASONRY, FILL 1st COURSE MASONRY SOLID ABOVE LENGTH OF HEADER. BOLT ANGLES THROUGH MASONRY AT 24" O.C. WITH 1/2" # GALV. A-325 BOLTS



A6 LINTEL SCHEDULE
NO SCALE



A9 KEY PLAN
NOT TO SCALE

SEMPL & DRANE
ARCHITECTS
496 CONGRESS STREET
POTLAND, MAINE 04101
(207) 761-4231
ssemple1@maine.net

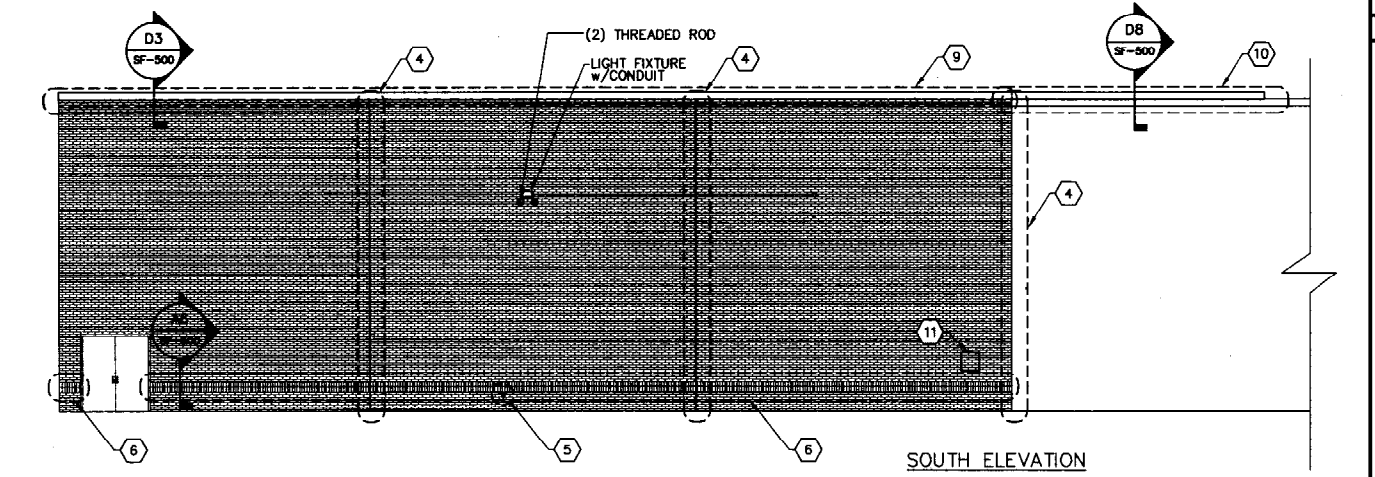
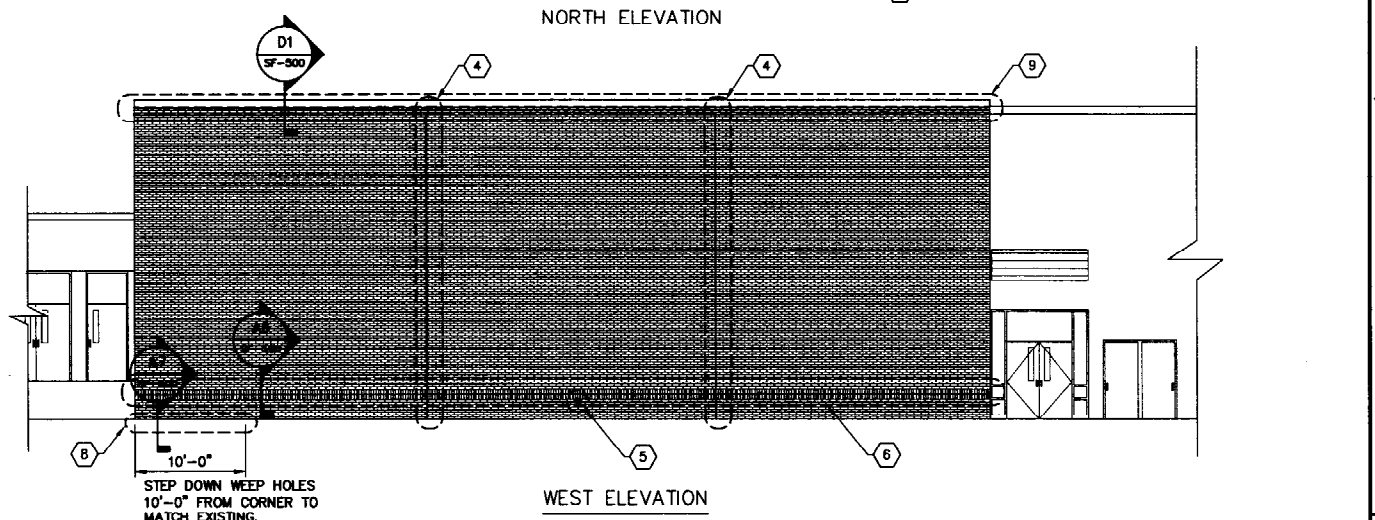
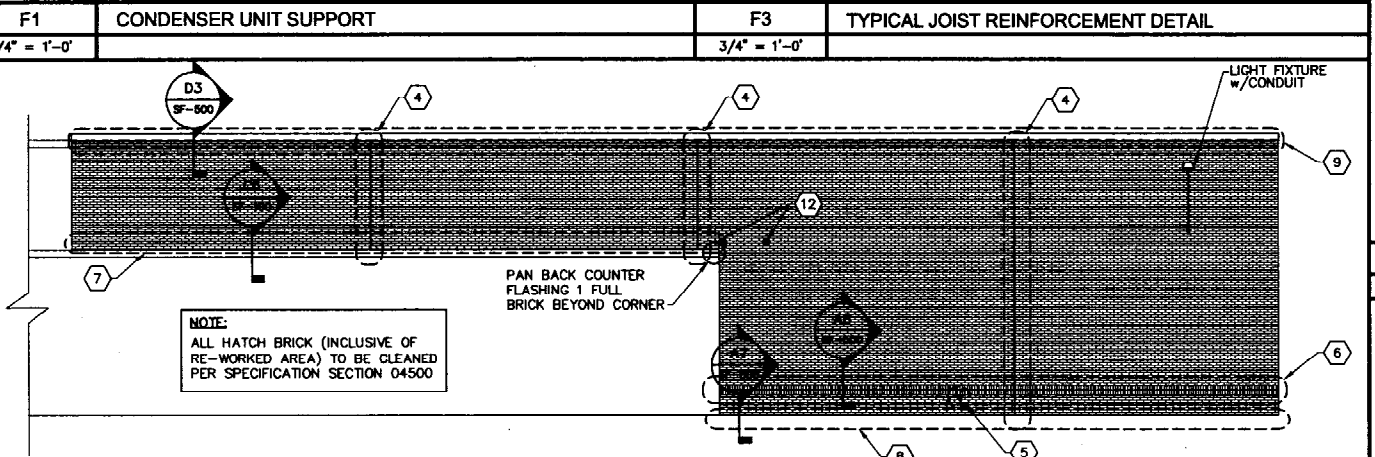
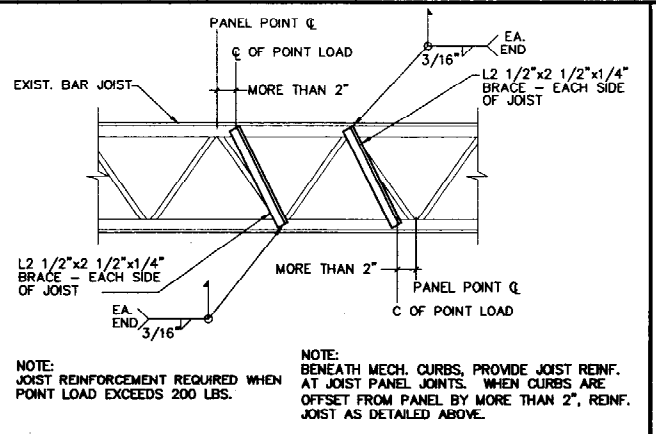
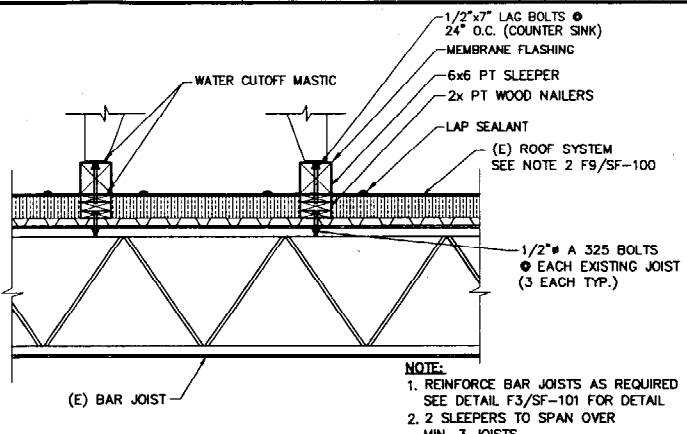
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One Westbrook Common, Westbrook, Maine 04092-2004
Telephone: 207-884-8111 Fax: 207-884-0900
E-Mail: info@alliedeng.com www.alliedeng.com



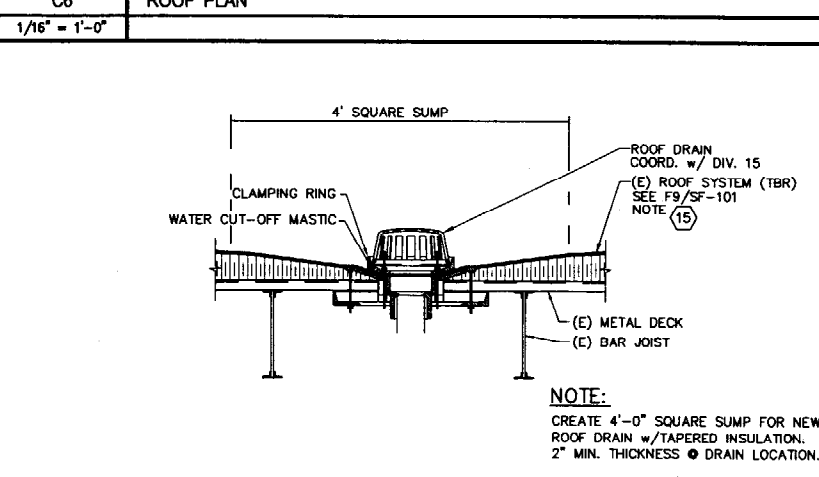
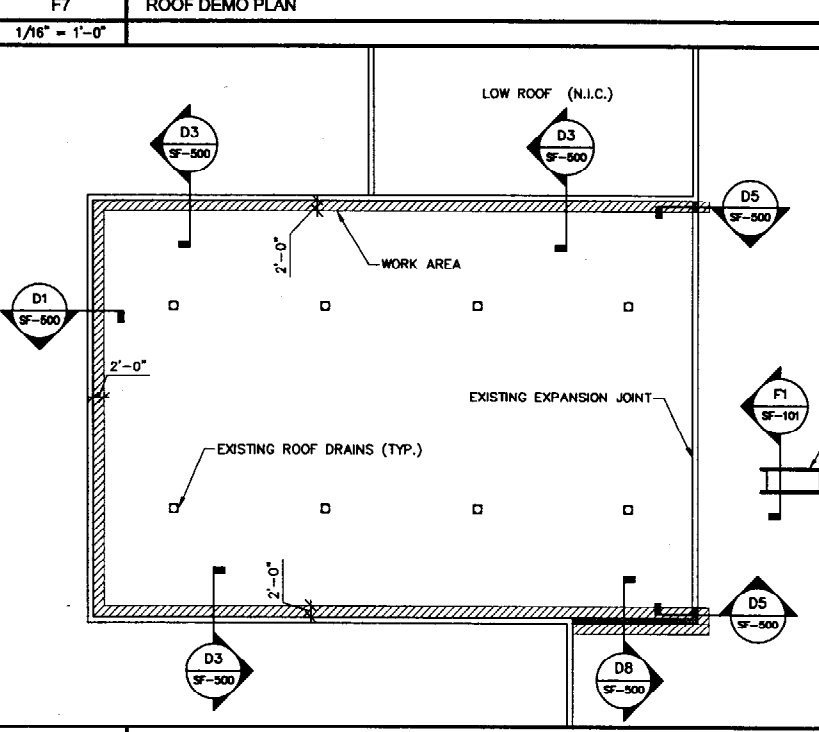
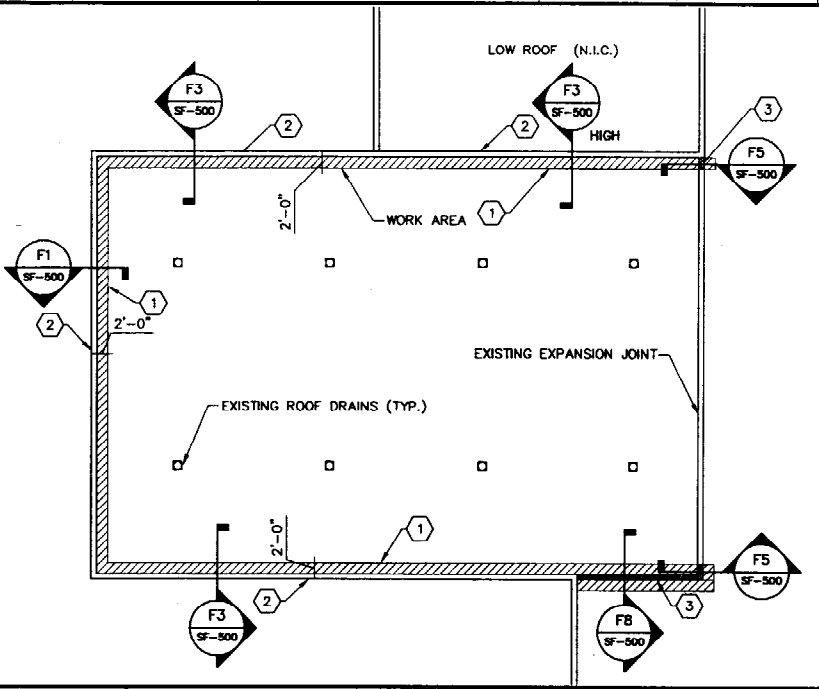
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NUMBER	DATE	DESCRIPTION

GENERAL NOTES AND
ROOF FRAMING PLAN
RIVERTON HVAC AND POOL REPAIRS
RIVERTON ELEMENTARY SCHOOL
PORTLAND, MAINE

SF-100



A1 EXTERIOR ELEVATIONS
1/8" = 1'-0"



A6 ROOF DRAIN DETAIL
3/4" = 1'-0"

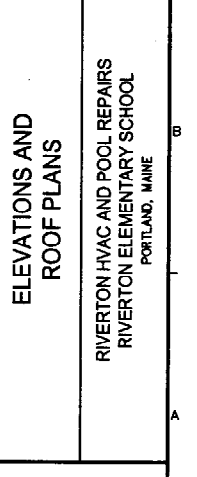
- 1 REMOVE EXISTING MEMBRANE ROOFING AND RIGID INSULATION DOWN TO METAL DECKING WITHIN HATCHED AREA.
- 2 REMOVE EXISTING EDGE METAL AND WOOD BLOCKING.
- 3 REMOVE EXISTING EXPANSION JOINT w/IN WORK AREA
- 4 REMOVE/REPLACE BACKER ROD & SEALANT @ CONTROL JOINT. REFER TO DETAIL A1/SF500 FOR REPAIR
- 5 REMOVE EXISTING WATER SPOUT. REPLACE BRICK(S)
- 6 REMOVE/REPLACE EXISTING WEEP HOLES REFER TO DETAIL A6/SF500 FOR REPLACEMENT
- 7 INSTALL COUNTER FLASHING REFER TO DETAIL A9/SF500 FOR INSTALLATION DETAIL
- 8 INSTALL COUNTER FLASHING REFER TO DETAIL A7/SF500 FOR INSTALLATION DETAIL
- 9 METAL EDGE/ BRICK INFILL REFER TO DETAIL D1, D3/SF500 FOR INSTALLATION DETAIL
- 10 REMOVE EXISTING CABINET. INFILL VOID w/ RIDGE INSULATION. REPLACE BRICKS.
- 11 REMOVE THRU BOLTS, REPLACE BRICK(S)
- 12 PROVIDE NEW SEALANT @ EACH EXISTING EXTERIOR PENETRATION
- 13 ROOF SYSTEM: ADHERED EPDM, DENS-DECK, RIGID INSULATION, VAPOR RETARDER, DENS-DECK. ALL INSTALLED w/ ADHESIVE. (FIELD VERIFY)
- 14 ROOF SYSTEM: ADHERED EPDM, DENS-DECK, RIGID INSULATION, MECH. ATTACHED. (FIELD VERIFY)

F9 NOTES

SEMPLE & DRANE ARCHITECTS
496 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
asemple@maine.rr.com

allied engineering, inc.
1000 Main Street, Portland, Maine 04101
Tel: (207) 761-4231
Fax: (207) 761-4231
www.alliedeng.com

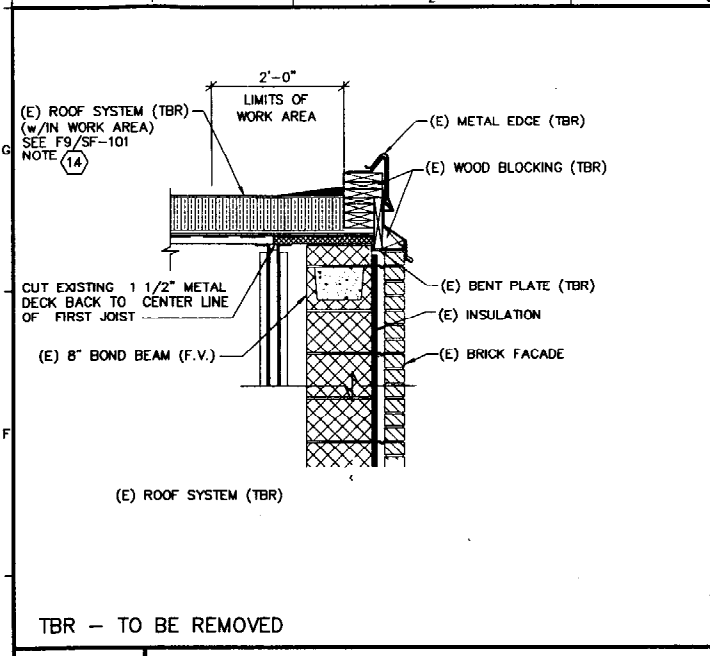
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A9 KEY PLAN
NOT TO SCALE

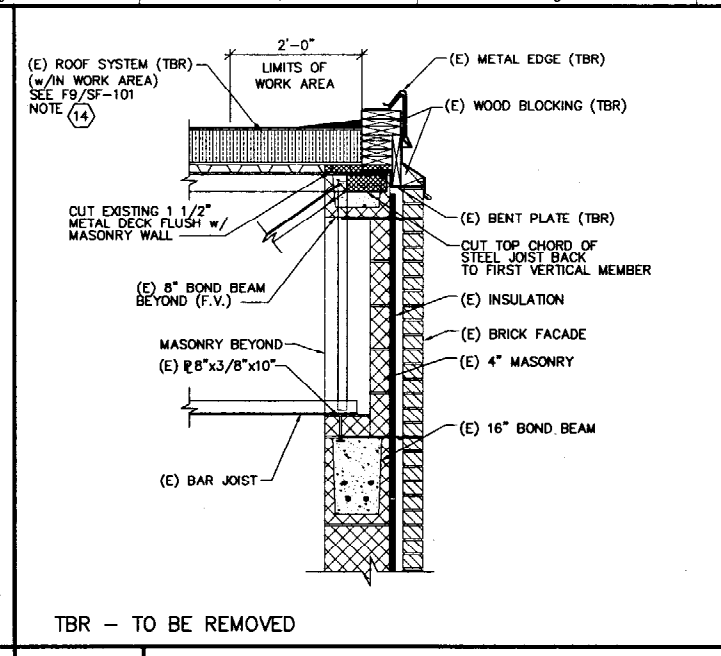
SF-101

ELEVATIONS AND ROOF PLANS
RIVERTON HVAC AND POOL REPAIRS
RIVERTON ELEMENTARY SCHOOL
PORTLAND, MAINE



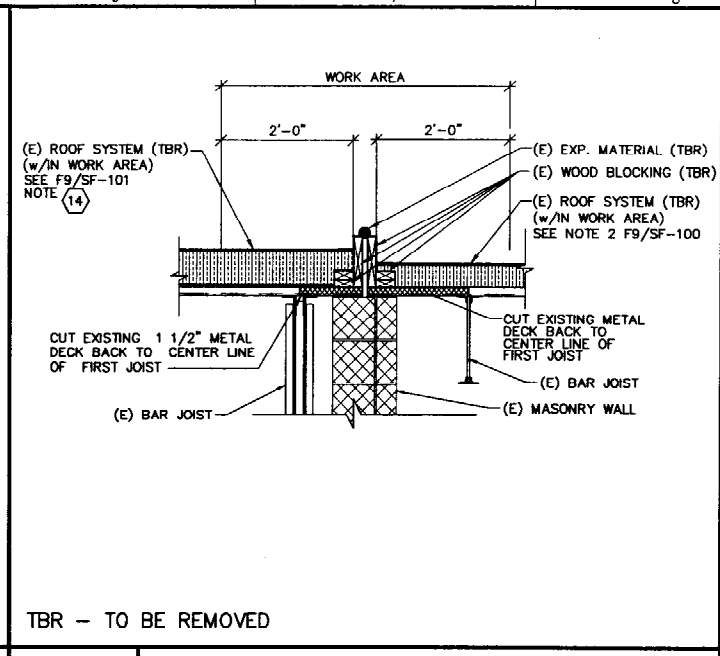
TBR - TO BE REMOVED

F1 EXISTING EDGE DETAIL



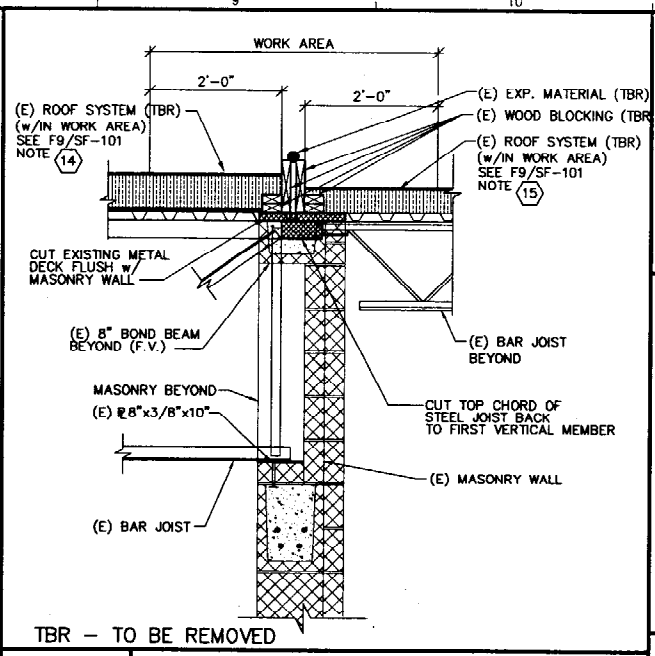
TBR - TO BE REMOVED

F3 EXISTING EDGE DETAIL



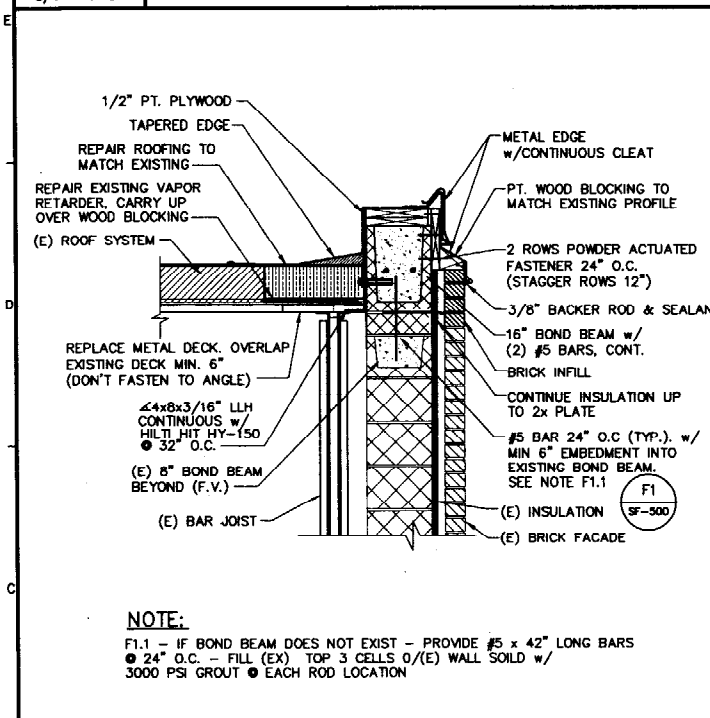
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F5 EXISTING EXPANSION JOINT



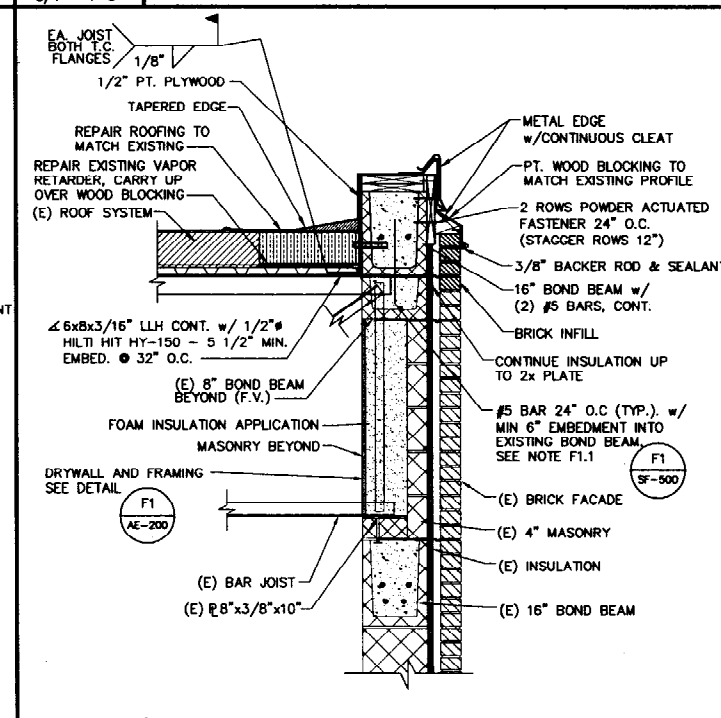
TBR - TO BE REMOVED

F8 EXISTING EXPANSION JOINT

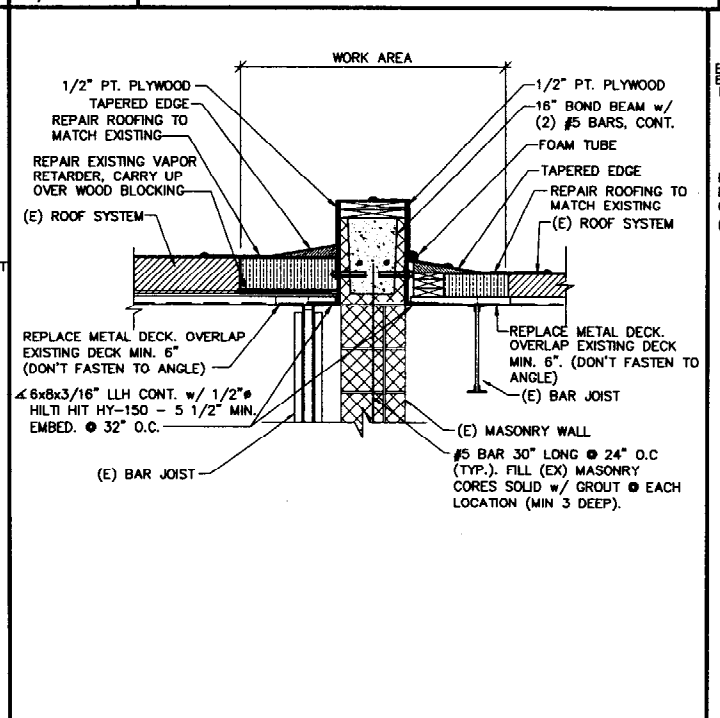


NOTE:
F1.1 - IF BOND BEAM DOES NOT EXIST - PROVIDE #5 x 42\"/>

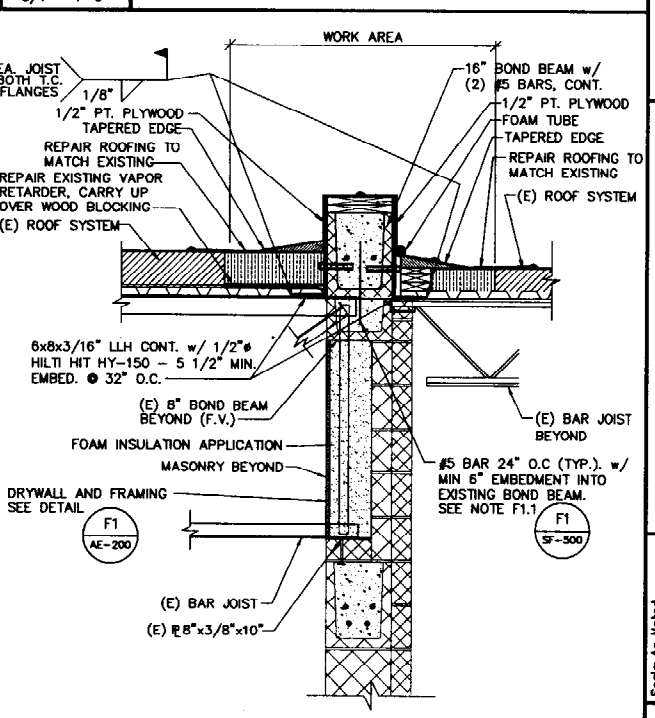
D1 EDGE DETAIL



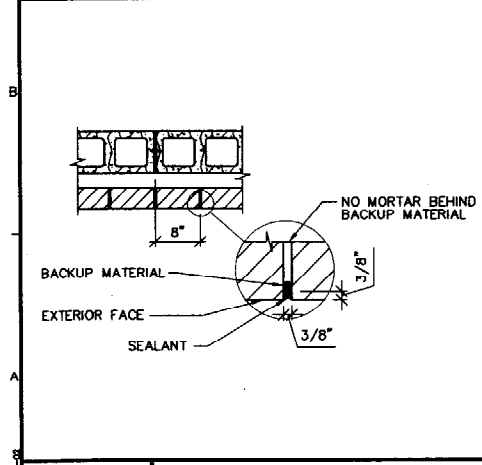
D3 EDGE DETAIL



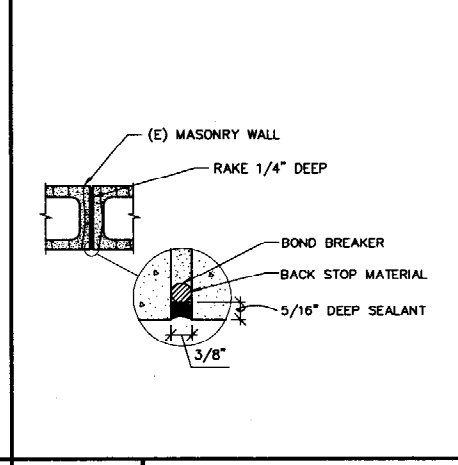
D5 EXPANSION JOINT



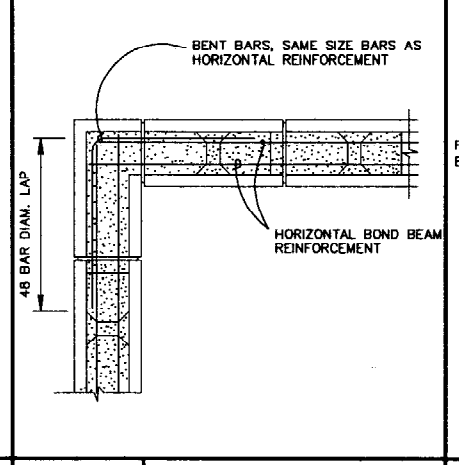
D8 EXPANSION JOINT



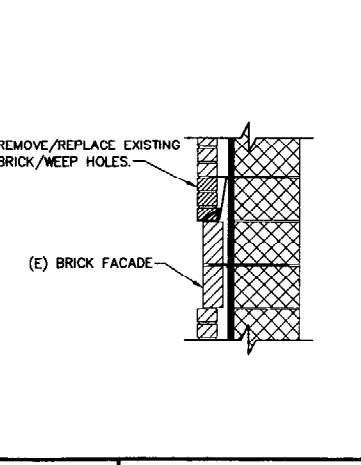
A1 TYP. EXT. CONTROL JOINT REPAIR



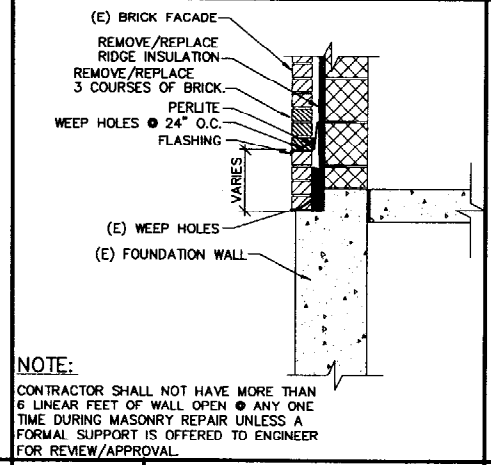
A3 TYP. INT. CONTROL JOINT REPAIR



A4 TYP. BOND BEAM CORNER

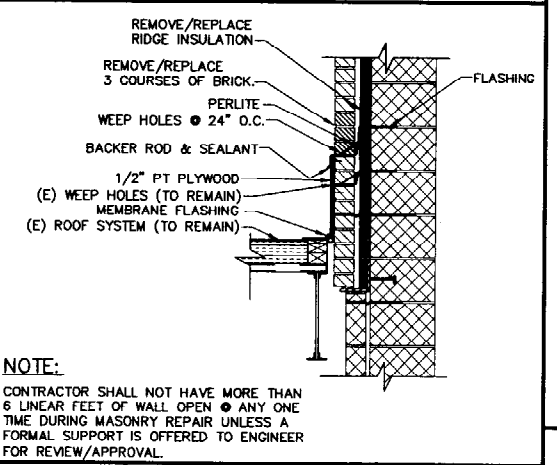


A6 WEEP HOLE REPLACEMENT DETAIL



NOTE:
CONTRACTOR SHALL NOT HAVE MORE THAN 6\"/>

A7 DETAIL



NOTE:
CONTRACTOR SHALL NOT HAVE MORE THAN 6\"/>

A9 DETAIL

SEMPL & DRANE ARCHITECTS
496 CONGRESS STREET
POTLAND, MAINE 04101
(207) 761-4231
asimple@maine.ir.com

allied engineering, inc.
One Westbrook Center, Westbrook, Maine 04092-2904
Westbrook, ME 04092-2904
Tel: (207) 748-2800
Fax: (207) 748-2800
E-MAIL: info@allied-eng.com www.allied-eng.com

REVISIONS		DATE	BY	DESCRIPTION

DETAILS AND SECTIONS

RIVERTON HVAC AND POOL REPAIRS
RIVERTON ELEMENTARY SCHOOL
PORTLAND, MAINE

SF-500

ABBREVIATIONS & SYMBOLS

- AFF ABOVE FINISHED FLOOR
- UNO UNLESS NOTED OTHERWISE
- WP WEATHERPROOF
- CKT CIRCUIT
- P/O PART OF
- WG WIREGUARD
- CB CIRCUIT BREAKER
- L-CB LOCKING CIRCUIT BREAKER
- (E) EXISTING
- (R) REMOVE
- RL EXISTING ITEM TO BE RELOCATED
- ER RELOCATED ITEM AT NEW LOCATION
- W/O WITHOUT
- [] KEY NOTE

RECEPTACLES

- ~MOUNT WITH CENTERLINE 18" AFF UNO~
- ~MOUNT EXTERIOR WITH CENTERLINE 24" AFF UNO~
- ⊕ DUPLEX RECEPTACLE
- ⊕ GFCI TYPE DUPLEX RECEPTACLE
- ⊕ GFCI RECEPTACLE IN WP ENCLOSURE ON ROOF
- ⊖ SINGLE GFCI RECEPTACLE

LIGHT SWITCHES

- ~CENTERLINE 48" AFF~
- § LIGHT SWITCH

FIRE ALARM SYSTEM

- [FACP] FIRE ALARM CONTROL PANEL
- ⊕ DUCT SMOKE DETECTOR ~ CONNECT TO EXISTING ZONE FROM WHICH EXISTING DUCT SMOKE DETECTOR WAS REMOVED OR EXISTING ZONE FOR AREA SERVED BY AIR HANDLER. CONNECT TO EXISTING POWER SUPPLY ~ VERIFY THAT POWER SUPPLY HAS ADEQUATE CAPACITY FOR ADDITIONAL LOAD
- ⊕ HEAT DETECTOR
- [VEC] VOICE EVACUATION CONTROLS
- [RTS] REMOTE TEST/ALARM INDICATING STATION
- [E] FIRE ALARM MANUAL STATION ~ CONNECT TO EXISTING INITIATION ZONE FOR AREA
- [A/MS] AUDIO/VSUAL INDICATING APPLIANCE~CANDELA AS NOTED ON PLANS
- [V] VSUAL INDICATING APPLIANCE~CANDELA AS NOTED ON PLANS
- [S] SPEAKER/STROBE~CANDELA AS NOTED ON PLANS

SOUND AND INTERCOM SYSTEM

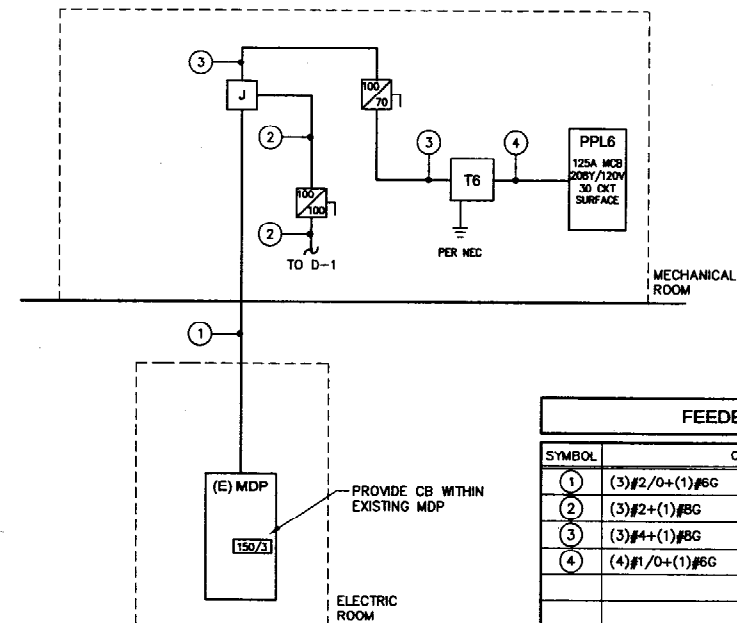
- [M] MICROPHONE OUTLET ~ XLR TYPE
- [M] MICROPHONE OUTLET ~ 1/4" PHONE TYPE
- ⊕ CLOCK
- ⊕ TV OUTLET
- ⊕ EMERGENCY TELEPHONE
- ⊕ HORN TYPE SPEAKER
- ⊕ BELL
- ⊕ PUBLIC ADDRESS SPEAKER ~ SUSPEND 22' AFF TO TOP OF SPEAKER

POWER DISTRIBUTION

- ⊕ 480/277V PANELBOARD~SURFACE MOUNTED
- ⊕ 208/120V PANELBOARD~SURFACE MOUNTED
- [FDS] FUSED DISCONNECT SWITCH INDICATING DISCONNECT SIZE AND FUSE SIZE
- [JB] JUNCTION BOX~SIZE PER NEC
- [T6] 45KVA TRANSFORMER~480V DELTA PRIMARY, 208Y/120V SECONDARY
- CONDUIT TURNING UP
- CONDUIT TURNING DOWN
- 120V HOMERUN TO PANEL (2)#12+(1)#12G UNO ~ PROVIDE 1P 20A CB UNO
- 3-PHASE HOMERUN TO PANEL BOARD (3)#12+(1)#12G UNO ~ 3P 20A CB UNO
- ⊕ GROUNDING SYSTEM

LUMINAIRES

- [E] EMERGENCY BATTERY UNIT W/O HEADS~LITHONIA ELT180-RO-AM-VM WITH MOUNTING SHELF OR APPROVED EQUAL~MOUNT 7'-6" AFF BP# INDICATES BATTERY UNIT DESIGNATION CONNECT TO UNSWITCHED PORTION OF LIGHTING CKT FOR AREA SERVED
- ⊕ SINGLE REMOTE EMERGENCY LIGHT HEAD~LITHONIA ELA-IND-H1212 OR APPROVED EQUAL~MOUNT 7'-6" AFF UNO BP# INDICATES BATTERY UNIT CONNECTED TO
- ⊕ DOUBLE REMOTE EMERGENCY LIGHT HEAD~LITHONIA ELA-T-IND-H1212 OR APPROVED EQUAL~MOUNT 7'-6" AFF UNO BP# INDICATES BATTERY UNIT CONNECTED TO
- ⊕ EXIT SIGN~WALL MOUNTED~SHADING INDICATES FACE(S)



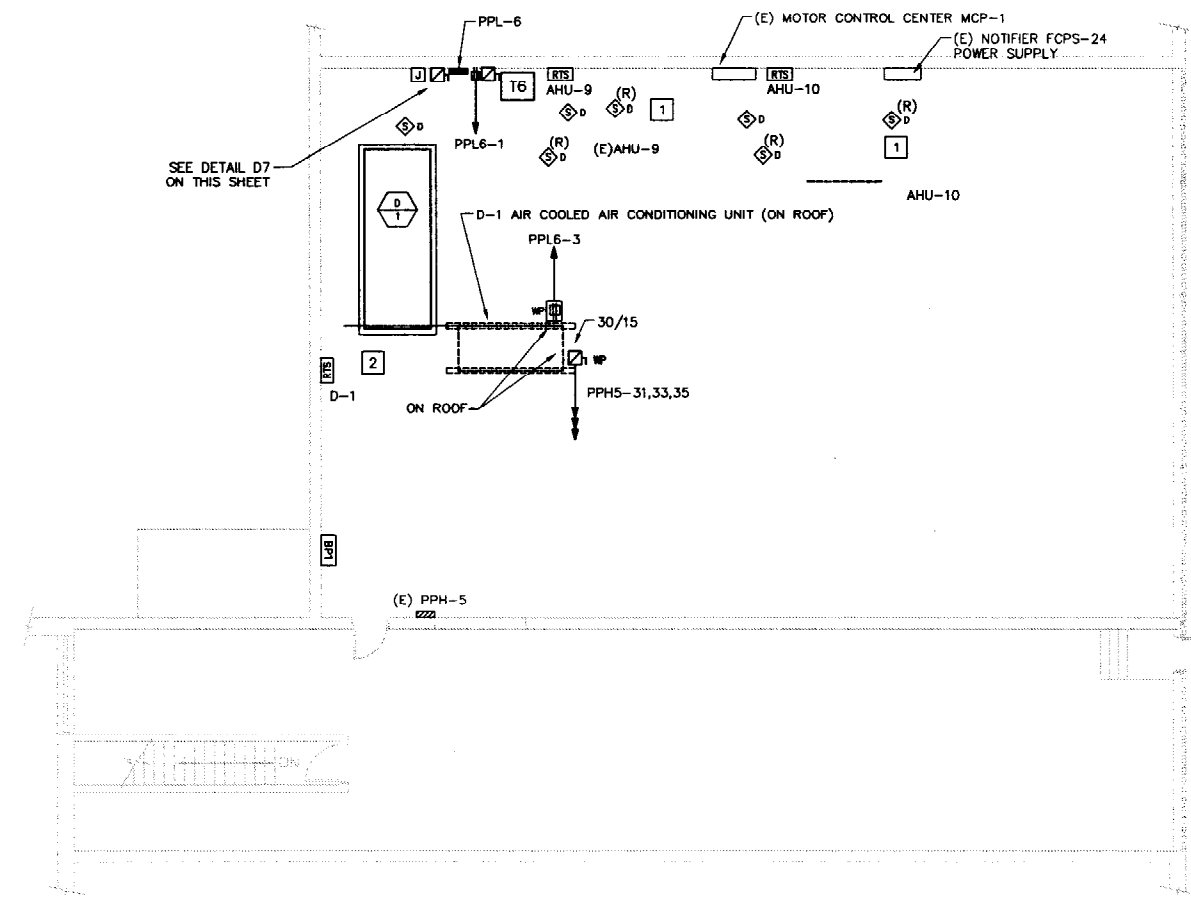
NOTE: COMPLY WITH NEC 2002 240.21 FOR FEEDER TAPS.

D1 ELECTRICAL LEGEND

D7 PARTIAL RISER DIAGRAM

NO SCALE

NO SCALE



A1 ELECTRICAL PART PLAN - MECHANICAL ROOM

1/8" = 1'-0"

GENERAL NOTES

1. BRANCH CIRCUIT WIRING NOT SHOWN. CONNECT ITEMS TO CIRCUITS INDICATED.
2. DISCONNECT, REMOVE, RELOCATE, AND RECONNECT ELECTRICAL CONDUIT, WIRING, DEVICES, BOXES, FIXTURES, EQUIPMENT, ETC. AS INDICATED AND AS REQUIRED TO FACILITATE THE WORK OF DIVISION 16 AND OTHER DIVISIONS.
3. DO NOT SCALE THE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS EXISTING BUILDING CONDITIONS FOR EXACT DIMENSIONS.
4. THE LOCATION OF EQUIPMENT, OUTLETS, ETC. AS GIVEN ON THE DRAWINGS, IS APPROXIMATE. IT SHALL BE UNDERSTOOD THAT THESE LOCATIONS ARE SUBJECT TO MODIFICATION AS MAY BE FOUND NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION IN ORDER TO MEET STRUCTURAL/ARCHITECTURAL REQUIREMENTS. SUCH CHANGES SHALL BE MADE WITHOUT EXTRA CHARGE.
5. ALL ELECTRICAL DEVICES, WHEN INSTALLED, SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. DEVICES AND COVER PLATES SHALL BE INSTALLED AFTER FINISH MATERIALS HAVE BEEN APPLIED.
6. COORDINATE ALL WORK WITH OTHER DIVISIONS AND THE OWNER.
7. VERIFY EXACT POWER REQUIREMENTS OF EQUIPMENT PRIOR TO ROUGH IN.
8. POWER WIRING FOR EQUIPMENT & CONTROL SHALL BE PERFORMED BY DIVISION 16. CONTROL WIRING FOR MECHANICAL EQUIPMENT SHALL BE BY DIVISION 15.
9. NO WIRING THAT BECOMES UNUSED AS PART OF THIS PROJECT SHALL BE ABANDONED IN PLACE.
10. REMOVE AND REINSTALL ALL EXISTING ELECTRICAL ITEMS WITHIN POOL ROOM TO FACILITATE WALL AND CEILING REFINISHING. EXISTING LIGHTING FIXTURES SHALL BE REMOVED AND REINSTALLED BY THE OWNER.
11. PROVIDE WALL PLATES FOR ALL EXISTING ELECTRICAL DEVICES WITHIN POOL ROOM. PROVIDE BLANK COVERS WHERE EXISTING FLUSH MOUNTED DEVICES ARE INDICATED TO BE REMOVED.
12. ALL HARDWARE WITHIN POOL ROOM SHALL BE STAINLESS STEEL.

A6 GENERAL NOTES

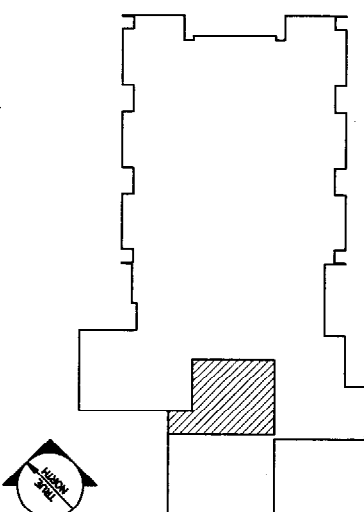
NOT TO SCALE

KEY NOTES

1. DISCONNECT EXISTING AIR HANDLER TO BE REMOVED UNDER DIVISION 15. CONNECT NEW HANDLER TO EXISTING BRANCH CIRCUIT FROM MCP-1. VERIFY THAT EXISTING OVERLOAD HEATERS ARE PROPERLY SIZED~ADJUST OR REPLACE HEATERS AS REQUIRED.
2. DISCONNECT EXISTING AIR HANDLER #5 AND EXHAUST FAN #5 TO BE REMOVED UNDER DIVISION 15. REMOVE WIRING BACK TO SOURCES.

C9 KEY NOTES

NO SCALE



A9 KEY PLAN

NOT TO SCALE

SEMPLE & DRANE ARCHITECTS
496 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
ssemple@maine.rr.com

allied engineering, inc.
One Westbrook Center, Westbrook, Maine 04092-2804
Telephone: 207-684-1138 Fax: 207-684-0600
E-Mail: hedges@alliedeng.com www.alliedeng.com

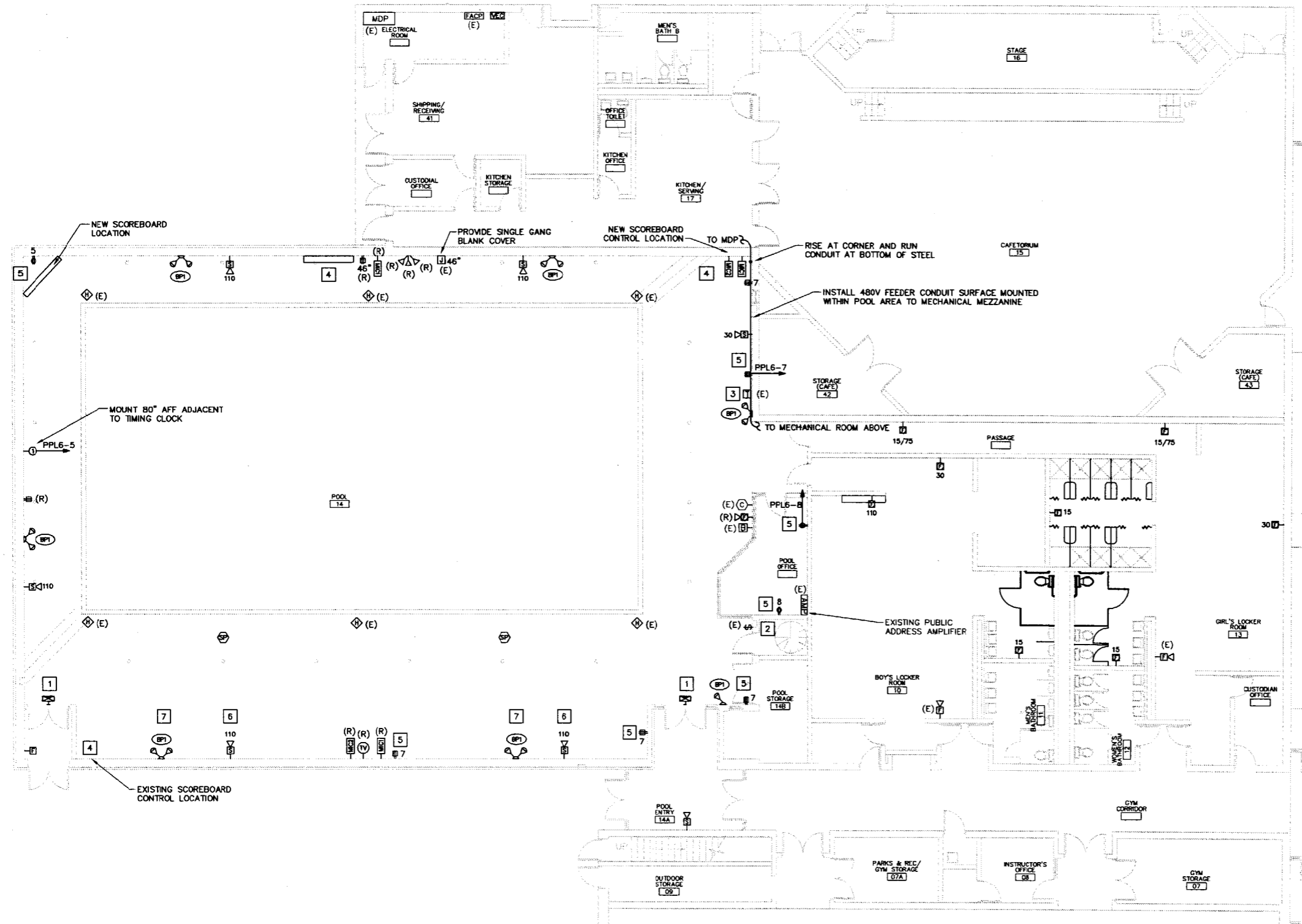


REVISIONS	NUMBER	DATE	BY	DESCRIPTION

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Print Scale:

ELECTRICAL NOTES, LEGEND & PART PLANS
RIVERTON HVAC AND POOL REPAIRS
RIVERTON ELEMENTARY SCHOOL
PORTLAND, MAINE

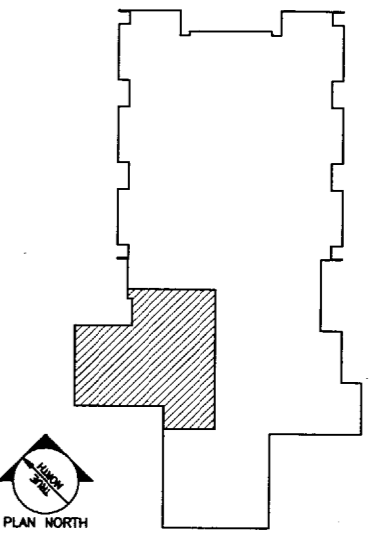
E-100



KEY NOTES

- 1 REMOVE EXISTING EXIT SIGN ~ PROVIDE IN ITS PLACE LITHONIA LQM-S-W-3-R-277-ELN OR APPROVED EQUAL. CONNECT TO EXISTING BRANCH CIRCUIT.
- 2 WIRE AND CONNECT 1-1/2HP PUMP PP-1 IN PUMP ROOM BELOW ~ PROVIDE NEMA SIZE 00 COMBINATION STARTER/FUSED DISCONNECT SWITCH. CONNECT TO PPL6-2,4,6 USING (3)#12+(1)#12G. PROVIDE 3P 20A CB.
- 3 DISCONNECT EXISTING EMERGENCY TELEPHONE. REMOVE EXISTING TELEPHONE CABLE ~ PROVIDE IN ITS PLACE (1) 4-PAIR 22AWG CATEGORY 3 CABLE. RECONNECT TELEPHONE AFTER WALL REFINISHING.
- 4 EXISTING SCOREBOARD SHALL BE RELOCATED UNDER OTHER DIVISIONS. RELOCATE EXISTING SINGLE POLE SWITCH AND (5) GFCI DUPLEX RECEPTACLES AT SCOREBOARD TO NEW LOCATION. RELOCATE SCOREBOARD CONTROL CABLES TO NEW CONTROL LOCATION. INSTALL CABLES IN CONDUIT.
- 5 REMOVE EXISTING RECEPTACLE AND BRANCH CIRCUIT WIRING. PROVIDE INDICATED RECEPTACLE AT EXISTING LOCATION ~ CONNECT TO INDICATED CIRCUIT.
- 6 MOUNT 80" ABOVE TOP OF BLEACHERS.
- 7 MOUNT 7'-6" ABOVE TOP OF BLEACHERS.

C9 KEY NOTES
NO SCALE



A9 KEY PLAN
NOT TO SCALE

SEMPLER & DRANE ARCHITECTS
496 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 761-4231
asempler@maine.ae.com

allied engineering, inc.
One Westbrook Center, Westbrook, Maine 04092-2804
Telephone: (207) 864-8100 Fax: (207) 864-8800
E-Mail: info@alliedeng.com www.alliedeng.com

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**ELECTRICAL PART PLAN
MAIN LEVEL**
RIVERTON HVAC AND POOL REPAIRS
RIVERTON ELEMENTARY SCHOOL
PORTLAND, MAINE