

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that AMY NELSON

Located At 62 COMMONWEALTH

Job ID: 2011-03-686-ADDR

CBL: 298 - - B - 013 - 001 - - - -

has permission to build 12' x 20' deck

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CAR

[Handwritten signature and date 4/8/11]

SCANNED



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-03-686-ADDR

Located At: 62
COMMONWEALTH

CBL: 298 - - B - 013 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the deck, it may be required to be located by a surveyor.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

This is an after the fact permit. This permit approves the location and zoning requirements. It does not approve building code compliance. An inspection will be required to determine any inadequacies.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-03-686-ADDR	Date Applied: 3/28/2011	CBL: 298 - - B - 013 - 001 - - - - -	
Location of Construction: 62 COMMONWEALTH DR	Owner Name: AMY NELSON	Owner Address: 62 COMMONWEALTH DR PORTLAND, ME 04103	Phone: 761-0167
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family	Proposed Use: Single family – permit 12' x 20' existing deck that was built by the previous owner	Cost of Work: 3000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-3 Type: SB
		Signature: 	Signature: 
Proposed Project Description: 62 East Commonwealth Drive – permit existing deck		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	Zoning Approval		

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
2. Building Permits do not include plumbing, septic or electrical work.	<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
	<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
	Date: 3/31/11 OK w/cond Jan ABN	Date:	Date: ABN

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

3/28/11

Ok - check setbacks -

Job Summary Report
Job ID: 2011-03-686-ADDR

Report generated on Mar 29, 2011 10:12:40 AM

Job Type:	Addition Residential SF/Duplex	Job Description:	62 East Commonwealth Drive	Job Year:	2011
Building Job Status Code:	Initiate Plan Review	Pin Value:	993	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	3,000	Square Footage:			
Related Parties:		AMY NELSON		<i>Property Owner</i>	

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 33248

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
W10340	298 B 013 001		M				-70.305599	43.694329

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				62 COMMONWEALTH DRIVE

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
SINGLE FAMILY		NOT APPLICABLE	R-3				DISTRICT 8	RIVERTON

Structure Details

Structure: build 12' x 20' deck

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Structures Other Than Buildings	0			62 COMMONWEALTH DRIVE

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value
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Permit #: 20112278

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
33248	build 12' x 20' deck	Initialized	build 12' x 20' deck			

Job Summary Report
Job ID: 2011-03-686-ADDR

Report generated on Mar 29, 2011 10:12:40 AM

Page 2

Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag
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Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	\$50.00							



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>62 East Commonwealth Drive, Portland, ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>400 sq. ft.</u>	Square Footage of Lot <u>6,000</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>298</u> Block# <u>B</u> Lot# <u>13</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Amy Nelson</u> Address <u>62 East Commonwealth Dr.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207-761-0167</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>2,500</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Build 12' x 20' deck (permit for deck built before house was purchased)</u>		
Contractor's name: <u>unknown</u>		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: _____		Telephone: _____
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Amy Nelson Date: 12/31/2010

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED

MAR 28 2011

Dept. of Building Inspections
City of Portland Maine

R-3

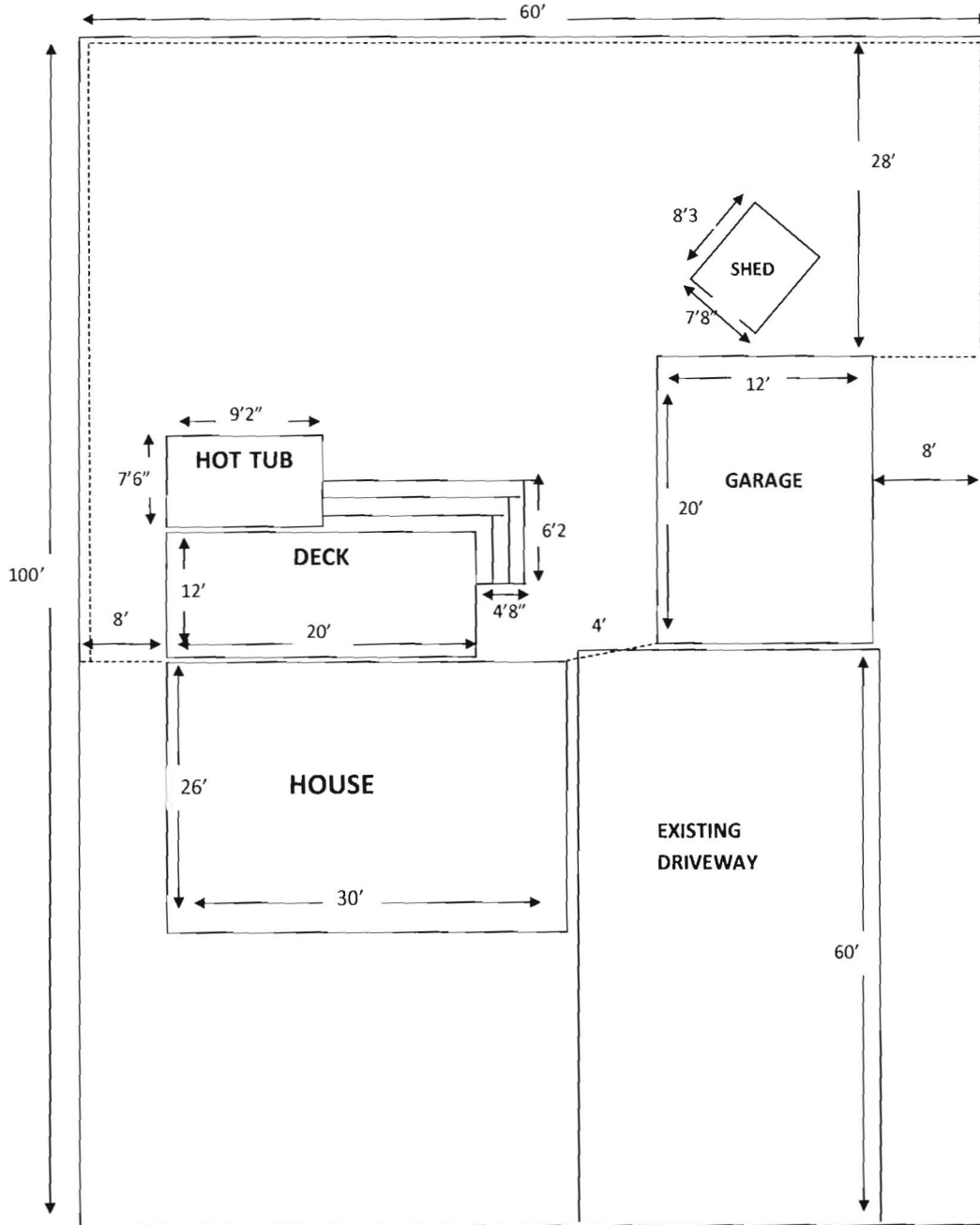
lotsize. 6000sq

front = N/A

rear = 25' - 28' to garage -

side = 8' min - 8'5" max

Amy Nelson
62 East Commonwealth Drive
Portland, ME 04103 (207) 272-3707



lot coverage -
 $35\% = 2100$
 $3 \times 24 = 720$
 $12 \times 20 = 240$
 $20 \times 12 = 240$
 $8.25 \times 7.66 = 63.2$
1323.2 (circled)

Amy Nelson
62 East Commonwealth Drive
Portland, ME 04103

Deck - Overhead View

