

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2006-0167  
Application I. D. Number

8/28/2006  
Application Date

Single Family Home / split lot  
Project Name/Description

Casco Bay Development  
Applicant

440 Forest Ave, Portland, ME 04101  
Applicant's Mailing Address

Michael Rogers  
Consultant/Agent

Applicant Ph: (207) 775-5600      Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

82 - 82 Belfort St, Portland, Maine  
Address of Proposed Site

298 A032001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building     Building Addition     Change Of Use     Residential     Office     Retail

Manufacturing     Warehouse/Distribution     Parking Lot     Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units 6665      Acreage of Site \_\_\_\_\_      Zoning \_\_\_\_\_

**Check Review Required:**

Site Plan (major/minor)       Subdivision # of lots \_\_\_\_\_       PAD Review       14-403 Streets Review

Flood Hazard       Shoreland       Historic Preservation       DEP Local Certification

Zoning Conditional Use (ZBA/PB)       Zoning Variance       Other \_\_\_\_\_

Fees Paid:    Site Plan \$50.00    Subdivision \_\_\_\_\_    Engineer Review \$250.00    Date 8/28/2006

**DRC Approval Status:**

Reviewer Jay Reynolds

Approved       Approved w/Conditions See Attached       Denied

Approval Date 9/13/2006      Approval Expiration 9/13/2007      Extension to \_\_\_\_\_       Additional Sheets Attached

Condition Compliance      Jay Reynolds      9/13/2006

signature      date

Performance Guarantee       Required\*       Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2006-0167**

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**8/28/2006**

Application Date

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Project Name/Description

**Casco Bay Development**

Applicant

**440 Forest Ave, Portland, ME 04101**

Applicant's Mailing Address

**Michael Rogers**

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**Applicant Ph: (207) 775-5600      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**82 - 82 Belfort St, Portland, Maine**

Address of Proposed Site

**298 A032001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of DRC**

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* ® [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning and Development Department**  
Lee D. Urban, Director

**Planning Division**  
Alexander Jaegerman, Director

Mr. Michael Rogers  
Casco Bay Development  
440 Forest Avenue  
Portland, ME 04101

September 6, 2006

Dear Mr. Rogers:

RE: Application for single family house, 82 Belfort Street

Upon review of the submittal, the City's Planning Division has the following comments:

1. The proposed topography appears to be channeled and directed onto the neighboring property. It is a requirement that development does not affect neighboring properties with increased drainage. Please redesign as needed.

Sincerely,

Jay Reynolds  
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

**Casco Bay Development LLC**  
440 Forest Avenue, Portland, ME 04101  
775-5600, 775-5888 (FAX), 318-9984 (Cell)

October 11, 2007

Mr. Philip DiPierro  
Development Review Coordinator  
Planning Division  
City of Portland  
389 Congress Street  
Portland, ME 04101

**RE: 88 Belfort Street Amended Site Plan**

Dear Phil:

Enclosed are three originals of my amended Site Plan for 88 Belfort Street. The amended Site Plan reflects the block wall along the right side boundary line and the drainage patterns.

Absent any issues and providing I meet all criteria, please call me and I will come to City Hall to pick up the Certificate of Occupancy.

Please call should you have any questions. I appreciate your assistance. Thank you.

Very truly yours,

A handwritten signature in black ink, appearing to read "Michael C. Rogers", written in a cursive style.

Michael C. Rogers

Enclosures

**Casco Bay Development LLC**  
440 Forest Avenue, Portland, ME 04101  
775-5600, 775-5888 (FAX), 318-9984 (Cell)

September 22, 2007

Mr. Philip DiPierro  
Development Review Coordinator  
Planning Division  
City of Portland  
389 Congress Street  
Portland, ME 04101

**RE: 88 Belfort Street Site Plan**

Dear Phil:

I hereby request amending my approved Site Plan for the new home I built at 88 Belfort Street to reflect installing a 15" retaining wall in place of a swale along the right side of the property per the Pinkham & Greer September 12, 2006 Layout Plan.



The split faced landscape block wall, installed just inside the right side property line, commences 21' from the rear boundary line and runs a total of 48'. The wall prevents water from draining to the abutter, Pamela Larsen, 96 Belfort Street. The swale will not perform any better than the wall does now.

Since installing the wall (and the rear gutter in July, 2007), there has been no discernible increased water runoff to any abutter's property. A good test was the August 6, 2007, torrential

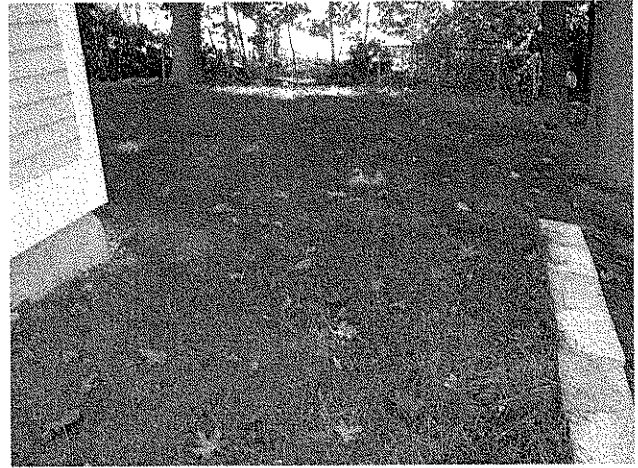
downpour of 2.29" in less than an hour that caused no increased runoff.

I would appreciate consideration and acceptance of my request to not have to install the swale in lieu of the fully installed and functioning retaining wall.

Please call should you have any questions or would like to tour the site. Thank you.

Very truly yours,

Michael C. Rogers



Rec  
10/4/07

October 2, 2007

Mr. Philip DiPierro  
Development Review Coordinator  
Planning Division  
389 Congress Street  
Portland, ME 04101

RE: swale at 88 Belfort Street

Dear Mr. DiPierro:

Michael Rogers, the owner of the abutting property located at 88 Belfort Street has requested that I write you on his behalf, in hopes that the installation of a swale on his property may be avoided.

To date, the retaining wall that Michael had installed several months ago appears to be keeping the soil from suffering any further erosion. While my property, located at 96 Belfort Street, did suffer some erosion during the excavation and construction of the home at 88 Belfort Street, since completion and the installation of the retaining wall, I have not been aware of any additional noticeable erosion in the effected area.

While I am not familiar with swales, from what Michael has described, the dig would lead the water more down the side of his garage toward the front of his property. If I am understanding the purpose correctly, this may lead drainage into an area beyond the retaining wall and the front area of my property, where there has been significant build up due to the new construction, may be affected. If this is the case, I would rather leave things as they are. A few months ago, I paid to have my front area raised and leveled a bit so as not to look so off after the new construction next door and now there is substantial pooling in that area: I would not like to see any more. I do want to be certain that regardless of how you find in reference to the swale, that my property will not suffer any further damage.

If possible, I would like to chat with you and discuss what you feel the benefit of a swale would be and how it would affect my property. I can be reached at: 207-415-5793.

Sincerely,  
  
Pamela Larsen

TO: Inspections Department  
FROM: Philip DiPierro, Development Review Coordinator  
DATE: October 25, 2007  
RE: C. of O. for #88 Belfort Street,  
(Id#2006-0167) (CBL 298 A 032001)

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After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager  
Jeanie Bourke, Inspection Services Manager  
File: Urban Insight

**From:** George Shutts  
**To:** Chris Hanson; Donna Martin; Fred LaMontagne; Gregory Cass; Lannie Dobson; Michael Collins ; Philip DiPierro ; Suzanne Hunt  
**Date:** 7/20/2007 4:51:04 PM  
**Subject:** Re: Certificate of Occupancy/Final Scheduled. Property Addr: 88 BELFORT ST Parcel ID: 300 C002001

I will be on vacation the week of July 23-27, returning to the office on July 30.

D/C Mike Shutts

>>> Lannie Dobson 7/20/2007 2:51:16 PM >>>  
Date: 7/27/2007 Time: 6:00:00 AM

mike  
318-9984

Note: 318-9984 Mike cell Needs call in morning to establish time Property Addr: 88 BELFORT ST Parcel ID: 300 C002001

Application Type: Prmt  
Application ID: 61269

# 2006-0167

Contact:  
Phone1: Phone2:

Owner Name: CASCO BAY DEVELOPMENT LLC  
Owner Addr: 440 FOREST AVE  
PORTLAND , ME 04101

- Driveway Paved
- retaining wall
- Lawn is in
- Trees

7/30/07 called mike and C/m



**Conditions Section:**

Add New Condition  
From Default List

Add New Condition

Delete Condition

Close

All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.



Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.



All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.



A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.



A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)



The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



**From:** Lannie Dobson  
**To:** C of O; csh  
**Date:** 7/20/2007 3:51:30 PM  
**Subject:** Certificate of Occupancy/Final Scheduled. Property Addr: 88 BELFORT ST Parcel ID:  
300 C002001

**Date:** 7/27/2007 **Time:** 6:00:00 AM

Note: 318-9984 Mike cell Needs call in morning to establish time Property Addr: 88 BELFORT ST  
Parcel ID: 300 C002001

Application Type: Prmt  
Application ID: 61269

Contact:  
Phone1: Phone2:

Owner Name: CASCO BAY DEVELOPMENT LLC  
Owner Addr: 440 FOREST AVE  
PORTLAND , ME 04101

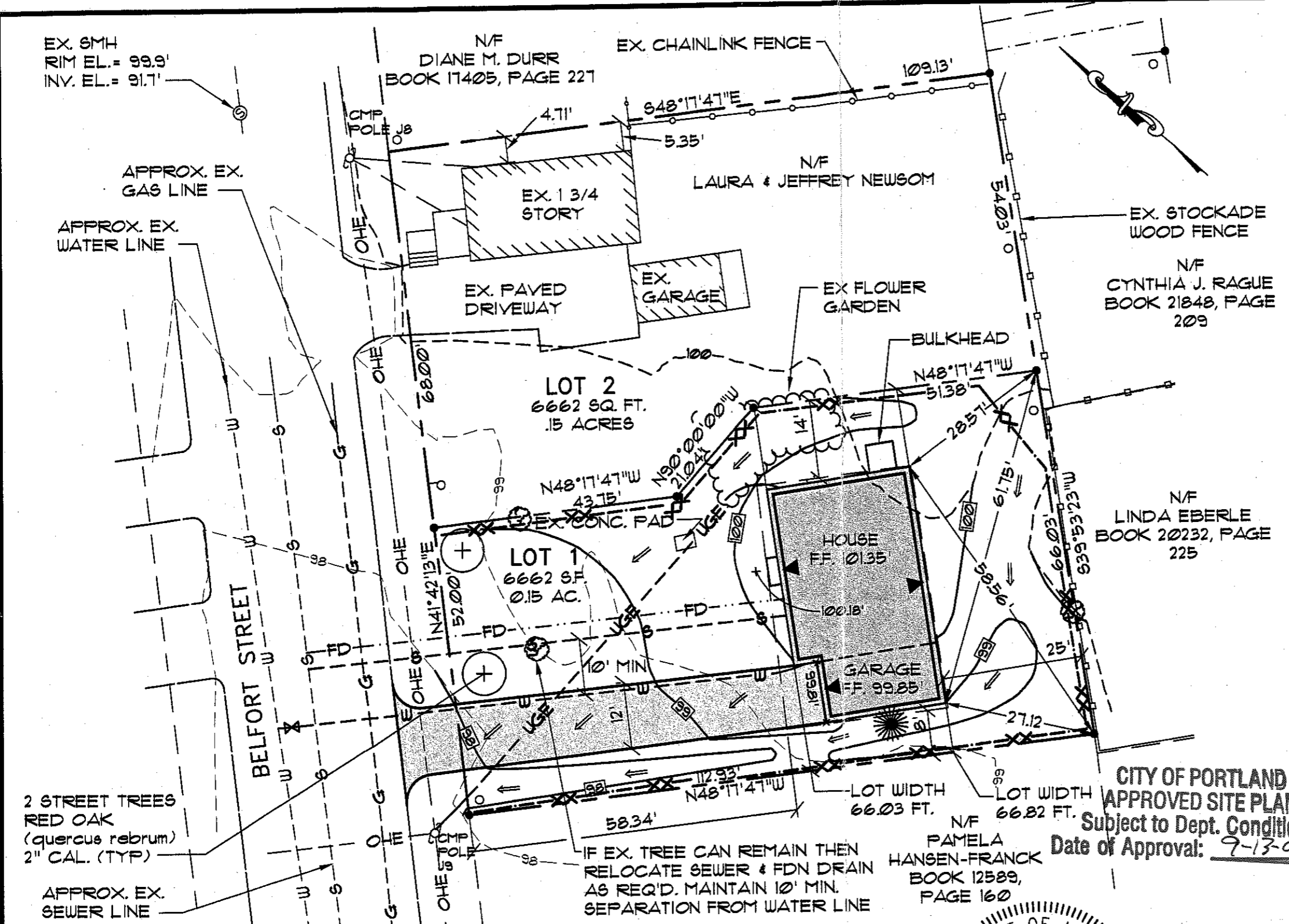
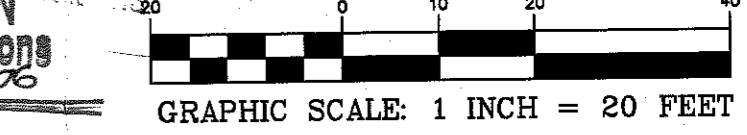
# LEGEND

## EXISTING

- PROPERTY LINE
- BUILDING SETBACK
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- GAS LINE
- SANITARY SEWER
- OVERHEAD UTILITY
- WATER LINE
- SEWER MANHOLE
- UTILITY POLE
- TREE
- TREELINE
- STOCKADE FENCE
- CHAINLINK FENCE
- IRON PIPE
- IRON PIPE FOUND
- IRON PIPE SET

## PROPOSED

- LOT LINE
- EDGE OF PAVEMENT
- CONTOURS
- BUILDING
- BUILDING ENTRY/EGRESS
- SANITARY SEWER
- UNDERGROUND UTILITY
- WATER LINE
- FOUNDATION DRAIN
- SPOT GRADE
- IRON PIPE TO BE SET
- WATER SHUT OFF
- BITUMINOUS PAVEMENT
- BUILDING HATCH
- PATH OF SURFACE DRAINAGE
- SILT FENCE

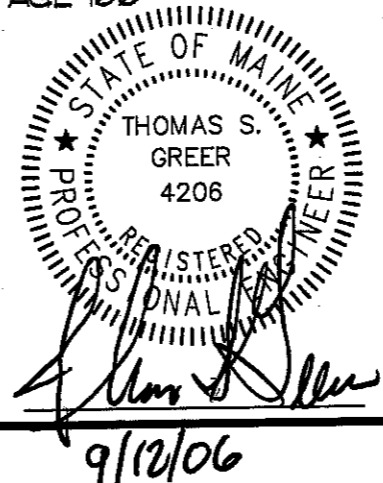


OWNER/BUILDER:  
CASCO BAY DEVELOPMENT, LLC

ENGINEER: PINKHAM & GREER  
CONSULTING ENGINEERS  
FALMOUTH, MAINE

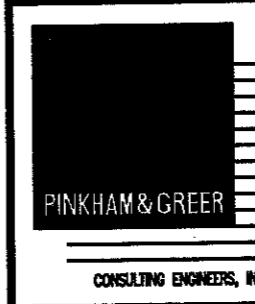
TOPOGRAPHY & BOUNDARY:  
JAMES D. NADEAU, LLC  
PROFESSIONAL LAND SURVEYORS  
PORTLAND, MAINE 04102

- NOTES:
- FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR
  - EROSION CONTROL REQUIRED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
  - TEST PIT REQUIRED TO DETERMINE DEPTH OF EX. SEWER IN BELFORT STREET. MAINTAIN POSITIVE SLOPE TO EXISTING SEWER, MINIMUM SLOPE = 1% FOR BOTH SEWER AND FOUNDATION DRAIN. A SUMP PUMP MAY BE REQUIRED FOR THE FOUNDATION DRAIN.



CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 9-13-06

## LAYOUT PLAN

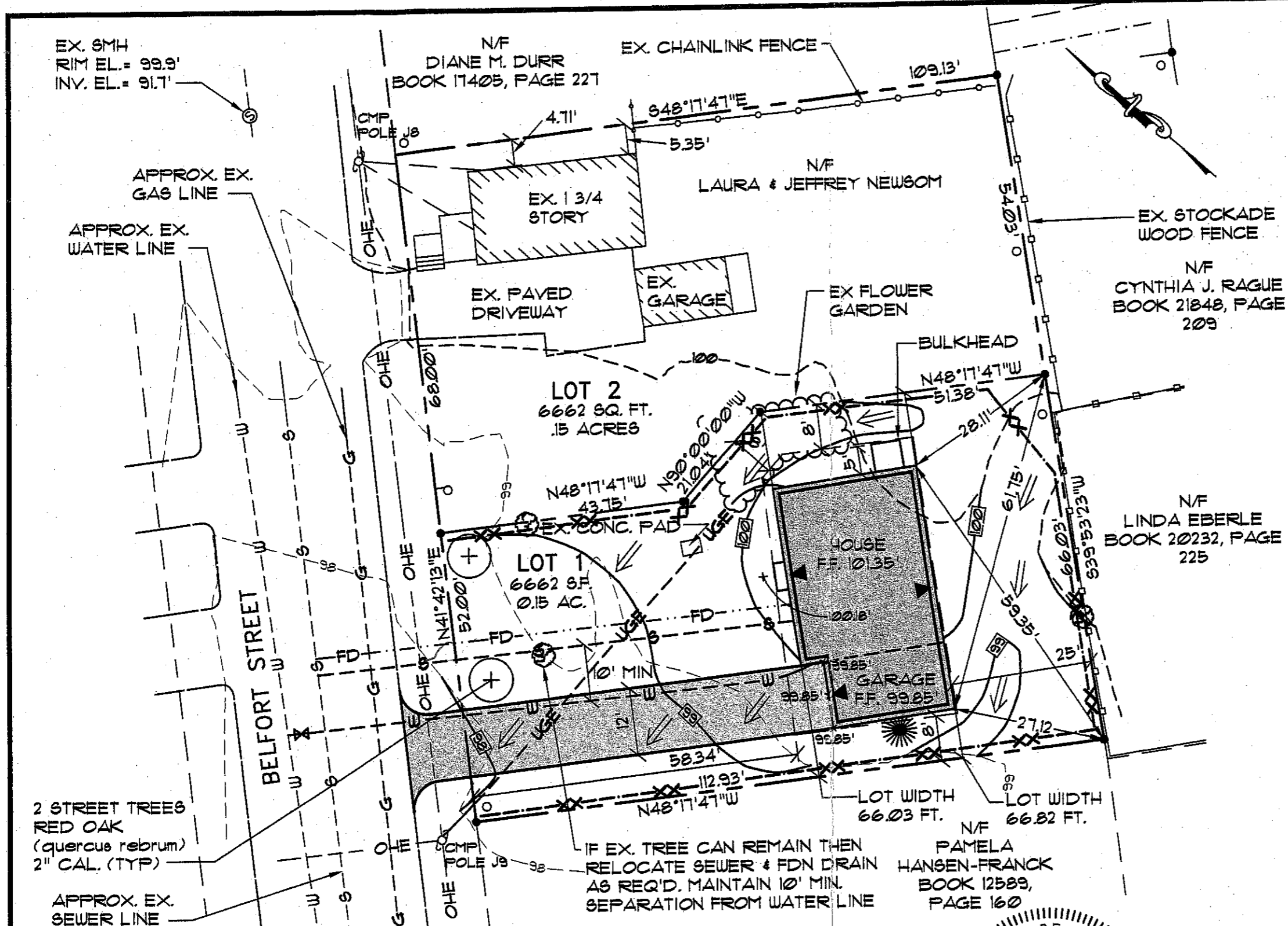


1	9/12/06	REV'D HOUSE SIZE, BUILDING ENVELOPE SIDEYARD GRADING
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88 BELFORT STREET  
PORTLAND, MAINE

SCALE: AS SHOWN  
DATE: AUG. 1, 2006  
DESG BY: MTD  
PROJECT: 06151

C1.0



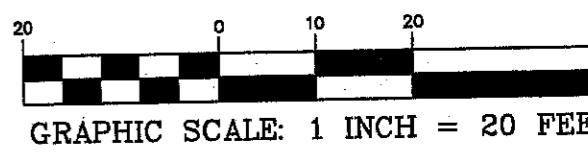
**LEGEND**

**EXISTING**

- PROPERTY LINE
- BUILDING SETBACK
- ABUTTERS PROPERTY
- EDGE OF PAVEMENT
- 200 --- CONTOURS
- BUILDING
- GAS LINE
- SANITARY SEWER
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- WATER LINE
- SEWER MANHOLE
- UTILITY POLE
- TREE
- TREELINE
- STOCKADE FENCE
- CHAINLINK FENCE
- IRON PIPE
- IRON PIPE FOUND
- IRON PIPE SET

**PROPOSED**

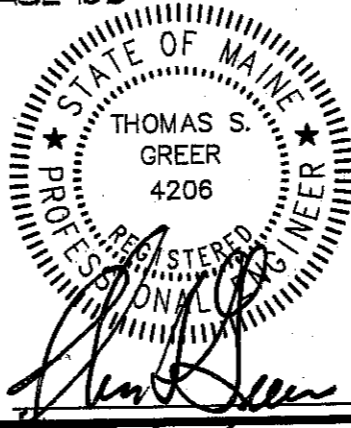
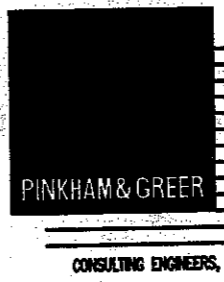
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**LAYOUT PLAN**

**88 BELFORT STREET  
PORTLAND, MAINE**

SCALE: AS SHOWN  
DATE: AUG. 1, 2006  
DESG BY: MTD  
PROJECT: 06151



*Thomas S. Greer*  
8/23/06

OWNER/BUILDER:  
CASCO BAY DEVELOPMENT, LLC

ENGINEER: PINKHAM & GREER  
CONSULTING ENGINEERS  
FALMOUTH, MAINE

TOPOGRAPHY & BOUNDARY:  
JAMES D. NADEAU, LLC  
PROFESSIONAL LAND SURVEYORS  
PORTLAND, MAINE 04102

NOTES:

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IF EX. TREE CAN REMAIN THEN  
RELOCATE SEWER & FDN DRAIN  
AS REQ'D. MAINTAIN 10' MIN.  
SEPARATION FROM WATER LINE

N/F  
PAMELA  
HANSEN-FRANCK  
BOOK 12589,  
PAGE 160

N/F  
LINDA EBERLE  
BOOK 20232, PAGE  
225

N/F  
CYNTHIA J. RAGUE  
BOOK 21848, PAGE  
209

N/F  
LAURA & JEFFREY NEWSOM

N/F  
DIANE M. DURR  
BOOK 17405, PAGE 227

EX. SMH  
RIM EL. = 99.9'  
INV. EL. = 91.7'

APPROX. EX.  
GAS LINE

APPROX. EX.  
WATER LINE

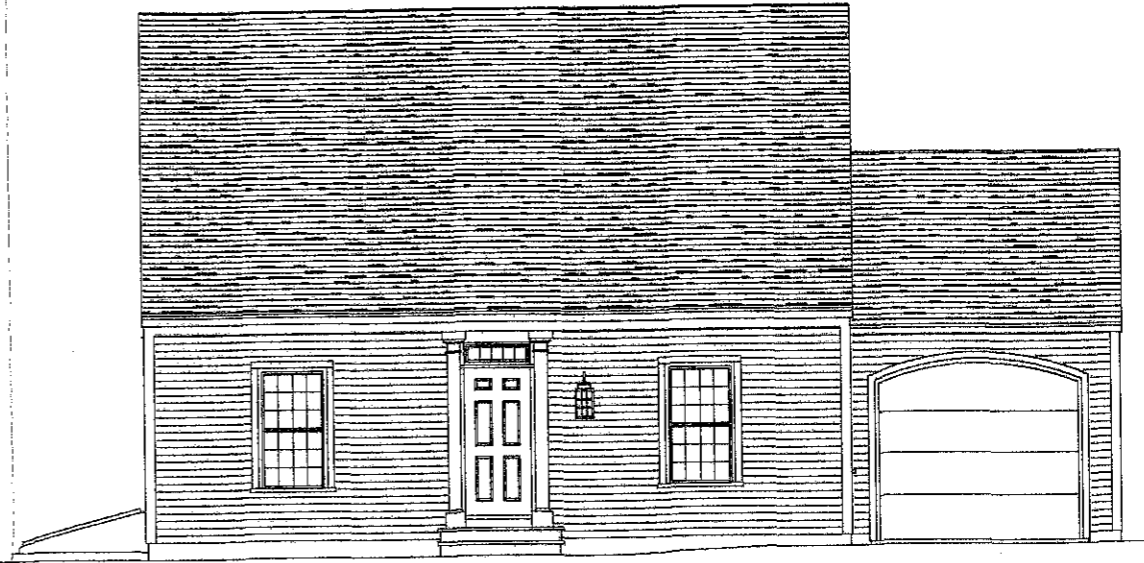
2 STREET TREES  
RED OAK  
(quercus rebrum)  
2" CAL. (TYP)

APPROX. EX.  
SEWER LINE

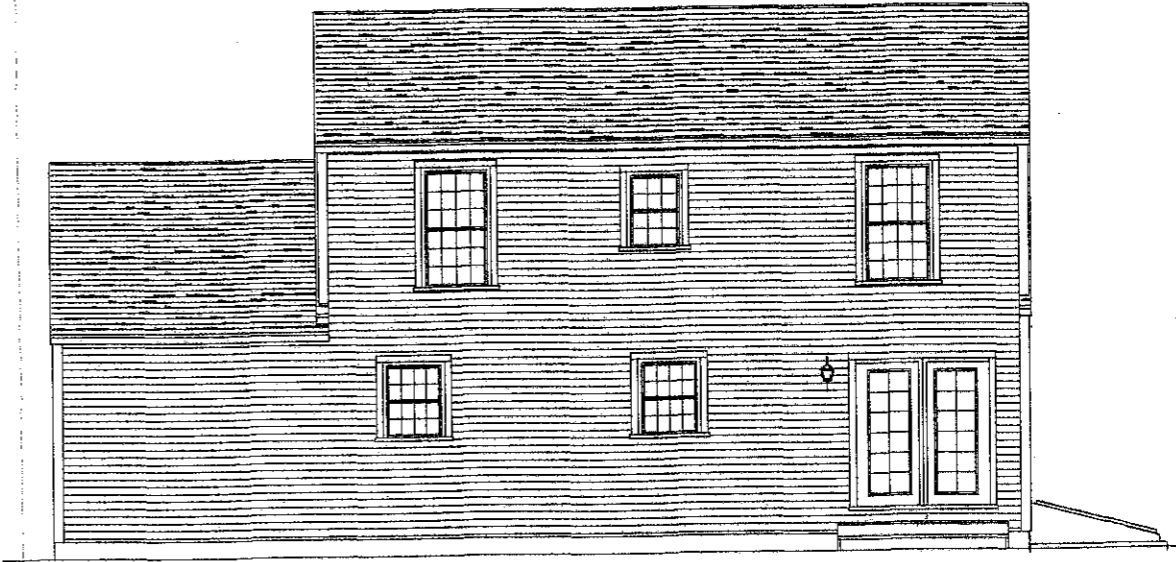


LEFT ELEVATION

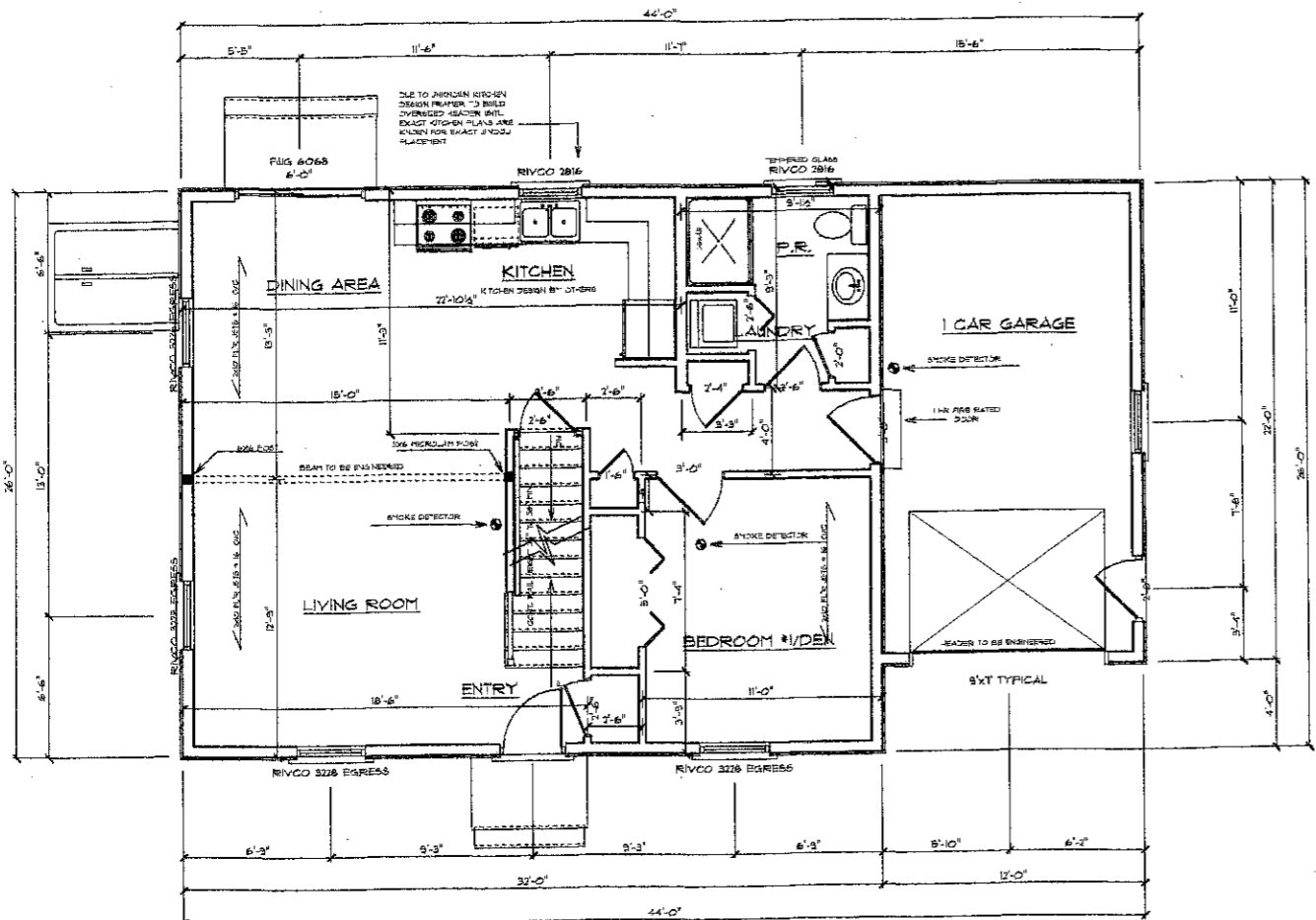
RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION



MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
832 SF

NOTE: ALL WINDOWS  
U-FACTOR = .31

NOTE: ALL PLUMBING WALLS  
(WALLS WITH VENTS AND DRAINS)  
ARE TO HAVE 2x6 CONSTRUCTION

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN, MATERIALS, CONSTRUCTION, AND NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING. NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE AND IN NO WAY CONSTITUTE A GUARANTEE TO THE HOMEOWNER. ALL OPERATIONS OF THE INFORMATION PROVIDED. ALL OPERATIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

PROJECT NAME:

88 BELFORD ST.  
PORTLAND ME.

CONTRACTOR:

CASCO BAY  
DEVELOPMENT LLC.

DATE: July 20, 2006  
SCALE: AS NOTED  
DRAWN:  
FILE:  
SHEET: 1 OF 1

EX. SMH  
RIM EL. = 99.9'  
INV. EL. = 91.7'

N/F  
DIANE M. DURR  
BOOK 17405, PAGE 227

N/F  
LAURA & JEFFREY NEWSOM

N/F  
CYNTHIA J. RAGUE  
BOOK 21848, PAGE 209

N/F  
LINDA EBERLE  
BOOK 20232, PAGE 225

LOT 1  
6662 SF.  
0.15 AC.

LOT 2  
6662 SQ. FT.  
.15 ACRES

HOUSE  
FF. 10135'

GARAGE  
FF. 99.85'

MODULAR BLOCK WALL  
15" HIGH X 48' LONG

BELFORT STREET

RED OAK  
(quercus rebrum)  
2" CAL.

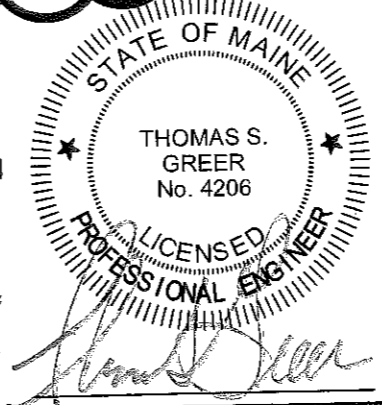
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SEWER LINE

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ENGINEER: PINKHAM & GREER  
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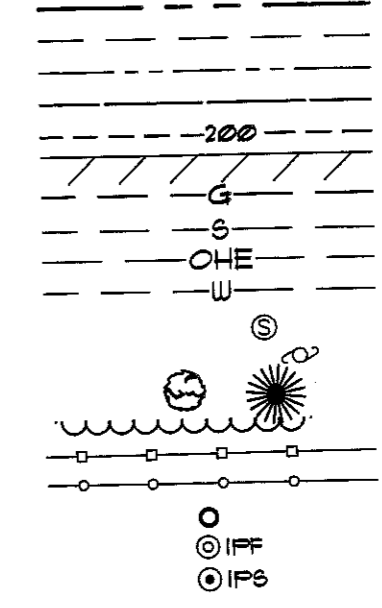
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10/9/07

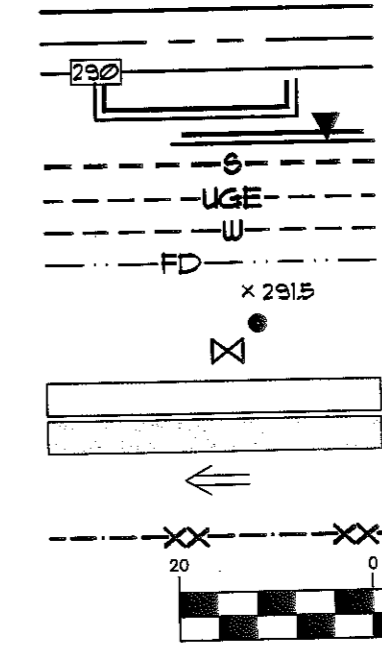
# LEGEND

## EXISTING

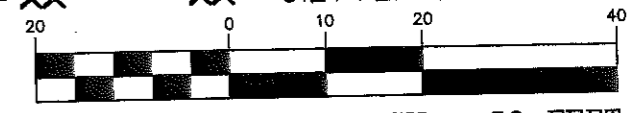


PROPERTY LINE  
BUILDING SETBACK  
ABUTTERS PROPERTY  
EDGE OF PAVEMENT  
CONTOURS  
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## PROPOSED



LOT LINE  
EDGE OF PAVEMENT  
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BUILDING ENTRY/EGRESS  
SANITARY SEWER  
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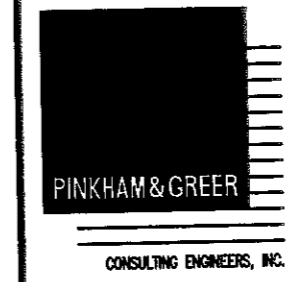


GRAPHIC SCALE: 1 INCH = 20 FEET

2	10/9/07	ADDED RETAINING WALL
1	9/12/06	REV'D HOUSE SIZE, BUILDING ENVELOPE & SIDEYARD GRADING

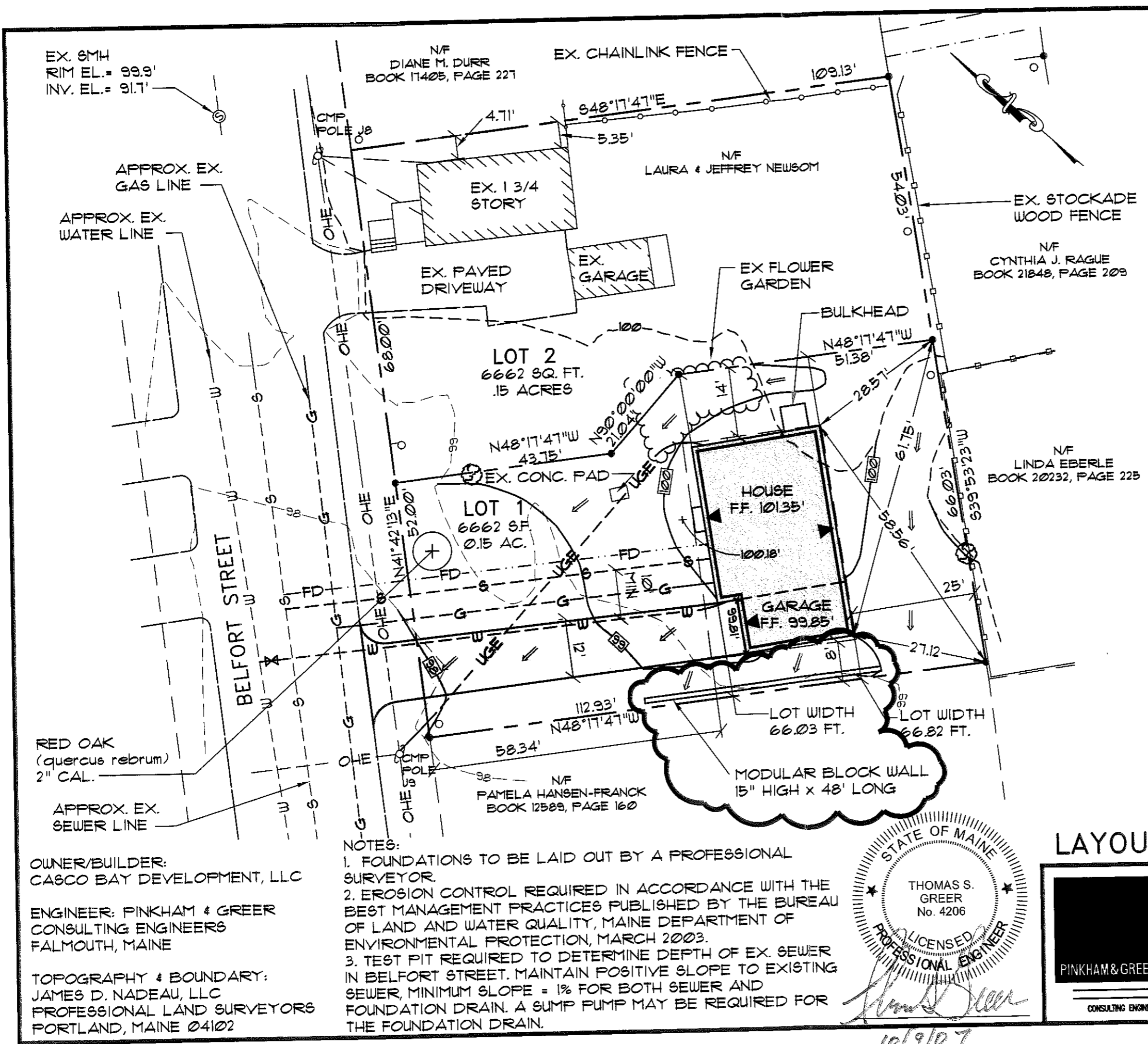
# LAYOUT PLAN

88 BELFORT STREET  
PORTLAND, MAINE



SCALE: AS SHOWN  
DATE: AUG. 1, 2006  
DESIGNED BY: MTD  
PROJECT: 06151

C1.0



### LEGEND

**EXISTING**

- — — — — PROPERTY LINE
- — — — — BUILDING SETBACK
- — — — — ABUTTERS PROPERTY
- — — — — EDGE OF PAVEMENT
- - - - -200- CONTOURS
- ▨ BUILDING
- G — GAS LINE
- S — SANITARY SEWER
- OHE — OVERHEAD UTILITY
- W — WATER LINE
- ⊙ SEWER MANHOLE
- ⊙ UTILITY POLE
- ⊙ TREE
- ~ TREELINE
- STOCKADE FENCE
- CHAINLINK FENCE
- ⊙ IRON PIPE
- ⊙ IRON PIPE FOUND
- ⊙ IRON PIPE SET

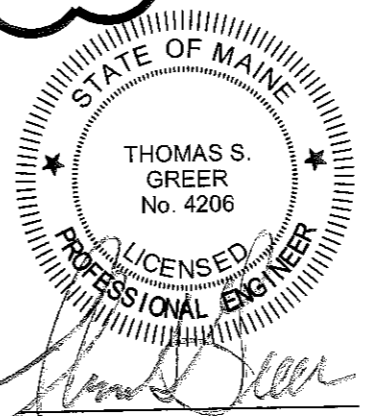
**PROPOSED**

- LOT LINE
- — — — — EDGE OF PAVEMENT
- — — — — CONTOURS
- ▨ BUILDING
- — — — — BUILDING ENTRY/EGRESS
- S — SANITARY SEWER
- UGE — UNDERGROUND UTILITY
- W — WATER LINE
- — — — — FOUNDATION DRAIN
- SPOT GRADE
- ⊙ x 291.5 IRON PIPE TO BE SET
- ⊙ WATER SHUT OFF
- ▨ BITUMINOUS PAVEMENT
- ▨ BUILDING HATCH
- ← PATH OF SURFACE DRAINAGE
- — — — — SILT FENCE

GRAPHIC SCALE: 1 INCH = 20 FEET

**NOTES:**

- FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR.
- EROSION CONTROL REQUIRED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
- TEST PIT REQUIRED TO DETERMINE DEPTH OF EX. SEWER IN BELFORT STREET. MAINTAIN POSITIVE SLOPE TO EXISTING SEWER, MINIMUM SLOPE = 1% FOR BOTH SEWER AND FOUNDATION DRAIN. A SUMP PUMP MAY BE REQUIRED FOR THE FOUNDATION DRAIN.

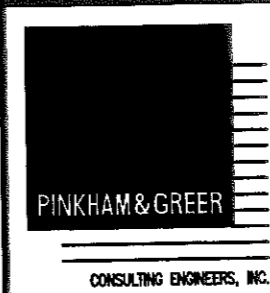


**OWNER/BUILDER:**  
CASCO BAY DEVELOPMENT, LLC

**ENGINEER:** PINKHAM & GREER  
CONSULTING ENGINEERS  
FALMOUTH, MAINE

**TOPOGRAPHY & BOUNDARY:**  
JAMES D. NADEAU, LLC  
PROFESSIONAL LAND SURVEYORS  
PORTLAND, MAINE 04102

## LAYOUT PLAN



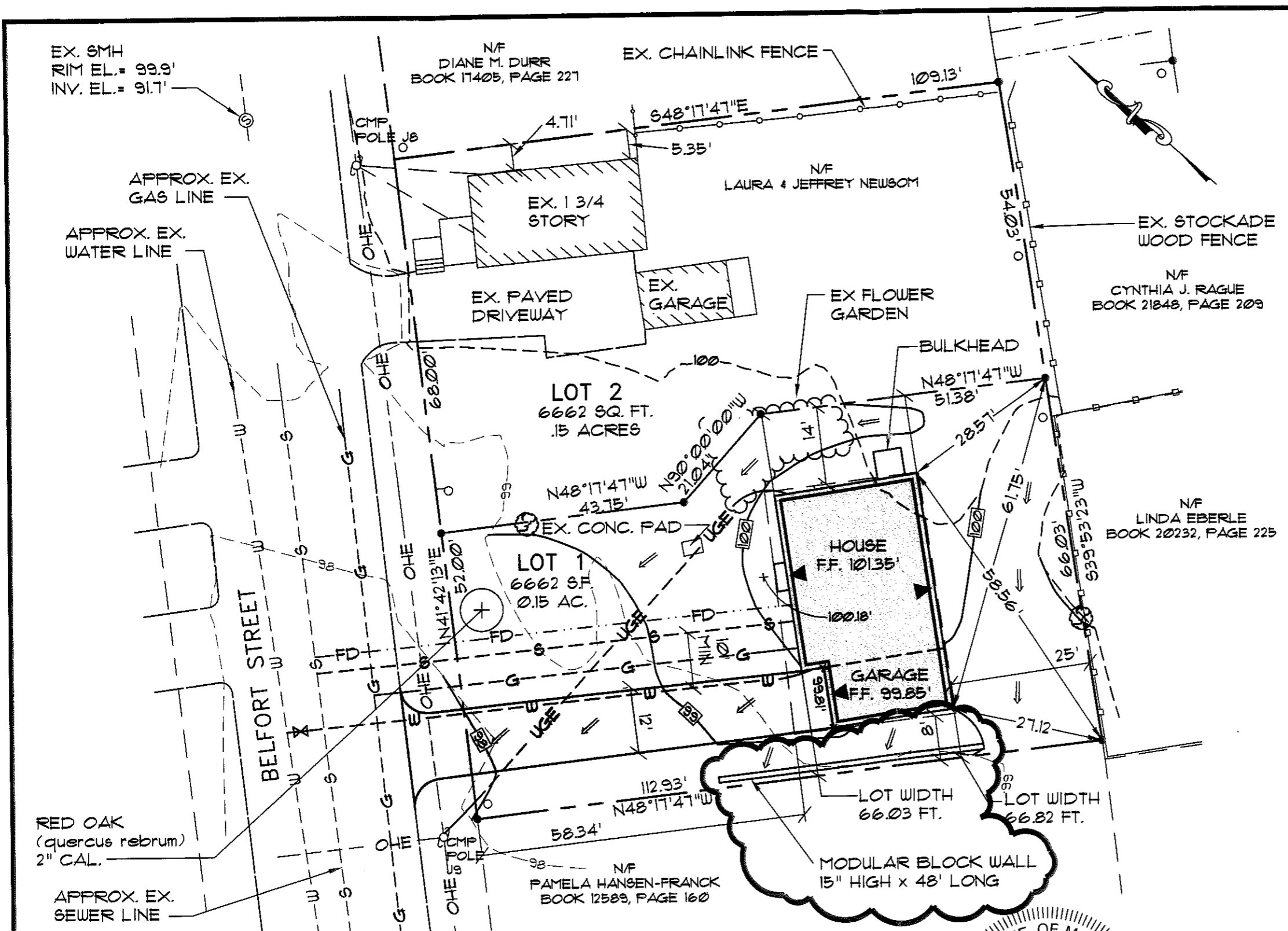
**88 BELFORT STREET  
PORTLAND, MAINE**

SCALE: AS SHOWN  
DATE: AUG. 1, 2006  
DESG BY: MTD  
PROJECT: 06151

2	10/9/07	ADDED RETAINING WALL
1	9/12/06	REV'D HOUSE SIZE, BUILDING ENVELOPE & SIDEYARD GRADING

**C1.0**

10/9/07



### LEGEND

EXISTING		PROPOSED	
---	PROPERTY LINE	---	LOT LINE
---	BUILDING SETBACK	---	EDGE OF PAVEMENT
---	ABUTTERS PROPERTY	---	CONTOURS
---	EDGE OF PAVEMENT	---	BUILDING
---	CONTOURS	---	BUILDING ENTRY/EGRESS
---	BUILDING	---	SANITARY SEWER
---	GAS LINE	---	UNDERGROUND UTILITY
---	SANITARY SEWER	---	WATER LINE
---	OVERHEAD UTILITY	---	FOUNDATION DRAIN
---	WATER LINE	---	SPOT GRADE
---	SEWER MANHOLE	---	IRON PIPE TO BE SET
---	UTILITY POLE	---	WATER SHUT OFF
---	TREE	---	BITUMINOUS PAVEMENT
---	TREELINE	---	BUILDING HATCH
---	STOCKADE FENCE	---	PATH OF SURFACE DRAINAGE
---	CHAINLINK FENCE	---	DRAINAGE
---	IRON PIPE	---	SILT FENCE
---	IRON PIPE FOUND	---	
---	IRON PIPE SET	---	

GRAPHIC SCALE: 1 INCH = 20 FEET

OWNER/BUILDER:  
CASCO BAY DEVELOPMENT, LLC

ENGINEER: PINKHAM & GREER  
CONSULTING ENGINEERS  
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STATE OF MAINE  
THOMAS S. GREER  
No. 4206  
LICENSED PROFESSIONAL ENGINEER

10/9/07

## LAYOUT PLAN

**88 BELFORT STREET  
PORTLAND, MAINE**

SCALE: AS SHOWN  
DATE: AUG. 1, 2006  
DESG BY: MTD  
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PINKHAM & GREER  
CONSULTING ENGINEERS, INC.

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