

**CODE REVIEW**

THESE PLANS ARE INTENDED TO COMPLY WITH THE 2009 IBC LEVEL 3 ALTERATIONS CHAPTERS 6, 7, 8 CHAPTER 10 - ADDITIONS

MUBEC - MAINE UNIFORM BUILDING AND ENERGY CODE 2009/2012 INTERNATIONAL BUILDING CODE 2009 INTERNATIONAL ENERGY CONSERVATION CODE 2009 INTERNATIONAL EXISTING BUILDING CODE 2009 NFPA 101 LIFE SAFETY CODE, NFPA 5000 2009 AMERICANS WITH DISABILITY ACT PORTLAND, MAINE ORDINANCES

NOTE: THERE IS AN EXISTING ILLEGAL 4TH APARTMENT THAT IS REMOVED AS PART OF THESE PLANS

**IBC 2012 CODE STUDY:**

**CH. 3 USE AND OCCUPANCY CLASSIFICATIONS**  
BUILDING USES: (USE TO REMAIN AS IS)

FIRST FLOOR - MERCANTILE (M) SEC. 309 SINGLE TENANT  
SECOND FLOOR - RESIDENTIAL (R2) SEC 310.4 (2) APARTMENTS  
THIRD FLOOR - RESIDENTIAL (R2) SEC 310.4 (1) APARTMENT

**CH. 4 SPECIAL REQUIREMENTS BASED ON USE AND OCCUPANCY**  
SEC 420 GROUP R2

SEC 420.2 WALLS SEPARATING UNITS SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER SEC 708

SEC 420.3 FLOORS SEPARATING UNITS SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLYS PER SEC 711

SEC420.4 AUTOMATIC SPRINKLER SYSTEM REQUIRED FOR NEW R2 OCCUPANCIES

SEC 420.5 SMOKE DETECTION AND FIRE ALARM SYSTEM REQUIRED FOR NEW R2 OCCUPANCIES

**CH. 5 GENERAL BUILDING HEIGHTS AND AREAS**

| BUILDING USE SUMMARY: |            |     |            |     |            |
|-----------------------|------------|-----|------------|-----|------------|
| LEVEL                 | MERCANTILE |     | APARTMENTS |     | INCIDENTAL |
|                       | EXIST      | NEW | EXIST      | NEW |            |
| 1                     | 3,950      | 312 |            |     |            |
| 2                     |            |     | 3950       | 0   |            |
| 3                     |            |     | 1674       | 748 |            |
| <b>BASEMT</b>         |            |     |            |     | 926 0      |
| <b>TOTAL AREA</b>     | 4,262      |     | 6,372      |     |            |
| <b>HEIGHT</b>         | 8.8FT      |     | 26FT       |     | N/A        |

| TABLE 503 ALLOW. |            |        |            |        |     |
|------------------|------------|--------|------------|--------|-----|
| STORIES          | 1+1=2      |        | 2+1=3      |        | N/A |
|                  | AREA       | HEIGHT | AREA       | HEIGHT |     |
| HEIGHT           | 40+20+60ft |        | 40+20+60ft |        | N/A |

(Based on Type VB construction and sprinkler system)

SEC 506 AREA MODIFICATIONS BASED ON FRONTAGE & SPRINKLER (THESE NOT REQUIRED AS BUILDING MEETS REQUIREMENTS)

SEC 507 UNLIMITED AREA BUILDING N/A

SEC 508 MIXED USE AND OCCUPANCY  
TABLE 508.4 REQUIRED SEPARATION OF M FROM R2 -Ihr. (for sprinklered building) (See also sec. 420).

SEC. 509.1 INCIDENTAL USE  
BASEMENT BOILER < 400K BTU, SO NO SEPARATION REQ'D BUT WILL PROVIDE IHR SEPARATION.

**FLOOR AREAS:**

FIRST FLOOR = 3,950 s.f.  
SECOND FLOOR = 4,257 s.f.  
THIRD FLOOR = 2,544 s.f.  
BASEMENT = 926 s.f.

TOTAL STORIES = 3  
TOTAL S.F. = 10,751 S.F  
TOTAL HEIGHT = 26ft

**CH.6 TYPE OF CONSTRUCTION - CONSTRUCTION TYPE V-B**

FIRE RATINGS OF ASSEMBLIES  
EXTERIOR WALLS - 0 HR.  
INTERIOR WALLS - 0 HR.  
RESIDENTIAL UNIT SEPARATION WALLS - 1 HR  
1ST FLR CEILING / 2ND FLOOR - 1 HR  
2ND FL CEILING / 3RD FLOOR - 1 HR  
ROOF - 0 HR  
EXIT STAIR ENCLOSURE - 1 HR

**CH. 7 FIRE & SMOKE PROTECTION FEATURES -**

SEC 708 FIRE PARTITIONS -  
SEC 708.3 FIRE PARTITIONS SHALL BE MIN. 1/2hr RATED FOR UNIT SEPARATION WALLS & CORRIDORS (for sprinklered building)

SEC 711 HORIZONTAL ASSEMBLIES SHALL BE MIN. 1/2hr. RATED FOR DWELLING/SLEEPING UNIT SEPARATIONS (for sprinklered building)

**CH. 8 INTERIOR FINISHES**

USE M, INTERIOR EXITS, STAIRS, RAMPS CLASS B  
OTHER = CLASS C  
USE R-2, CLASS C

**CH. 9 FIRE PROTECTION SYSTEMS -**

SPRINKLER SYSTEM - IS AT FIRST FLR.  
IFR AT APARTMENTS  
FIRE PROTECTION - SMOKE ALARM SYSTEM PER CITY REQMTS  
- FIRE ALARM SYSTEM PER CITY REQMTS  
CARBON MONOXIDE - AS REQUIRED BY CODE

**CH.10 MEANS OF EGRESS -**

REFER TO IBC CH. 7, SEC. 705 MEANS OF EGRESS

FIRST FLOOR HAS TWO EXISTING EXITS TO REMAIN WITH REVISIONS AND ADDED ADA RAMP

SECOND FLOOR TWO APARTMENTS EACH HAVE ONE EGRESS THAT LEADS DIRECTLY OUTSIDE VIA THE PROTECTED STAIRWAY  
REF. SEC 705.3.1.6

THIRD FLOOR (1) APARTMENT HAS AN INTERIOR STAIR TO THE SECOND FLOOR. ITS EGRESS AT THE SECOND FLOOR LEVEL LEADS DIRECTLY TO THE OUTSIDE VIA THE PROTECTED STAIRWAY. REF. SEC 705.3.1.6

SEC 705.5 EXIT DOORS FROM APARTMENTS TO STAIRWAY/CORRIDORS TO BE IHR RATED AND BE SELF CLOSING  
ALL BEDROOMS IN THE APARTMENTS ARE PROVIDED WITH EGRESS WINDOWS

TRAVEL DISTANCE:  
SEC 705.6 MAX. DEAD END CORRIDOR = 70FT  
SEC 1014.3 COMMON PATH OF EGRESS TRAVEL = 25FT  
SEC 1016.2 EXIT ACCESS TRAVEL DISTANCE = 250FT  
AT 1ST FLR MERCANTILE MAX TRAVEL DIST = 250FT AND COMMON PATH OF TRAVEL = 100FT

SEC. 705.7 MEANS OF EGRESS LIGHTING IS REQUIRED  
SEC. 705.8 EXIT SIGNS ARE REQUIRED PER IBC

SEC. 705.9 THE EXISTING EGRESS STAIR (TO REMAIN) WILL HAVE HANDRAILS ON BOTH SIDES AND IHR RATED DOORS

EXISTING OUTSIDE DECKS AND STAIRS ARE CONSIDERED AS CONVENIENCE STAIRS AND NOT PART OF THE EGRESS REQUIREMENTS

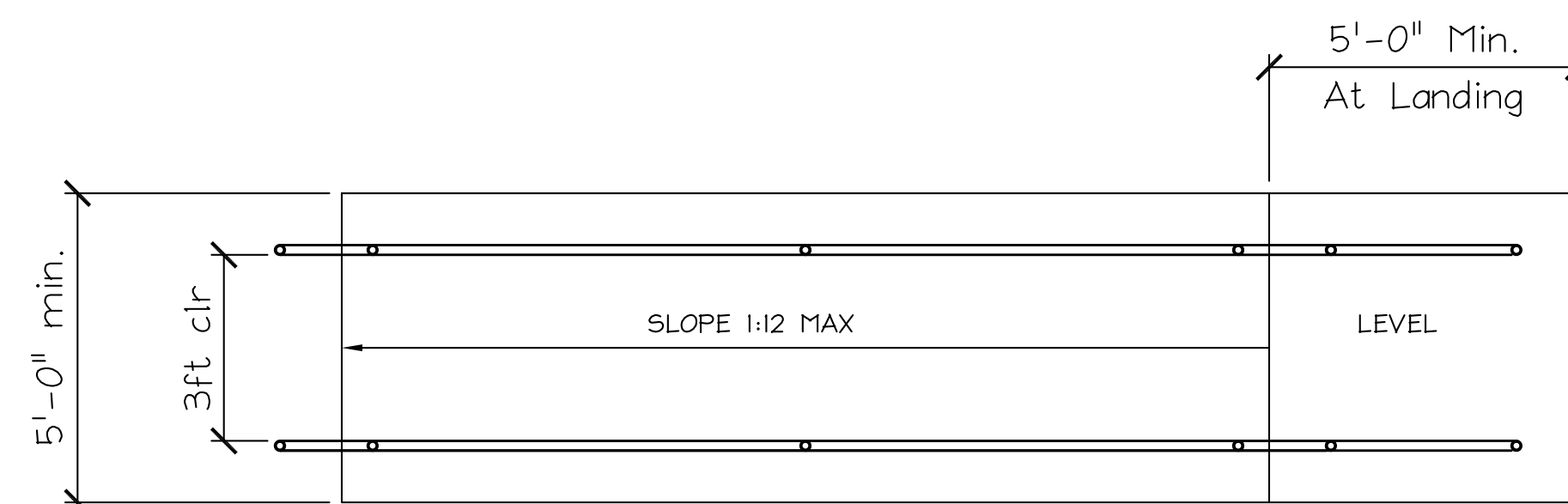
**NFPA 101 CHAPTER 31 EXISTING APARTMENT BUILDINGS**

TRAVEL DISTANCE: (sprinklered building)  
MAX. TRAVEL DIST WITHIN UNIT = 125FT  
MAX TRAVEL DIST FROM UNIT ENTR. TO EXIT = 200FT  
AT 1ST FLR MERCANTILE MAX TRAVEL DIST = 250FT AND COMMON PATH OF TRAVEL = 100FT

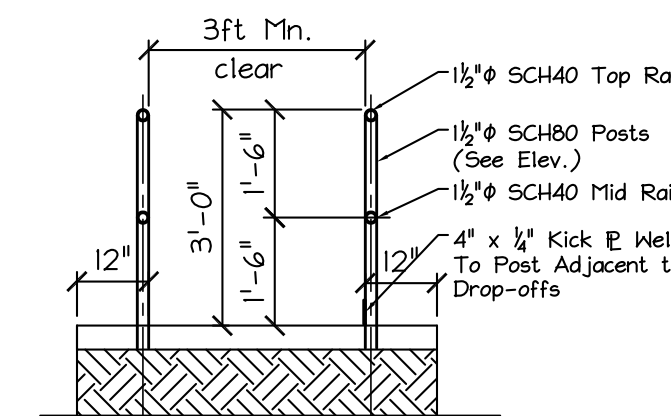
CH. 31.2.4.6  
A SINGLE EXIT FROM THE APARTMENTS IS PERMITTED BY EXIT DOORS FROM APARTMENTS TO STAIRWAY TO BE IHR RATED AND BE SELF CLOSING

# MORAN'S MARKET RENOVATIONS

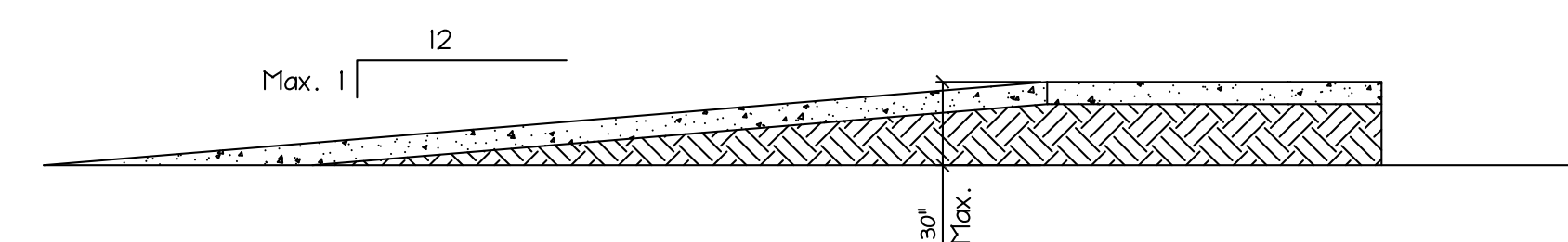
## 1576 FOREST AVE. PORTLAND, MAINE



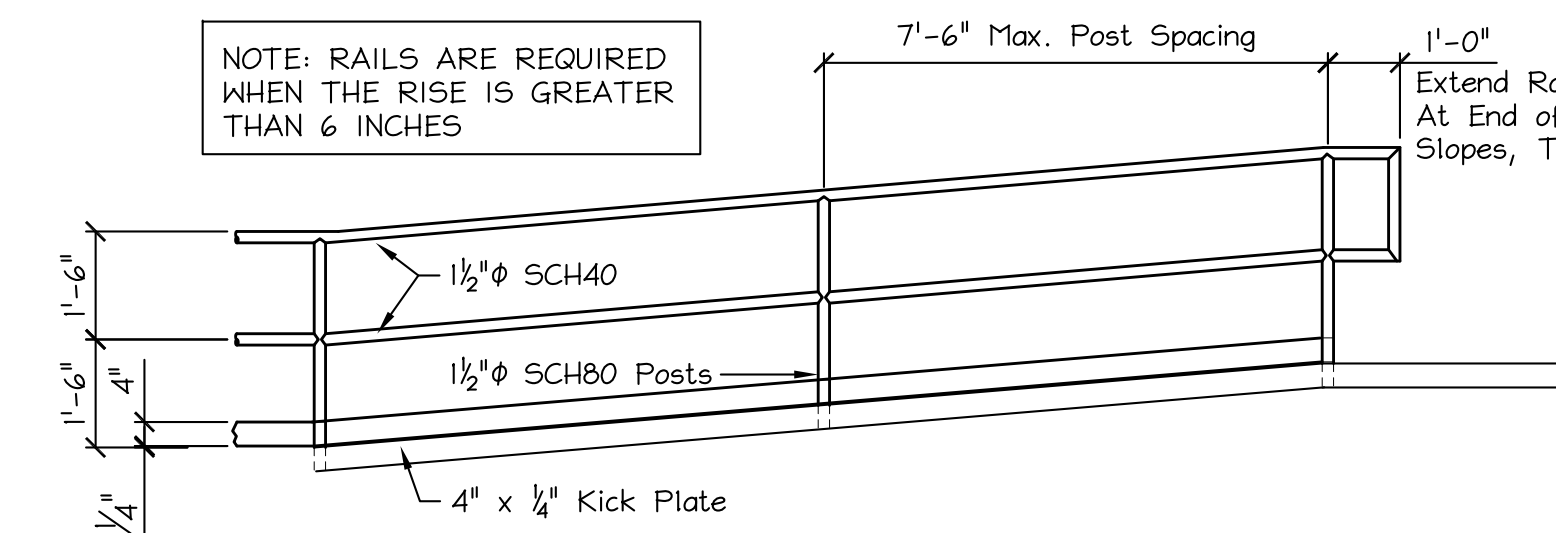
PLAN VIEW OF RAMP  
scale: 3/8"=1'-0"



CROSS SECTION VIEW OF RAMP  
scale: 3/8"=1'-0"



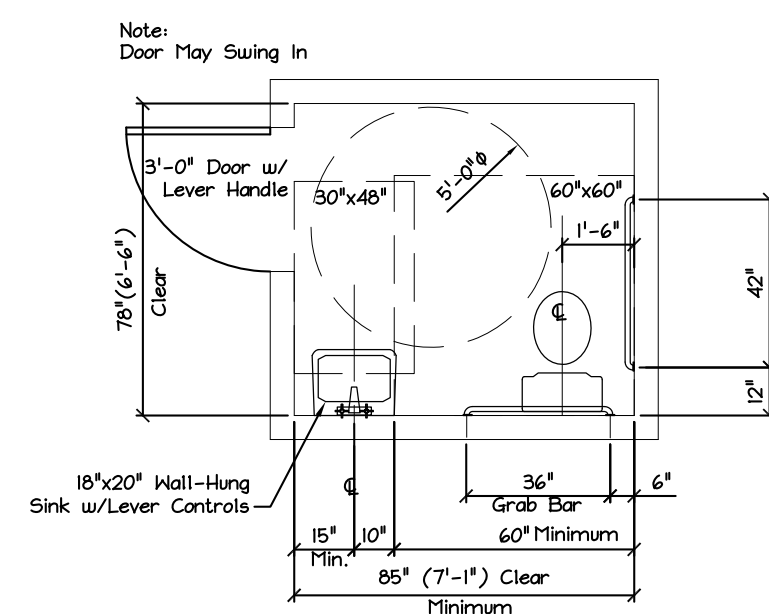
SECTION VIEW OF RAMP  
scale: 3/8"=1'-0"



ELEVATION VIEW OF RAIL  
scale: 3/8"=1'-0"

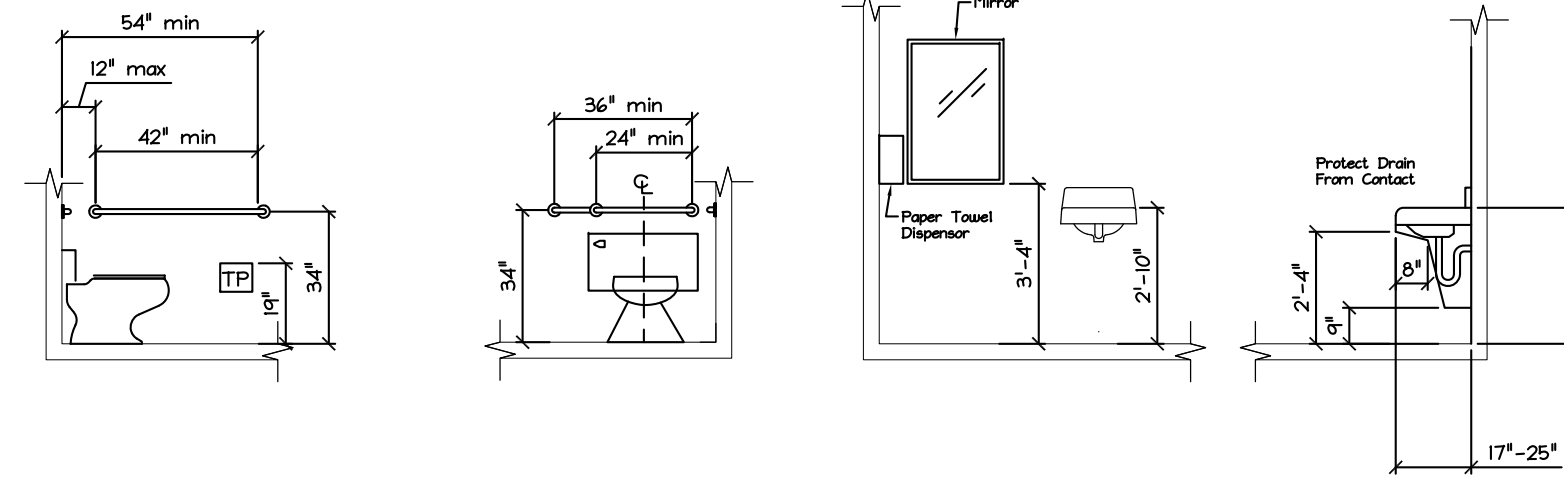
**ACCESSIBLE RAMP DETAILS**

N.T.S.



SAMPLE LAYOUT # 1

N.T.S.  
FOR SINGLE USER TOILET ROOM



ELEVATION DIMENSIONS

N.T.S.

**ACCESSIBLE RESTROOM DETAILS**

N.T.S.

**GENERAL NOTES:**

- THIS PLAN IS DESIGNED TO COMPLY WITH MAINE BUILDING AND ENERGY CODE, 2009 IBC, 2009 NFPA, ADA, 2009 IBC AND 2009 IECC
- ALL OTHER CODES SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR
- ALL MECHANICAL/PLUMBING/ELEVATORIAL DESIGN BY OTHERS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK

**ENERGY CODE STANDARDS: ZONE 6**

- FENESTRATIONS - Windows, New: u-0.35, shg-0.38 exist. may remain
- DOORS, New: u-0.25 exist may remain
- ROOF New -R49, Exist.- Fill Voids
- EXTERIOR WALLS New -R21, Exist.- Fill Voids

**ENERGY CODE NOTES:**

- ALL JOINTS AND PENETRATIONS SHALL BE CAULKED, GASKETED, OR COVERED WITH MOISTURE VAPOR-PERMEABLE WRAPPING MATERIAL
- COMPONENT R-VALUES & U-FACTORS SHALL BE LABELED AS CERTIFIED
- INSULATION SHALL BE INSTALLED ACCORDING TO MFRS. INSTRUCTIONS, AND IN A MANNER THAT ACHIEVES THE REQ'D R-VALUE
- STAIR, ELEVATOR SHAFT VENTS, AND OTHER OUTDOOR INTAKE AND EXHAUST OPENINGS SHALL BE EQUIPPED WITH MOTORIZED DAMPERS.
- RECESSED LIGHTING FIXTURES INSTALLED IN THE BUILDING ENVELOPE SHALL BE TYPE IC RATED AS MEETING ASTM E283, AND SEALED OR CAULKED.

**ARCHITECTURAL SPECIFICATIONS:**

FLOOR SYSTEM:  
Existing Joists & Subfloor  
Additional Framing As Indicated  
3/4" T&G Advantech Subflooring At New

EXTERIOR WALLS:  
2x Studs @ 16"oc  
Zip Wall Sheathing (3/8")  
Siding/Finish As Indicated

INTERIOR WALLS:  
2x4 Studs @ 16"oc  
1/2" Gypboard as Indicated

ROOF SYSTEM:  
Trusses/Rafters as Indicated  
Sheathing as Indicated (5/8")  
15# Underlayment  
Ice & Water- Shield at Eaves/Valleys  
235# Architectural Asphalt Shingles as Indicated

INSULATION:  
Refer to Energy Codes Notes

VENTILATION:  
Soffit - 2" Contin. Strip  
Ridges - Contin. Shingle  
Circulation Vents Between Trusses

BEAMS/HEADERS:  
As Noted

INTERIOR FINISHES:  
1/2" Gypboard or As Indicated  
At Walls/Ceilings  
Flooring As Indicated  
Paint/Stain As Indicated

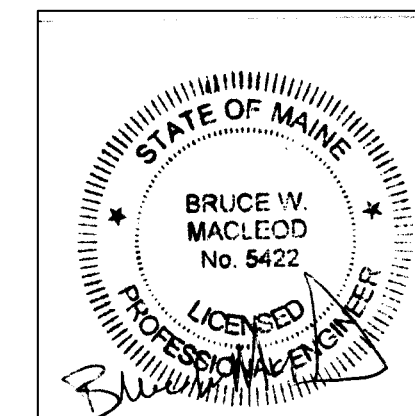
Note: Items not Indicated Shall be Per Contract/Developer and Applicable Codes

ISSUED FOR PERMIT 1/19/17

PLANS HAVE BEEN REVISSED PER CITY REVIEW COMMENTS

**DRAWING LIST:**

- A0.1 COVER SHEET
- A0.2 EXISTING PLANS
- L50 LIFE SAFETY PLAN
- L52 FIRE BLOCKING/PENETRATION
- A1.0 1ST FLOOR PLAN
- A1.1 2ND FLOOR PLAN
- A1.2 3RD FLOOR PLAN
- A1.3 ROOF PLAN
- A2.0 ELEVATIONS
- A2.1 ELEVATIONS
- A3.0 BLDG SECTIONS
- A3.1 BLDG SECTIONS
- A3.2 BLDG SECTIONS
- FP1 STORE FIXTURE PLAN
- S0.1 NOTES
- S1.0 FOUNDATION PLAN
- S1.1 FOUNDATION DETAILS
- S2.0 FRAMING PLANS



|                                                                  |                   |                       |
|------------------------------------------------------------------|-------------------|-----------------------|
| <b>MacLeod</b><br>Structural Engineers, PA                       |                   |                       |
| 404 Main Street, Gorham, Maine 04038 207.839.0880                |                   |                       |
| Moran's Market Renovation<br>1576 Forest Ave.<br>Portland, Maine |                   |                       |
| TITLE: Cover Sheet                                               |                   |                       |
| DATE: 10/25/16                                                   | DRAWN BY: BIM     | DRAWING NUMBER: A-0.1 |
| SCALE: as noted                                                  | PROJ NO: 2016-070 |                       |