

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0431	Issue Date: MAY 9 2002	CBL: 298 D020001
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<b>Location of Construction:</b> 59 Commonwealth Dr	<b>Owner Name:</b> Benjamin Rhonda S	<b>Owner Address:</b> 59 Commonwealth Dr Portland	<b>Phone:</b> 207-797-3292
<b>Business Name:</b>	<b>Contractor Name:</b> no contractor / self	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	<b>Zone:</b> R-3

<b>Past Use:</b> single family	<b>Proposed Use:</b> erect 8'6 x 16' deck with stairs	<b>Permit Fee:</b> \$30.00	<b>Cost of Work:</b> \$750.00	<b>CEO District:</b> 1
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<b>Proposed Project Description:</b> erect 8' 6 x 16' deck with stairs	<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A Signature: _____	<b>INSPECTION:</b> Use Group: R3 Type: SB BOCA 1999 Signature: <i>T.M.</i>
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<b>Permit Taken By:</b> jodinea	<b>Date Applied For:</b> 04/29/2002	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/8/02	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied N/A Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 5/8/02
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

02-0431

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

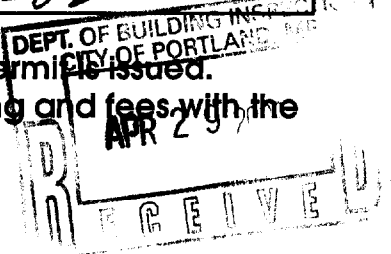
Location/Address of Construction: <u>59 EAST COMMONWEALTH DRIVE</u>		
Total Square Footage of Proposed Structure <u>136 Sq. FT.</u>	Square Footage of Lot <u>6054 Sq. FT.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>298</u> Block# <u>D</u> Lot# <u>020</u>	Owner: <u>RHONDA BENJAMIN</u>	Telephone: <u>797-3292</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>59 E Commonwealth Dr Portland, ME 04103 797-3292</u>	Cost Of Work: \$ <u>750.00</u> Fee: \$ <u>30.00</u>
Current use: <u>S/F</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>8'6" x 16 DECK</u>		
Project description: _____		
Contractor's name, address & telephone: <u>John Horton 59 EAST COMMONWEALTH DR Portland ME, 04103</u>		
Who should we contact when the permit is ready: <u>SAME as Rhonda</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-3292</u> <i>Call</i>		

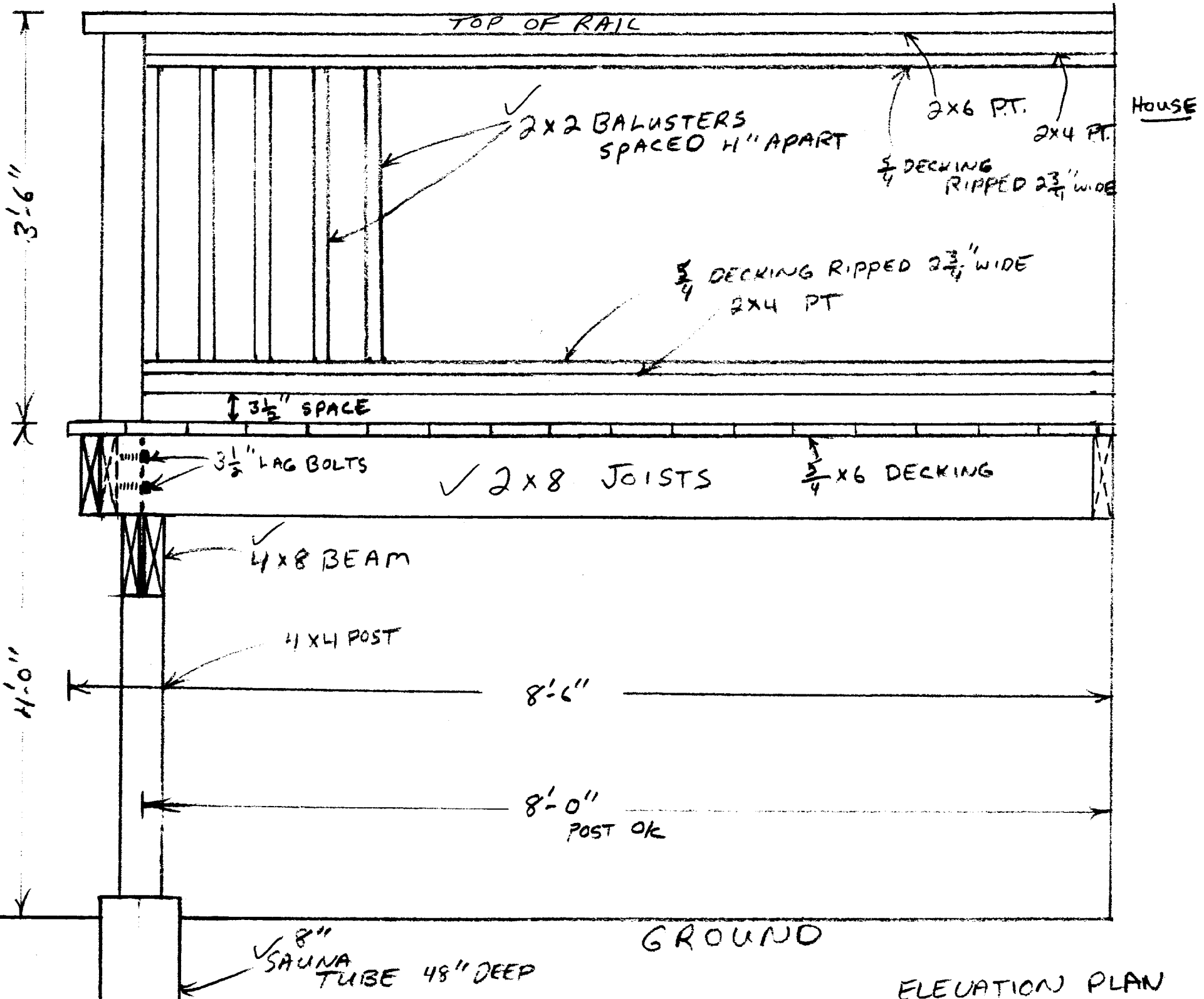
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

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Signature of applicant: <u>Rhonda Benjamin</u>	Date: <u>4-29-02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall





3'-6"

4'-0"

TOP OF RAIL

✓ 2x2 BALUSTERS  
SPACED 4" APART

2x6 P.T.

2x4 P.T.

5/4 DECKING  
RIPPED 2 3/4" WIDE

5/4 DECKING RIPPED 2 3/4" WIDE  
2x4 PT

3 1/2" SPACE

3 1/2" LAG BOLTS

✓ 2x8 JOISTS

5/4 x6 DECKING

✓ 4x8 BEAM

4x4 POST

8'-6"

8'-0"

POST OK

GROUND

✓ 8" SAUNA  
TUBE 48" DEEP

HOUSE

ELEVATION PLAN

WARRANTY DEED  
Joint Tenancy  
Maine Statutory Short Form  
36696

Know all Men by these Presents,

That we, Robert W. Becker and Deborah F. Becker,

of Portland, County of Cumberland, State of Maine  
husband and wife  
bring ~~severally~~ for consideration paid, grant to Paul F. Linner and Denise G. Linner,

of Portland, County of Cumberland, State of Maine  
whose mailing address is 1550 Forest Avenue, Portland, Maine,

with warranty ~~consents~~ as joint tenants the land in Portland, County of Cumberland,  
State of Maine, described as follows:

A certain lot or parcel of land with the buildings thereon situated on Commonwealth Drive, in the City of Portland, County of Cumberland and State of Maine, and being lot no. 47 as shown on Plan of Homewood Acres Extension recorded in the Cumberland County Registry of Deeds in Plan Book 44, Page 14, to which plan reference is hereby made for a more particular description.

Being the same premises conveyed to the Grantors herein by deed of George A. MacPherson dated May 2, 1979 and recorded in the Cumberland County Registry of Deeds in Book 4414, Page 30.

This conveyance is made subject to real estate taxes for the current tax year which the Grantees by acceptance of this deed hereby assume and agree to pay.

And each

~~personally~~ joins as grantor, and releases all rights by descent and all other rights.

Witness our hands and seals this Fifth day of the month of October, 19 83

Signed, Sealed and Delivered

in presence of

*Lydia M. Morelli* *Robert W. Becker*  
*(to both)* *Deborah F. Becker*  
Lydia M. Morelli  
Robert W. Becker  
Deborah F. Becker

State of Maine, County of Cumberland as. October 5, 19 83

Then personally appeared the above named Robert W. Becker

and acknowledged the foregoing instrument to be his free act and deed.

OCT 7 1983

Before me,

REGISTRY OF DEEDS CUMBERLAND COUNTY, MAINE  
Received at 3:38 PM, and recorded in  
BOOK 291 PAGE 145

*Lydia M. Morelli*  
Lydia M. Morelli  
Notary Public  
MY COMMISSION EXPIRES  
DECEMBER 8, 1988

*James J. Walsh*

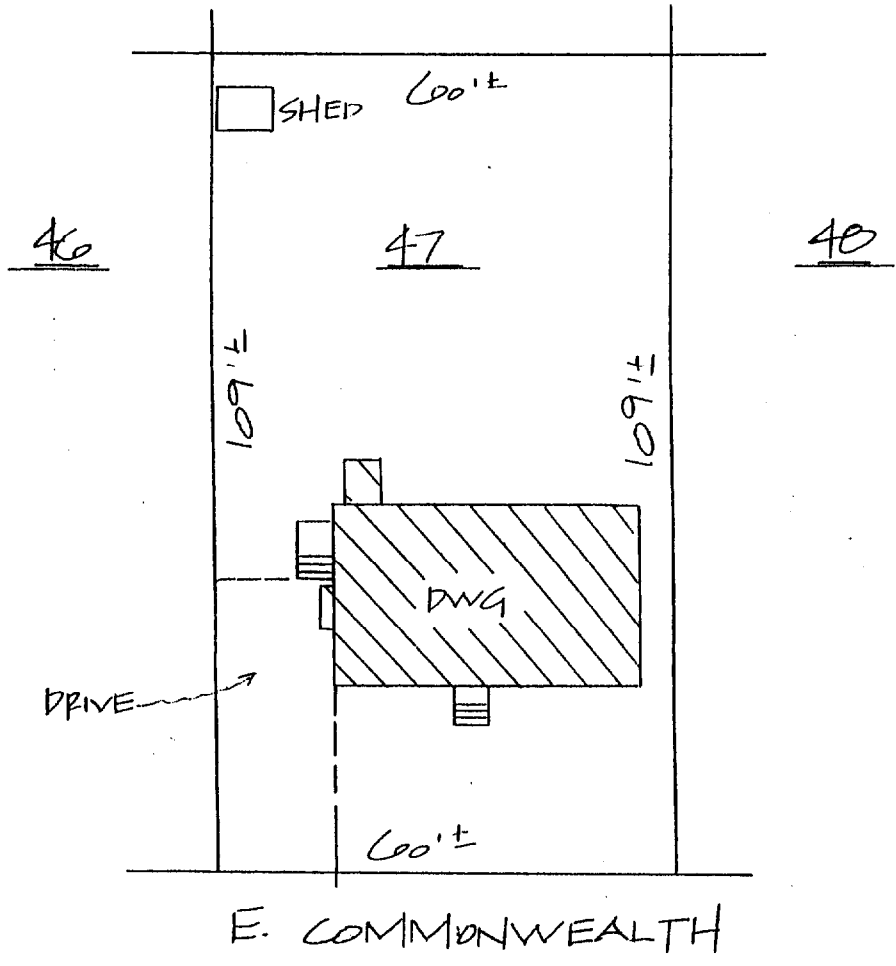
SEAL RB



# FOR MORTGAGE LENDER USE ONLY

**GENERAL NOTES:** (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL PHYSICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND SHOULD NOT BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, AND/OR ENCROACHMENTS.

ADDRESS: 59 E. COMMONWEALTH INSPECTION DATE: 12-2-21  
PORTLAND, ME SCALE: 1" = 20'



SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: BENJAMIN REQUESTING PARTY: NEW ENGLAND TITLE  
 OWNER: \_\_\_\_\_ ATTORNEY: \_\_\_\_\_  
 LENDER: FIRST FINANCIAL ME FILE No. 20110709

**TITLE REFERENCES:**  
 DEED BOOK: 1291 PAGE: 145  
 PLAN BOOK: 44 PAGE: 14 LOT: 47  
 COUNTY: CUMB

YOUR FILE #: A01-193

**NADEAU & LODGE, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 918 BRIGHTON AVENUE PORTLAND, ME 04108 (207) 878-9870  
 232 CLARKS WOODS ROAD LYMAN, ME 04002 (207) 499-2558

**MUNICIPAL REFERENCE:**  
 MAP: 29B BLOCK: D LOT: 20

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 2202E1  
 PANEL: 0002B ZONE: L DATE: 12-03-21

THE DWELLING WAS  IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS: RECOMMEND BOUNDARY SURVEY

James D. Nacler

INSP. BY: \_\_\_\_\_

**THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING**

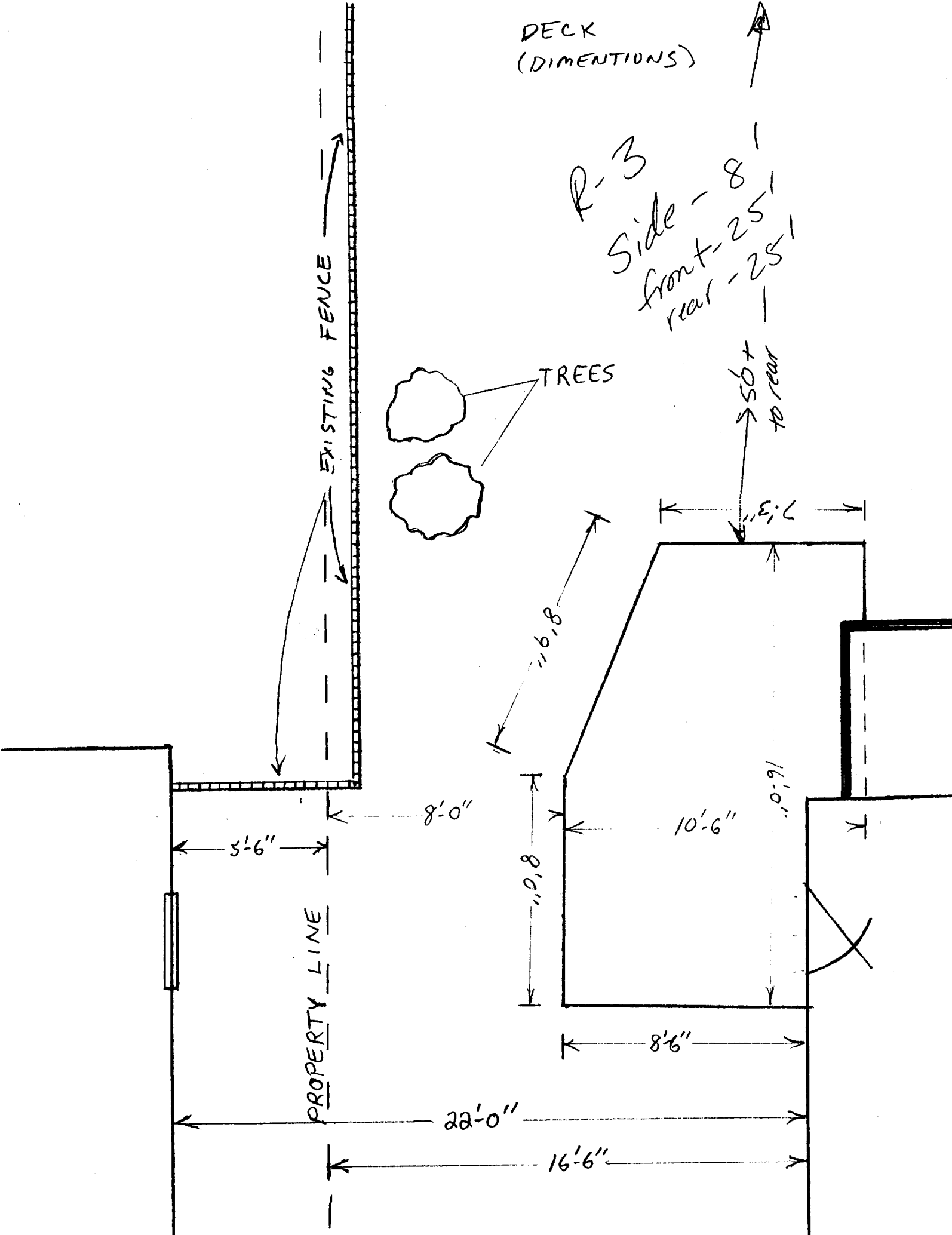
DECK  
(DIMENSIONS)

P-3  
Side - 8'  
front - 25'  
rear - 25'

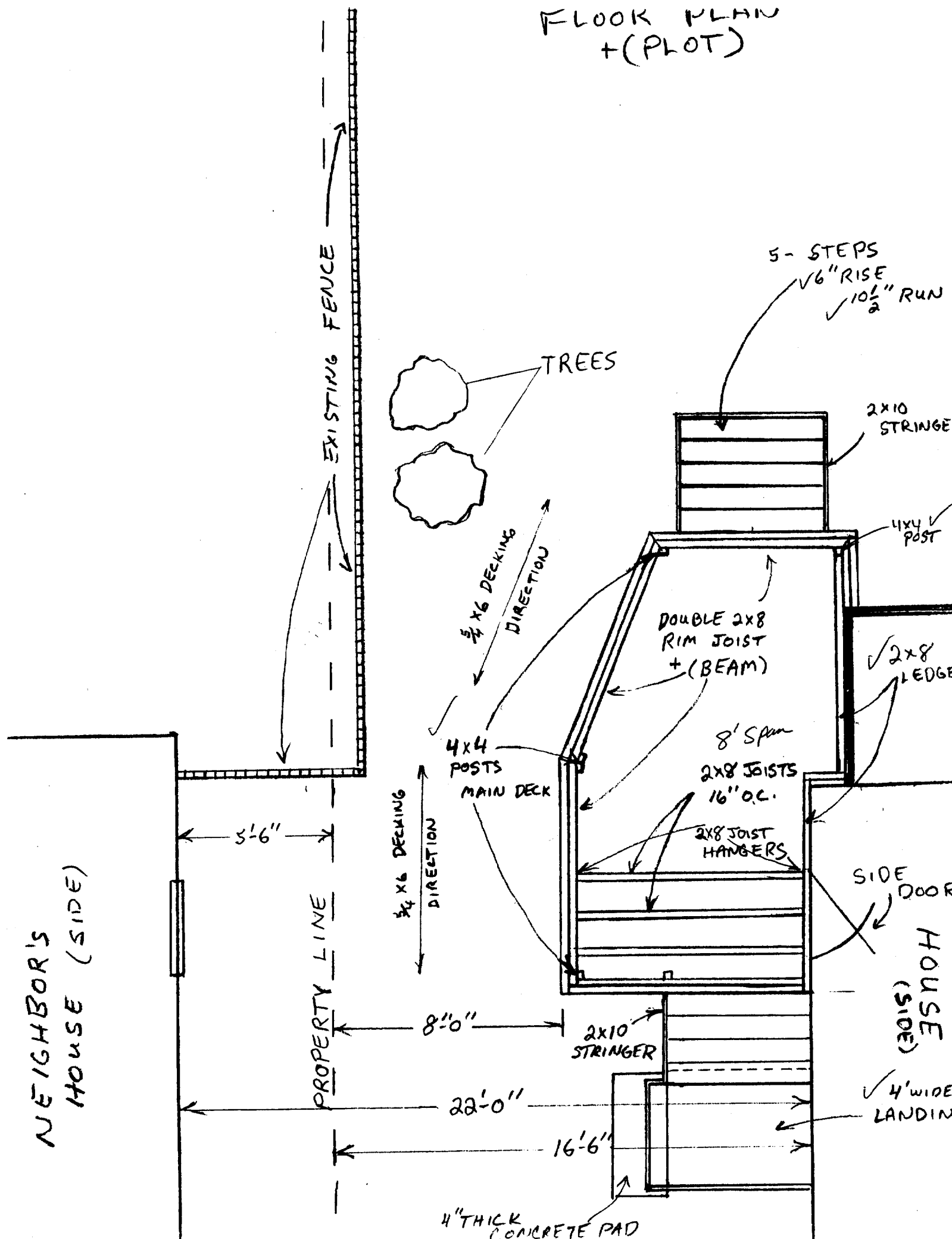
EXISTING FENCE

TREES

PROPERTY LINE



# FLOOR PLAN + (PLOT)



NEIGHBOR'S HOUSE (SIDE)

EXISTING FENCE

PROPERTY LINE

TREES

5/4 X 6 DECKING DIRECTION

3/4 X 6 DECKING DIRECTION

4x4 POSTS MAIN DECK

DOUBLE 2x8 RIM JOIST + (BEAM)

8' Span 2x8 JOISTS 16" O.C.

2x8 JOIST HANGERS

5- STEPS  
✓ 6" RISE  
✓ 10 1/2" RUN

2x10 STRINGER

4x4 POST

✓ 2x8 LEDGE

SIDE DOOR

HOUSE (SIDE)

✓ 4' WIDE LANDING

2x10 STRINGER

4" THICK CONCRETE PAD

5'-6"

8'-0"

22'-0"

16'-6"

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

**Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

**Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

N/A **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

*John L. Porter*  
Signature of applicant/designee

Date

*[Signature]*  
Signature of Inspections Official

5/9/02  
Date

CBL: 298 D 020 Building Permit #: 020431

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<div style="border: 2px solid black; padding: 5px; display: inline-block;"> <b>PERMIT ISSUED</b>                  02-0431                  MAY 9 2002                  CITY OF PORTLAND             </div>		Permit No: 02-0431 Issue Date: MAY 9 2002	CBL: 298 D020001
Location of Construction: 59 Commonwealth Dr	Owner Name: Benjamin Rhonda S	Owner Address: 59 Commonwealth Dr Portland	Phone: 207-797-3292
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3
Past Use: single family	Proposed Use: erect 8'6 x 16' deck with stairs	Permit Fee: \$30.00	Cost of Work: \$750.00
Proposed Project Description: erect 8'6 x 16' deck with stairs  <i>Amended by #02-0586 adding 8'6" to deck</i>		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>N/A</i>	INSPECTION: Use Group: <i>RS</i> Type: <i>SB</i> <i>BOCA 1999</i> Signature: <i>AM</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: <i>N/A</i> Date:	

Permit Taken By: jodinea	Date Applied For: 04/29/2002	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/8/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/8/02</i>	

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SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

8/22/02 reg perm #02-0431 & Amendment  
#02-0586 misspelled - could not find

- 1- 1st concrete step has 9" rise
- 2- stairs need steel handrails -

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389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0431	Issue Date: MAY 9 2002	CBL: 298 D020001
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Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

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02-0431

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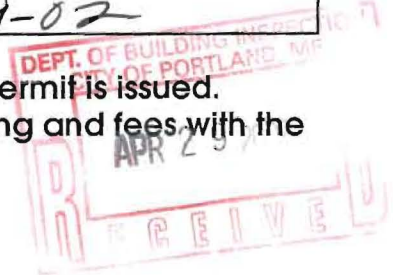
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Signature of applicant: <u>Rhonda Benjamin</u>	Date: <u>4-29-02</u>
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**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

X John H. Poston  
Signature of applicant/designee

Date 5/9/02

[Signature]  
Signature of Inspections Official

Date

CBL: 298 D 020 Building Permit #: 020431

WARRANTY DEED  
Joint Tenancy  
Maine Statutory Short Form

36696

Know all Men by these Presents,

That we, Robert W. Becker and Deborah F. Becker,

of Portland, County of Cumberland, State of Maine  
husband and wife  
bring ~~respective~~ for consideration paid, grant to Paul F. Limmer and Denise G. Limmer,

of Portland, County of Cumberland, State of Maine  
whose mailing address is 1550 Forest Avenue, Portland, Maine,

with warranty covenants as joint tenants the land in Portland, County of Cumberland,  
State of Maine, described as follows:

A certain lot or parcel of land with the buildings thereon situated on Commonwealth Drive, in the City of Portland, County of Cumberland and State of Maine, and being lot no. 47 as shown on Plan of Homewood Acres Extension recorded in the Cumberland County Registry of Deeds in Plan Book 44, Page 14, to which plan reference is hereby made for a more particular description.

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And each

~~has~~ joins as grantor, and releases all rights by descent and all other rights.

Witness our hands and seals this Fifth day of the month of  
October, 19 83

Signed, Sealed and Delivered

in presence of  
*Lydia M. Morelli* *Robert W. Becker*  
*(to bold)* *Deborah F. Becker*  
Lydia M. Morelli Notary Public  
Deborah F. Becker

State of Maine, County of Cumberland on October 5, 19 83

Then personally appeared the above named Robert W. Becker

and acknowledged the foregoing instrument to be his free act and deed.

OCT 7 1983

Before me,

REGISTRY OF DEEDS CUMBERLAND COUNTY, MAINE  
Received at 3:38 PM, and recorded in  
BOOK 4291 PAGE 145

*Lydia M. Morelli*  
Lydia M. Morelli Notary Public  
MY COMMISSION EXPIRES  
DECEMBER 3, 1989

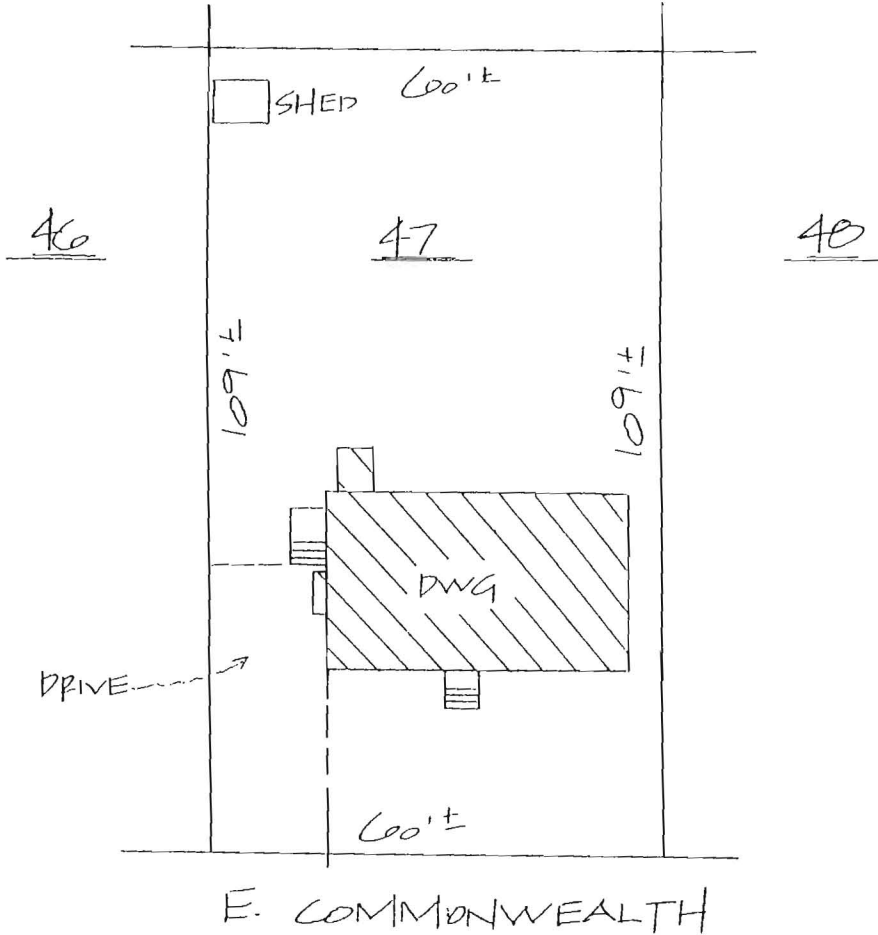
*James J. Walsh*

SEAL  
*RB*

# FOR MORTGAGE LENDER USE ONLY

**GENERAL NOTES:** (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS; AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND SHOULD NOT BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, BASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, AND/OR ENCROACHMENTS.

ADDRESS: 59 E. COMMONWEALTH INSPECTION DATE: 10-2-01  
PORTLAND, ME SCALE: 1" = 20'



SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: BENJAMIN REQUESTING PARTY: NEW ENGLAND TITLE  
 OWNER: \_\_\_\_\_ ATTORNEY: \_\_\_\_\_  
 LENDER: FIRST FINANCIAL MFG FILE NO. 20110709

TITLE REFERENCES:  
 DEED BOOK: 6291 PAGE: 146  
 PLAN BOOK: 44 PAGE: 14 LOT: 47  
 COUNTY: CUMB

YOUR FILE #: A01-193

**NADEAU & LODGE, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 918 BRIGHTON AVENUE 232 CLARKS WOODS ROAD  
 PORTLAND, ME 04102 LYMAN, ME 04002  
 (207) 878-7870 (207) 499-2358

MUNICIPAL REFERENCE:  
 MAP: 29B BLOCK: D LOT: 20

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 23022  
 PANEL: 0006B ZONE: C DATE: 12-13-01

THE DWELLING WAS  IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS: RECOMMEND BOUNDARY SURVEY

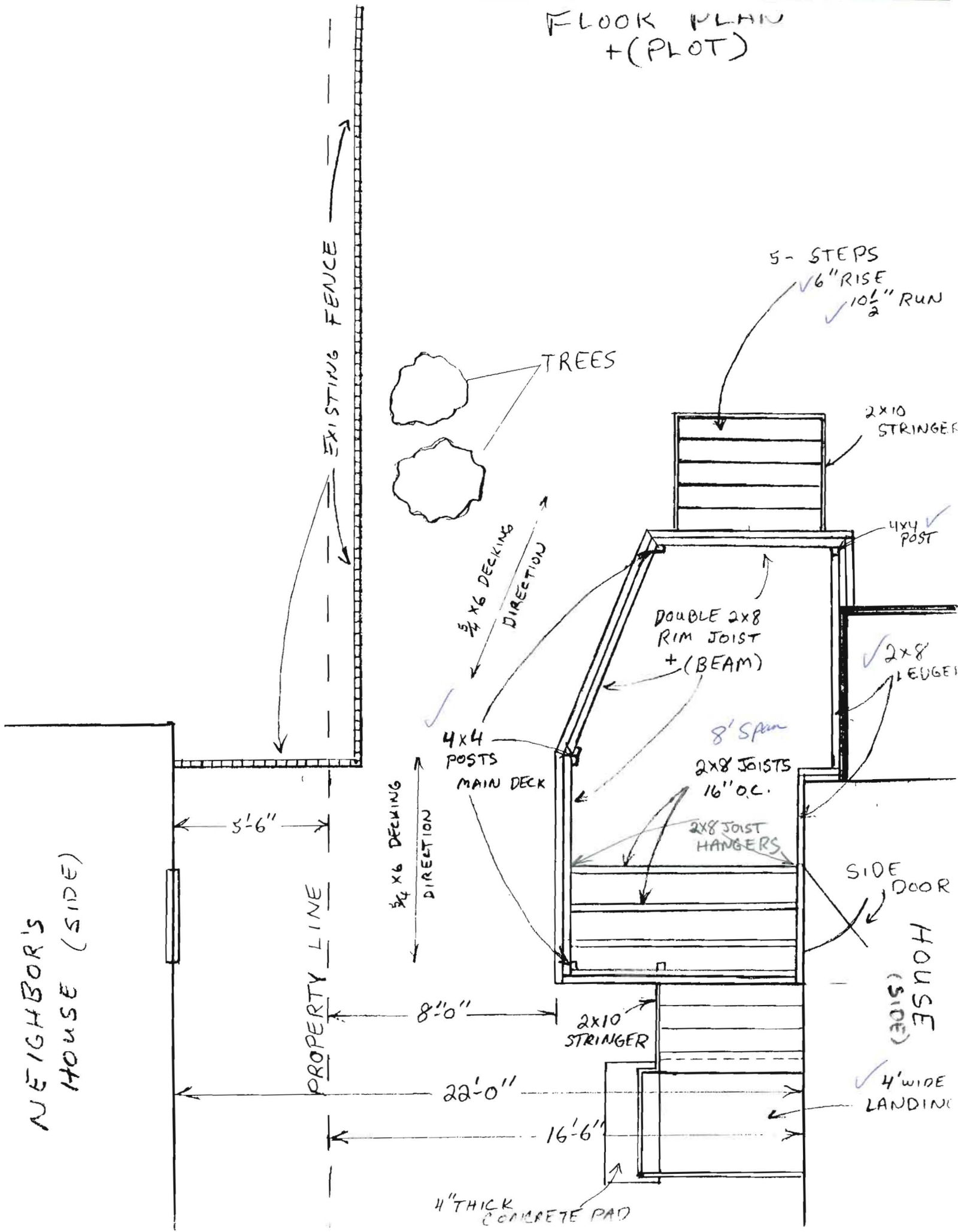
James D. Naeder

INSP. BY \_\_\_\_\_

**THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING**



# FLOOR PLAN + (PLOT)



DECK  
(DIMENSIONS)

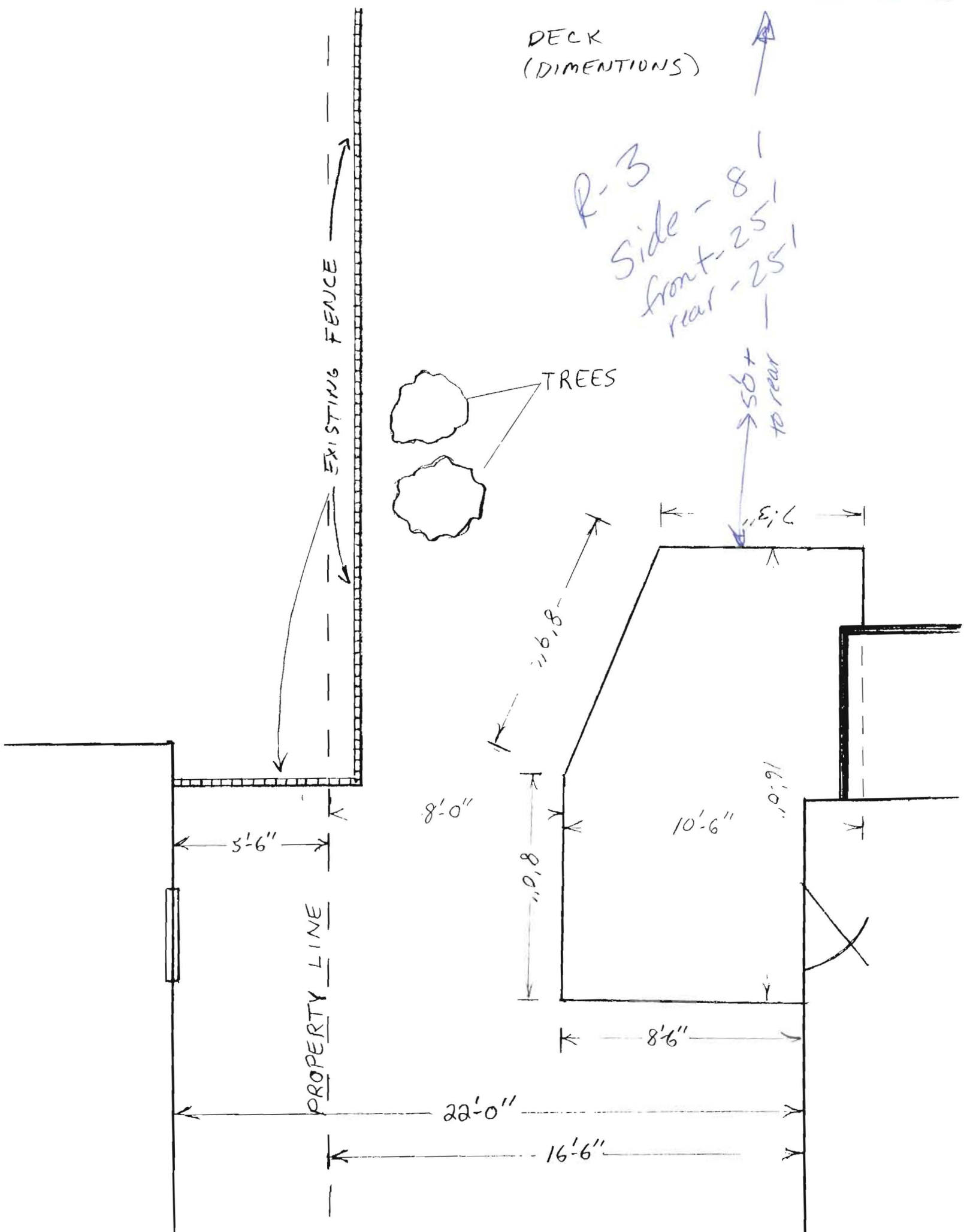
R-3  
Side - 8'  
front - 25'  
rear - 25'

50' +  
to rear

EXISTING FENCE

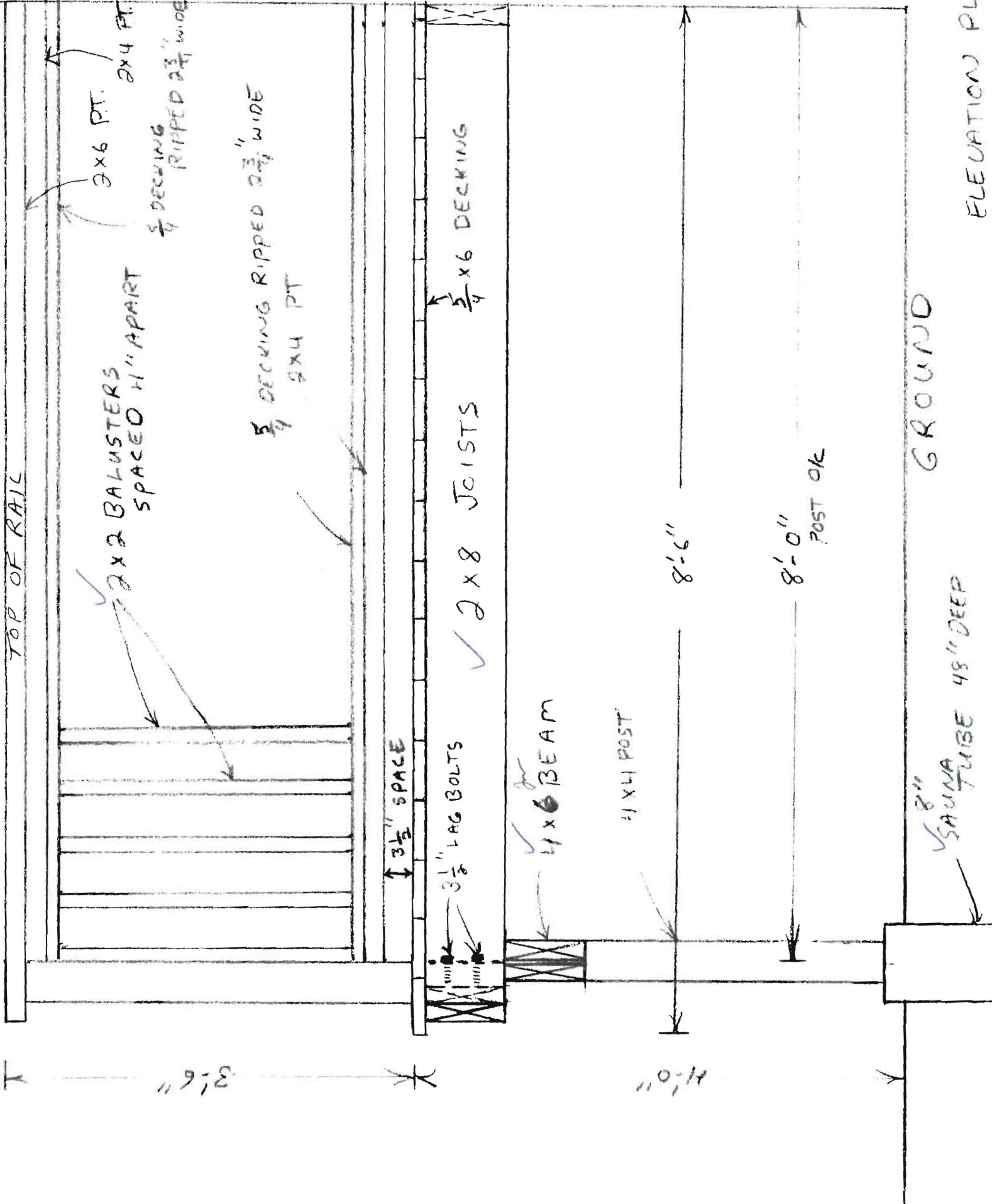
TREES

PROPERTY LINE



HOUSE

TOP OF RAIL



ELEVATION PLAN

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

**Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

**Footing/Building Location Inspection:** Prior to pouring concrete

**Re-Bar Schedule Inspection:** Prior to pouring concrete

**Foundation Inspection:** Prior to placing ANY backfill

**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

*John A. Porter*  
Signature of applicant/designee

Date

5/9/02

*[Signature]*  
Signature of Inspections Official

Date

CBL: 298 D 020 Building Permit #: 020431



02-0431

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

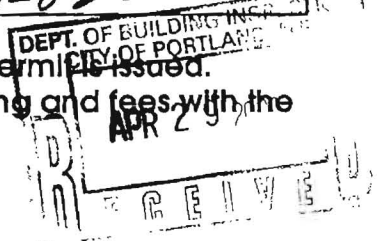
Location/Address of Construction: <u>59 EAST COMMONWEALTH DRIVE</u>		
Total Square Footage of Proposed Structure <u>136 sq. FT.</u>	Square Footage of Lot <u>6054 sq. FT.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>298</u> Block# <u>D</u> Lot# <u>020</u>	Owner: <u>RHONDA BENJAMIN</u>	Telephone: <u>797-3292</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>59 E Commonwealth Dr Portland, ME 04103 797-3292</u>	Cost Of Work: \$ <u>750.00</u> Fee: \$ <u>30.00</u>
Current use: <u>S/F</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>8'-6" x 16 DECK</u>		
Project description: _____		
Contractor's name, address & telephone: <u>John Horton 59 EAST COMMONWEALTH DR Portland ME 04103</u>		
Who should we contact when the permit is ready: <u>SAME as Rhonda</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-3292</u> <i>Call</i>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Rhonda Benjamin</u>	Date: <u>4-29-02</u>
--	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





Application ID Number:

Department:

Status:

Reviewer:

Comments:

Approval Date:

Given On Date:

OK to Issue Permit

Name:

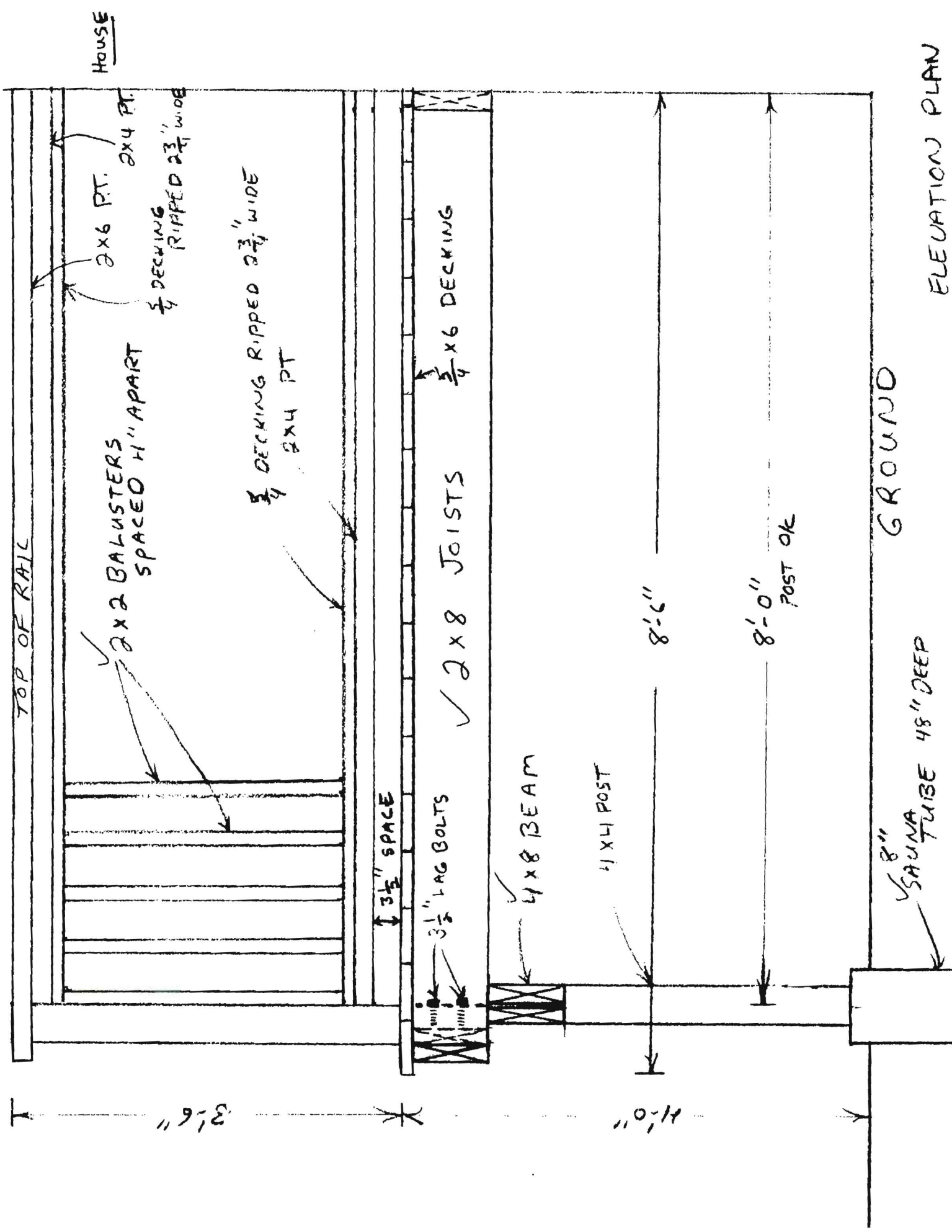
Date:

Date 2:

Conditions Section:

Create Date:  By:

Update Date:  By:



WARRANTY DEED  
Joint Tenancy  
Maine Statutory Short Form  
36696

**Know all Men by these Presents,**

**That** we, Robert W. Becker and Deborah F. Becker,

of Portland, County of Cumberland, State of Maine  
husband and wife  
bring ~~severally~~ for consideration paid, grant to Paul F. Limer and Denise G. Limer,

of Portland, County of Cumberland, State of Maine  
whose mailing address is 1550 Forest Avenue, Portland, Maine,

with ~~warranty~~ ~~severally~~ as joint tenants the land in Portland, County of Cumberland  
State of Maine, described as follows:

A certain lot or parcel of land with the buildings thereon situated on Commonwealth Drive, in the City of Portland, County of Cumberland and State of Maine, and being lot no. 47 as shown on Plan of Homewood Acres Extension recorded in the Cumberland County Registry of Deeds in Plan Book 44, Page 14, to which plan reference is hereby made for a more particular description.

Being the same premises conveyed to the Grantors herein by deed of George A. MacPherson dated May 2, 1979 and recorded in the Cumberland County Registry of Deeds in Book 4414, Page 30.

This conveyance is made subject to real estate taxes for the current tax year which the Grantees by acceptance of this deed hereby assume and agree to pay.

**And** each

~~severally~~ joins as grantor, and releases all rights by descent and all other rights.

**Witness** our hands and seals this Fifth day of the month of  
October, 19 83

**Signed, Sealed and Delivered**

in presence of

*Lydia M. Moralli* *Robert W. Becker*  
*(to both)* *Deborah F. Becker*  
Lydia M. Moralli Notary Public  
Deborah F. Becker

State of Maine, County of Cumberland as. October 5, 19 83

Then personally appeared the above named Robert W. Becker

and acknowledged the foregoing instrument to be his free act and deed.

OCT 7 1983

Before me,

REGISTRY OF DEEDS CUMBERLAND COUNTY, MAINE  
Received at 3:53 PM, and recorded in  
BOOK 6291 PAGE 145

*Lydia M. Moralli*  
Lydia M. Moralli Notary Public  
MY COMMISSION EXPIRES  
DECEMBER 3, 1988

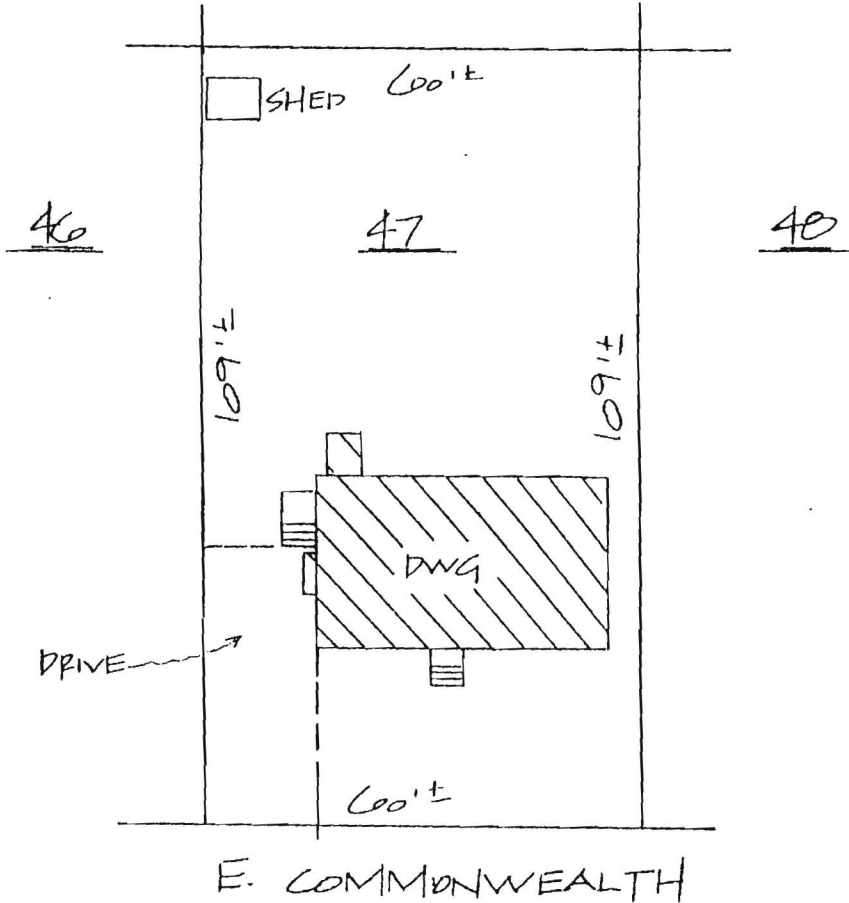
*James J. Walsh*

SEAL *JB*

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PORTLAND, ME SCALE: 1" = 20'



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 OWNER: \_\_\_\_\_ ATTORNEY: \_\_\_\_\_  
 LENDER: FIRST FINANCIAL ME FILE NO. 20110709

**TITLE REFERENCES:**  
 DEED BOOK: 6291 PAGE: 145  
 PLAN BOOK: 44 PAGE: 14 LOT: 47  
 COUNTY: CUMB

YOUR FILE #: A01-193

**NADEAU & LODGE, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 916 BRIGHTON AVENUE 338 CLARKS FOODS ROAD  
 PORTLAND, ME 04102 LYNN, ME 04002  
 (207) 878-9870 (207) 498-8558

**MUNICIPAL REFERENCE:**  
 MAP: 29B BLOCK: D LOT: 20

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 2202E PANEL: 2002-B ZONE: L DATE: 12-2-01

THE DWELLING WAS  IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS: RECOMMEND BOUNDARY SURVEY

James D. Nacler

INSP. BY \_\_\_\_\_

**THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING**



DECK  
(DIMENSIONS)



R-3

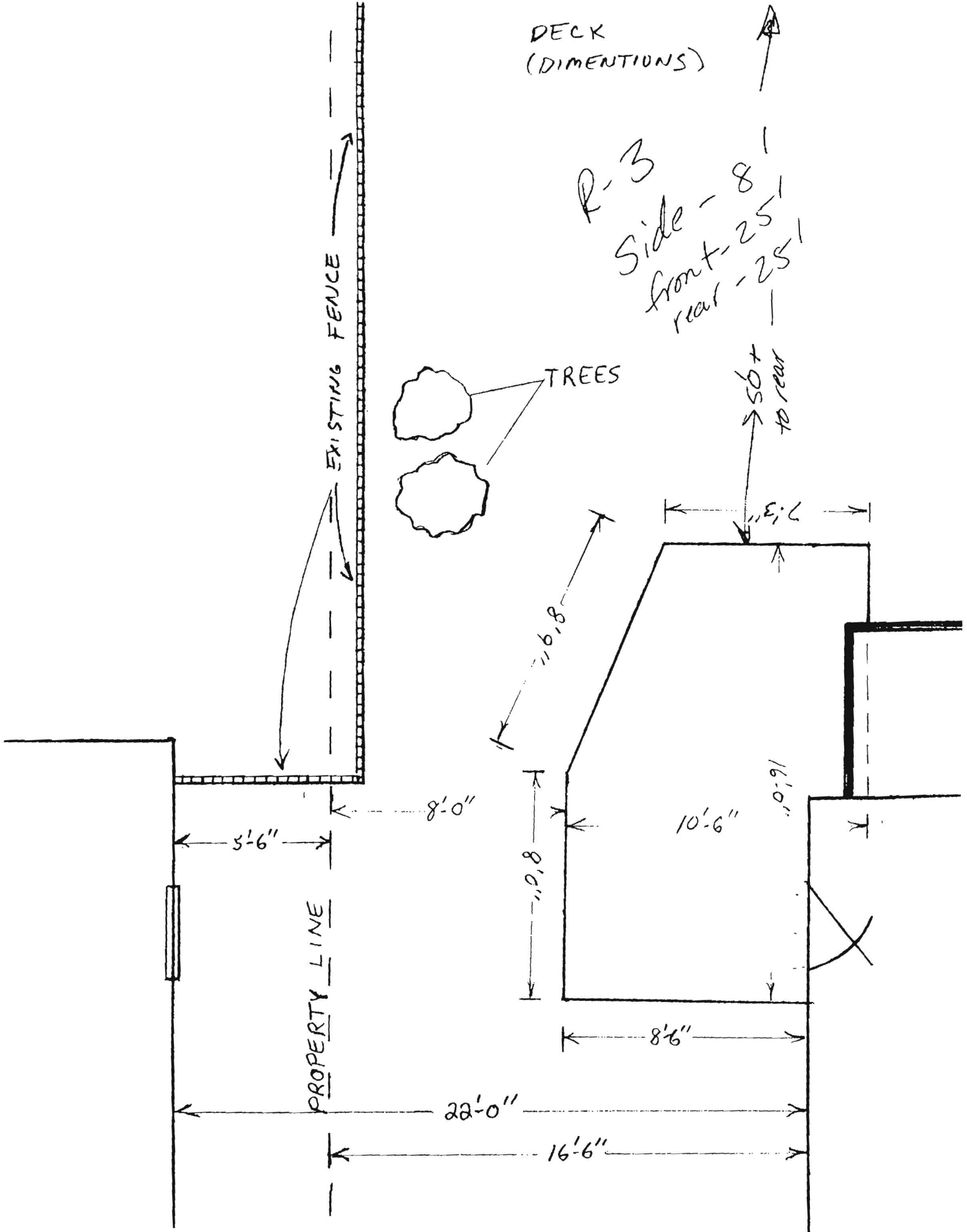
Side - 8'  
front - 25'  
rear - 25'

EXISTING FENCE

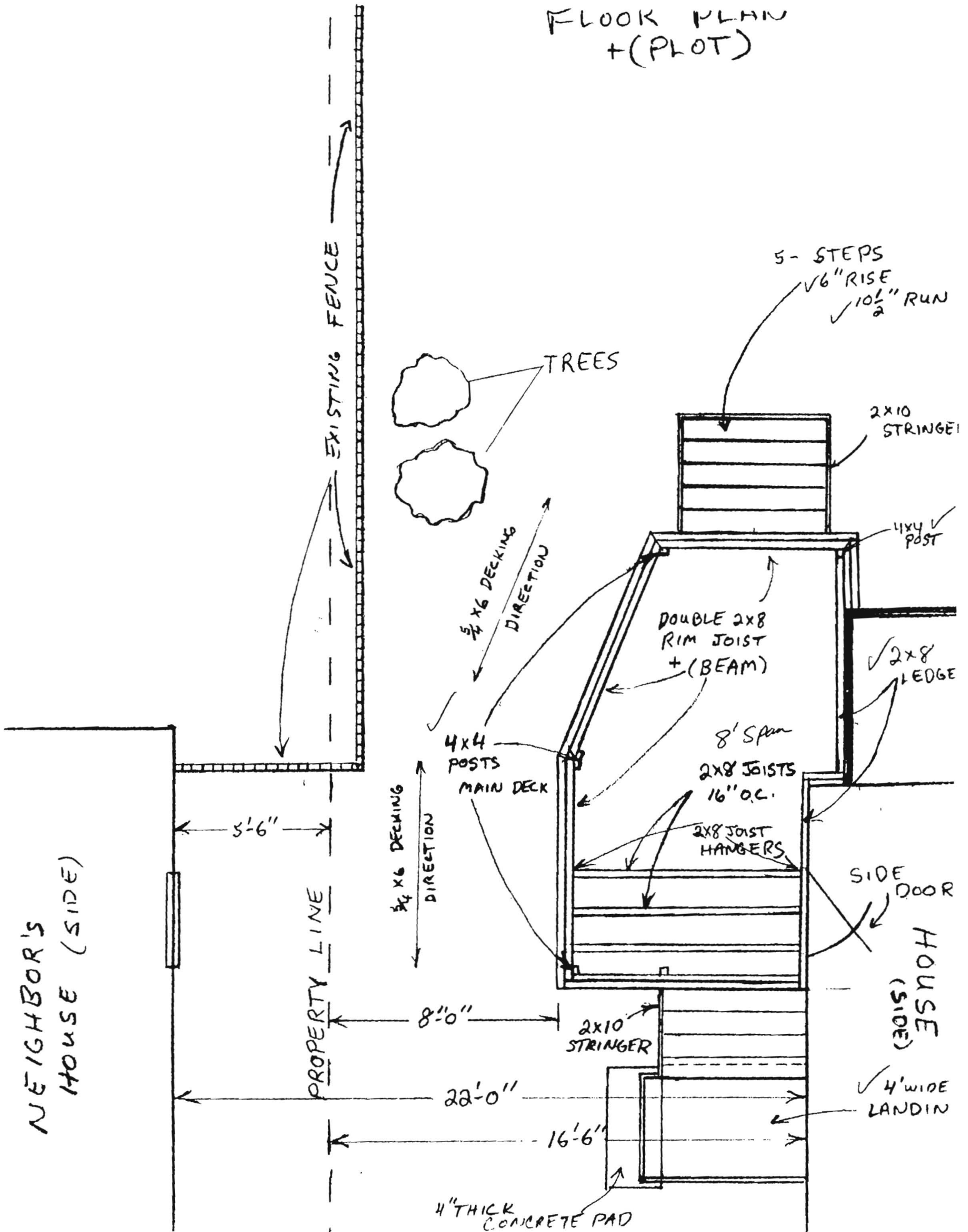
TREES

50' +  
to rear

PROPERTY LINE



# FLOOR PLAN + (PLOT)





**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

April 29 2008

Received from Blanche S. Benjamin

Location of Work 59 E. Commercial St.

Cost of Construction \$ 150.00

Permit Fee \$ 30.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 898 2 020

Check #: 1334 Total Collected \$ 30.00

**THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

874-2103