

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

**PERMIT**

Permit Number **080580**  
**PERMIT ISSUED**  
 JUN 17 2002  
 CITY OF PORTLAND

This is to certify that FOWLER DEBRA J/Chris with Build

has permission to <sup>233.5</sup> Build ~~165~~ sq ft addition & <sup>3</sup> 2 sq ft dec

AT 21 BELFORT ST

299-D00700

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is lapped or closed-in.  
 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*6/16/02* *Cheryl M*  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0571	Issue Date: <i>6/16/08</i>	CBL: 299 D007001
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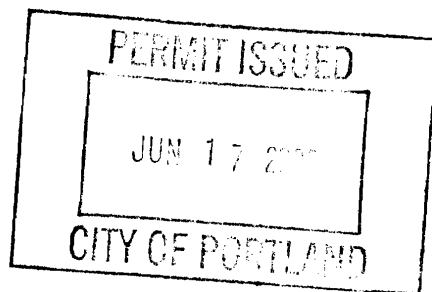
Location of Construction: 21 BELFORT ST	Owner Name: FOWLER DEBRA J	Owner Address: 21 BELFORT ST	Phone:
Business Name:	Contractor Name: Chris Smith Builders	Contractor Address: P.O. Box 2004 Biddeford	Phone 2072294623
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <i>R-3</i>

Past Use: Single Family Home	Proposed Use: Single Family Home - Build <sup><i>335</i></sup> <del>165</del> sq ft addition & <sup><i>210</i></sup> <del>210</del> sq ft deck <i>343</i>	Permit Fee: \$490.00	Cost of Work: \$47,000.00	CEO District: 5
Proposed Project Description: Build <sup><i>335</i></sup> <del>165</del> sq ft addition & <sup><i>210</i></sup> <del>210</del> sq ft deck <i>343</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>JB</i> <i>IRC-2003</i>	

Signature:		Signature: <i>6/16/08</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature:		Date:	

Permit Taken By: Idobson	Date Applied For: 05/27/2008	<b>Zoning Approval</b>	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ cond. has</i> Date: <i>6/16/08</i> <i>ABM</i>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <i>ABM</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**BUILDING PERMIT INSPECTION PROCEDURES**

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

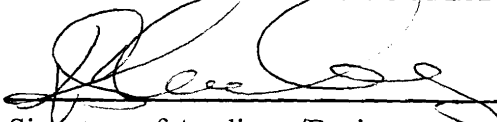
  X   Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space

  X   Final inspection required at completion of work.


Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

6-17-08  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

6-17-08  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-0571	<b>Date Applied For:</b> 05/27/2008	<b>CBL:</b> 299 D007001
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<b>Location of Construction:</b> 21 BELFORT ST	<b>Owner Name:</b> FOWLER DEBRA J	<b>Owner Address:</b> 21 BELFORT ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Chris Smith Builders	<b>Contractor Address:</b> P.O. Box 2004 Biddeford	<b>Phone</b> (207) 229-4623
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - Build 233.5 sq ft addition & 343 sq ft deck	<b>Proposed Project Description:</b> Build 233.5 sq ft addition & 343 sq ft deck
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 06/10/2008

**Note:****Ok to Issue:** 

- 1) This permit is being approved based on the setbacks provided by the contractor. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 06/16/2008

**Note:** Called chris Small w/ ?'s Left msg. 6/16/08 chris addressed ?'s to my satisfaction

**Ok to Issue:** 

- 1) Fastener schedule per the IRC 2003
- 2) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 6) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**Comments:**

6/4/2008-amachado: Left message for Chris Small, contractor. The numbers for the project description do not match numbers on the building plans. The addition indicated on the plot plan does not match the building plans. The setbacks given on the plot plan do not add up.

6/10/2008-amachado: Met with Chris Small. He brought in revised setbacks for the existing structure.

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

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\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

21 Belfort  
299-D-007

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings/Revisions/Dates
<b>STRUCTURAL</b>		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	16x12x8 footing 48" min. 8" concrete frost wall	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Fabric not shown	*
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	Not shown	*
Anchor Bolts/Straps, spacing (Section R403.1.6)	✓	
Lally Column Type (Section R407)	N/A	
Girder & Header Spans (Table R 502.5(2))	N/A	
Built-Up Wood Center Girder Dimension/Type	N/A	
Sill/Band Joist Type & Dimensions	2x8x 16 o.c.	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	N/A	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and	Trusses	

R802.4(2))		
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	4/12 24 o.c Trusses	* Need spec!
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2" OSB (ZIP) 7/10"	
Fastener Schedule (Table R602.3(1) & (2))	IRC 2007	
<b>Private Garage</b> (Section R309) Living Space ? (Above or beside)	N/A	
Fire separation (Section R309.2)		
Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)		
Roof Covering (Chapter 9)	Asphalt 30 yr.	
Safety Glazing (Section R308)	Sunroom by door	✓
Attic Access (Section R807)	N/A	
Chimney Clearances/Fire Blocking (Chap. 10)		
Header Schedule (Section 502.5(1) & (2))	3/2x10 solid	✓
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-		✓

Factor Fenestration	✓	
Type of Heating System		
<b>Means of Egress</b> (Sec R311 & R312) Basement	N/A.	
Number of Stairways		
Interior		
Exterior		
Treads and Risers (Section R311.5.3)		
Width (Section R311.5.1)		
Headroom (Section R311.5.2)		
Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)		
Smoke Detectors (Section R313) Location and type/Interconnected		
Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)		
Deck Construction (Section R502.2.1)	✓	





# General Building Permit Application


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>21 Balfort</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Applicant * <u>must be owner, Lessee or Buyer</u> * Name Address City, State & Zip	Telephone:
<u>299      D      007</u>		
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost of Work: \$ <u>2,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>490</u>
Current legal use (i.e. single family) If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision?      If yes, please name Project description:	<u>Single Family</u> <u>2343</u> <u>233.5</u> <u>210 sq ft</u> <u>Adding small addition to existing structure</u>	
Contractor's name:	<u>Chris Small Builder's</u>	
Address:	<u>PO box 2004      RAK</u>	
City, State & Zip:	<u>Biddeford ME 04005      Telephone: 247-4365</u>	
Who should we contact when the permit is ready:	<u>Chris Small      Telephone: 229-4623</u> <u>cell</u>	
Mailing address:	_____	

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 5-27-08

**This is not a permit; you may not commence ANY work until the permit is issued**

# Building Permit

Chris Small Builder's

Po box 2004

Biddeford ME 04005

FAX 207-247-4315

Phone 207-229-4625

Debra Fowler

21 BALFORD ST

Portland ME

TOTAL COST OF ADDITION

\$47,000.00

1 COPY OF Plot Plan }  
1 COPY OF Blue Print } NOT FOR CITY HALL  
They can make  
copies  
IF needed

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## Facsimile Cover Sheet

To: *Chris Small*

Company:

Phone:

Fax: *247-4315*

From: Debbie Fowler Secretary to  
Dr James Powers

Company: Maine Cardiology Associates

Phone: (207) 523-4676

Fax: (207) 774-0889

Date: *5-16-08*

NUMBER OF PAGES

Comments: RE:

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\*\*\*\*CONFIDENTIALITY NOTE\*\*\*\*

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## THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 15224 PAGE 323 COUNTY Cumberland  
 PLAN BOOK 14 PAGE 7 LOT 302-305

ADDRESS: 21 Belfort Street, Portland, Maine

Job Number: 479-48

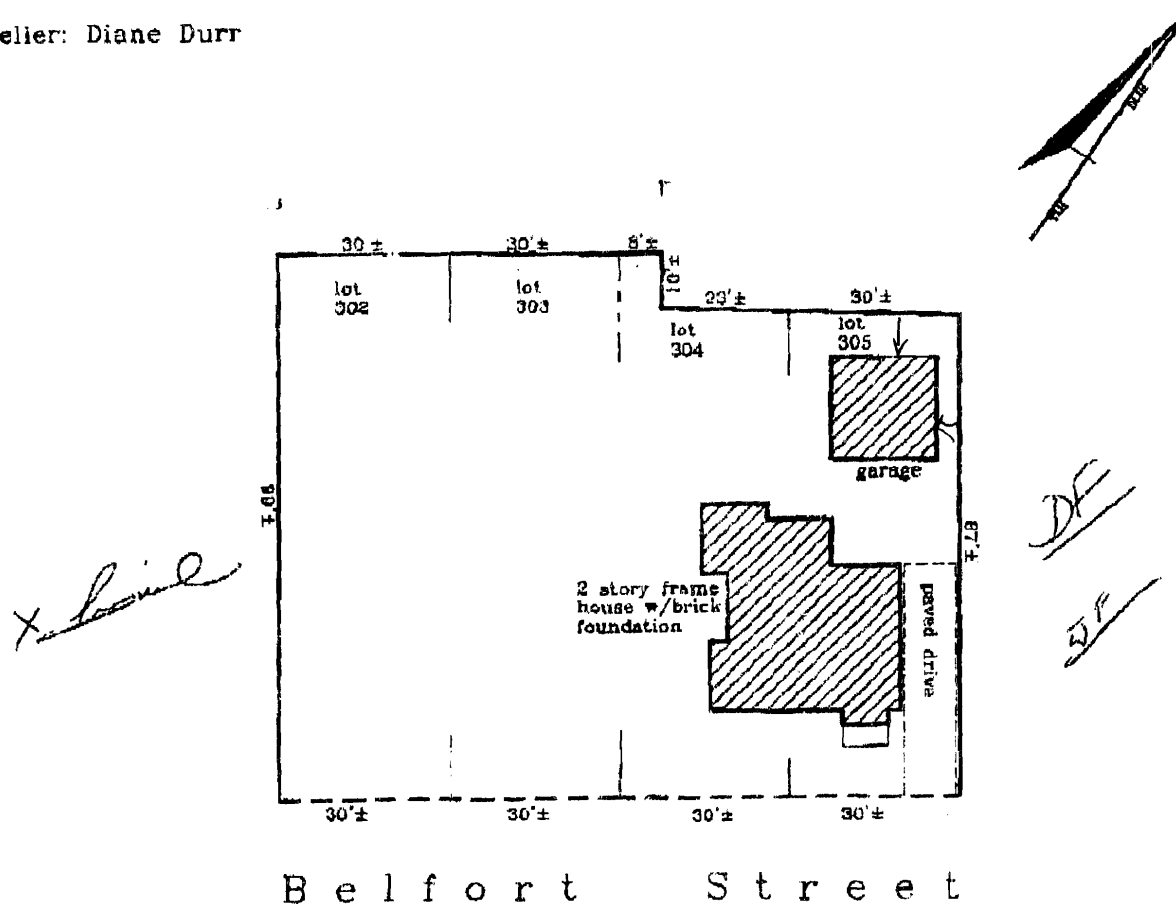
Inspection Date: 8-14-04

Scale: 1" = 30'

File No: 40580

Buyer: Debra & James Fowler

Seller: Diane Durr



B e l f o r t      S t r e e t

I HEREBY CERTIFY TO: Bay Tree Title Services, First Horizon  
Home Loan Corp., and its title insurer.

Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel:

The structure does not fall within the special flood hazard zone.

The land does not fall within the special flood hazard zone.

A wetlands study has not been performed.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

Copyright 2004

**Livingston - Hughes**

Professional Land Surveyors & Foresters

86 Guinea Road

Kennebunkport - Maine 04046

207-967-9761 phone 207-967-4831 fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

23

lot size = 11,242

land area prod = 6,500<sup>OK</sup>

front 25' - N/A

rear 25' - 28' given

side - 1 story - 8' min - left 76' given

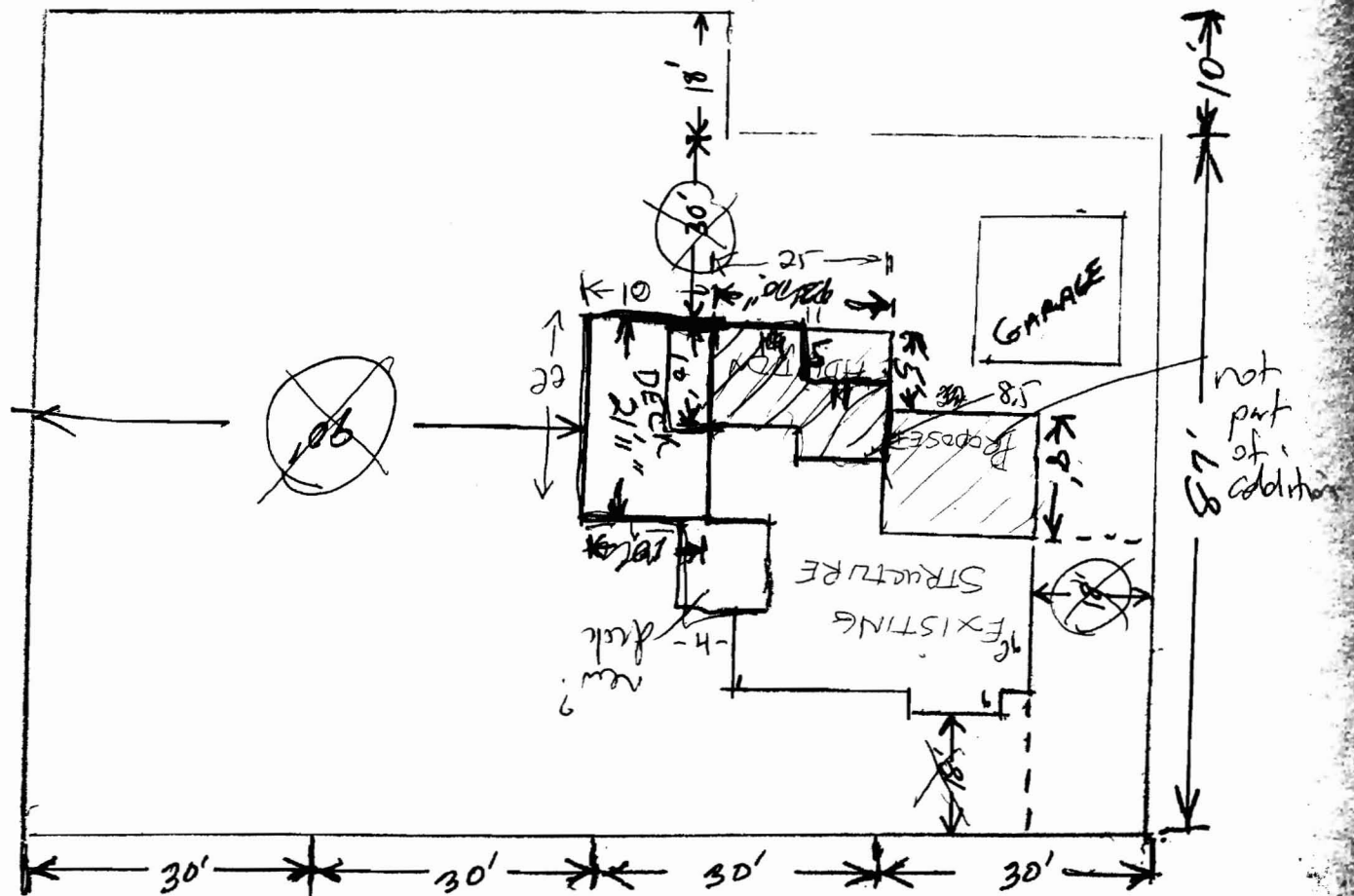
lot coverage = 35% = 3934.7

2020<sup>OK</sup>

\* see revised plot plan for setbacks to existing building

June 10, 2008

87	18
	6
<del>9271.5</del>	26
<u>18</u>	<u>2221.5</u>
15.5	<u>771.5</u>



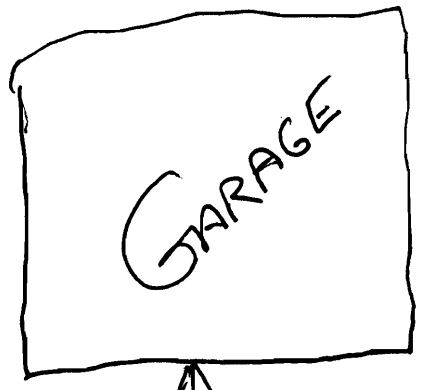
Belfort.

revised plot plan

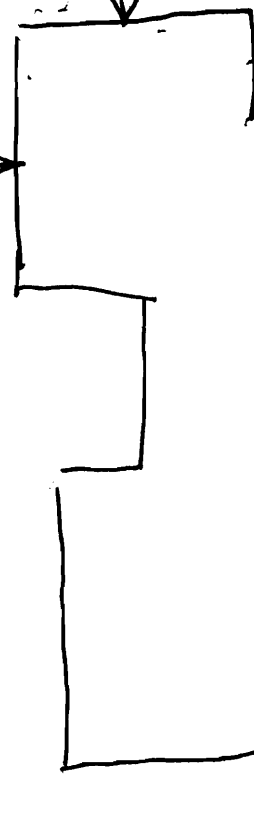
existing conditions.

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
JUN 10 2008  
RECEIVED

38' - 10' for addition will be 28'



76'



35'9"

22'6"

24'6"

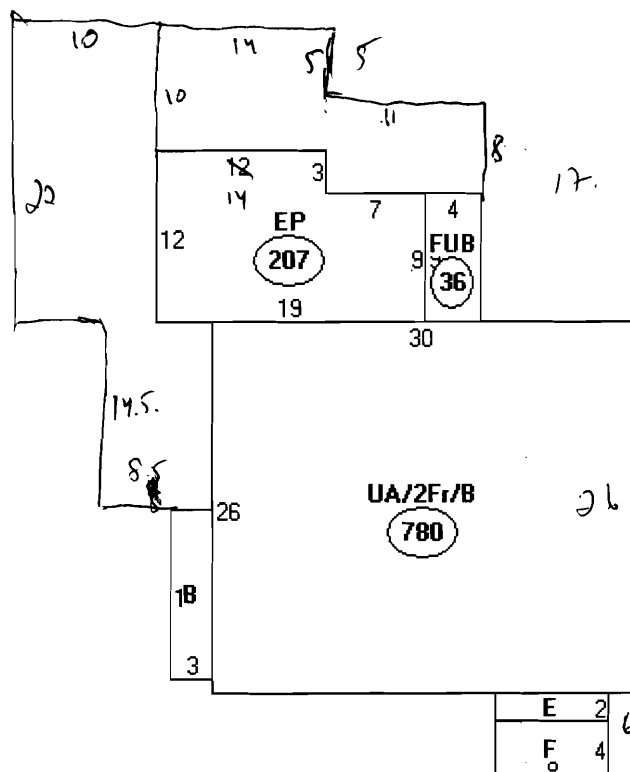
DRIVEWAY

12'9"

46'

Road.

21 Belfort St.



## Descriptor/Area

A: UA/2Fr/B  
780 sqftB: 1Fr/B  
36 sqftC: EP  
207 sqftD: FUB  
36 sqftE: 1Fr  
16 sqftF: OFP  
32 sqft

= 1107

$$\text{garage} = 18 \times 18 = 324$$

addition

$$\begin{array}{r} 8.5 \times 11 = 93.5 \\ 10 \times 14 = 140 \\ \hline 233.5 \text{ - addition} \end{array}$$

decks

$$\begin{array}{r} 10 \times 22 = 220 \\ 8.5 \times 14.5 = 123.25 \\ \hline 343.25 \text{ - deck} \end{array}$$

steps

$$\begin{array}{r} 1.75 \times 7 = 12.25 \\ \hline 355.5 \end{array}$$

$$\text{total increase} = 589.4$$

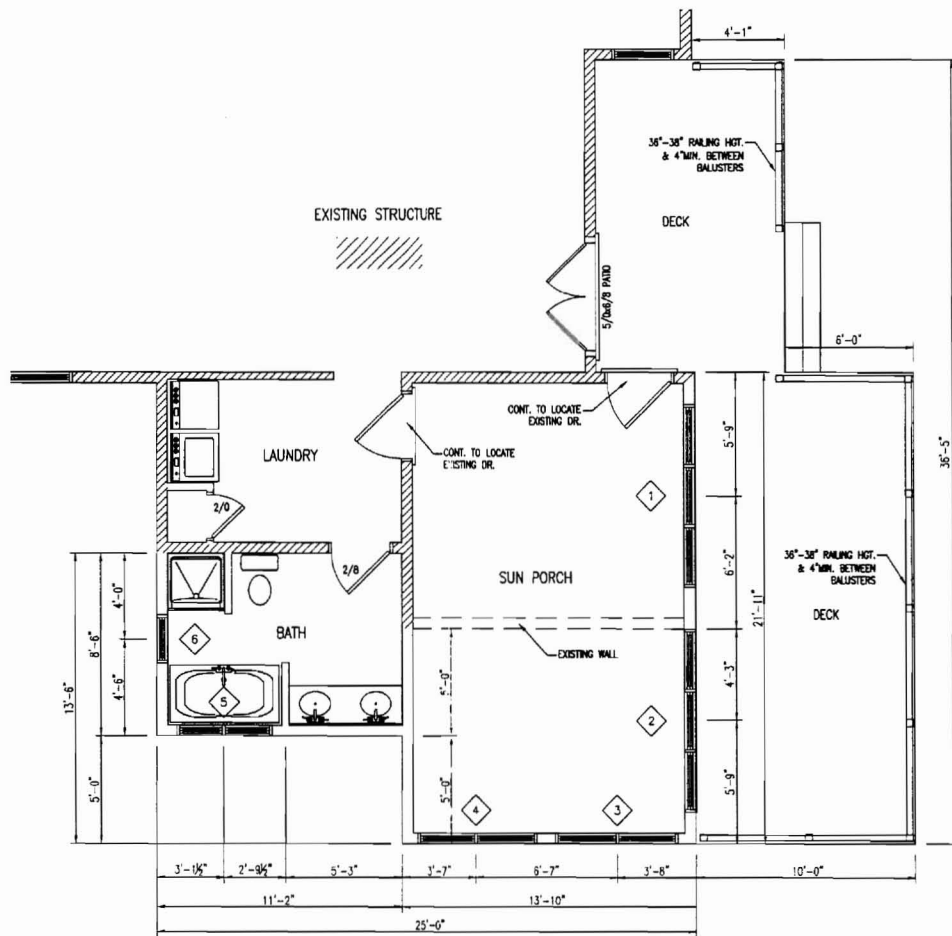
$$\text{existing} = 1431$$

$$\text{total} = 2020$$





**PROPOSED FLR, FDN & SECTION  
FOWLER ADDITION  
PORTLAND, ME**



MAY 27 2008

**WINDOW SCHEDULE**

Mark	Manufacturer	Style	Size		Egress	Header Size	HP Low-E	
			Width	Height			U-Factor	R-Value
1	Mothw Brothers	DH3260-3	2'-8"	5'-0"	N/A	(3) 2x10 w/ 1/2" Ply		35/35
2	Mothw Brothers	DH3260-3	2'-8"	5'-0"	N/A	(3) 2x10 w/ 1/2" Ply		35/35
3	Mothw Brothers	DH3260-2	2'-8"	5'-0"	N/A	(3) 2x10 w/ 1/2" Ply		35/35
4	Mothw Brothers	DH3260-2	2'-8"	5'-0"	N/A	(3) 2x10 w/ 1/2" Ply		35/35
5	Mothw Brothers	DH2436-2	2'-0"	3'-0"	N/A	(3) 2x8 w/ 1/2" Ply		35/35
6	Mothw Brothers	DH2436	2'-0"	3'-0"	N/A	(3) 2x8 w/ 1/2" Ply		35/35

HANCOCK CLASSIC WINDOWS NFRC CERTIFIED UNIT PERFORMANCE

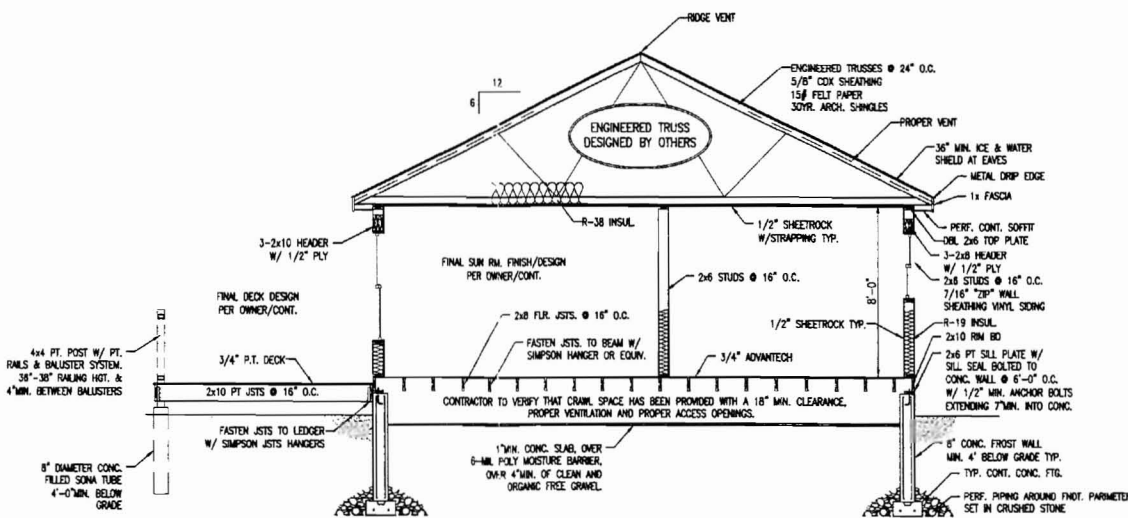
HANCOCK WINDOWS PRODUCT TYPE	WITHOUT GRILLES HP LOW-E:	
	U-FACTOR	R-VALUE
CASEMENT	0.31	0.31
STANDARD DOUBLE-HUNG	0.33	0.33
PREMIUM DOUBLE-HUNG	0.46	0.46
TRANSOM	0.34	0.34
AWNING	0.31	0.31
GLIDER	0.33	0.33

\*MOTHW BROTHERS NFRC CERTIFIED CENTER UNIT PERFORMANCE

FIRST FLOOR PLAN  
1/4" = 1'-0"

**CONSTRUCTION NOTE:**

CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE STARTING NEW CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. OR LOCAL CODES.



S-1  
1/4" = 1'-0"

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THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE WORK OF AN ARCHITECT OR REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING CUSTOMERS WITH THIS INFORMATION, HANCOCK LUMBER IS NOT PROVIDING ANY WARRANTY FOR THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

**Revisions:**

NO.	DATE	DESCRIPTION

Date : 05/20/08

Scale : 1/4" = 1'-0"

Drawn By: JTM

Project: AW041408

Sheet Number:

TYPE SCHEDULE		BUILDING WIDTH (feet)			
HEADERS AND CORNERS SHIPMENT		20	28	36	44
One hour only	2-2x4	2	2	2	2
	2-2x6	2	2	2	2
	2-2x8	2	2	2	2
	2-2x10	2	2	2	2
	2-2x12	2	2	2	2
	2-2x6	2	2	2	2
	2-2x8	2	2	2	2
	2-2x10	2	2	2	2
	2-2x12	2	2	2	2
	4-2x4	2	2	2	2
Two hour only	2-2x4	2	2	2	2
	2-2x6	2	2	2	2
	2-2x8	2	2	2	2
	2-2x10	2	2	2	2
	2-2x12	2	2	2	2
	4-2x4	2	2	2	2

(Minimum spans for Douglas fir-wood, hem-fir, southern pine and spruce-pine-fir are required number of joist studs)

TYPE SCHEDULE		SPACING OF FASTENERS	
FASCIER SCHEDULE FOR STRUCTURAL MEMBERS		Edges (Minimum)	Intermediate support (Minimum)
DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER		
wood structural joists, wallboard, roof and wall sheathing to framing, and partitionboard and sheathing to framing	6d common nail (fullbody, end)	6	12*
5/8" - 1/2"	6d common nail (end)	6	12*
1/2" - 1"	6d common nail or 6d deflected nail	6	12
1/2" rigidly attached sheathing	1-1/2" galvanized roofing nail 6d common nail 15ga., 1-1/2" long	3	6
1/2" rigidly attached sheathing	1-1/2" galvanized roofing nail 6d common nail 15ga., 1-3/4" long	3	6
1/2" rigidly attached sheathing	6d common nail, 15ga. 1-3/4" long	3	6
1/2" rigidly attached sheathing	1-1/2" galvanized roofing nail 6d common nail 15ga., 1-1/2" long	4	8
1/2" rigidly attached sheathing	1-1/2" galvanized roofing nail 6d common nail 15ga., 1-1/2" long	4	8
wood structural joists, partitionboard wallboard, underlayment to framing	6d deflected nail or 6d common nail	5	12
3/4" - 1"	6d common nail or 6d deflected nail	5	12
1-1/8" - 1-1/4"	10d common nail or 6d deflected nail	5	12

For St. John = 2x4/ftm, 10d = 30d/ftm, 10d/ft per hour = 1.80d/ftm.

- At walls on inside corners, top or deflected nails must be used for attaching sheathing and wood structural joist framing within minimum 48-inch distance from gable end walls. If main roof height is more than 20feet, up to 20feet maximum.
- At walls on outside corners, top or deflected nails must be used for attaching sheathing and wood structural joist framing within minimum 48-inch distance from gable end walls. If main roof height is more than 20feet, up to 20feet maximum.
- At walls on inside corners, top or deflected nails must be used for attaching sheathing and wood structural joist framing within minimum 48-inch distance from gable end walls. If main roof height is more than 20feet, up to 20feet maximum.
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## SCHEDULES FOWLER ADDITION PORTLAND, ME



### Revisions:

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Date : 05/20/06

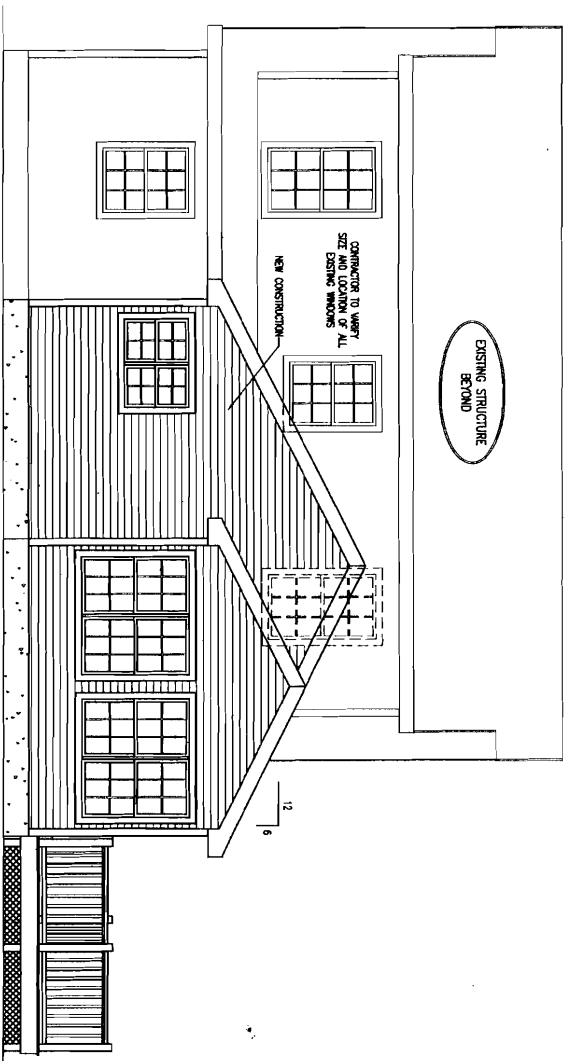
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Drawn By: JTM

Project: AM041408

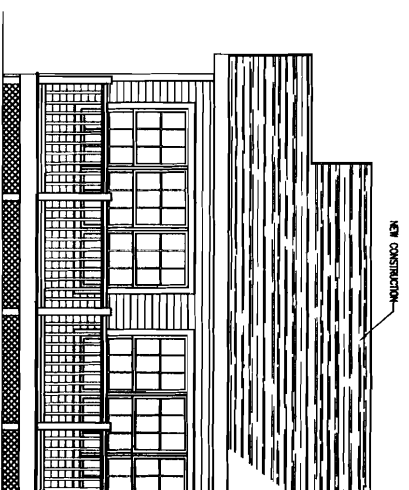
Sheet Number:

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REAR ELEVATION  
1/4" = 1'-0"

CONSTRUCTION NOTE:  
CONTRACTOR TO VERIFY COLOR AND ALL DIMENSIONS IN RED.  
BEFORE STARTING NEW CONSTRUCTION. VERIFY SPACING AND DEPTH FROM  
ACTUAL FINISHED CONSTRUCTION. PAINT, MATERIALS, WINDOW/DOOR  
LOCATIONS AND SIZES TO BE DETERMINED PER OWNER/OWNER OR LOCAL  
CODES.



LEFT ELEVATION  
1/4" = 1'-0"