

EX. 6MH  
RIM EL. = 99.9'  
INV. EL. = 91.7'

APPROX. EX.  
GAS LINE

APPROX. EX.  
WATER LINE

N/E  
DIANE M. DURR  
BOOK 11405, PAGE 221

EX CHAINLINK FENCE

N/E  
LAURA & JEFFREY NEWBOM

EX PAVED  
DRIVEWAY

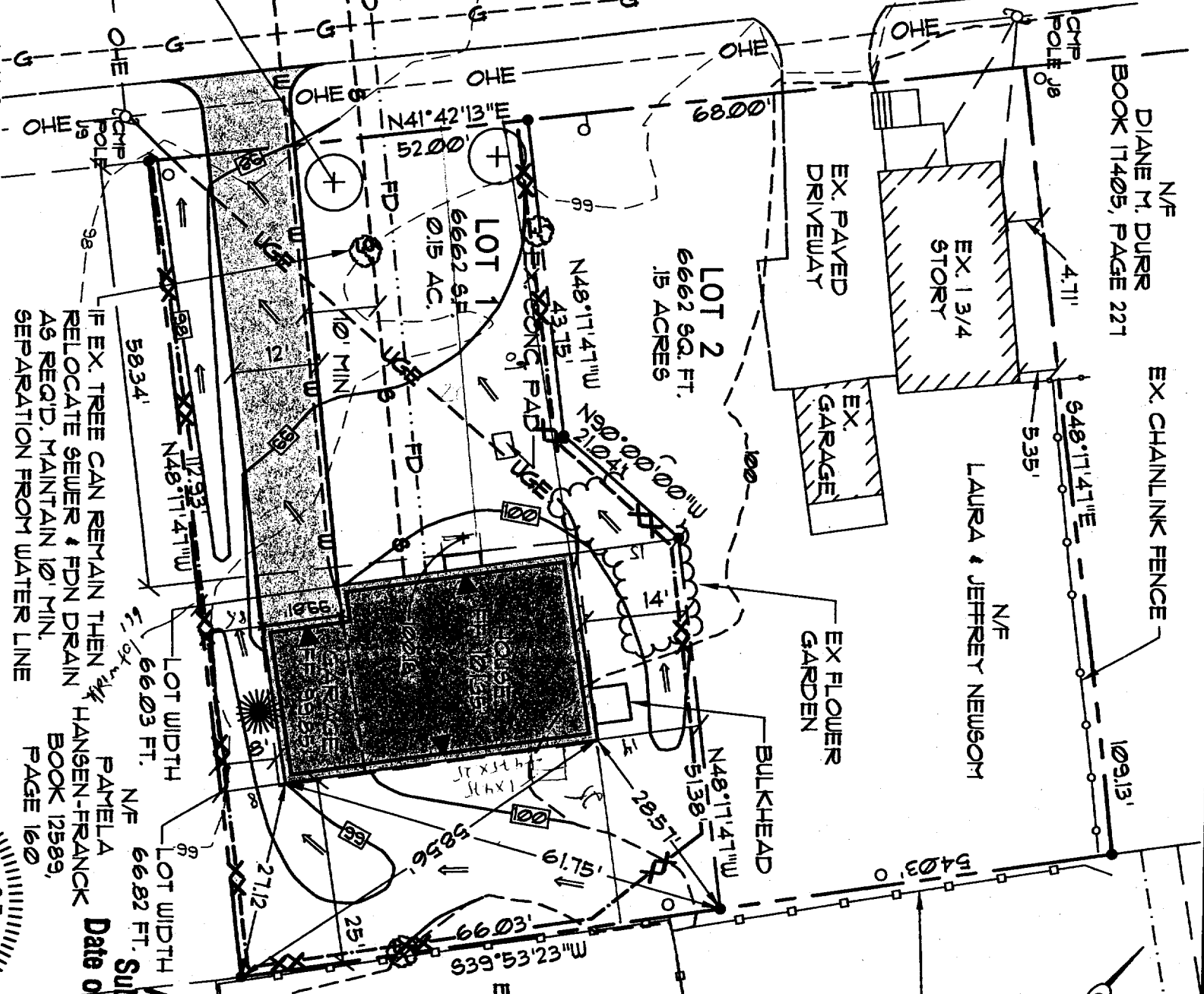
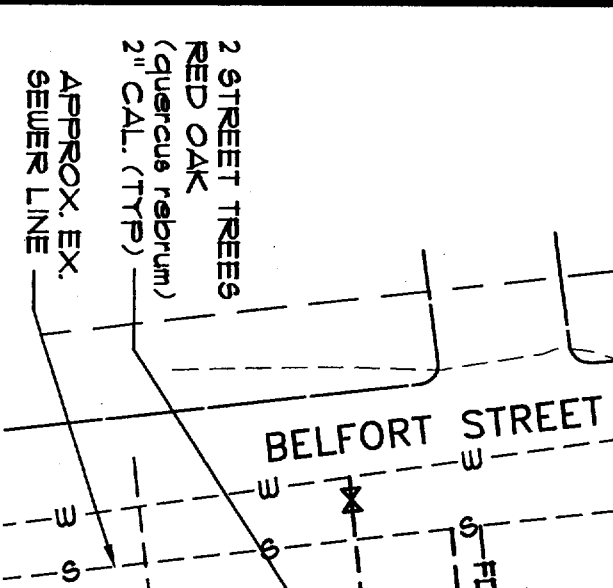
EX. GARAGE

EX FLOWER  
GARDEN

N/E  
CYNTHIA J. RAGUE  
BOOK 21848, PAGE  
209

EX STOCKADE  
WOOD FENCE

N/E  
LINDA EBERLE  
BOOK 20232, PAGE  
225



CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 9-13-06



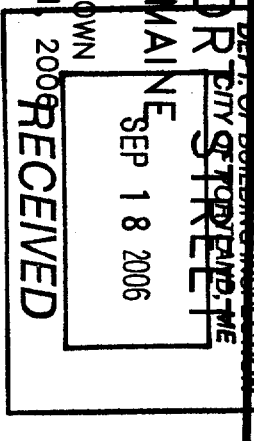
**LEGEND**

- EXISTING**
- PROPERTY LINE
  - BUILDING SETBACK
  - ABUTTERS PROPERTY
  - EDGE OF PAVEMENT
  - CONTOURS
  - BUILDING
  - GAS LINE
  - SANITARY SEWER
  - OVERHEAD UTILITY
  - WATER LINE
  - SEWER MANHOLE
  - UTILITY POLE
  - TREE
  - TREE LINE
  - STOCKADE FENCE
  - CHAINLINK FENCE
  - IRON PIPE
  - IRON PIPE FOUND
  - IRON PIPE SET
- PROPOSED**
- LOT LINE
  - EDGE OF PAVEMENT
  - CONTOURS
  - BUILDING
  - BUILDING ENTRY/EGRESS
  - SANITARY SEWER
  - UNDERGROUND UTILITY
  - WATER LINE
  - FOUNDATION DRAIN
  - SPOT GRADE
  - IRON PIPE TO BE SET
  - WATER SHUT OFF
  - BITUMINOUS PAVEMENT
  - BUILDING HATCH
  - PATH OF SURFACE
  - DRAINAGE
  - SILT FENCE

**LAYOUT PLAN**

88 BELFORD STREET  
PORTLAND, MAINE  
SEP 18 2006

SCALE: AS SHOWN  
DATE: AUG. 1 2006  
DESIGN BY: MTD  
PROJECT: 06151

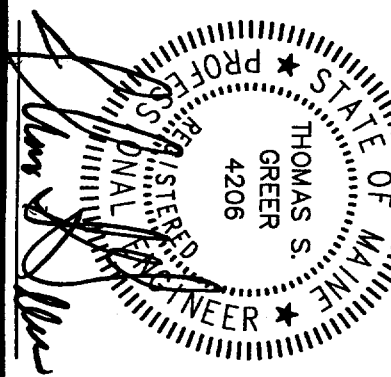


OWNER/BUILDER:  
CASCO BAY DEVELOPMENT, LLC

ENGINEER: PINKHAM & GREER  
CONSULTING ENGINEERS  
FALMOUTH, MAINE

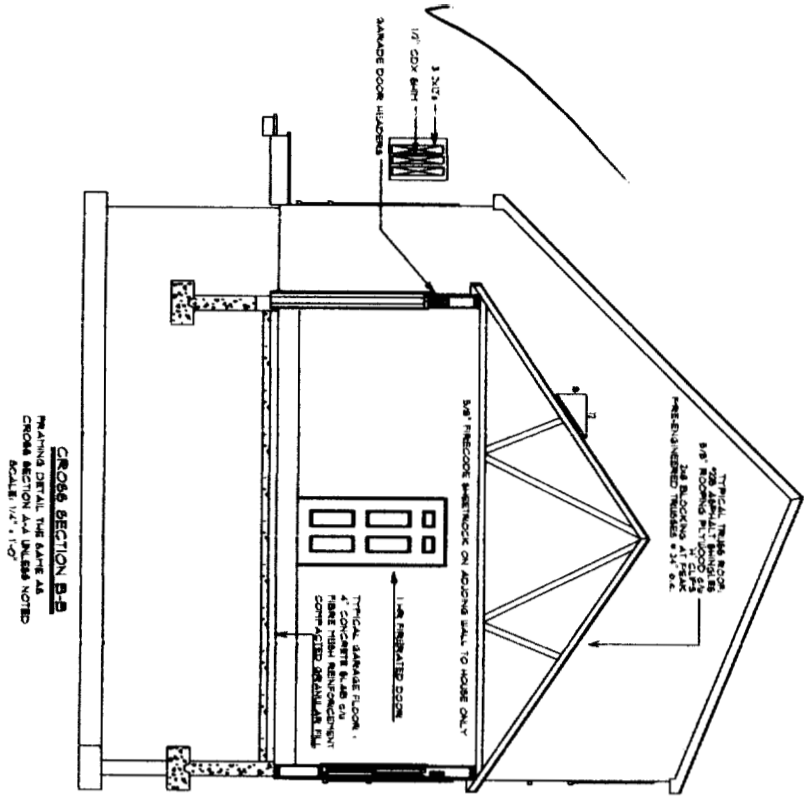
TOPOGRAPHY & BOUNDARY:  
JAMES D. NADEAU, LLC  
PROFESSIONAL LAND SURVEYORS  
PORTLAND, MAINE 04102

- NOTES:
1. FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR
  2. EROSION CONTROL REQUIRED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
  3. TEST PIT REQUIRED TO DETERMINE DEPTH OF EX. SEWER IN BELFORT STREET. MAINTAIN POSITIVE SLOPE TO EXISTING SEWER. MINIMUM SLOPE = 1% FOR BOTH SEWER AND FOUNDATION DRAIN. A SUMP PUMP MAY BE REQUIRED FOR THE FOUNDATION DRAIN.



PINKHAM & GREER  
CONSULTING ENGINEERS, INC.

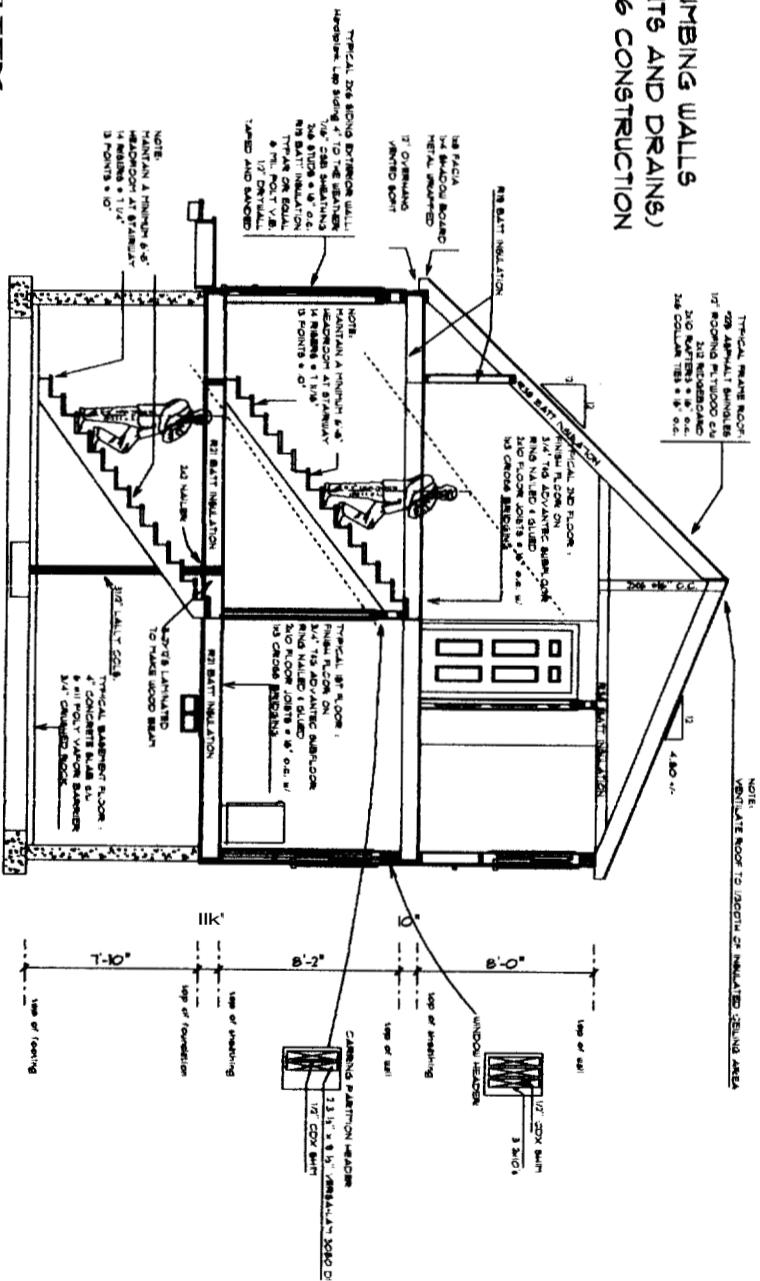
C1.0



CROSS SECTION B-B  
 FINISH DETAIL BEARING AS  
 CROSS SECTION AND DIMENSIONS NOTED  
 SCALE: 1/4" = 1'-0"

**HEATING SYSTEM:  
 FORCED HOT WATER  
 WITH POWER VENT,  
 POSITIONING BY  
 PLUMBING CONTRACTOR**

**NOTE: ALL PLUMBING WALLS  
 (WALLS WITH VENTS AND DRAINS)  
 ARE TO HAVE 2x6 CONSTRUCTION**



CROSS SECTION A-A  
 SCALE: 1/4" = 1'-0"

**NOTE: ALL WINDOWS  
 U-FACTOR = .31**

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 SEP 13 2006  
**RECEIVED**

**CONTRACTOR:**  
 CASCO BAY  
 DEVELOPMENT LLC.

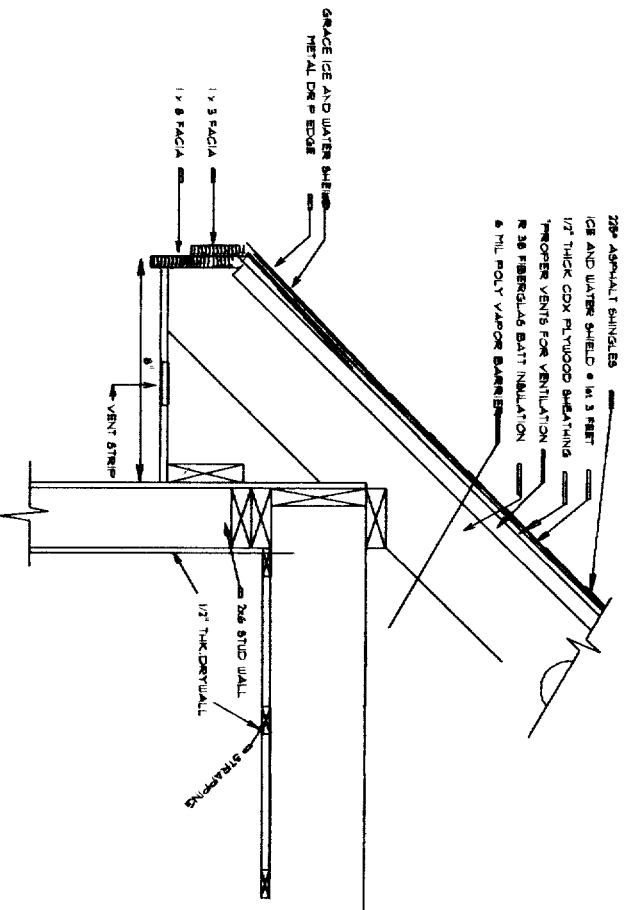
**PROJECT NAME:**  
 88 BELFORD ST.  
 PORTLAND ME.

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN BUILD ASS. + PALANZA DRAFTING, ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE OF THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.

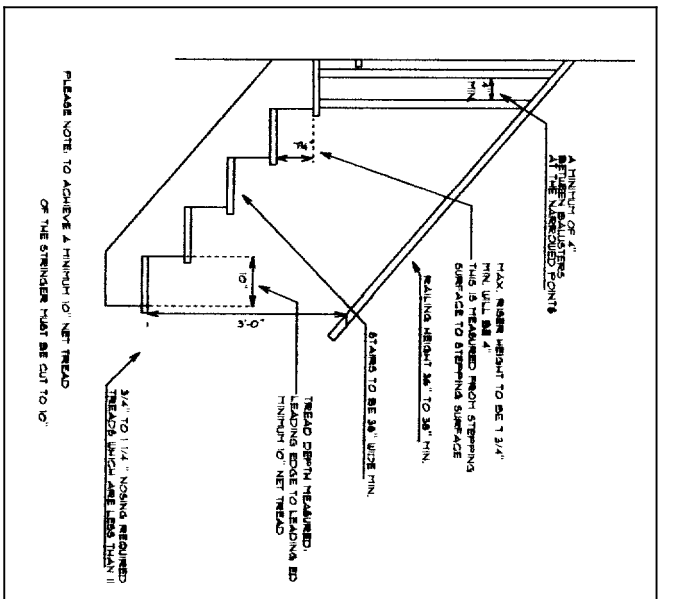
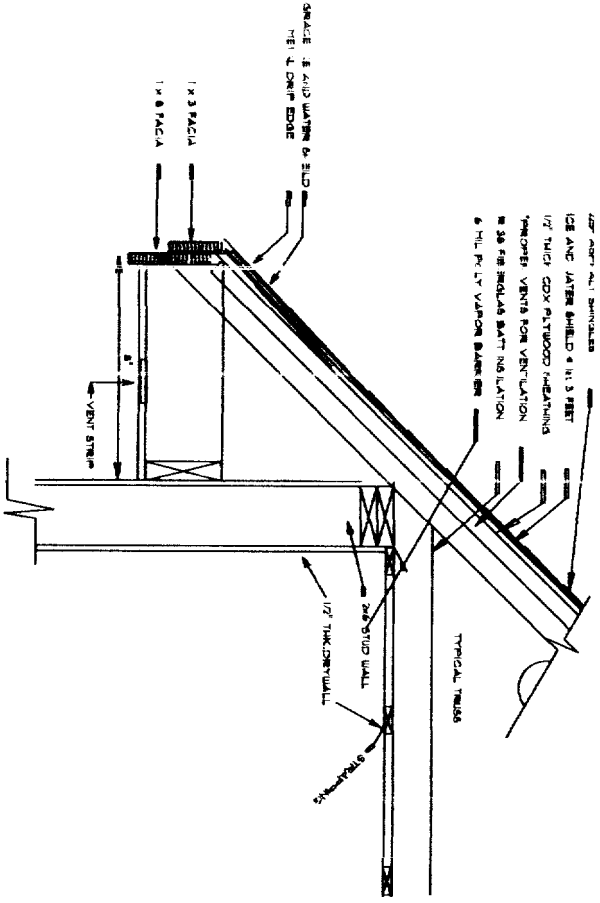
REV. OR DATE	E. BERTHEM 2006
DRAWING NO.	2006
SCALE	AS NOTED
DRAWN	
CHECKED	
DATE	
SHEET	OF



### TYPICAL RAFTER TRIM DETAIL



### TYPICAL TRUSS TRIM DETAIL



NOTE	LOCATION	FASTENING	CONNECTION
SEE NOTE F	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING
SEE NOTE E	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING
SEE NOTE D	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING
SEE NOTE C	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING
SEE NOTE B	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING
SEE NOTE A	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING
SEE NOTE F	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING
SEE NOTE E	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING
SEE NOTE D	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING
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SEE NOTE A	FACE WALL	1-1/2" O.D. STAKE 1-1/2" O.D. STAKE 1-1/2" O.D. STAKE	SEE DETAIL 200.10.1, 200.10.1 CEILING JOIST TO PLYWOOD SHEATHING

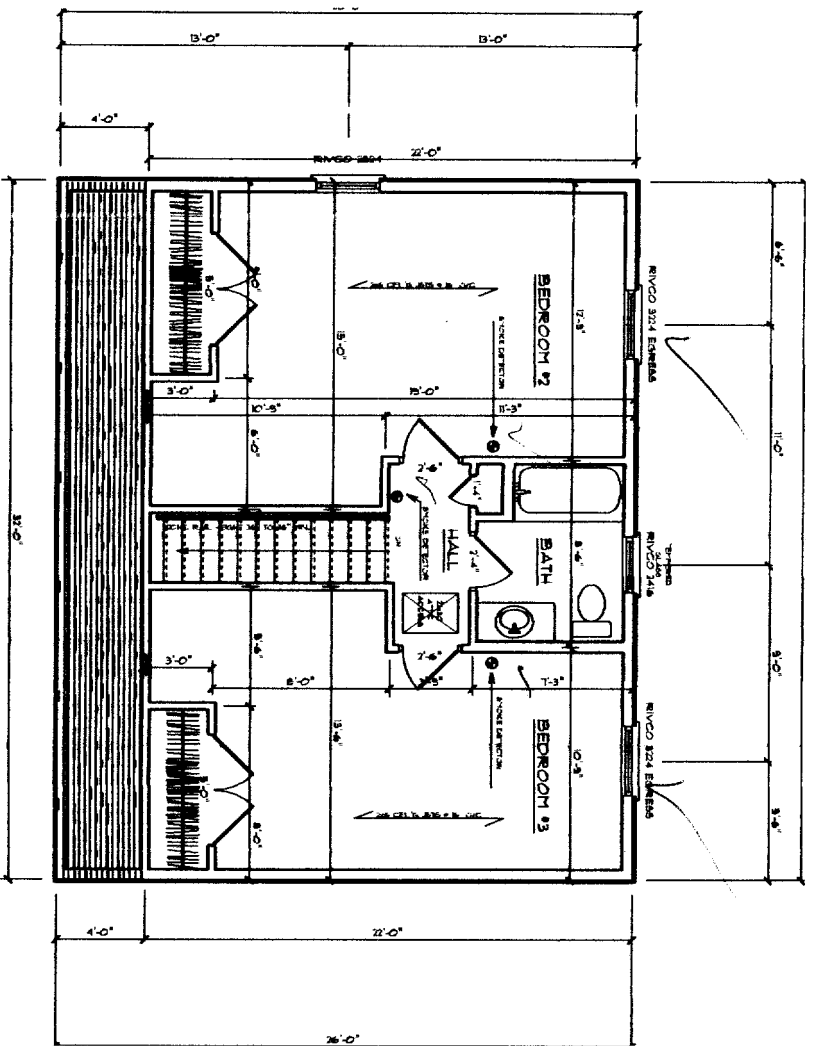
FASTENING SCHEDULE (SEE TABLE 2304.9.1 ME S RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

**CONTRACTOR:**  
**CASCO BAY DEVELOPMENT**

**PROJECT NAME:**  
**88 BELFORT PORTLAND ME.**

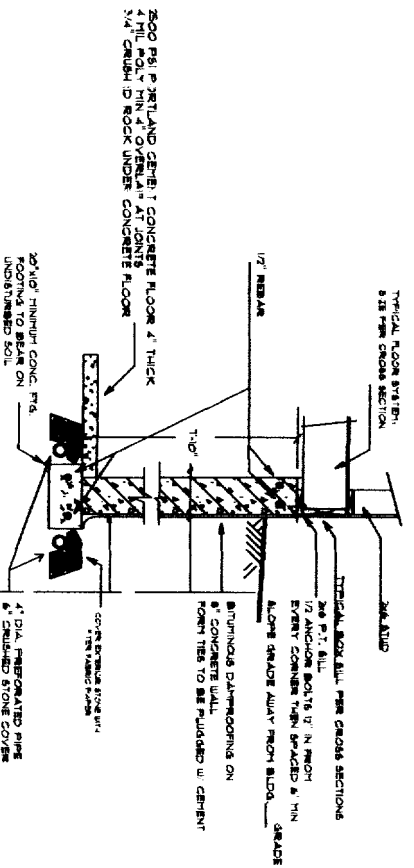
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REVISION DATE:	SEPTEMBER 11, 2004
DATE:	JULY 20, 2004
SCALE:	AS NOTED
DRAWING:	
TITLE:	
SHEET:	OF

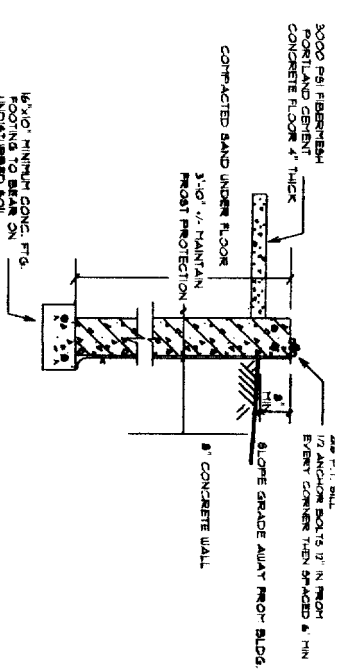


SCALE 1/4" = 1'-0"  
**SECOND FLOOR PLAN**  
 659 SF  
 NOTE: ALL PLUMBING WALLS (WALLS WITH VENTS AND DRAINS) ARE TO HAVE 2x6 CONSTRUCTION

- FOUNDATION NOTES:**
1. ALL FOUNDATION FOOTINGS SHALL BE DETERMINED BY THE CONTRACTOR.
  2. ALL FOUNDATION WALLS SHALL BE DETERMINED BY THE CONTRACTOR.
  3. ALL FOUNDATION WALLS SHALL BE DETERMINED BY THE CONTRACTOR.
  4. ALL FOUNDATION WALLS SHALL BE DETERMINED BY THE CONTRACTOR.
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  10. ALL FOUNDATION WALLS SHALL BE DETERMINED BY THE CONTRACTOR.
  11. ALL FOUNDATION WALLS SHALL BE DETERMINED BY THE CONTRACTOR.

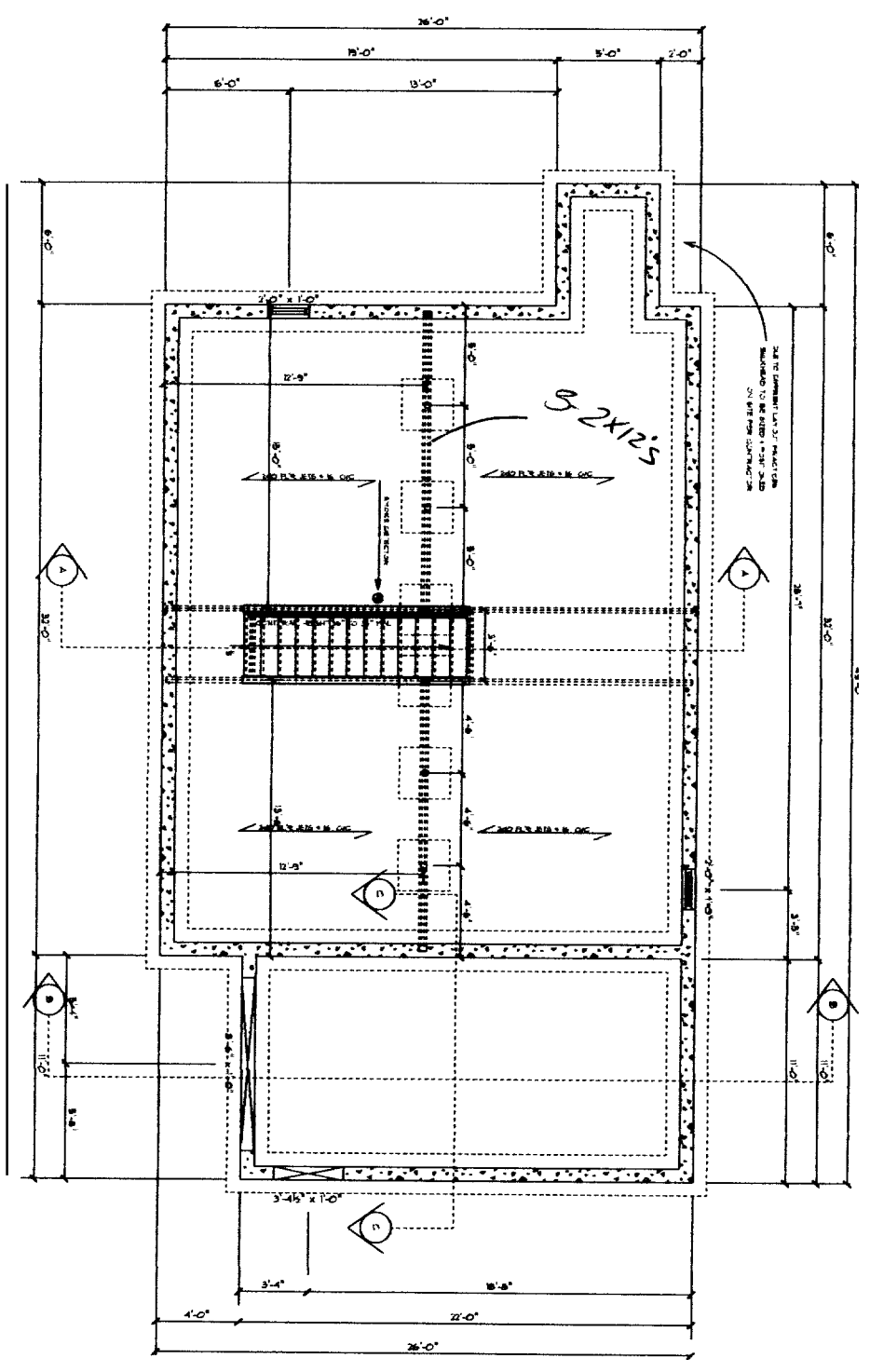


**TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE**



**TYPICAL FROST WALL SECTION - GARAGE**

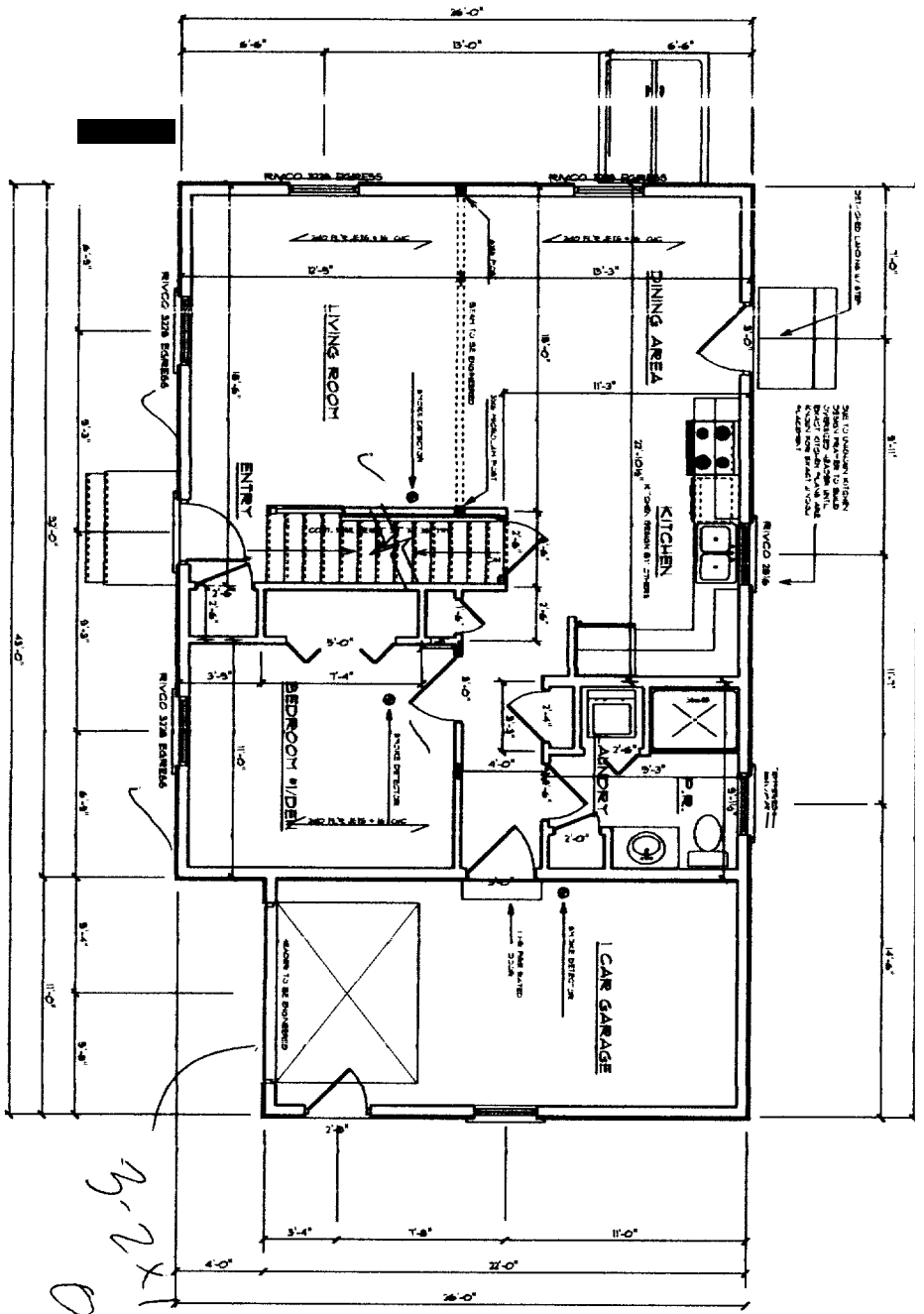
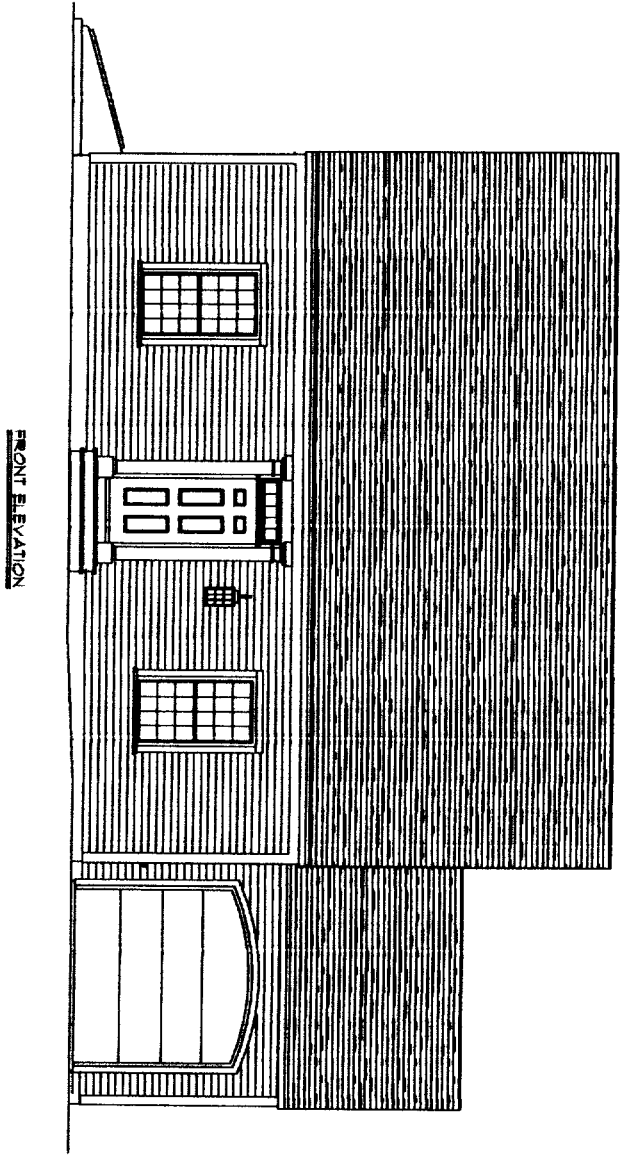
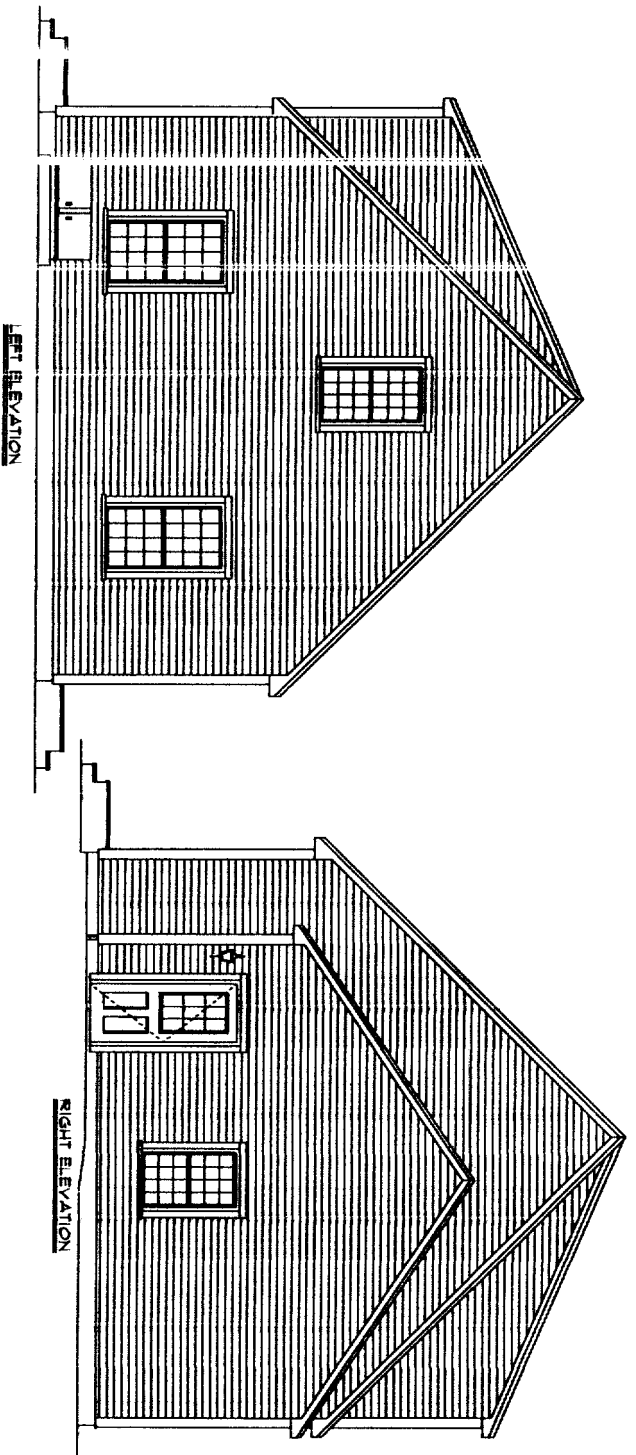
**FORCED HOT WATER WITH POWER VENT, POSITIONING BY PLUMBING CONTRACTOR**



**NOTE: ALL WINDOWS U-FACTOR = .31**

DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 SEP 13 2005  
**RECEIVED**

<b>CONTRACTOR:</b> CASCO BAY DEVELOPMENT LLC.		<b>PROJECT NAME:</b> 88 BELFORT ST. PORTLAND ME.		THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. DESIGN-BUILD AGREEMENTS ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE REVIEWED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION.
REVISION DATE	SEPTEMBER 11, 2005	DATE	JULY 20, 2004	
SCALE	AS NOTED	DRAWN	AS NOTED	
FILE		SHEET	05	



9-2 x 12's  
P/C

NOTE: ALL WINDOWS  
U-FACTOR = .31

MAIN FLOOR PLAN  
SCALE 1/4" = 1'-0"  
832 9F

NOTE: ALL PLUMBING WALLS  
(WALLS WITH VENTS AND DRAINS)  
ARE TO HAVE 2x6 CONSTRUCTION

CONTRACTOR:

CASCO BAY  
DEVELOPMENT LLC.

PROJECT NAME:

88 BELFORT ST.  
PORTLAND ME.

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REVISION DATE: SEPTEMBER 11, 2004
DATE: JULY 20, 2004
SCALE: AS NOTED
DRAWN:
FILE:
SHEET: 1 OF 1