City of Portland,		-					DERM 02 0431	AIT ISS	UED	CBL:	
389 Congress Street			, Fax: (207) 87					n2	298 D020001	
59 Commonwealth D	0	ner Name:	1 0			Owner Address: MAY 9 2002			Phone:		
Business Name:		njamin Rho			59 Commonwealth Dr		<u></u>	207-797-3292			
					Contractor Address F PORTLAND Phone Portland			Phone			
Lessee/Buyer's Name		contractor /	self								
Lessee/Buyer's Name	Pho	ne:			F	Permit '					Zone:
							tions - Dwe	llings			K-5
Past Use:		posed Use:			1	Permit		Cost of Wo		CEO District:	
single family	ere	ct 8'6 x 16'	deck wit	h stairs			\$30.00	\$7	50.00	1	
						FIRE I		Approved	INSPEC Use Gro	oup: R3 BCA 1	туре <u>5</u> В 999
Proposed Project Descript							v / / '			11	
erect 8' 6 x 16' deck w	ith stairs					1 -	gnature: TIM				
					P	PEDES	TRIAN ACT	IVITIES DIS	TRICT	P.A.D.)	
						Action:	Appro	ved Ap	proved w	Conditions	Denied
					1	Signatu	ire:	ĪV	/ ^K	Date:	
Permit Taken By:	Date Applied	For:					Zoning	g Approva	al		
jodinea	04/29/200)2			_						
1. This permit appli	cation does not prec	lude the	Spec	ial Zone o	or Reviews	s	Zoni	ng Appeal		Historic Prese	ervation
	n meeting applicable		🗌 Sho	reland			U Varianc	e		Not in Distric	t or Landmark
2. Building permits septic or electrica	do not include plum l work.	bing,	🗌 We	tland (*	/		Miscella	aneous		Does Not Req	uire Review
3. Building permits	are void if work is n		🗌 Flo			-	Conditie	ortal Use	/	Requires Revi	ew
within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work		🗌 Sut	livision			🗌 Interpre	ation 4		Approved		
			🗌 Site	Plan	-			ed		Approved w/C	Conditions
			Maj 🗌] Minor	MM	3	Denied			Denied	1
			Date:	5 8 0	12		Date:	. <u></u>	Da	ate: 5/8/0	02
										/ /	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

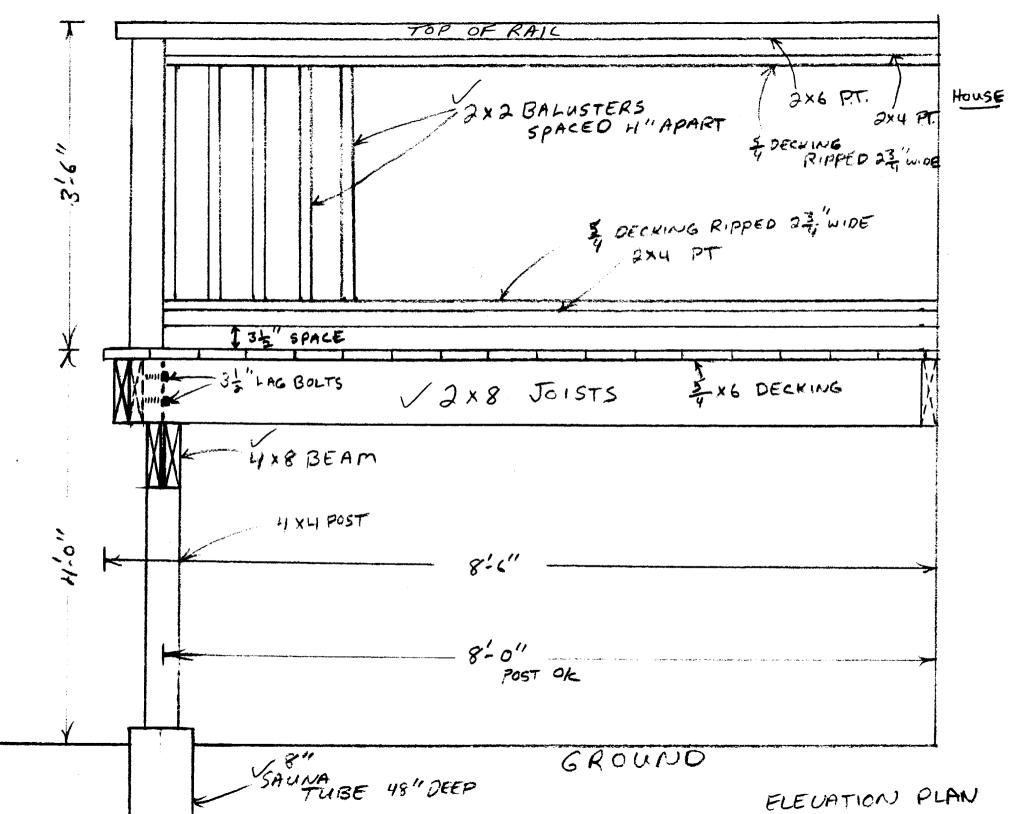
07-0431

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

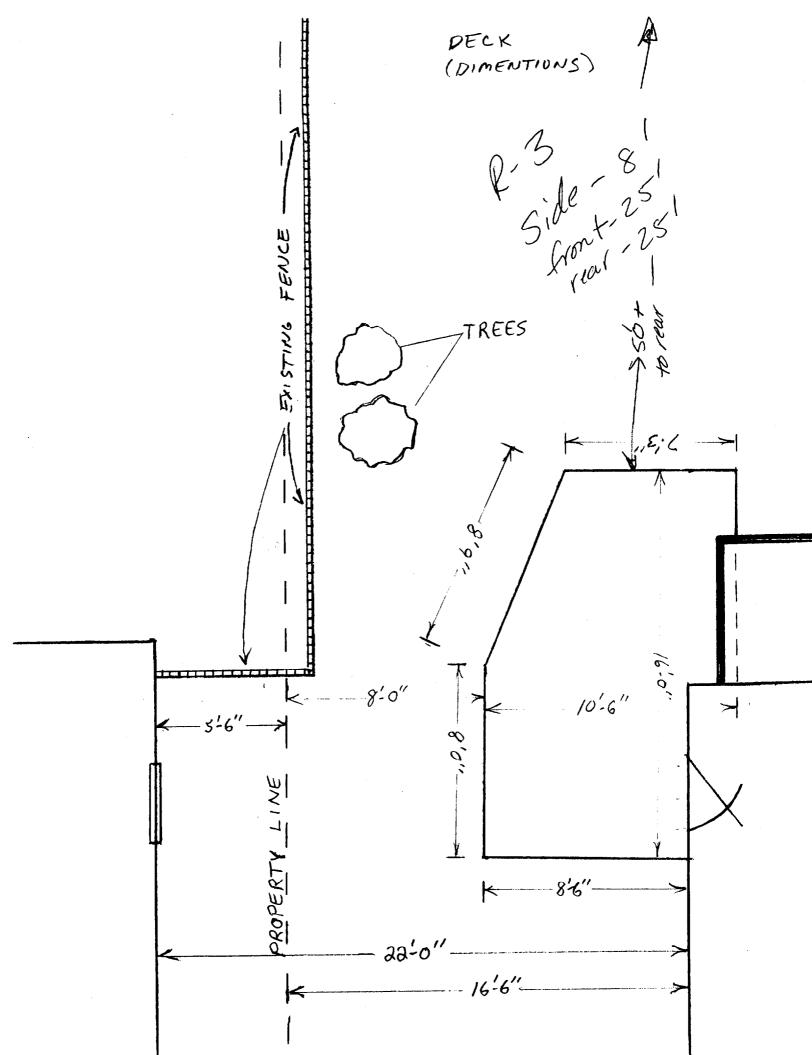
Location/Address of Construction: 59 EAS	T COMMON WEALTH	DRIVE
Total Square Footage of Proposed Structure 136 Sc. FT.	Square Footage of Lot 6054 Sc., FF	-
Tax Assessor's Chart, Block & Lot Owner: Chart# Block# Lot# 295 D 020	NA BENJAMIN	Telephone: 797-3292
	ant name, address & Co one: 59 E Commonwealth Drw Brfland, NE 04/03	ost Of ork: \$ <u>7.50.00</u> re: \$30.0()
Current use:		
If the location is currently vacant, what was prior u	\$6:	_
Approximately how long has it been vacant:		_
Proposed use: $8-6' \times 16$ OECA Project description:	۷	
Contractor's name, address & telephone: Jok Who should we contact when the permit is ready: <u>.</u> Mailing address:	- · · · · ·	Common WEALTH DR Portland ME. 04100
We will contact you by phone when the permit is r review the requirements before starting any work, and a \$100.00 fee if any work starts before the per	with a Plan Reviewer. A stop work	
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN T DENIED AT THE DISCRETION OF THE BUILDING/PLANNI INFORMATION IN ORDER TO APROVE THIS PERMIT.		
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signature of applicant: Anda 2 Bo	njamin Date: 4-29.	-02
This is NOT a permit, you may not com	nence ANY work until the pe	DEPT. OF BUILDING INCOMENT

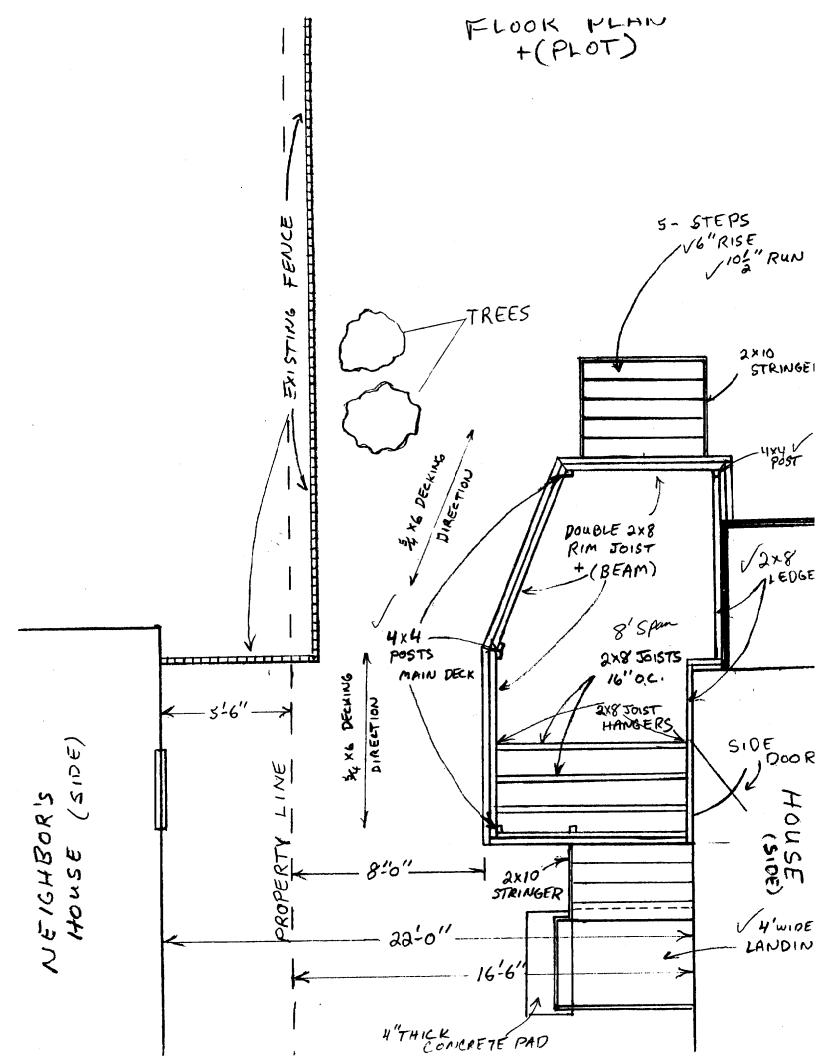
If you are in a Historic District you may be subject to additional permitting and tees with the Planning Department on the 4th floor of City Hall



	PSB/12512 FAL 201 174 3434 SIEVART TITLE SI PSB/12512 WARRANTY DEED Joint Tenancy Maine Statutory Short Form 36696
	Know all Men by these Presents,
	That we, Robert W. Becker and Deborah F. Becker,
	That we, Robert W. Becker and Deborah F. Becker,
	of Portland , County of Cumberland , State of Maine ,
	husband and wife bring supporting for consideration paid, grant to Paul F. Linner and Denise G. Linner,
	of Portland , County of Qumberland , State of Maine ,
	whose mailing address is 1550 Forest Avenue, Portland, Maine,
	with marranty constants as joint tenants the land in Portland , County of Cumberland ,
	State of Maine, described as follows: A certain lot or parcel of land with the buildings thereon situated on Common- wealth Drive, in the City of Portland, County of Camberland and State of Maine, and being lot no. 47 as shown on Plan of Homesood Acres Extension recorded in the Cumberland County Registry of Deeds in Plan Rock 44, Page 14, to which plan reference is hereby made for a more particular description.
	Being the same presides conveyed to the Grantors herein by dead of George A. MacPherson dated May 2, 1979 and recorded in the Cumberland County Registry of Deeds in Book 4414, Page 30.
	This conveyance is made subject to real estate taxes for the current tax year which the Grantees by acceptance of this deed hereby assume and agree to pay.
	And each
	HERRICE SECTION AND AND AND AND AND AND AND AND AND AN
	BRITINESS Our hands and scale this Fifth day of the month of October . 1983
	Signed, Bealed and Beltveres
	Lette M. Moralli Cahut W. Becker (toboth) Descher
	Deborch F. Becker Biste of Maine, County of Cumber Land as. October 5, 19 83
	Then personally appeared the above named Robert W. Becker
	and acknowledged the foregoing instrument to be his free act and deed.
	7 1983 Before me,
h GISTE E ceive B CE	at 3 #3 PADN, and recorded in Lydia Minorel Barrer Har Notary Public 291 PAGE 145 Journa Walker December 3, 1988 SEALD

ONLY FOR MORTGAGE LENDER USE CENERAL MOTES: (1) DESTINCTS SHOWN ARE TAKEN PROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS POLLOWS: A) DEELLING WAD ACCESSORY STRUCTURE'S COMPLANCE WITH RESPECT TO MUNICIPAL EXAMPLE AN OPINION AS POLLOWS: A) DEELLING WAD ACCESSORY STRUCTURE'S COMPLANCE WITH RESPECT TO MUNICIPAL EXAMPLESS OF ALL PRESENCE ISTANDARDS CURRENTS BY PORTEDITAL SCALING ON BELOW REFERENCED FRAME (3) FIRST INSPECTION EXCEPTED OF ALL PRESENCE STRUCTURES CURRENTS FOR PAINT BOY AND FOR PORTED FRAME AND POR PROPESSIONAL LAND SURVETORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LASTED LENDER, TITLE ATTORNET & TITLE INSURER AND SUBJED NOT BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS: (3) A BOUNDARY SURVETS SRUCIED BE FREMENCED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS; EASEMENTS, REGRTS OF WAY, ENCUMBRANCES, AND/DR ENCROACHMENTS; 59 E. COMMONNEALTH INSPECTION DATE: 10-2-01 ADDRESS: 1"=201 POFTLAND, ME SCALE: Loo't SHEP 46 40 1 41 60, σ آ) DWG DRIVE. 60't COMMONWEALTH E. SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY. NEW ENGLAND APPLICANT: BENJAMIN TITLE REQUESTING PARTY: ___ OWNER ATTORNEY: . 20110709 LENDER FIRST FINANCIAL ME . FILE No. YOUR FILE : A01-193 TITLE REFERENCES: DEED BOOK US PACE 145 NADEAU & LODGE, INC. 101: 47 PLAN BOOK 44 PAGE: _ PROFESSIONAL LAND SURVEYORS COUNTY: UN1B 918 BRIGHTON AFENUE FORTLAND, WE. OFIOR (207) 878-7870 232 CLARKS VOODS NOAD LIWAN, NE 04002 (207) 499-2358 MUNICIPAL REFERENCE: 20 MAP. 298 BLOCK D _ LOT: _ Waller Naeler THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY WAP No. 22022 PANEL: 0006 B. ZONE: ____ DATE: _____ THE DWELLING WAS THE IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION. COMMENTS: FELOMMEND BRUNDAPY SURVEY INSP. BY THIS IS NOT A BOUNDARY SURVEY – NOT FOR RECORDING





BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 871-8623 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before **any** site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspec	ction: Prior to pouring concrete
<u>M</u> Re-Bar Schedule Inspection:	Prior to pouring concrete
AAA Foundation Inspection:	Prior to placing ANY backfill
Framing/Rough Plumbing/Electr	ical: Prior to any insulating or drywalling
Final/Certificate of Occupancy:	Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

Sig nature of applicant/designee Date Signature of Inspections Official Daté CBL: 298 DODO Building Permit #: д.

389 Congress Stree					Address: MAY = 9	2002	Phone:	
59 Commonwealth I	Dr Benjami	n Rhonda S		59 Co	mmonwealth Dr		207-797-2	3292
Business Name:	Contractor	r Name:			tor Address F POF	RTLAND	Phone	
······································		actor / self		Portla				
Lessee/Buyer's Name	Phone:			Permit 7 Addit	Type: ions - Dwellings			Zone: R-3
Past Use:	Proposed	Use:		Permit	Fee: Cost of V	Vork: C	EO District:	1
single family	erect 8'6	x 16' deck wi	ith stairs		\$30.00	\$750.00	1	
	0	Α	1.	FIRE D	EPT: Approve	INSPEC	rion: 14: R3 30CA 1	туре5В 1959
Proposed Project Descrip	ption:	1. 0	10th		v / / ·		M.	
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	ene ()	OIN		IPEDES	I KIAN AU HIVI HES L		A.D.)	
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	Or of old	MAB		Action: Signatu	Approved	Approved with		Denied
Permit Taken By:	Date Applied For:	Jung B		Action:	Approved	Approved	onditions	Denied
Permit Taken By: jodinea	ption: with stairs Manual of Manual Of Date Applied For: 04/29/2002			Action: Signatu	Approved re: Zoning Appro	Approved vit	Date:	
jodinea 1. This permit app	Date Applied For: 04/29/2002 lication does not preclude to m meeting applicable State	he Spe	ecial Zone or R	Action: Signatu	Approved re:	Approved var oval	onditions	ervation
jodinea 1. This permit app Applicant(s) fro Federal Rules.	lication does not preclude t m meeting applicable State s do not include plumbing,	he Spe	cial Zone or R	Action: Signatu	Approved re: Zoning Appro	Approved var	Date: Historic Pres	ervation ct or Landmark
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3

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SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

8/22/02 oug Perm #02-0431 & amendment #02-0586 missfuled - Could not fend 1- 1st Encrete step has 9" Rise 2- stains red ster hendrado-

						PERA	IT ICCI	IED		
	y of Portland, Maine Congress Street, 04101	0			1	mit No: 02 0431	Issue Date.	7	CBL: 298 D0	20001
	tion of Construction:	Owner Name:				Address:	l¥ ≈ 9 200		Phone:	
59	Commonwealth Dr	Benjamin Rho	nda S		59 C	59 Commonwealth Dr			207-797-	3292
Busi	ness Name:	Contractor Name	:		Contractor Address - PORTLAN		AND	Phone		
		no contractor /	no contractor / self		Portland					
Less	ee/Buyer's Name	Phone:			Permit	t Type:				Zone:
					Add	itions - Dwe	llings			K-3
Past	Use:	Proposed Use:			Permi	it Fee:	Cost of Work	: (CEO District:	1
sing	gle family	erect 8'6 x 16'	deck with	n stairs		\$30.00	\$75	0.00	1	
					FIRE] Approved] Denied	INSPEC Use Gro	BCCA	туре:5В 1999
Prop	osed Project Description:					NII			11	
ere	ct 8' 6 x 16' deck with stair	S			Signat	7		Signatur		
					PEDE	STRIAN ACTI	VITIES DIST	RICT (P	.A.D.)	
					Action		ved Appr	IA	Conditions	Denied
Poru	nit Taken By:	Date Applied For:			Jigha					
	linea	04/29/2002				Zoning	g Approva			
<u> </u>	This permit application d		Speci	al Zone or Revie	ws	Zoni	ng Appeal		Historic Pres	servation
1.	Applicant(s) from meetin Federal Rules.		Shor	eland		Varianc	e	1	Not in Distri	ct or Landmark
2.	Building permits do not i septic or electrical work.	nclude plumbing,	Wet	land		Miscella	aneous		Does Not Re	quire Review
3.	Building permits are voic		Floo	d Zone	/	Condition	onal Use	2	Requires Rev	view
within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work		Subo	Subdivision		☐ Interpretation <			Approved		
			🗌 Site	Plan		Approv	ed	1	Approved w/	Conditions
			Maj 🗌	Minor MM		Denied			Denied	1-
			Date: 🥱	18/02		Date:		Da	nte: 5/8/	00
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

07-0431

All Purpose Building Permit Application

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Location/Address of Construction: 59	EAST	Common	WEALT	H	DRIV	E
Total Square Footage of Proposed Structure 136 54, FT.	re	Square Foota	age of Lot 5456.	FT.		
Tax Assessor's Chart, Block & Lot	Owner:		,	1	elephone:	
Chart# 295 D 020	RHond	A BENI	TAMIN	, .	797-32	92
Lessee/Buyer's Name (If Applicable)	Applicant telephone	name, address :59 E Comm Brtland,	onwealth	Cost Worl	Of «\$_ 750.	00
		-	-3292	Fee:	\$ 30.0	$\mathcal{O}(\mathcal{I})$
Current use:						
If the location is currently vacant, what wo	is prior use:					
Approximately how long has it been vaca	nt:					
Proposed use: <u>8-6'' × 16</u> Project description:						
Contractor's name, address & telephone:	John	Horton	SPER	157	Common	EALTROR
Who should we contact when the permit	is ready:	SAME O	n Ritona	A	Porta	04103
Mailing address:						
We will contact you by phone when the p review the requirements before starting ar and a \$100.00 fee if any work starts before	ny work, with	n a Plan Review	ver. A stop v	work or		ssued and
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.						
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Signature of applicant: Shanda d	Bon	ismin	Date: 4-	29-	02	F allosage
This is NOT a permit, you may no			ork until the		nif is issue	BTLAND MF
If you are in a Historic District you mo	ay be subj	ect to addition	onal perm	nitting		
Planning Depa	rtment on	the 4 th floor of	of City Ha	11	PIPE -	index and

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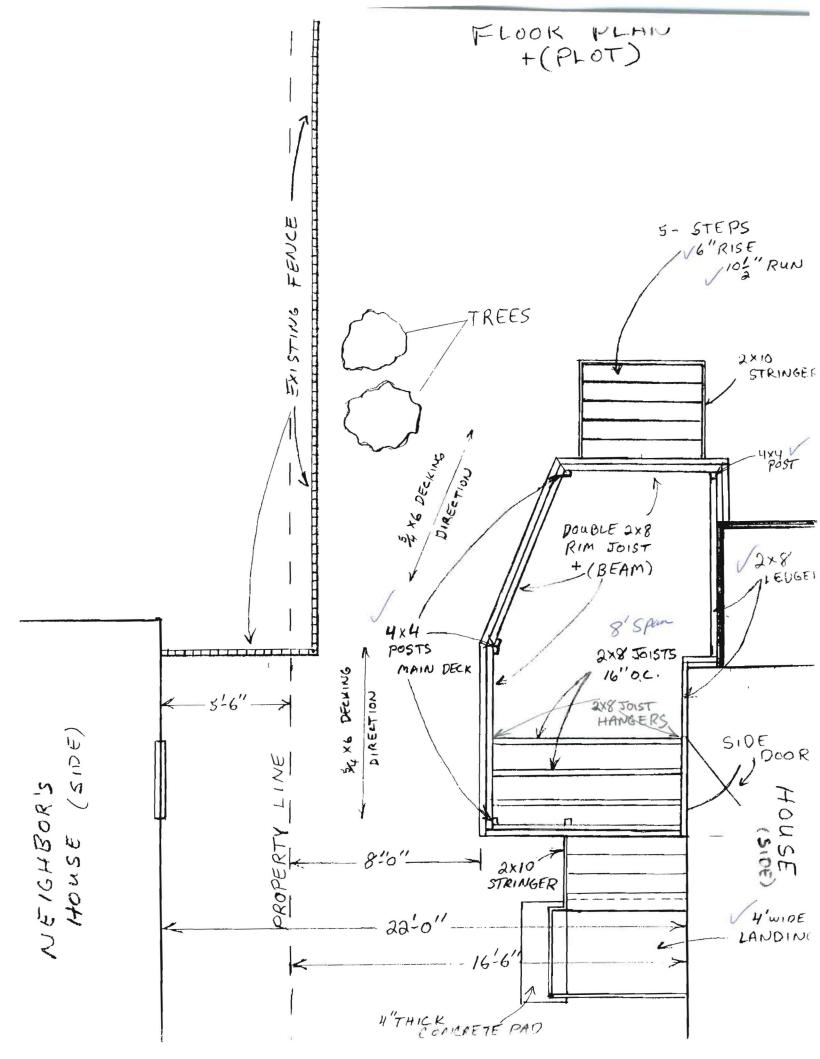
///// CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

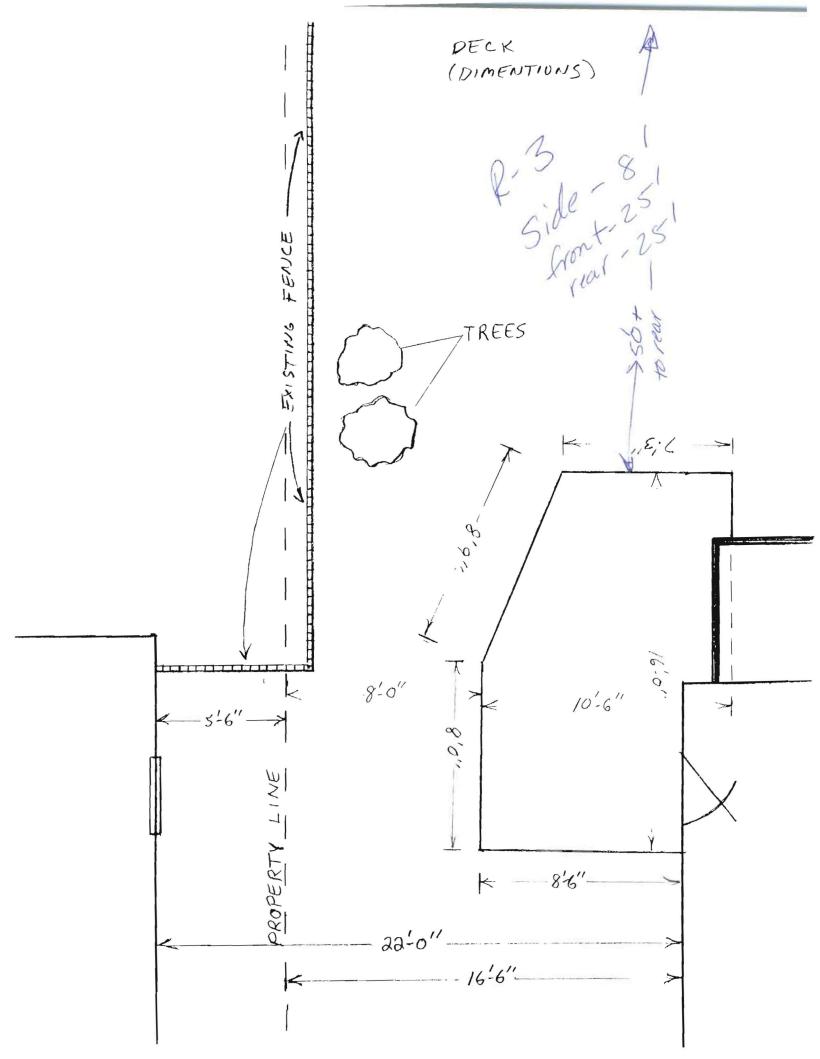
× bhand Hostor	
Signature of applicant/designee	Date / 9/02
Signature of Inspections Official	Date
CBL: <u>398 D 0 30</u> Building Permit #: _	070431

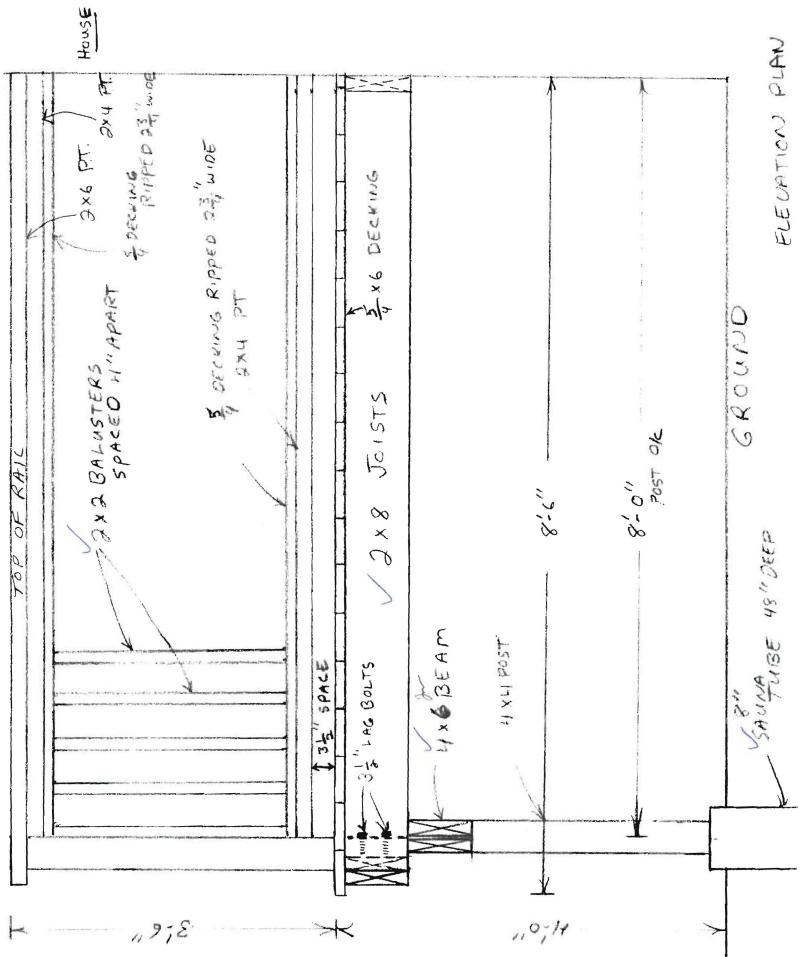
PSB/12512 WARR	NTY DEED	1	م
	Tenancy tory Short Form		
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What we, Robert W. Becker and	Deborah F. Backer,		1
of Portland . County	of Cumberland	. State of Maine	
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of Portland , County	of Cumberland	, State of Maine	
whose mailing address is 1550 Forest Aven	ue, Portland, Maine,		
with marranty commands as joint tenants the land	in Porcland	, County of Cumberland ,	
State of Maine, described as follows:			
A certain lot or parcel of land with t			
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Deeds in Book 4414, Page 30.			
This conveyance is made subject to rea which the Grantees by acceptance of th			
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And each	·	* -	
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mitness our hands and scale	this Fifth	day of the month of	
Withress our hands and coals October , 1983	this Fifth	day of the month of	
October , 19 83	this Fifth	day of the month of	
Oatober , 19 83. Signed, Sealed and Helwered	this Fifth	day of the month of	
October ,19 83	this Fifth	day of the month of	
Oatober , 19 83. Signed, Sealed and Belivered	this Fifth	day of the month of	
Oatober , 19 83 Signed, Sealed and Beiwered in presence of Collar M. Moralu Utobold	Kahut W. Becker Bobert W. Becker WCBMOJ. Deborah F. Becker	Elu- SuBeche-	
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Oatober , 19 83 Bigned, Sealed and Beiwered in presence of Acted M. Moralu Atoboth	Kahut W. Becker Bobert W. Becker WCBMOJ. Deborah F. Becker	Elu- SuBeche-	
Oatober , 19 83 Signed, Sealed and Helivered in presence of Mot all Mot all State of Maine, County of Then personally appeared the above named	Robert W. Becker Deborah F. Becker Deborah F. Becker serland BB. Od	JuBacher Stober 5, 19 83	
Oatober , 19 83 Signed, Sealed and Selivered in presence of Motol State of Maine, County of Then personally appeared the above named and acknowledged the foregoing instrument to be ~ 1002	Robert W. Becker Deborah F. Becker Deborah F. Becker Robert W. Becker	JuBacher Stober 5, 19 83	
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Oatober , 19 83 Signed, Sealed and Selfvered in presence of Mathematical State of Maine, County of Then personally appeared the above named and acknowledged the foregoing instrument to be CT 7 1983 Bef SISTE OF DEEDS COMBERLAND COUNTY, MATHEMATICAL	Kalust W. Becker Deborah F. Becker Deborah F. Becker Robert W. Becker his free act and de ore me, Marce 1 Massic States My COMM	JuBacher Stober 5, 19 83	

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FOR MORTGAGE LENDER USE ONLY CENERAL MOTES: (1) DISCAMCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOV. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLORS: A) DESLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL EQUIND SETELACES, AND B) FLOOD EONE DETERMINATION BY MORIZONTAL SCALING ON BELOV REFERENCED FRAM MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET PORTH BY STRUET ON BELOV REFERENCED FRAM MAP. FOR PROFESSIONAL LAND SURVEYORS, (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOV LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND SHOULD NOT BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (6) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OFINION PERTAINING TO BOUNDARY LINE LOCATIONS, RASEMENTS, RIGHTS OF WAY, ENCLMBERANCES, AND/DR ENCROACHMENTS. 59 E. COMMONNEALTH INSPECTION DATE: 10-2-01 ADDRESS: -1"=201 PORTLAND, ME SCALE: (001t SHEP 46 40 1 0 σ Õ DWG 57 DRIVE .----60'± COMMONWEALTH E. SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY. NEW ENGLAND APPLICANT: BENJAMIN REQUESTING PARTY: _______ OWNER: _ ATTORNEY: _ LENDER EIRGT FINANCIAL MEG FILE NO. 2011070 YOUR FILE #: A0 - 193 TITLE REFERENCES: DEED BOOK: 42 PACE: 145 PLAN BOOK: 44 PACE: 14 NADEAU & LODGE, INC. LOT: 47 PROFESSIONAL LAND SURVEYORS 918 BRIGHTON AVENUE PORTLAND, NE. 04102 (207) 878-7870 232 CLARKS WOODS ROAD LYMAN, ME 04002 (207) 499-2358 COUNTY: CNNB MUNICIPAL REFERENCE: NAP. 298 BLOCK D LOT. 20 Naeler THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 22005 PANEL: 2006 B ZONE: ____ DATE: _____ THE DWELLING WAS THE IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION, CONNENTS: RELOMMEND BOUNDARY SURVEY INSP. BY_ THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING







BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before **any** site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspec	tion: Prior to pouring concrete
MARE-Bar Schedule Inspection:	Prior to pouring concrete
A Foundation Inspection:	Prior to placing ANY backfill
Framing/Rough Plumbing/Electr	ical: Prior to any insulating or drywalling
Final/Certificate of Occupancy:	Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

inspection at this point.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

<u><u>MAC</u> CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED</u>

ture of applicant/designee Date gnature of Inspections Official 20 CBL: 298 D 0 20 Building Permit #:____ \bigcirc

07-0431

All Purpose Building Permit Application

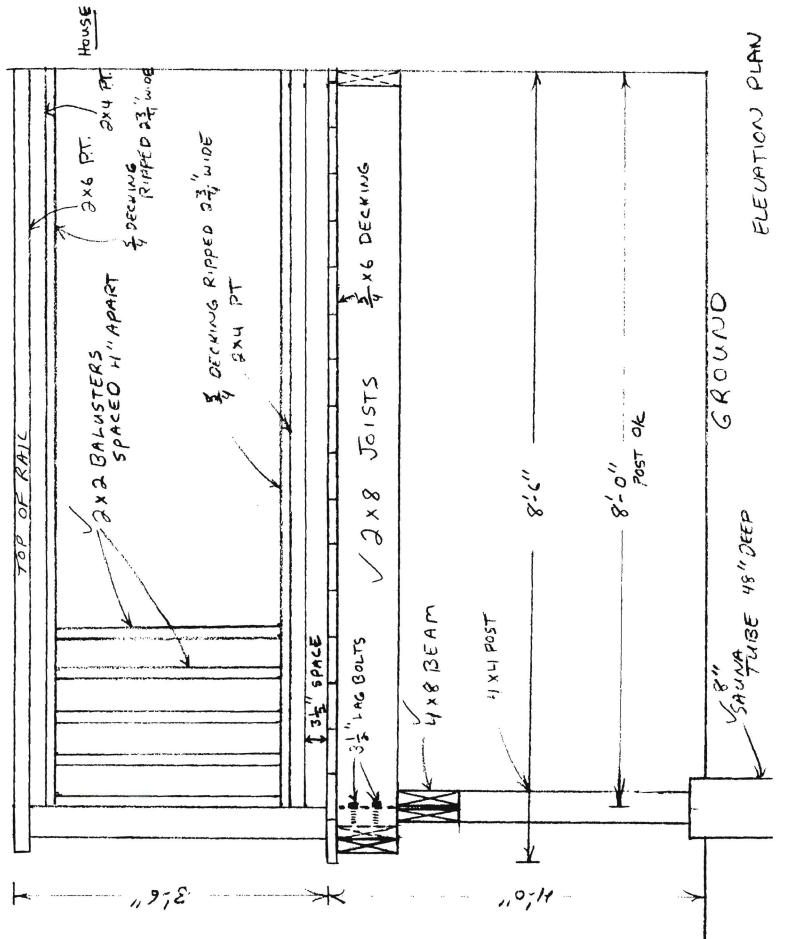
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 59	EAST	COMMON WEALTH	4 DRIVE
Total Square Footage of Proposed Structur	re	Square Footage of Lot	Gr
Tax Assessor's Chart, Block & Lot Chart# 295 D 020	Owner: RHord	DA BENJAMIN	Telephone: 797-3292
Lessee/Buyer's Name (If Applicable)	Applicant	name, address & :59 E Commonuealth Di Brtland, KE04/03 797-3292	Cost Of Work: \$_ <u>7.50.00</u> Fee: \$
Current use:			
If the location is currently vacant, what wa	s prior use:		
Proposed use: 8-6' × 16 Project description:	NECK		_
Contractor's name, address & telephone: Who should we contact when the permit i Malling address:	John s ready:	Horton 59 ETA	Portland ME. 1 04103
We will contact you by phone when the p review the requirements before starting an and a \$100.00 fee if any work starts before	ny work, with	a Plan Reviewer. A stop w	olck up the permit and control ork order will be issued control of the permit and control of the
IF THE REQUIRED INFORMATION IS NOT INCLU DENIED AT THE DISCRETION OF THE BUILDING INFORMATION IN ORDER TO APROVE THIS PE	/PLANNING		
I hereby certify that I am the Owner of record of the no	med property,	or that the owner of record author	rizes the proposed work and that I

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

signature of applicant: Shonda & Son	ismin	Date: 4	1-29-02	2	κ'n
This is NOT a permit, you may not comme		ork until	DEPT.	OF BUILDING INC.	
If you are in a Historic District you may be sub	lect to addit	ional ne	mitting and	teeswith the	
Planning Department on	the 4 th floor	of City H	Iall	APR 2 9	3.1
5				51 137 0 0	لأإنس
			-jŴ.	RELYE	

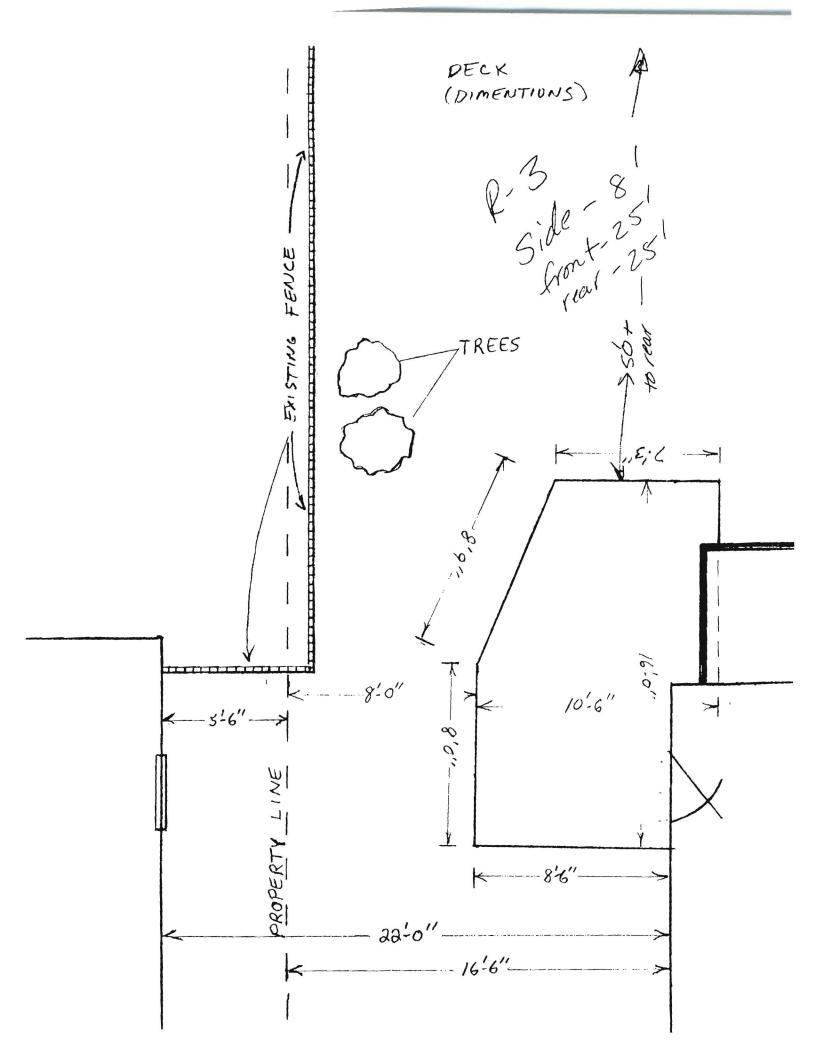
artment: Building	Sta	tus: Approved with	Approval Date	Mike Nugent
			Given On Date	
OK to Issue Permit Conditions Section:	Name	Mike Nugent	Date 08/22/200	2 Date 2
		Add New Condition From	Add New Condition	Delete Condition
Occupancy Load cannot exc	eed 50			

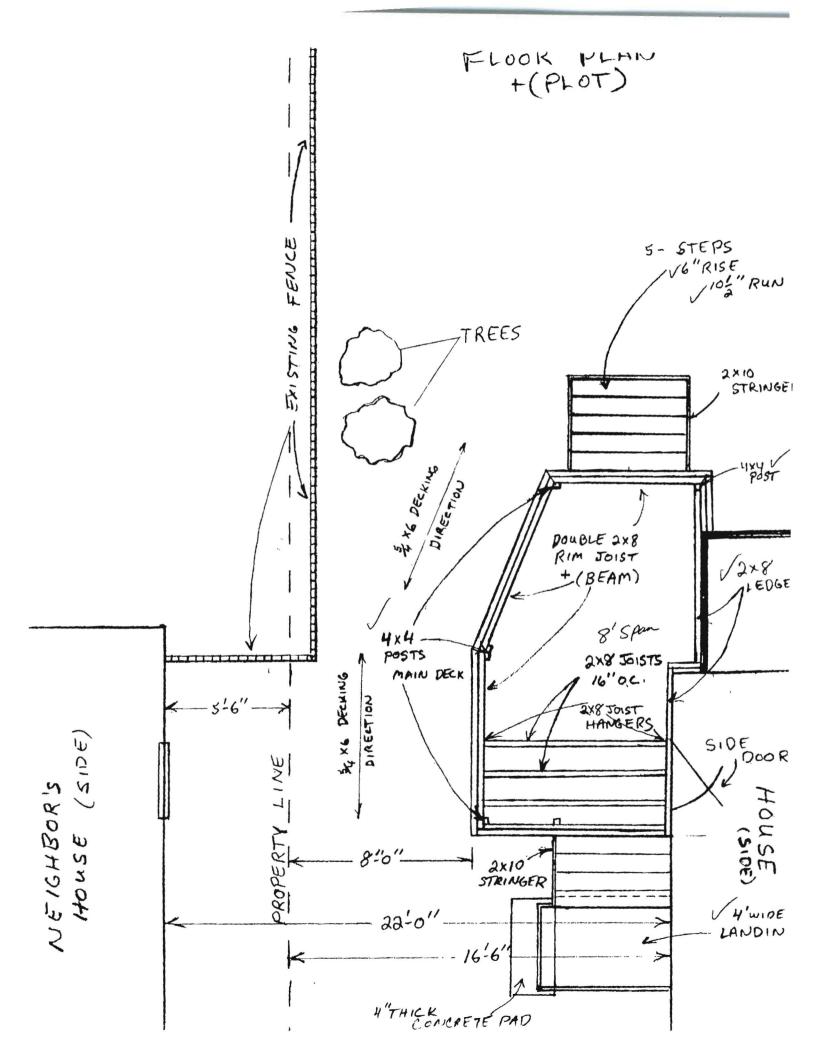


09/2	
	WARRANTY DEED Joint Tenanty
	Maine Statutory Short Form
	36696
•	Know all Men by these Presents,
]	
	That we, Robert W. Becker and Deborab F. Becker,
	of Portland , County of Gimberland , State of Maine ,
	bushand and wife bring management for consideration paid, grant to Paul F. Linner and Denise G. Linner,
	of Portland , County of Cumberland , State of Maine ,
	whose mailing address is 1550 Forest Avenue, Fortland, Maine,
i	
	with instructing conventition as joint tenants the land in Port Land , County of Cumber land
	State of Maine, described as follows:
	State of Prairie, desce add as religing;
	A certain lot or parcel of land with the buildings thereon situated on Common- wealth Drive, in the City of Portland, County of Cumberland and State of Maine, and being lot no. 47 as shown on Plan of Homsmood Acres Extension recorded in the Cumberland County Registry of Deeds in Plan Book 44, Page 14, to which plan reference is hereby made for a rore particular description.
	Being the same presides conveyed to the Grantons herein by deed of George A. MacPherson dated May 2, 1979 and recorded in the Cumberland County Registry of
	Deeds in Book 4414, Page 30. This conveyance is made subject to real estate taxes for the current tax year
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	Deeds in Book 4414, Page 30. This conveyance is made subject to real estate taxes for the current tax year which the Grantees by anceptance of this deed hereby assume and agree to pay. And each MODENT/SUBJECTION STREET, page 30. Mitters of this deed hereby assume and all other rights. Mitters out hands and seals this Fifth day of the month of October , 19 83.
	Deeds in Book 4414, Page 30. This conveyance is made subject to real estate taxes for the current tax year which the Grantees by acceptance of this deed hereby assume and agree to pay. And each indentifients Constant Sector and all other rights. With the Sector and all other rights. With the Sector and all other rights. Out hands and seal 6 this Fifth day of the month of Outober , 19 83 Bigued, Sealed and Beltures
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C ISTE sive	Deeds in Book 4414, Page 30. This conveyance is made subject to real estate taxes for the current tax year which the Grantees by anceptance of this deed hereby assume and agree to pay. And each Medentofartific and accels the deed hereby assume and all other rights. Miltips out hands and seal 6 the Fifth day of the month of October ,19 83 Superh, Sceleb and Briterres Market Miltips out hands and seal 6 the Signath, Sceleb and Briterres Market Miltips out hands and seal 6 the Signath, Sceleb and Briterres Market Miltips out hands and seal 6 the Signath, Sceleb and Briterres Market Miltips out hands and seal 6 the Signath, Sceleb and Briterres Market Miltips out hands and seal 6 the Signath, Sceleb and Briterres Market Miltips out hands and seal 7 the Signath of Signath, Sceleb and Briterres Market Miltips out for the Signath of Signat
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FOR MORTGAGE LENDER USE ONLY CANERAL MOTES: (1) DISTRINCES SHOWN ARE FAREN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO REINER AN OPINION AS FOLLOWS: A) DEBLING WIND ACCESSORT STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL BOARD SETERCES, AND B) FLOOD BOAR DEFERMINATION BY ROARDANLL SCALING ON BELOW REFERENCES FROM MAR (3) FIRST INSPECTION RETERFES DUT ALL FROMPOLIES INFORMATION BY ROARDANTL SCALING ON BELOW REFERENCES FROM MAR POR PROPESSIONAL LAND SUBFETORS. (4) FRIST INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LANDER, WITH ATTORNET A TITLE INSURE AND SUBFETORS. (4) FRIST INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LANDER, WITH ATTORNET A TITLE INSURE AND SUBJECT ON BE USED BY ANOTHER PARTY FOR BOUNDARY LINE BOCATIONS OR LAND TITLE OFMINIES. (6) A BOUNDARY SUBJECT OF BALLERON IS TO REFERE ANY FOR BOUNDARY LINE BOCATIONS OR LAND TITLE OFMINIES. (6) A BOUNDARY SUBJECT OF VAL. BERUCHED TO REVIEW A PROFESSIONAL OFMINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, REVETS OF VAL, ENCLUDERANCES, AND/OR ENCROACHMENTS. 59 E. COMMONNEALTH INSPECTION DATE: 10-2-01 ADDRESS: -PORTLAND, ME 1"=201 SCALS: Loo't SHEP 40 40 4 +1 60 σ Ó DWG DRIVE----60't E. COMMONWEALTH SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY. NEW ENGLAND APPLICANT: BENJAMIN REQUESTING PARTY: _____TITLE OWNER ATTORNEY: 20110709 LENDER FIRST FINANCIAL MEG_ FILE NO. ___ NOUR FILE A A01- 193 TITLE REFERENCES: DEED BOOK 1929 PACE 145 NADEAU & LODGE, INC. PLAN BOOK 44 PAGE: 14 COUNTY: LUNB LOT: 47 PROFESSIONAL LAND SURVEYORS SIA BRACHTON AVENUE FORTLAND WE OINS (807) 878-9890 838 CLARKS VOODS NOAD LIWAN NE 01008 (207) 198-2358 MUNICIPAL REFERENCE: WAR 298 BLOCK D LOT. 20 Noeler THE DURLING DOES NOT FALL WITHIN A SPECIAL FLOOD HARARD ZONE PER FEMA COMMUNITY WAP NO. 2200 PANEL: DOLE ZONE: ____ DATE: _____ THE DWELLING WAS THE IN COMPLIANCE WITH MUNICIPAL BONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION. CONVENTS: RELOMMEND BRUNDARY SURVEY INSP. BY_ THIS IS NOT A BOUNDARY SURVEY – NOT FOR RECORDING





CRATIAND
CITY OF PORTLAND, MAINE Department of Building Inspections
aprie 29 2002
Received from Rhanks, Benjamin-
Location of Work 59 E. Commany ently
Cost of Construction \$
Check #:334 Total Collected \$30,00
THIS IS NOT A PERMIT Source of the started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the