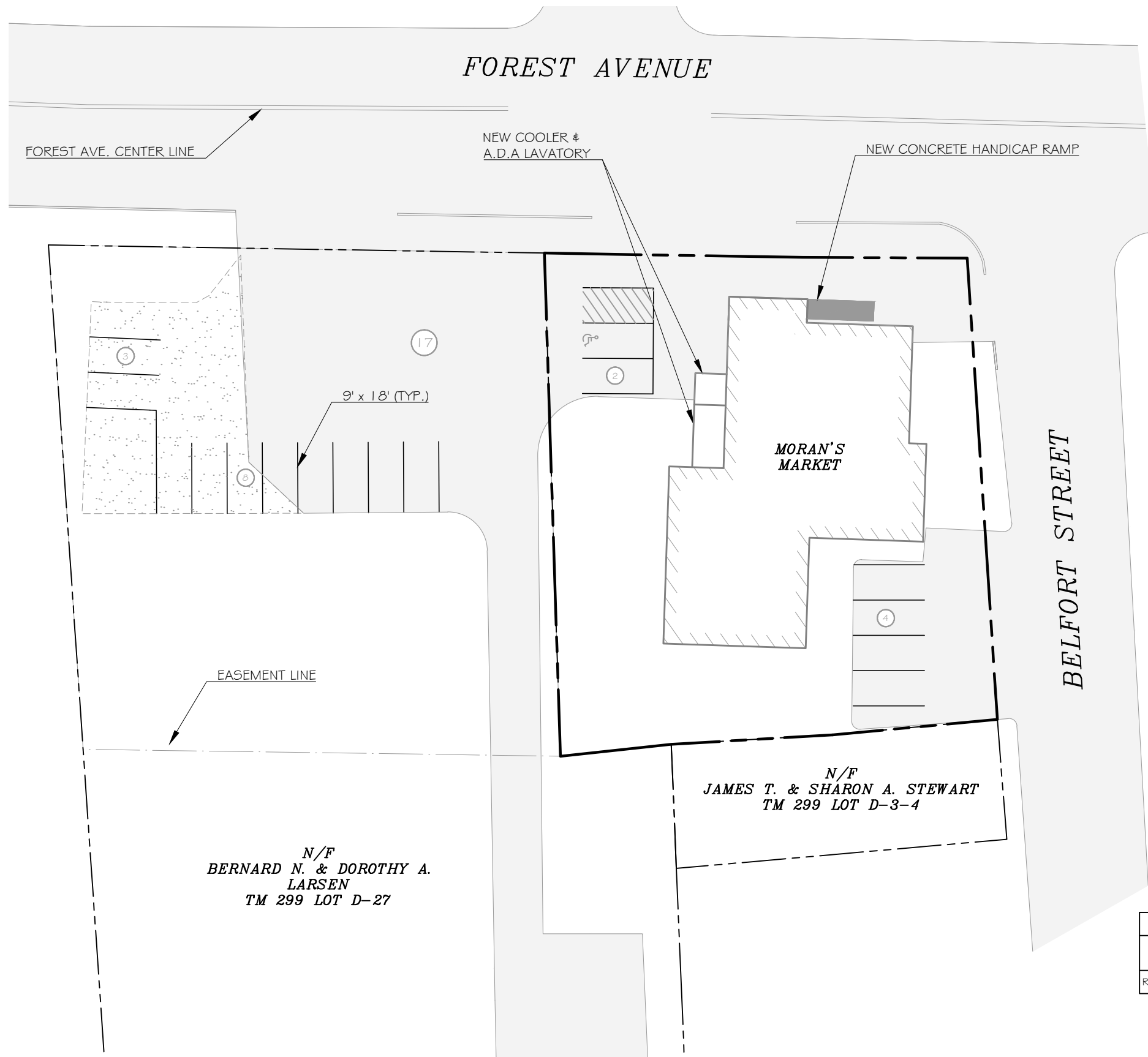


P:\367 - Moran's Market\3. CAD\367 - Moran's Market.dwg plot date: 1/19/2017 3:01 PM



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	BUILDING
	EDGE OF PAVEMENT
	GRANITE CURB
	EDGE OF GRAVEL

PLAN REFERENCES:

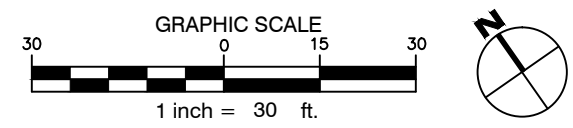
1. TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION ARE APPROXIMATE AND TAKEN FROM A COMPILATION OF THE FOLLOWING:
 - 1.1. MAINE OFFICE OF GIS DATA CATALOG: AERIAL PHOTOGRAPHY & TAX MAP PARCELS
2. BUILDING FOOTPRINT FROM A PLAN TITLED "MORAN'S MARKET RENOVATION", PREPARED BY MACLEOD STRUCTURAL ENGINEERS OF 404 MAIN STREET, GORHAM ME, 04038, DATED 10/25/2016

ZONING INFORMATION*:

1. CLASSIFICATION: NEIGHBORHOOD/BUSINESS (B-1)
2. PERMITTED USES: MIXED RESIDENTIAL/ COMMERCIAL
3. PARKING REQUIREMENTS:

USE	QUANTITY	REQUIRES	RESULT	PROVIDED	TOTAL SPACES
RETAIL	3,558 SF	1 SPACE PER 200 SF IN EXCESS OF 2000 SF NOT USED FOR BULK STORAGE	1,558 SF	11 SPACES	17 SPACES
RESIDENTIAL	3 DWELLING UNITS	2 SPACES PER UNIT DWELLING	6 SPACES	6 SPACES	

*ZONING STANDARDS FROM CITY OF PORTLAND LAND USE ORDINANCE, DATED 9-15-2014, AMENDED 11-7-2016.



<p>Sheet Title: PARKING PLAN</p> <p>Job No.: 367</p> <p>Date: January 19, 2017</p> <p>Scale: AS NOTED</p> <p>Drawn: BMD</p> <p>Checked: NGC</p>	<p>Sheet Number:</p> <h1 style="font-size: 48px; margin: 0;">1.0</h1>
<p>Moran's Market</p> <p>1576 Forest Ave Portland, ME 04103</p>	
<p>WALSH</p> <p>ENGINEERING ASSOCIATES, INC.</p> <p>One Karen Dr., Suite 2A Westbrook, Maine 04092 ph: 207.553.9898 www.walsh-eng.com</p> <p style="font-size: 8px;">Copyright © 2017</p>	