

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040543

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Watters Hilary M & Gary R Fox Co

has permission to build 12' x 20' detached gara

AT 62 Commonwealth Dr

298 B013001

PERMIT ISSUED
MAY 10 2004
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or otherwise occupied. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Handwritten Signature]
Director, Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0543	Issue Date: PERMIT ISSUED	29	B013001
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Location of Construction: 62 Commonwealth Dr	Owner Name: Watters Hilary M & Gary R Jts	Owner Address: 62 Commonwealth Dr	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Fox Co	Contractor Address: 12 Valley Avenue Falmouth	Phone: 207-8316287
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Detached	Zone: R-3

Past Use: single family	Proposed Use: single family - build 12' x 20' detached garage	Permit Fee: \$156.00	Cost of Work: \$15,000.00	CEO District: 5
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>OU</i> Type: <i>SB</i> <i>BOLA 1999</i>	

Proposed Project Description: build 12' x 20' detached garage	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PERMIT ISSUED WITH REQUIREMENTS	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: tmm	Date Applied For: 05/05/2004	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/7/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/7/04</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0543	Date Applied For: 05/05/2004	CBL: 298 B013001
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Location of Construction: 62 Commonwealth Dr	Owner Name: Watters Hilary M & Gary R Jts	Owner Address: 62 Commonwealth Dr	Phone:
Business Name:	Contractor Name: Fox Co	Contractor Address: 12 Valley Avenue Falmouth	Phone (207) 831-6287
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Detached	

Proposed Use: single family - build 12' x 20' detached garage	Proposed Project Description: build 12' x 20' detached garage
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Dept: Zoning **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 05/07/2004
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 05/07/2004
Note: **Ok to Issue:**

1) As discussed during the review process, if any part of the garage is located within 5' of the house it must be fire-rated.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>62 E Commonwealth DR. Post.</u>		
Total Square Footage of Proposed Structure <u>240^{sq}</u>	Square Footage of Lot <u>7680^{sq} +-</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>298</u> Block# <u>B</u> Lot# <u>13</u>	Owner: <u>Hillary Waters</u>	Telephone: <u>207 797-0531</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Fox Co. General Contractors & Excavation LLC.</u>	Cost Of Work: \$ <u>15000⁰⁰</u> Fee: \$
Current use: <u>Single Family Dwelling</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: _____		
Project description: _____		
Contractor's name, address & telephone: <u>see Attached</u>		
Who should we contact when the permit is ready: <u>Dana / cell # 831-6287</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>5/9/04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

Fox Co.

General Contractor
---Excavation---
LLC

TO: Portland City Hall

JOB: Waters

CO: Rm 315 3rd FLR.

FAX: _____

FR: Fox General Contractors & Excavation, LLC
PH: 207-781-8474 MOBILE: 207-831-6287 FAX: 207-797-0831

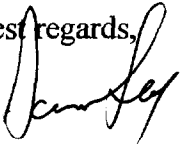
Pages 1 of 3

MESSAGE:

Job location:

62 East Commonwealth Dr.
Portland, ME 04101

Best regards,



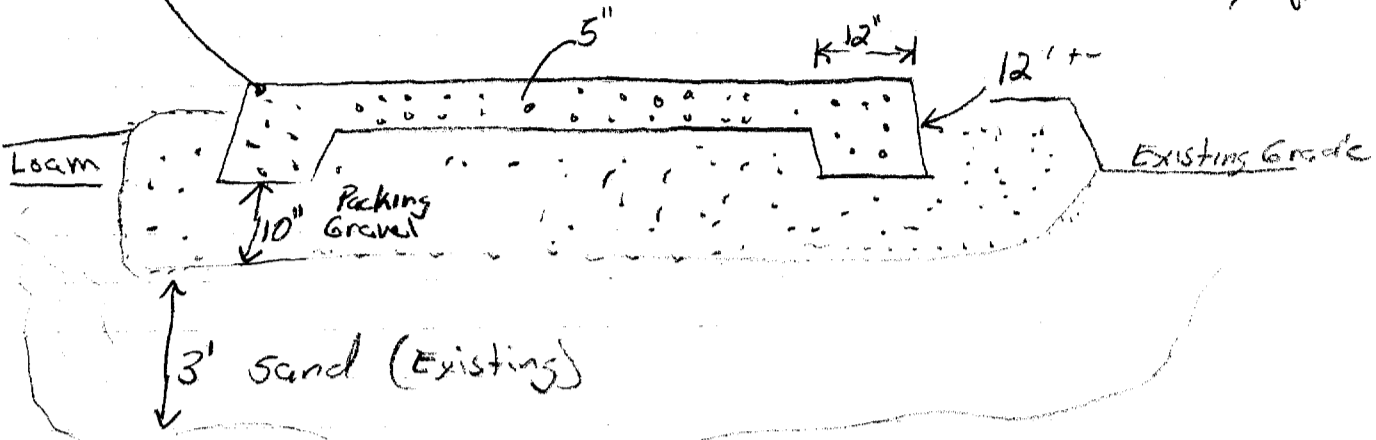
Dana Fox
President

12 Valley Ave., Falmouth, Maine 04105
Office (207) 781-8474 / Mobile (207) 831-6287 / Fax (207) 797-0831

Custom Built Homes • Additions • Blueprints • Foundations • Septic Systems • Driveways • Drainage • Trucking
Snow Plowing • Snow Removal

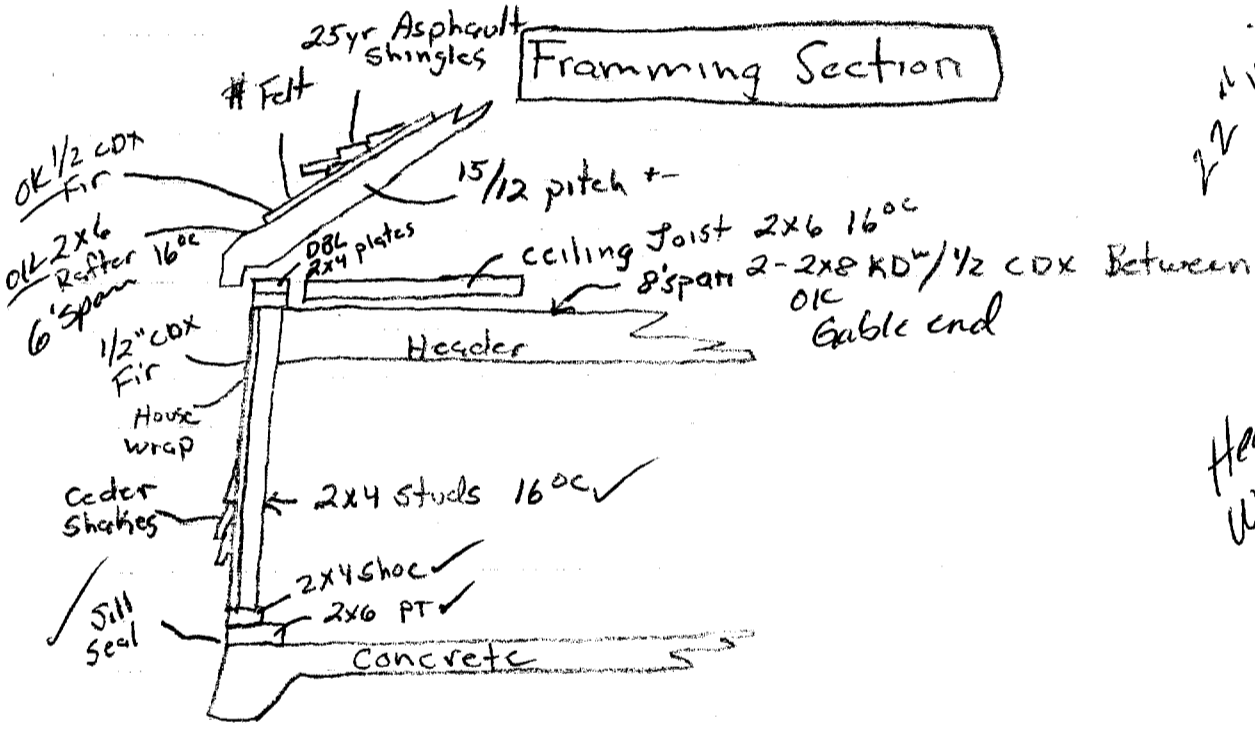
Concrete Plan

12'x20'x5" Reinforced Concrete slab.



OK under
403.1.4.1
exception 1
FRC 2003
OK per

Framming Section



22" window
w/ 2-2x6
2-8" door
2-2x6

Headers
Wall height



Hillary Waters,
62 East Commonwealth DR.
Portland, ME.

Job: 22013
12x20' Garage

Plot Plan

R-3
Sides 5-8'
Rear 25'
Front 25'
Lot cov - 25%
OK

