

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK **CITY OF PORTLAND**

BUILDING INSPECTION

PERMIT

Permit Number: 030721

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Freudenberger Florence E / Scotts Dale Construction
has permission to increase size of garage and increase porches.

AT 56 Commonwealth Dr CHL 298 B012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lashed or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. PERMIT ISSUED

Health Dept. PERMIT ISSUED

Appeal Board PERMIT ISSUED

Other JUN 26 2003

Department Name

Director Building & Inspection Services

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

6/20/03

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0721	Issue Date: JUN 26 2003	CBL: 298 B012001
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Location of Construction: 56 Commonwealth Dr	Owner Name: Freudenberger Florence E	Owner Address: 56 East Commonwealth Dr	Phone: 207-878-5747
Business Name:	Contractor Name: Scotts Dale Construction	Contractor Address: 10 Allen Ave Falmouth	Phone: 2078783696
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: single family	Proposed Use: single family - increase agraage and add porches	Permit Fee: \$107.00	Cost of Work: \$12,000.00	CEO District: 1
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Proposed Project Description: increase size of garage and increase porches.	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>[Signature]</i>	INSPECTION: Use Group: R-3 Type: SB BOCA 99 Signature: <i>[Signature]</i>
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Permit Taken By: tmm	Date Applied For: 06/20/2003	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MIM <input type="checkbox"/> Date: 6/20/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 6/20/03
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3/27/03 on site w/ Dale FREUDENBERGER forms ARE IN PLACE

Setbacks And Sonotubes ARE Fine OK to pour. GR

5/17/04 Work appears Complete - Septem shows no inspections called for other than the one shown above on 8/27/03 -

I called owner today & left message
owner called back - said I had did Insp. / will have Contractor call John

5/18 - Contractor Called JP - JP only did Setbacks / footing Insp
Contractor will call for final - (C)

5/24/04 - Garage - Shaving ok -

Setbacks OK - per approval - Right Side Rear
had a 6 1/2' X 7' Cut back to meet Setbacks
Rear Deck

① OK Needs Ledger or Hangers on roof joist

② Non-Compl. Needs handrail

Elev ③ Needs permit for gas & pack

④ Needs Conduit & Safety tapes

7/21/04 #1 above (hangers) ok

#2 - handrails on elev 3 are Non-Complanted

#3 Ch for permit

#4 - ?? Still needs Elec. Permit

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
03-0721	06/20/2003	298 B012001

Location of Construction: 56 Commonwealth Dr	Owner Name: Freudenberger Florence E	Owner Address: 56 East Commonwealth Dr	Phone: 207-878-5747
Business Name:	Contractor Name: Scotts Dale Construction	Contractor Address: 10 Allen Ave Falmouth	Phone (207) 878-3696
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: single family - increase agrage and add porches	Proposed Project Description: increase size of garage and increase porches.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 06/20/2003**Note:** **Ok to Issue:** ☒

- 1) Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 06/20/2003**Note:** **Ok to Issue:** ☒

- 1) Frost protection must be provided under the slab. Please review the enclosed diagram.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>56 E Commonwealth Drive</u>		
Total Square Footage of Proposed Structure <u>Porch 128ft² Garage 264ft²</u>		Square Footage of Lot <u>6000ft²</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>298 B 12</u>	Owner: <u>Florence Freudenberger</u>	Telephone: <u>878-5747</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Dale @ Scottsdale Construction</u> <u>10 Allen Ave. Falmouth</u> <u>878-3696</u>	Cost Of Work: \$ <u>12,000.00</u> Fee: \$ <u>107</u>
Current use: <u>Single Family</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Same SFR w/ 1 car garage & covered porch</u> Project description: <u>12x22 8x16</u>		
Contractor's name, address & telephone: <u>Scottsdale construction</u> <u>878-3696</u>		
Who should we contact when the permit is ready: <u>Dale @ Scottsdale</u>		
Mailing address: <u>10 Allen Avenue Falmouth ME 04105</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>878-3696</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>6-5-03</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

☒ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before **any** site work begins on any project other than single family additions or alterations.

☒ **Footing/Building Location Inspection:** Prior to pouring concrete

☐ **Re-Bar Schedule Inspection:** Prior to pouring concrete

☐ **Foundation Inspection:** Prior to placing ANY backfill

☐ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

☐ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

☐ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

☐ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of applicant/designee

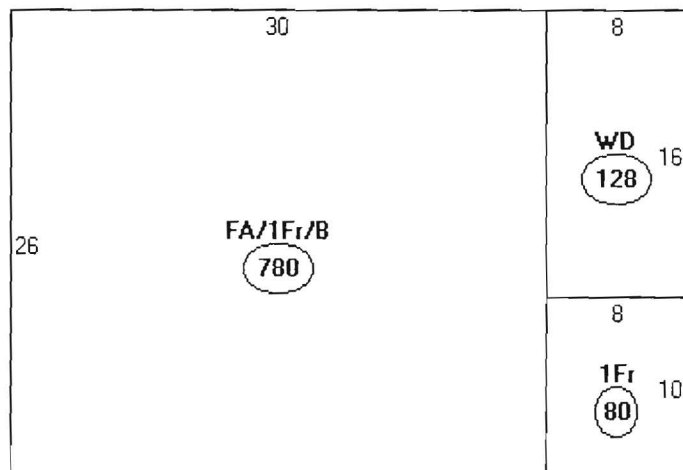
Date

Signature of Inspections Official

Date

CBL: 298 B 012 Building Permit #: 030721

56 East Commonwealth Dr.



Descriptor/Area

A: FA/1Fr/B
780 sqft

B: WD
128 sqft

C: 1Fr
80 sqft

988 Current

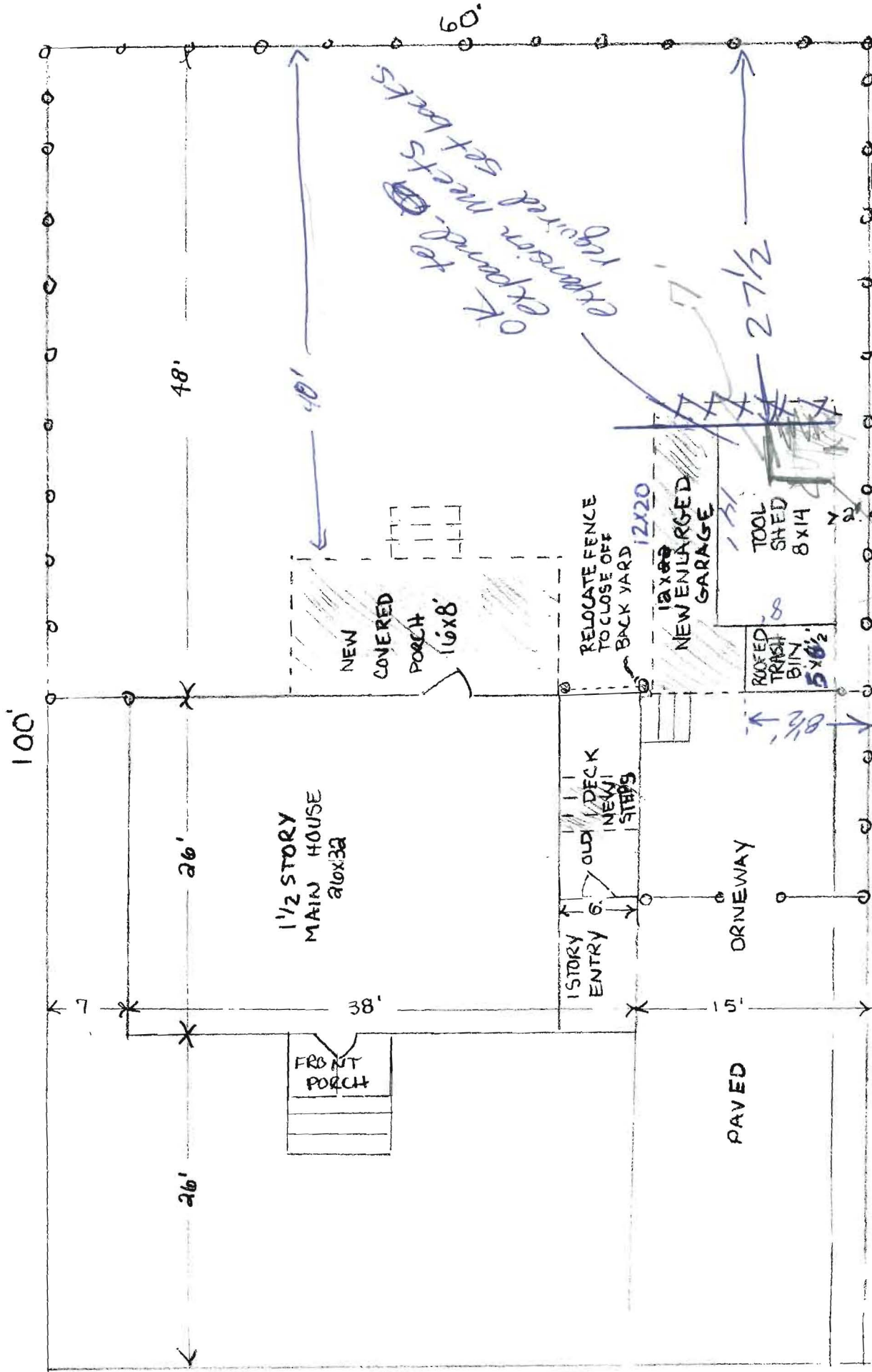
*240 Garage
128 deck*

1356

1500 Allowed

*144 left -
OK*

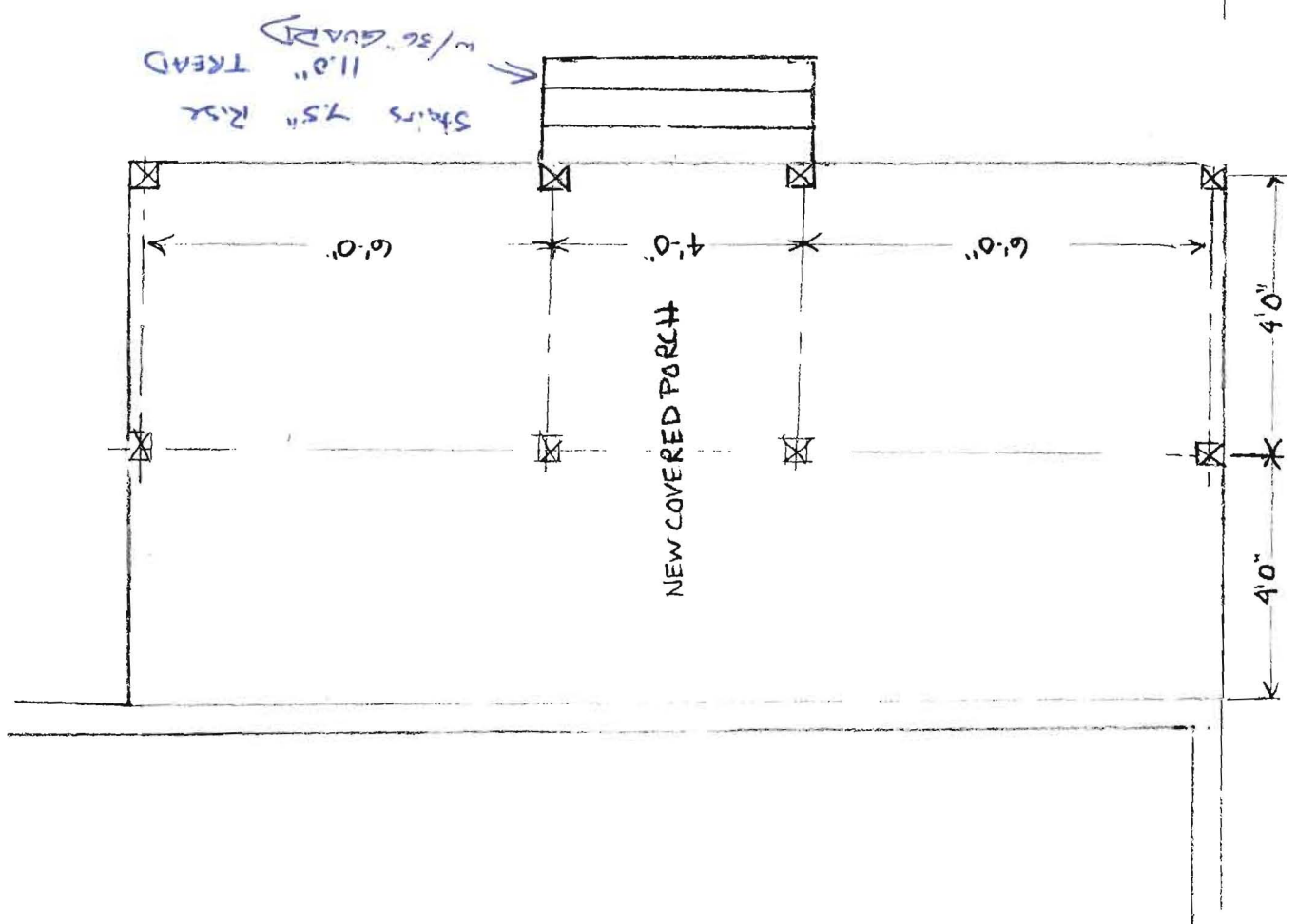
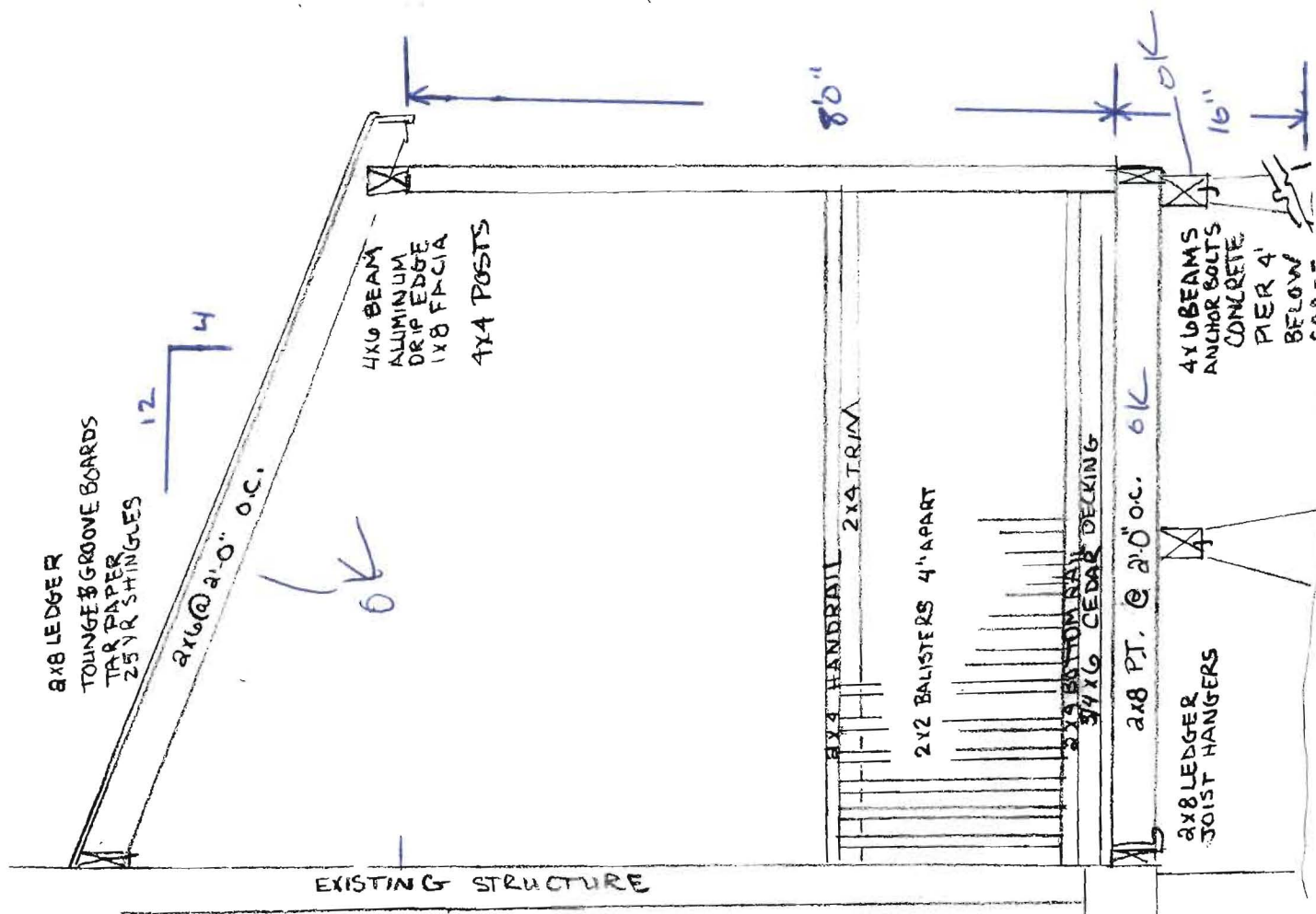
*R-3
front + rear 725
sides 8'*

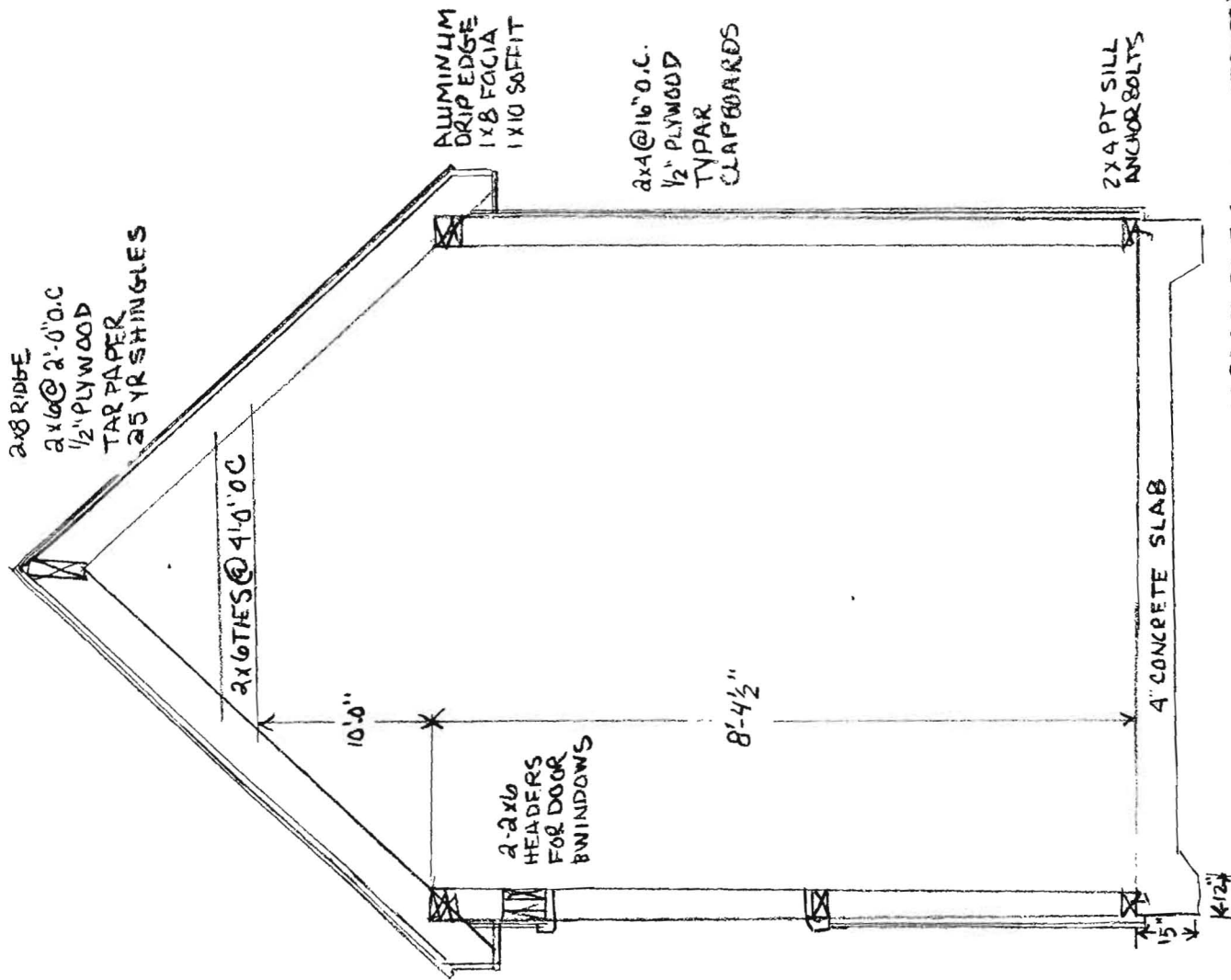


— EXISTING
 --- NEW

PLOT PLAN FOR 56 E. COMMONWEALTH
 FLORENCE FREUDENBERGER
 298-B-12

5' 6"
 17'
 20' 13' 2" 1"





GARAGE 510 E COMMONWEALTH
FLORENCE FREUDENBERGER
298-B-12

