

GENERAL NOTES:

1. THIS PLAN IS DESIGNED TO COMPLY WITH MAINE BUILDING AND ENERGY CODE 2009 IBC, 2009 NFPA, ADA, 2009 IBC AND 2009 IECC.
2. ALL OTHER CODES SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
3. ALL MECHANICAL/PUMPING/ELECTRICAL DESIGN BY OTHERS.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK.

ENERGY CODE STANDARDS: ZONE &

1. FENESTRATIONS -Windward, New: u=0.35, shg=0.38
-Windward, New: u=0.25, shg=0.38
-Windward, New: u=0.25, shg=0.38
-Windward, New: u=0.25, shg=0.38
Doors: New: u=0.25, shg=0.38
Doors: New: u=0.25, shg=0.38
Doors: New: u=0.25, shg=0.38
Doors: New: u=0.25, shg=0.38
2. ROOF - New - R-49, Exist. - Fill Voids
3. EXTERIOR WALLS - New - R-21, Exist. - Fill Voids

ENERGY CODE NOTES:

1. ALL JOINTS AND PENETRATIONS SHALL BE CAULKED, GASKETED OR SEALED WITH MOISTURE RESISTANT MATERIALS. VAPOR BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. VAPOR BARRIERS SHALL BE LABELED AS CERTIFIED.
2. LABELLED AS CERTIFIED
3. INSULATION SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. INSULATION SHALL BE LABELED AS CERTIFIED.
4. STAIR, ELEVATOR SHAFT VENTS, AND OTHER OUTDOOR INTAKE AND EXHAUST OPENINGS SHALL BE EQUIPPED WITH MOTORIZED DAMPERS.
5. RECESSED LIGHTING FIXTURES INSTALLED IN THE BUILDING ENVELOPE SHALL BE TYPE IC RATED AS MEETING ASTM E283, AND SEALED OR CAULKED.

CODE REVIEW

THESE PLANS ARE INTENDED TO COMPLY WITH THE 2009 IBC LEVEL 3 ALTERATIONS CHAPTERS 6, 7, & 8 CHAPTER 10 - ADDITIONS

PLUBEC - MAINE UNIFORM BUILDING AND ENERGY CODE
2009 INTERNATIONAL BUILDING CODE,
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2009 INTERNATIONAL EXISTING BUILDING CODE
2009 NFPA 101 LIFE SAFETY CODE, NFPA 5000
2009 AMERICANS WITH DISABILITY ACT
PORTLAND, MAINE ORDINANCES
BUILDING USE IS: (USE TO REMAIN AS IS)
FIRST FLOOR - MERCANTILE
SECOND & THIRD FLOORS - RESIDENTIAL, R-2
(3 APARTMENTS)

NOTE: THERE IS AN EXISTING ILLEGAL 4TH APARTMENT THAT IS REMOVED AS PART OF THESE PLANS

IBC, NFPA CODE STUDY:

USE AND OCCUPANCY CLASSIFICATIONS

FLOOR AREAS:
FIRST FLOOR = 3,960 S.F.
SECOND FLOOR = 4,297 S.F.
THIRD FLOOR = 2,544 S.F.
TOTAL S.F. = 10,751 S.F.

3RD FLR ADDITION TOTAL S.F. = 1,000 S.F.

TYPE OF CONSTRUCTION - CONSTRUCTION TYPE V-B
FIRE RATINGS OF ASSEMBLIES
EXTERIOR WALLS - 0 HR.
RESIDENTIAL UNIT SEPARATION WALLS- 1 HR
1ST FLR CEILING / 2ND FLOOR - 1 HR
2ND FLR CEILING / 3RD FLOOR - 1 HR
ROOF - 1 HR
EXIT STAIR ENCLOSURE - 1 HR

DETECTION AND EXTINGUISHMENT -
SPRINKLER SYSTEM - 13 AT FIRST FLR,
13R AT APARTMENTS
FIRE PROTECTION - SMOKE ALARM SYSTEM
PER CITY REQUIREMENTS
CARBON MONOXIDE - AS REQUIRED BY CODE

EGRESS -
FIRST FLOOR HAS ONE EXISTING EGRESS TO REMAIN
WITH REVISIONS AND ADDED ADA RAMP

SECOND FLOOR TWO APARTMENTS EACH HAVE ONE EGRESS THAT
LEADS DIRECTLY OUTSIDE VIA THE PROTECTED STAIRWAY
THIRD FLOOR (1) APARTMENT HAS AN INTERIOR STAIR TO THE
SECOND FLOOR. ITS EGRESS AT THE SECOND FLOOR LEVEL
LEADS DIRECTLY TO THE OUTSIDE VIA THE PROTECTED
STAIRWAY

A SINGLE EXIT FROM THE APARTMENTS IS PERMITTED BY 312.4.6
EXIT DOORS FROM APARTMENTS TO STAIRWAY TO BE IHR RATED
AND BE SELF CLOSING
ALL BEDROOMS IN THE APARTMENTS ARE PROVIDED WITH EGRESS
MINIMUMS

THE EXISTING EGRESS STAIR (TO REMAIN) WILL HAVE HANDRAILS
ON BOTH SIDES AND IHR RATED DOORS
EXISTING OUTSIDE DECKS AND STAIRS ARE CONSIDERED AS
CONVENIENCE STAIRS AND NOT PART OF THE EGRESS
REQUIREMENTS

TRAVEL DISTANCE:
MAX. TRAVEL DIST WITHIN UNIT = 125FT
MAX. TRAVEL DIST FROM UNIT ENTR. TO EXIT = 200FT
AT 1ST FLR MERCANTILE MAX TRAVEL DIST = 250FT AND
COMMON PATH OF TRAVEL = 100FT

ARCHITECTURAL SPECIFICATIONS:

FLOOR SYSTEM:
Existing Joists & Subfloor
Additional Framing As Indicated
3/4" T&G Advantech Subflooring At New
EXTERIOR WALLS:
2x Studs as Indicated (16"oc)
Zip Wall Sheathing (7/8")
Siding/Finish as Indicated

INTERIOR WALLS:

2x4 Studs @ 16"oc
1/2" Gypsum as Indicated
ROOF SYSTEM:
Trusses/Roofers as Indicated
Sheathing as Indicated (5/8")
5/8" Insulation
1/2" Insulation Shield at Eaves/Voileys
23# Architectural Asphalt Shingles as
Indicated

INSULATION:

Refer to Energy Codes Notes

VENTILATION:

Soffit - 2" Contin. Strip
Ridges - Contin. Single
Circulation Vents Between Trusses
BEATS/HEADERS:
As Noted

INTERIOR FINISHES:

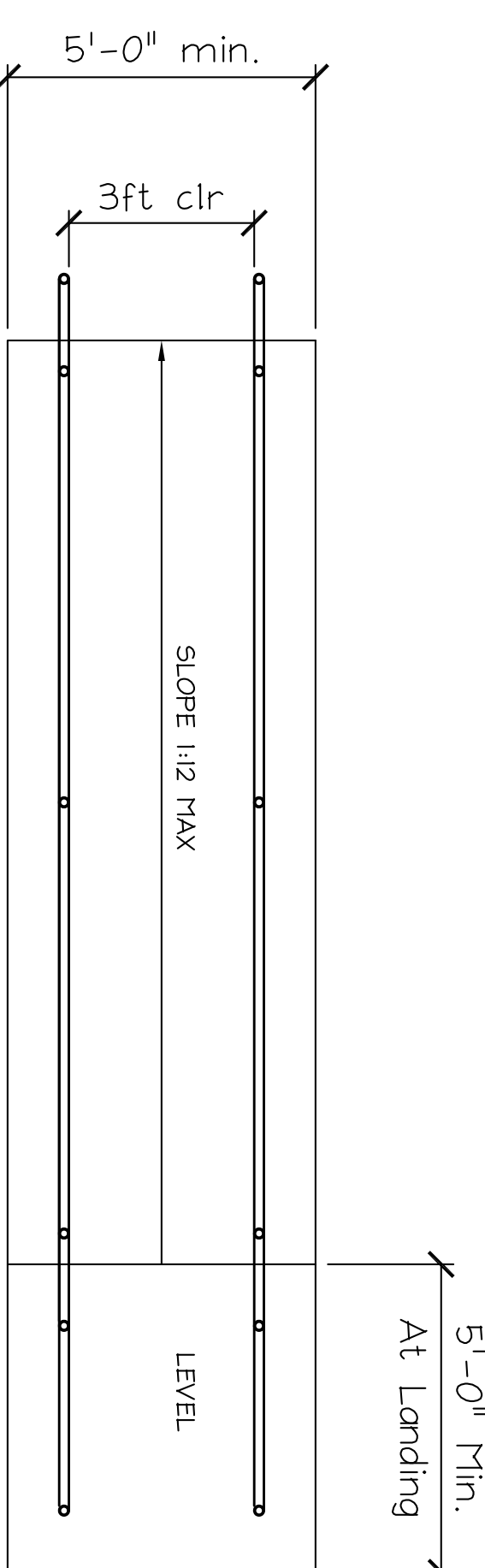
1/2" Gypsum or As Indicated
At Walls/Ceilings
Flooring As Indicated
Paint/Sidin As Indicated

Note: Items not indicated Shall
be Per Contract/Developer and
Applicable Codes

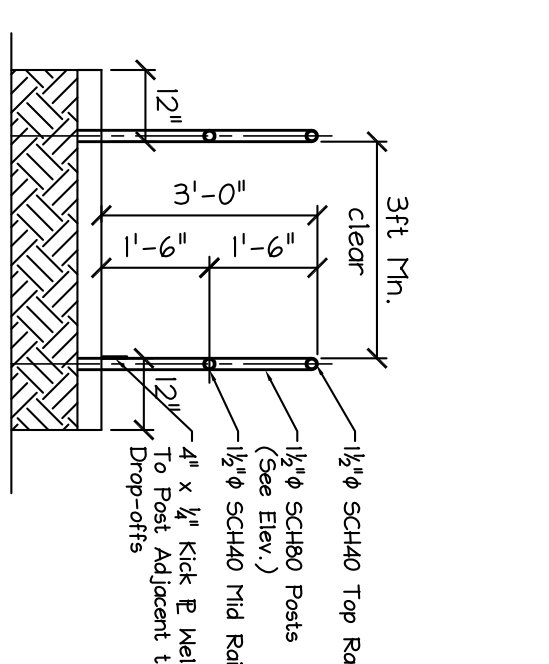
MORAN'S MARKET

RENOVATIONS

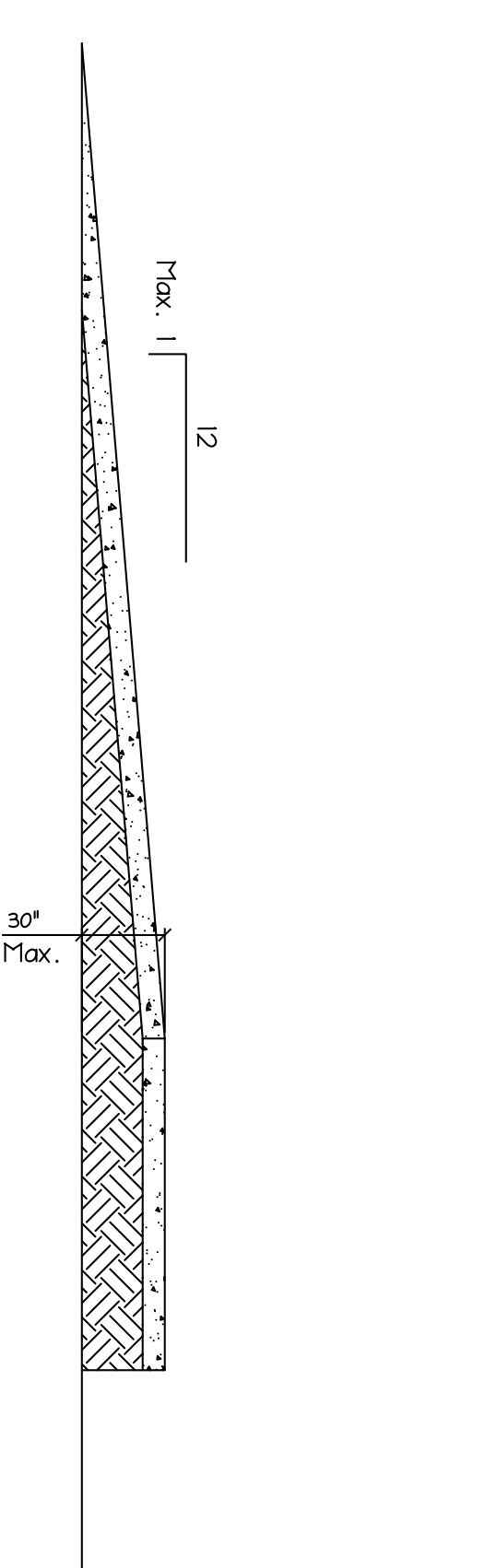
1576 FOREST AVE. PORTLAND, MAINE



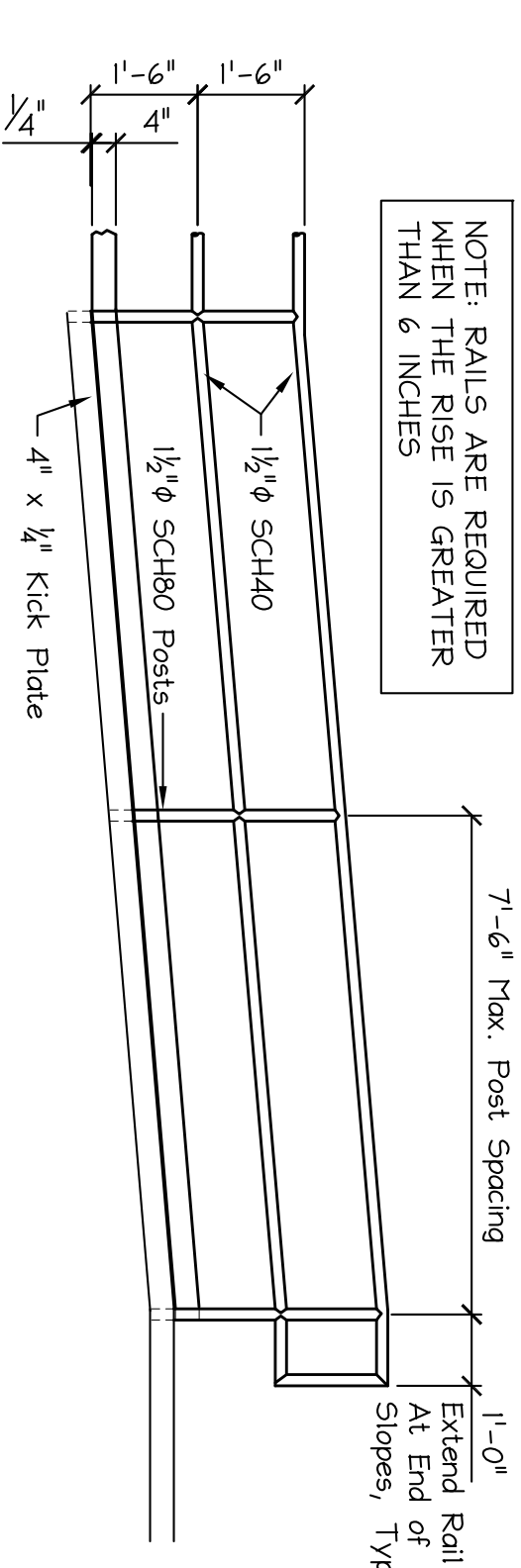
PLAN VIEW OF RAMP
scale: 3/8"=1'-0"



CROSS SECTION VIEW OF RAMP
scale: 3/8"=1'-0"



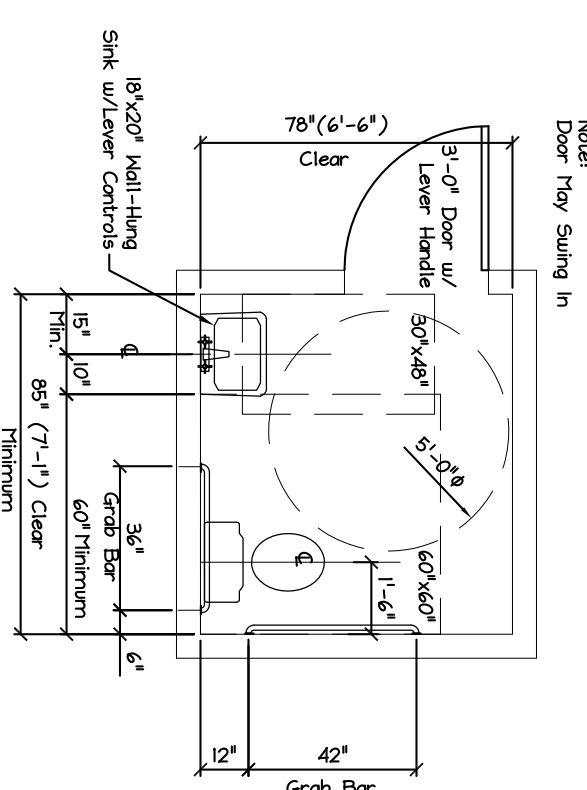
SECTION VIEW OF RAMP
scale: 3/8"=1'-0"



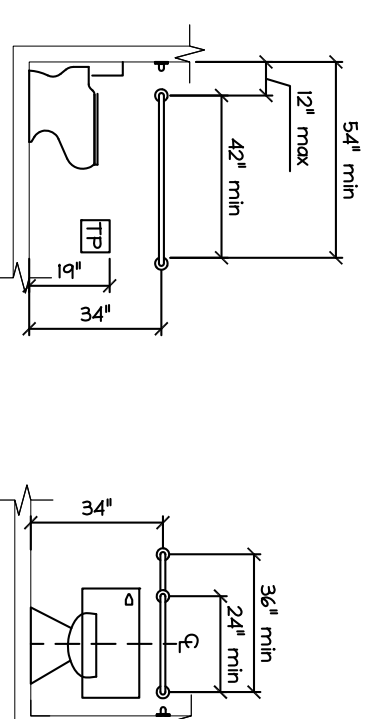
ELEVATION VIEW OF RAIL
scale: 3/8"=1'-0"

NOTE: RAILS ARE REQUIRED WHEN THE RISE IS GREATER THAN 6 INCHES

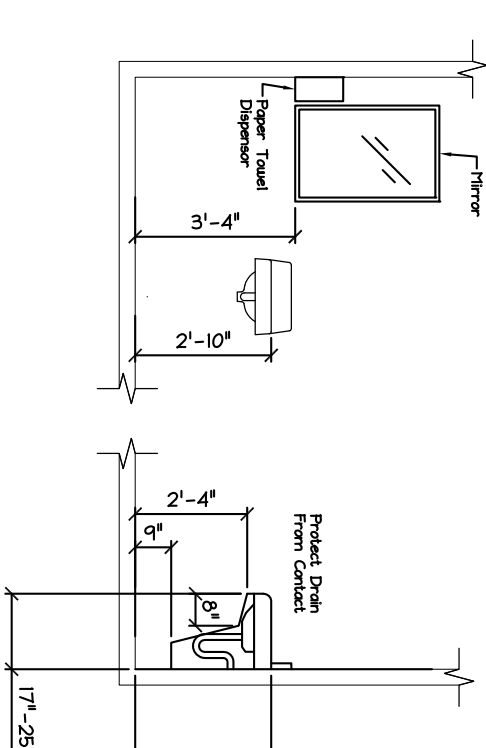
ACCESSIBLE RAMP DETAILS



SAMPLE LAYOUT # 1
FOR SINGLE USER TOILET ROOM
N.T.S.



ELEVATION DIMENSIONS
N.T.S.



ACCESSIBLE RESTROOM DETAILS
N.T.S.

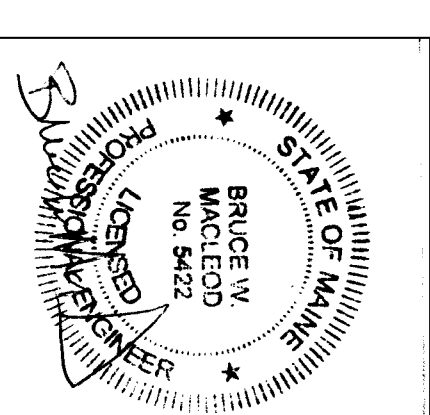
ISSUED FOR PERMIT 12/02/16
PLANS HAVE BEEN REVISED TO REMOVE ILLEGAL
4TH APARTMENT

DRAWING LIST

A01	COVER SHEET
A02	GENERAL NOTES
L91	FOUNDATION PLAN
L92	LIFE SAFETY PLAN
L93	FIRE BLOCKING/PENETRATION
A11	2ND FLOOR PLAN
A12	3RD FLOOR PLAN
A20	EDVATIONS
A21	BUILD SECTIONS
A30	BUILD SECTIONS
A32	BUILD SECTIONS
A33	BUILD SECTIONS
S01	NOTES
S11	FOUNDATION PLAN
S12	FOUNDATION PLAN
S20	FRAMING PLANS

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TITLE	Cover Sheet
DATE	10/25/16
DRAWN BY	BHW
SCALE	as noted
PROJ. NO.	2016-070
DRAWING NUMBER	A-01