

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1040	Issue Date:	CBL: 298 A030001
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Location of Construction: 80 Belfort St	Owner Name: Durr Diane M	Owner Address: 80 Belfort St	Phone: 797-4331
Business Name:	Contractor Name: American Dreamscape	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Past Use: Single Family	Proposed Use: Single Family w/ 12' x 14' sunroom on existing deck	Permit Fee: \$201.00	Cost of Work: \$19,800.00	CEO District: 5
Proposed Project Description: 12' x 14' sunroom on existing deck, add one foot extension to existing deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type	
		Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Condition <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: jmb	Date Applied For: 07/27/2004	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zon <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Us <input type="checkbox"/> Interpretatio <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landma <input type="checkbox"/> Does Not Require Revie <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Condition <input type="checkbox"/> Denied Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICAN	ADDRESS	DATE	PHO
RESPONSIBLE PERSON IN CHARGE OF WORK, TIT		DATE	PHO

Location of Construction: 80 Belfort St	Owner Name: Durr Diane M	Owner Address: 80 Belfort St	Phone: 797-4331
Business Name:	Contractor Name: American Dreamscape	Contractor Address: Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Dept: Zoning	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 07/27/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 07/27/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			
2) Separate permits are required for any electrical, plumbing, or heating.			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICAN

ADDRESS

DATE

PHO

RESPONSIBLE PERSON IN CHARGE OF WORK, TIT

DATE

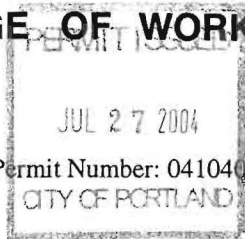
PHO

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT



Please Read
Application And
Notes, If Any,
Attached

This is to certify that Durr Diane M /American Dreamscape
 has permission to 12' x 14' sunroom on existing deck, add roof extension to existing deck
 AT 80 Belfort St 97107 298 A030001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise used-in. HOUR NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name

Diana Banks 7/27/04
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>80 Belfort St, Portland ME 04103</u>		
Total Square Footage of Proposed Structure <u>168</u>	Square Footage of Lot <u>7259</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>298</u> Block# <u>A</u> Lot# <u>30-31</u>	Owner: <u>DIANE DURR</u>	Telephone: <u>797 4331 (#)</u> <u>774 2642 (W)</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>American Dream SPACE</u> <u>1725 main st #9 iwc</u> <u>SANBORD, ME 04073</u>	Cost Of Work: \$ <u>19,800</u> Fee: \$ <u>201.00</u>
Current use: <u>Residential (single family)</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Same</u>		
Project description: <u>12x14 Sun Room on existing deck</u>		
Contractor's name, address & telephone: <u>American DreamSPACE iwc</u> <u>Ph. 324 6700</u>		
Who should we contact when the permit is ready: <u>Brian or Chris</u>		
Mailing address: <u>1725 main st #9</u> <u>SANBORD ME 04073 (324-6700)</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>7-22-04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703, or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- NA Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ~~Final Certificate of Occupancy:~~ Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL: 298-A-30 Building Permit #: 04-1040

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

1000 7/27

Current Owner Information

Card Number	1 of 1
Parcel ID	298 A030001
Location	80 BELFORD ST
Land Use	SINGLE FAMILY
Owner Address	DURR DIANE M 80 BELFORD ST PORTLAND ME 04103
Book/Page	17405/227
Legal	298-A-30-31 BELFORD ST 80 6491 SF

*Brian
per microfiche*

R3

#1040

#201-

Valuation Information

Land	Building	Total
\$31,710	\$59,640	\$91,350

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1954	Cape	1	1008	0.149	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1		6	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1978	9X12	D	A

Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

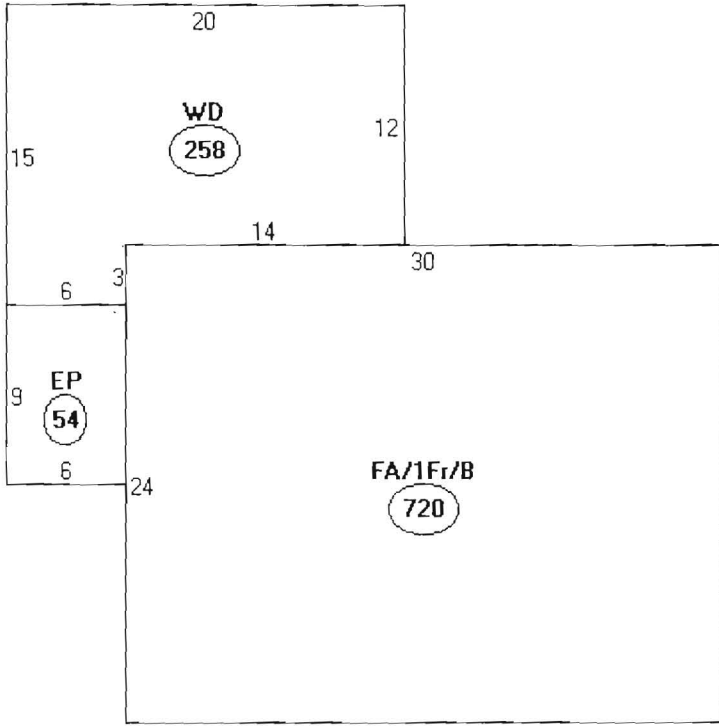
Picture Sketch

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!





Descriptor/Area
A: FA/1Fr/B
720 sqft
B: EP
54 sqft
C: WD
258 sqft

Handwritten calculations:

$$\begin{array}{r} 1,032 \\ 108 \text{ shed} \\ \hline 1,140 \text{ SF} \\ 12 \text{ Extension} \\ \hline 1,152 \text{ SF} \end{array}$$

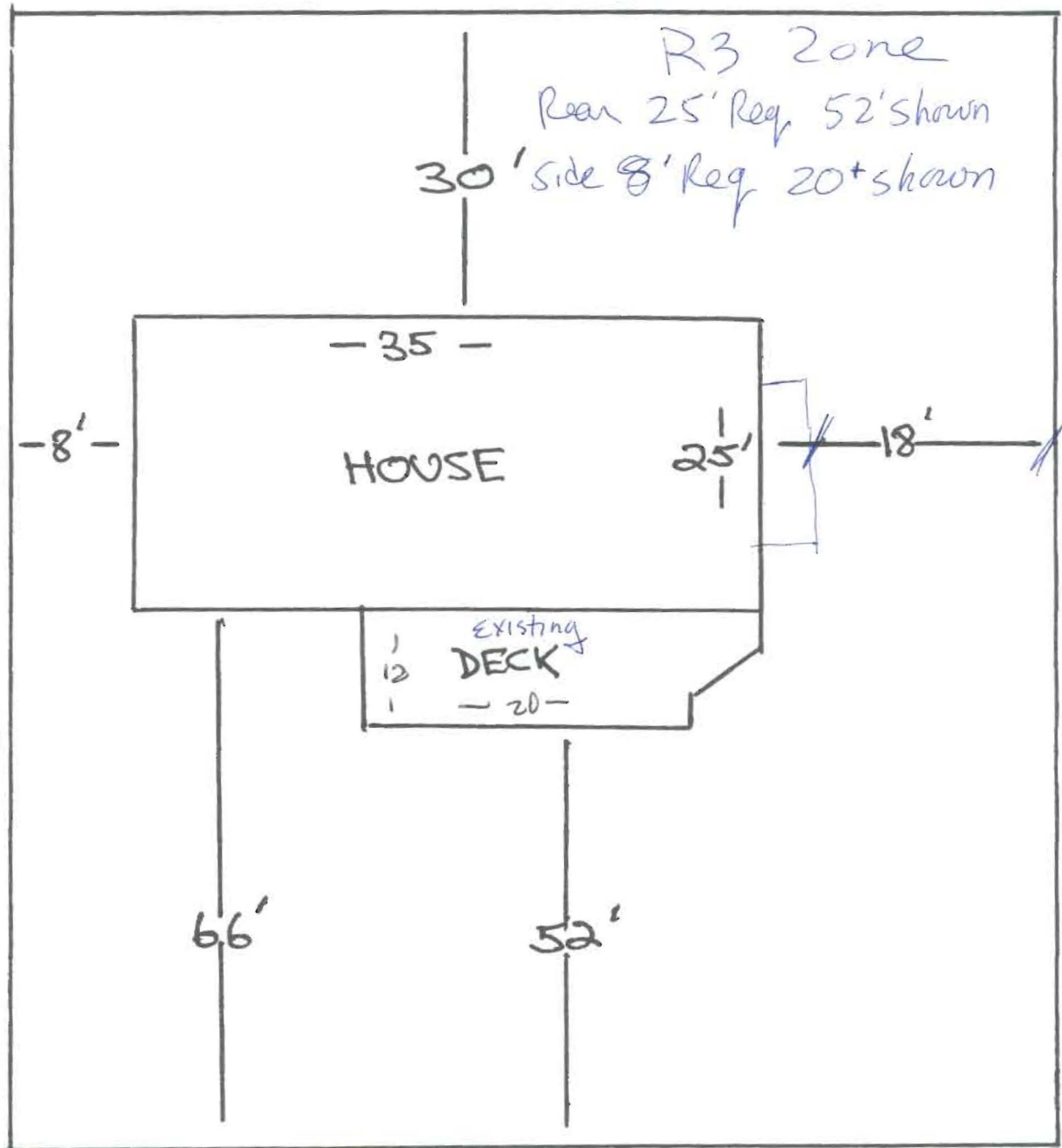
Handwritten calculation:

$$6,491 \times 25\% = 1,622.75$$

Handwritten "OK" with an arrow pointing to the 1,152 SF calculation.

PLOT PLAN
80 BELFORT STREET
PORTLAND, ME 04103

(Front)
Belfort St.



REAR

AMERICAN DREAMSPACE INC.
Patio Enclosures
1725 Main St. Unit #9
Sanford Maine 04073
207-324-6700
877-54-PATIO
(72846)
www.americandreamspace.com

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Dunn⁰¹ 7/21/04

File No: 02030529

Exhibit A - Mortgage

A certain lot or parcel of land with the buildings thereon, situated on the easterly side of Belfort Street in the City of Portland, County of Cumberland and State of Maine, being Lots No. 30 and 31 on a plan of lot called Portland Villa Sites, made by Ernest W. Branch, C.E. dated July 9, 1918 and recorded in Cumberland County Registry of Deeds in Plan Book 14, Page 7, to which plan reference is hereby made.

Together with the fee, in common with others, of all the streets and ways shown on said Plan.

Meaning and intending to describe and mortgage the same premises conveyed to the mortgagor(s) by deed recorded in the Cumberland County Registry of Deeds in Book 9128 at Page 259.



"We make your dream room a reality"

Come visit our showroom:
1725 Main Street Suite 9 • Sanford, Maine 04073

**City of Portland
Code Enforcement
Office of The buildings Inspector
Portland, ME**

July 22, 2004

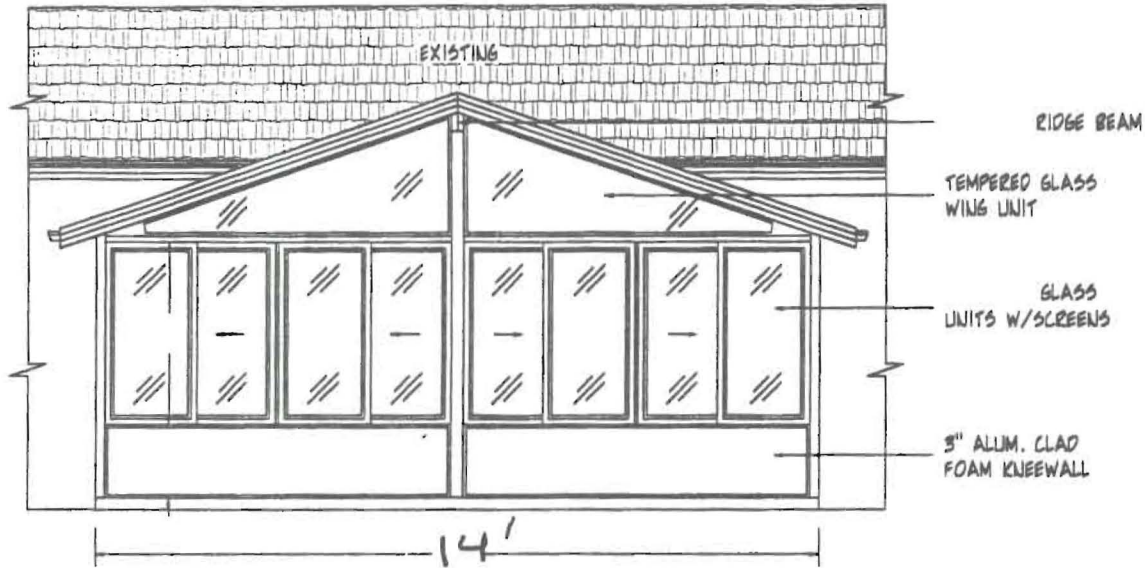
**PROJECT DESCRIPTION: 80 BELFORT ST,
PORTLAND, ME.**

**The existing deck off back of home will be widened by approx one foot to
accommodate a 12' x 14' patio enclosure (florida type room).**

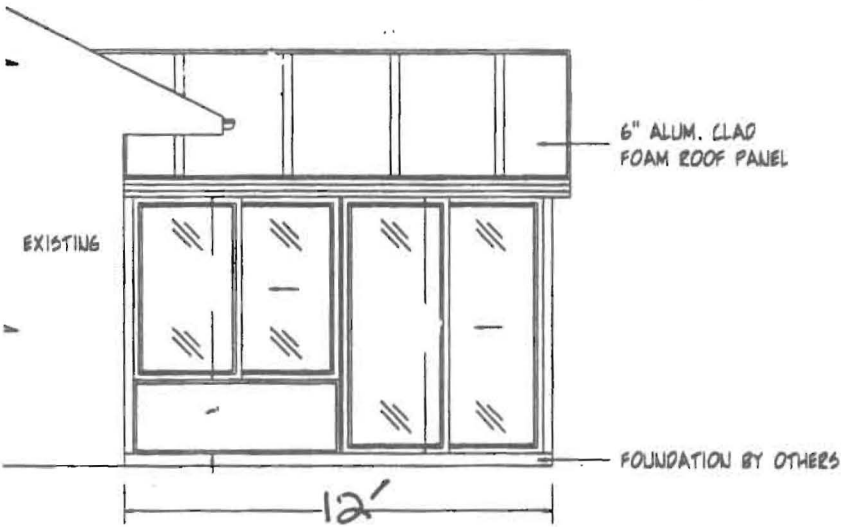
**NO ELECTRIC
NO PLUMBING
NO HEAT**

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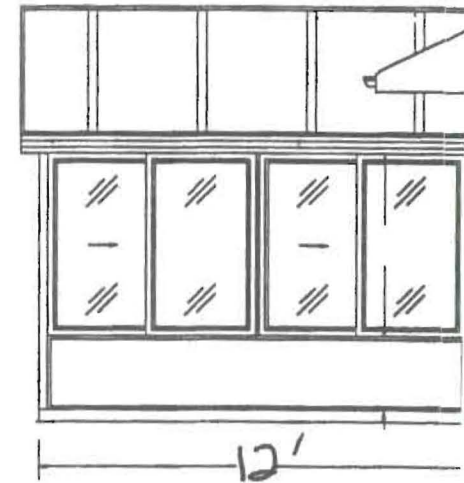
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B-WALL ELEVATION



A-WALL ELEVATION



C-WALL ELEVATION

NOTES:

3. NO HEAT, PLUMBING, OR ELECTRICAL

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 877-54-PATIO
 (72846)

www.americandreamspace.com

DRAWN

[Signature]

DATE

7/22/04

SCALE

1/4" = 1'-0"

30 Belford
 Portland
 "Dura"

[Signature]

JOB NO.

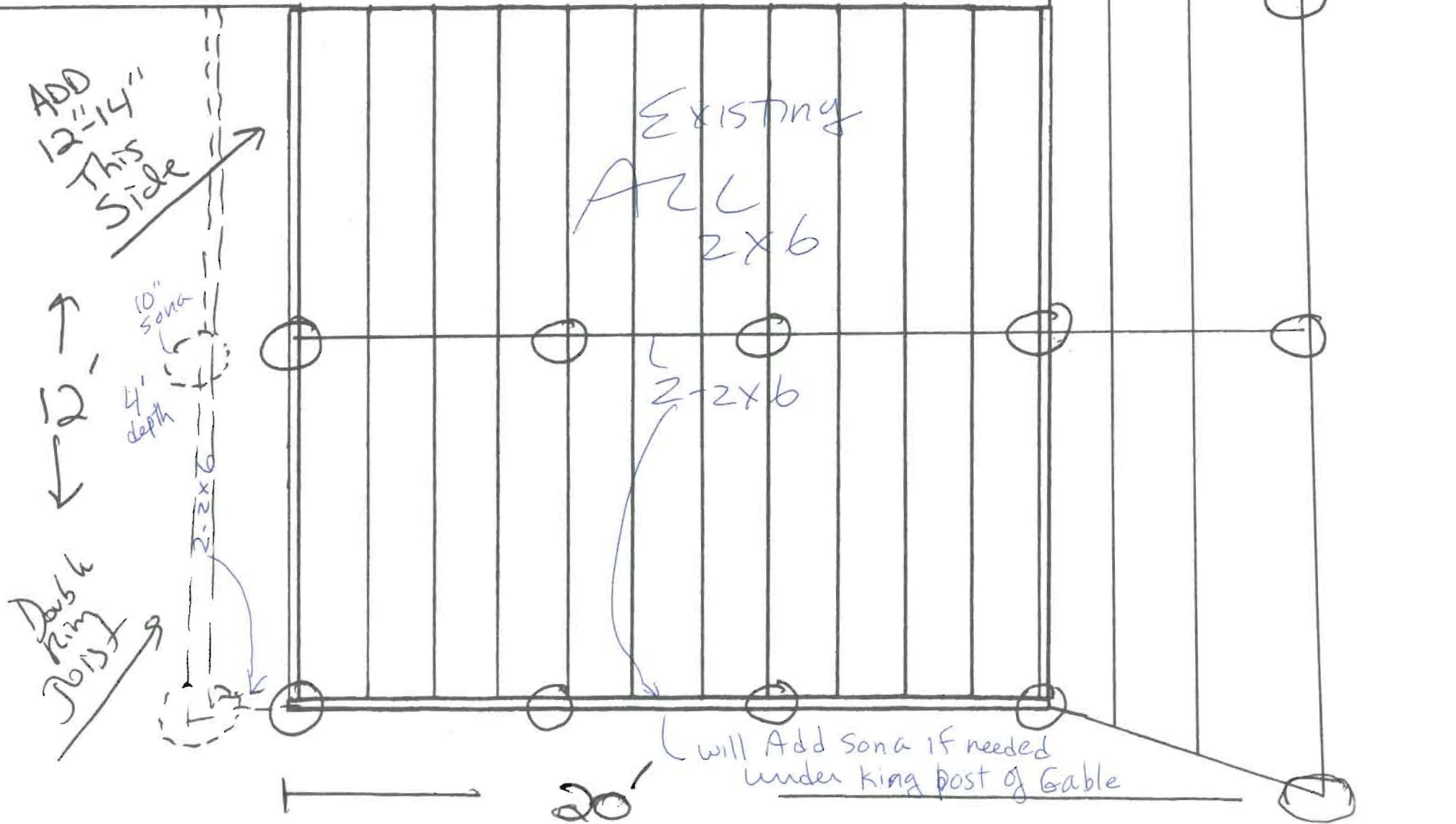
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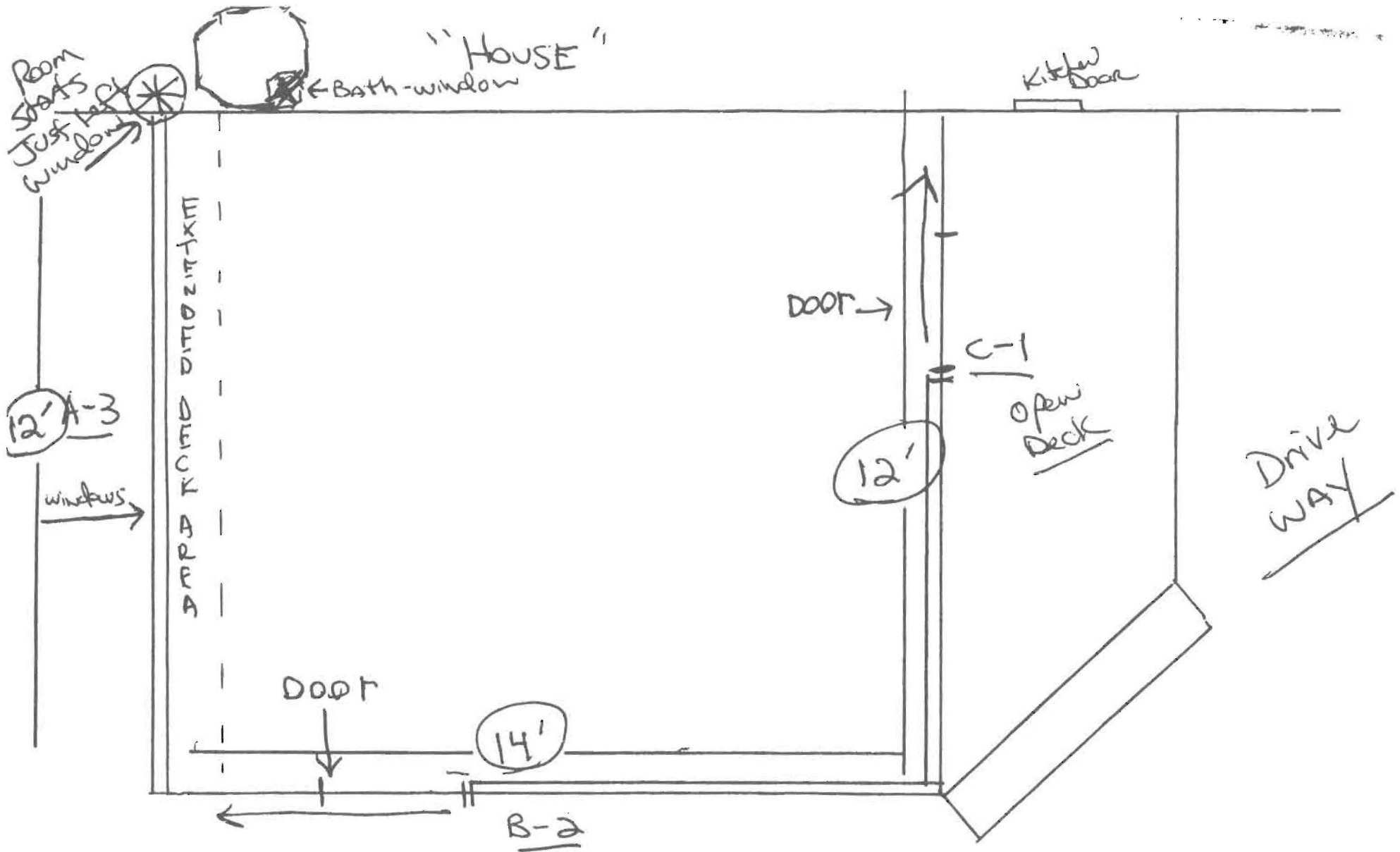
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Sanford Maine 04073
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Durr
80 Belfort, Portland.

House

House





- Gable Room (white)
- 2 slider doors sides (B-2 & C-1)
- All windows are sliders on Solid Kneurl
- Room on Existing Deck!

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10/10/04

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ENGINEERING PACKAGE

DONALD MEISEL, P.E.
 AMERIC TECHNOLOGY CORP.
 430 NORTH 30TH STREET
 PHILADELPHIA, PA. 19133 915-628-8000

THERMAL INDUSTRIES, INC.
 3700 HANEY COURT • MURKYSVILLE • PENNSYLVANIA 15668
 724-723-3080 FAX 724-327-9317

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DREAMSPACE 3100
 3,00" ENCLOSURE
 SECTION DETAILS

DATE: FEB. 2003
 DRAWN BY: DS-3100
 CHECKED BY: ED UHRIK
 COVER

	ALABAMA 22381		ALASKA PENDING		ARIZONA 33737		ARKANSAS 9864		CALIFORNIA PENDING		COLORADO 28511		CONNECTICUT 18610														
	DELAWARE 1333		DISTRICT OF COLUMBIA 5250		FLORIDA 43098		GEORGIA 022848		HAWAII PENDING		IDAHO PENDING		ILLINOIS P.E. STAMP 062-048347														
	ILLINOIS ARCH. STAMP <i>Walter R. Livingston, Jr.</i>		INDIANA PE-60506242		IOWA 12369		KANSAS 12184		KENTUCKY PE-16674		LOUISIANA 27929		MAINE 8858														
	MARYLAND P.E. STAMP 3681		MASSACHUSETTS 35807-CIVIL		MICHIGAN 57314		MINNESOTA 19855-6		MISSISSIPPI 13238	<p style="text-align: center;">Table of Contents</p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th style="text-align: right;">page</th> </tr> </thead> <tbody> <tr> <td>Professional Engineer Stamps</td> <td style="text-align: right;">1-2</td> </tr> <tr> <td>Note and Specifications</td> <td style="text-align: right;">3</td> </tr> <tr> <td>Plan and Elevation</td> <td style="text-align: right;">4</td> </tr> <tr> <td>System Components</td> <td style="text-align: right;">5</td> </tr> <tr> <td>Section Details</td> <td style="text-align: right;">6-7</td> </tr> <tr> <td>Loading Charts</td> <td style="text-align: right;">8-20</td> </tr> </tbody> </table> <p style="text-align: right;"><i>Donald D. Meisel</i> 7-5-03 DONALD MEISEL P.E. DATE</p>					page	Professional Engineer Stamps	1-2	Note and Specifications	3	Plan and Elevation	4	System Components	5	Section Details	6-7	Loading Charts	8-20
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430 JAMES BOWEN STREET
PUNAHONUE, HI 96751-9800

DREAMSPACE 3100
ENCLOSURE
3.00" P.E. STAMPS

FEB. 2003
DS-3100
ED UHRINER

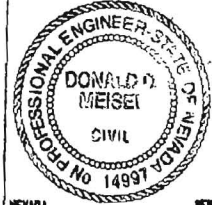
Stamps 1
1 of 20

Donald D. Meisel

NEW JERSEY P.E. STAMP GE-34584



NEW MEXICO 14380



NEVADA PENDING



NEW YORK 578157-1



NORTH CAROLINA 18198



NORTH CAROLINA 18198 NORTH CAROLINA PENDING OHIO C-54888



OKLAHOMA 19407



OREGON 19525PE



PENNSYLVANIA P.E. STAMP PE-002878-E



RHODE ISLAND 5551



SOUTH CAROLINA 14260



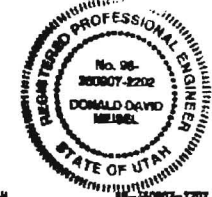
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TENNESSEE 021128



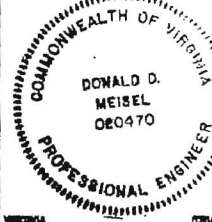
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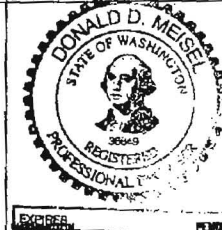
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VERMONT 7578



VIRGINIA 020470



WASHINGTON 9069



WEST VIRGINIA 4041



WISCONSIN 27725



WYOMING 2695

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Donald D. Meisel 3-5-09
DONALD MEISEL P.E. DATE

DONALD MEISEL, P.E.
AMERIC TECHNOLOGY CORP.
135 NORTH 20TH STREET
P.O. BOX 100, N. HAVEN, CT 06424

HERMAN INDUSTRIES, INC.
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P.E. ENCLOSURE
P.E. STAMPS

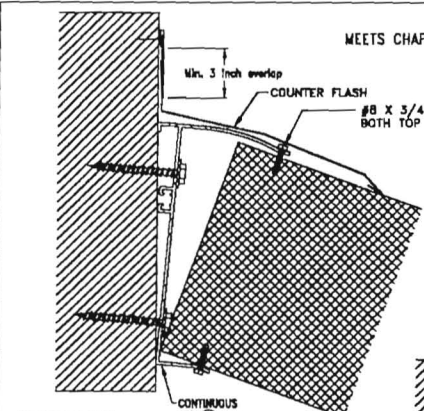
FEB 2003
P.E. 3100
P.E. ENCLOSURE
P.E. STAMPS
Stamps 2
2 of 30

MEETS CHAPTER 16 BOCA 1999 STRUCTURAL LOADS

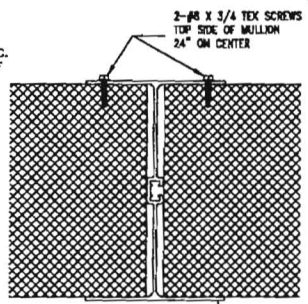
ROOF CROSS SECTIONS

8 INCH ROOF - #14x8" SMS / 3 INCH ROOF - #14x4" SMS WITH 1 1/2" O.D. GALVANIZED STEEL BONDED SEALING WASHER - SPACED @ 12" O.C. FOR 85, 90, AND 100 MPH 8" O.C. FOR 110, 120, 130, AND 140 MPH

8 INCH ROOF - #14x8" SMS / 3 INCH ROOF - #14x4" SMS WITH 1 1/2" O.D. GALVANIZED STEEL BONDED SEALING WASHER - SPACED @ 12" O.C. FOR 85, 90, AND 100 MPH 8" O.C. FOR 110, 120, 130, AND 140 MPH

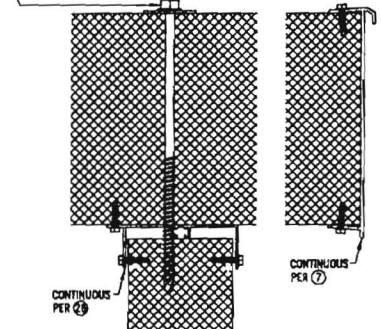


#8 X 3/4 TEK SCREWS SPACED 12" O.C. BOTH TOP AND BOTTOM OF ADJ. ROOF-F

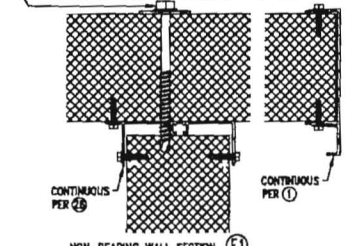


2-#8 X 3/4 TEK SCREWS TOP SIDE OF MULLION 24" ON CENTER

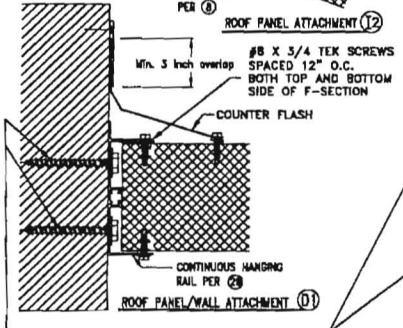
ROOF PANEL MULLION (E2) FULL LENGTH 1/4" PER (E)



NON-BEARING WALL SECTION (F2)

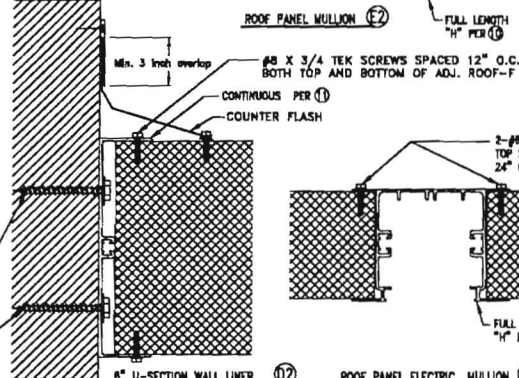


NON-BEARING WALL SECTION (F1)

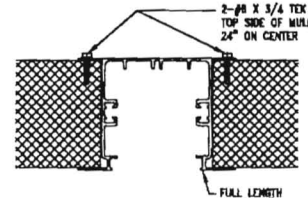


ROOF PANEL ATTACHMENT (I2)

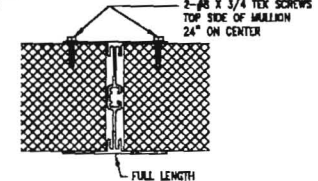
#8 X 3/4 TEK SCREWS SPACED 12" O.C. BOTH TOP AND BOTTOM SIDE OF F-SECTION



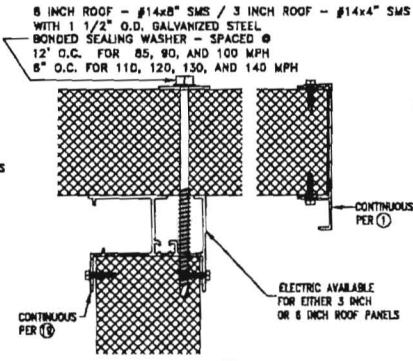
8" U-SECTION WALL LINER (I2)



ROOF PANEL ELECTRIC MULLION (E3)



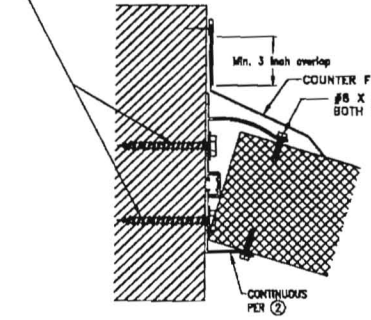
ROOF PANEL MULLION (E1)



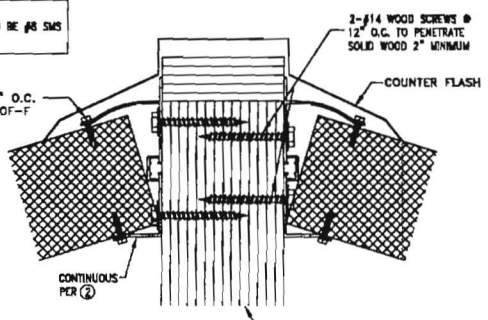
NON-BEARING WALL SECTION (F3)

- 2 - 1/4" # WOOD SCREWS @ 18" O.C. TO PENETRATE SOLID WOOD 1-3/4" MINIMUM UP TO 30 PSF LIVE LOAD
- 2 - 1/4" # WOOD SCREWS @ 16" O.C. TO PENETRATE SOLID WOOD 2" MINIMUM UP TO 40 PSF LIVE LOAD
- 2 - 5/16" # WOOD SCREWS @ 18" O.C. TO PENETRATE SOLID WOOD 2-1/2" MINIMUM UP TO 60 PSF LIVE LOAD
- 2 - 3/8" # WOOD SCREWS @ 18" O.C. TO PENETRATE SOLID WOOD 2-1/2" MINIMUM UP TO 70 PSF LIVE LOAD

NOTES:
ALL FASTENERS NOT SPECIFIED TO BE #8 SMS SPACED AT 24" O.C.

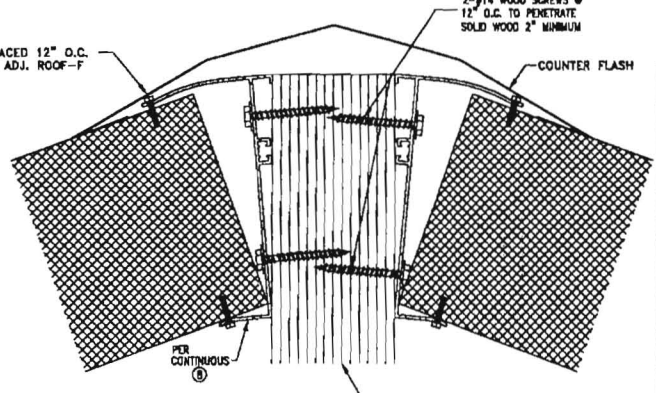


ROOF PANEL ATTACHMENT (I1)



ROOF PANEL ATTACHMENT @ GABLE (J1)

ENGINEERED LAMINATED BEAM SEE TABLE D & E



ROOF PANEL ATTACHMENT @ GABLE (J2)

ENGINEERED LAMINATED BEAM SEE TABLE D & E

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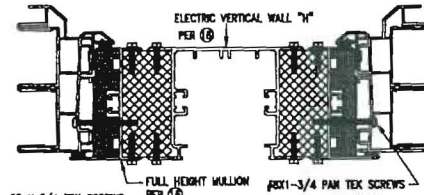
DATE: FEB. 2003
REV: DS-3100
DRAWN BY: ED UHRIK
DWG. NO.:
Sheet 4
7 OF 20

6 INCH ROOF - #14x8" SMS / 3 INCH ROOF - #14x4" SMS
WITH 1 1/2" O.D. GALVANIZED STEEL
BONDED SEALING WASHER - SPACED @
12" O.C. FOR 85, 90, AND 100 MPH
6" O.C. FOR 110, 120, 130, AND 140 MPH

WALL CROSS SECTIONS

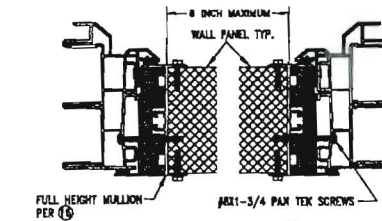
MEETS CHAPTER 16 BOCA 1999 STRUCTURAL LOADS

3 INCH AND 6 INCH ROOF PANELS AVAILABLE
(3 INCH SHOWN)
6 INCH ROOF - #14x8" SMS / 3 INCH ROOF - #14x4" SMS
WITH 1 1/2" O.D. GALVANIZED STEEL
BONDED SEALING WASHER - SPACED @
12" O.C. FOR 85, 90, AND 100 MPH
6" O.C. FOR 110, 120, 130, AND 140 MPH

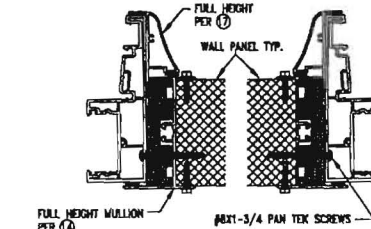


2 - #8 x 3/4 TEK SCREWS
EACH SIDE OF MULLION

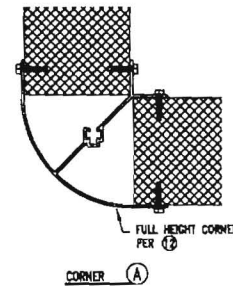
CHASE WAY WALL MULLIONS (B1)



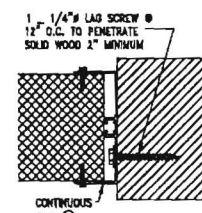
WINDOW WALL MULLIONS (B2)



SLIDING DOOR WALL MULLIONS (B3)



CORNER (A)



U-SECTION WALL LINER (C)
HOUSE

CONTINUOUS PANEL GUTTER
W/#8 SMS @ 12" O.C. TOP &
BOTTOM TO ROOF PANEL
SEE (3) FOR 3 INCH
SEE (4) FOR 6 INCH

ELECTRIC HEADER WITH ADJUSTABLE ARM
SEE (1), (2), (3)

EXPANDER SHALL BEAR FIRMLY
ON MULLION SECTION PRIOR
TO INSTALLATION OF FASTENERS

WALL H SECTION SEE (15)

EXT. WINDOW TRIM SEE (24)

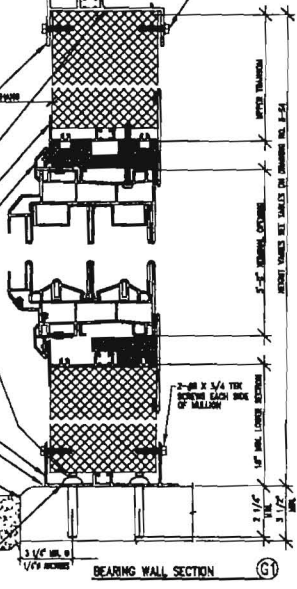
FOR CONCRETE USE 1/4" EXPANSION ANCHORS
FOR WOOD USE 1/4" x 2 1/2" LAG SCREWS
(2) 1/4" ANCHORS 85 & 90 MPH
(4) 1/4" ANCHORS 100 THRU 140 MPH
LOCATE ANCHORS 2 1/4" EA.
SIDE OF MULLION. SEE NOTE #10
AND 16" O.C. BETWEEN MULLIONS

BASE EXPANDER SEE (25)

BASE EXPANDER SPLICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION

EXIST. OR NEW CONCRETE
SLAB IN GOOD CONDITION.
BUILDING PLATFORM
SUPPORTED BY
FOUNDATION FOOTER, OR
PIER TO LOCAL CODE.

SILLPLATE TO BE ANCHORED TO
FOOTER THROUGH KNEEWALL



BEARING WALL SECTION (G1)

CONTINUOUS PANEL GUTTER
W/#8 SMS @ 12" O.C. TOP &
BOTTOM TO ROOF PANEL
SEE (3) FOR 3 INCH
SEE (4) FOR 6 INCH

TOP TRACK EXPANDER
SEE (2)

5-PLY HEADER PANEL
STANDARD ABOVE SLIDING DOORS

WALL H SECTION SEE (15)

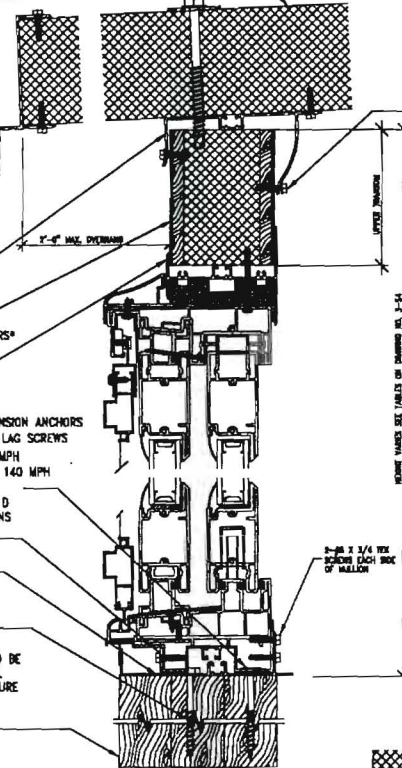
FOR CONCRETE USE 1/4" EXPANSION ANCHORS
FOR WOOD USE 1/4" x 2 1/2" LAG SCREWS
(2) 1/4" ANCHORS 85 & 90 MPH
(4) 1/4" ANCHORS 100 THRU 140 MPH
LOCATE ANCHORS 2 1/4" EA.
SIDE OF MULLION. SEE NOTE #10
AND 16" O.C. BETWEEN MULLIONS

BASE EXPANDER SEE (25)

BASE EXPANDER SPLICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION

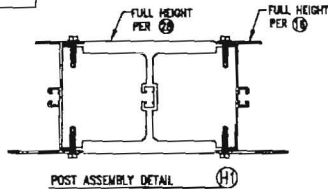
EXIST. OR NEW WOOD
FRAME IN GOOD CONDITION
DESIGN FOR FRAME SUPPORT TO BE
BY OTHERS TO MEET THE LOCAL
BUILDING CODES & ALL ENCLOSURE
LOADS TRANSFER THROUGH.

SUPPORT FOR DOOR.

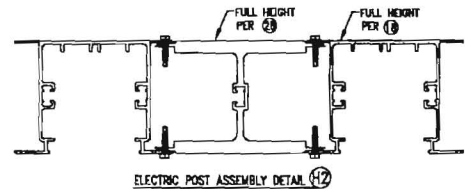


BEARING WALL SECTION (G2)

NOTE:
ALL FASTENERS NOT SPECIFIED TO BE #8 x 3/4 SMS
SPACED AT 24" O.C.



POST ASSEMBLY DETAIL (H1)



ELECTRIC POST ASSEMBLY DETAIL (H2)

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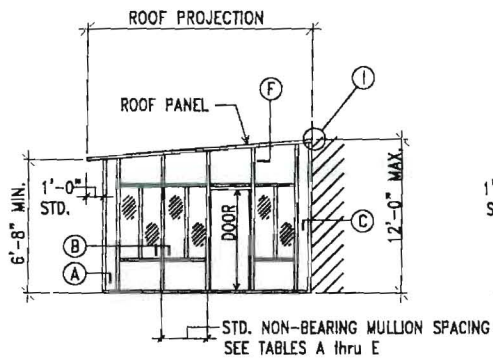
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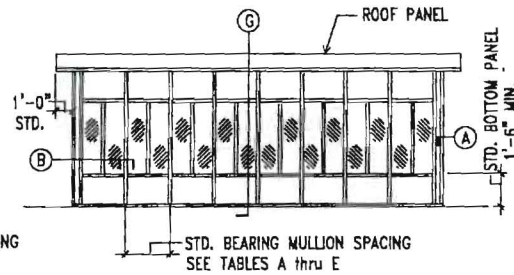
DREAMSPACE 3100
3.00" ENCLOSURE
SECTION DETAILS

DATE: FEB. 2003
JOB NO.: DS-3100
DRAWN BY: ED UHRINEK
CHKD BY:

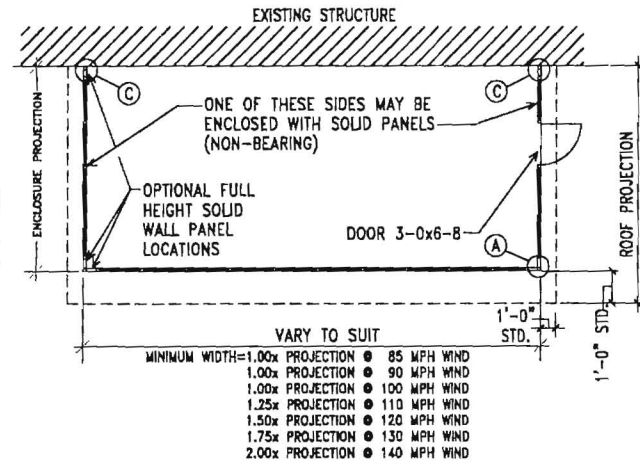
Sheet 3
8 OF 20



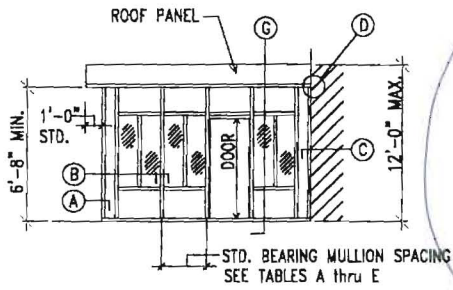
**MARQUE (LEAN-TO)
ENCLOSURE END WALL ELEVATION**
NON-LOAD BEARING



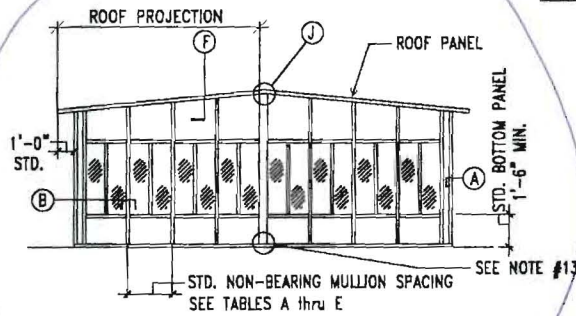
**MARQUE (LEAN-TO)
ENCLOSURE FRONT WALL ELEVATION**
LOAD BEARING



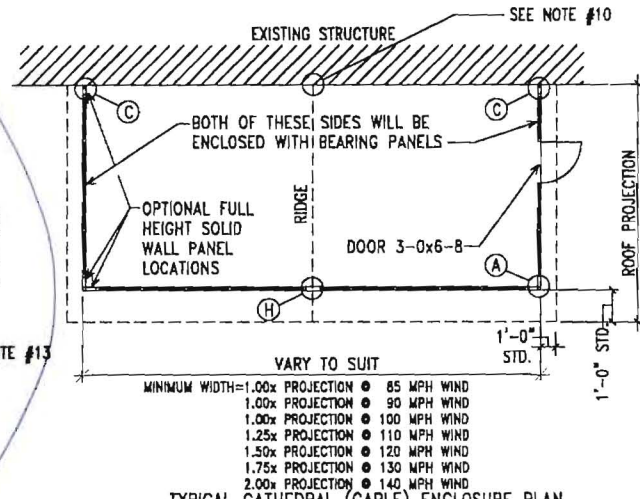
TYPICAL MARQUE (LEAN-TO) ENCLOSURE PLAN



**CATHEDRAL (GABLE)
ENCLOSURE PROJECTION WALL ELEVATION**
LOAD BEARING



**CATHEDRAL (GABLE)
ENCLOSURE FRONT WALL ELEVATION**
NON-LOAD BEARING



TYPICAL CATHEDRAL (GABLE) ENCLOSURE PLAN

NOTE:
ALL SECTIONS & DETAILS REFERENCED
HERE ARE SHOWN ON SHEET 3-S3
SEE NOTES #1 & 2

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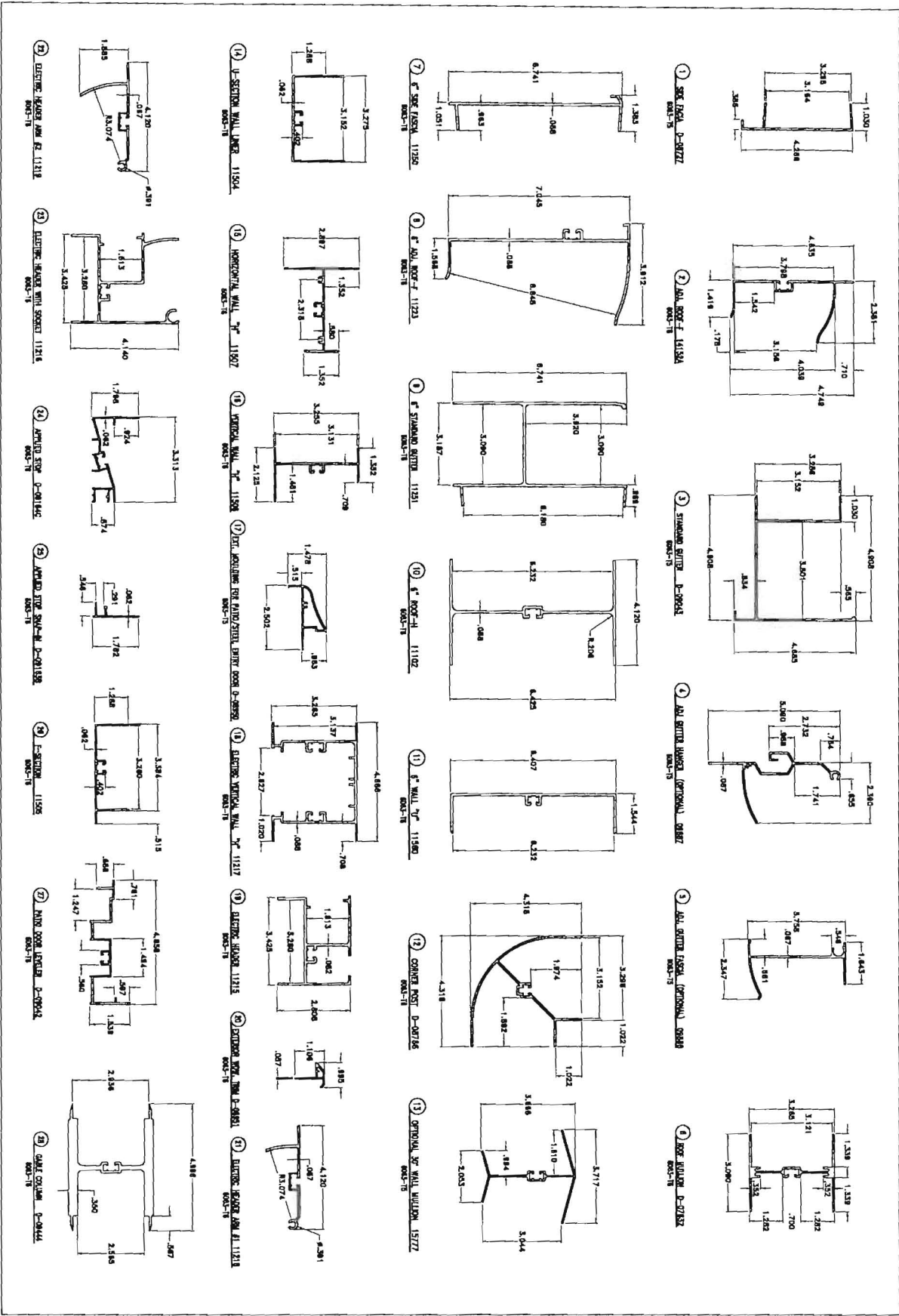
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Sheet 1
 4 OF 20



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 PHILADELPHIA, PA 19123 215-628-8636

DATE: FEB. 2003
 DWG NO.: DS-3100
 DRAWN BY: ED UHRNICK
 SHEET NO.: Sheet 1.2
 3 OF 20

**SNOW & WIND
LOADING CHARTS**

LOAD BEARING WALL - SECTION G

TABLE "A-50S"



50 PSF SNOW LOAD

CHARTS ARE FOR
STANDARD HEADER

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
		MAXIMUM ENCLOSURE PROJECTION			
85 MPH WIND					
36" C/C	84"	16'-7"	15'-7"	14'-6"	13'-4"
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	16'-7"	15'-7"	14'-6"	13'-4"
	108"	16'-7"	15'-7"	14'-6"	13'-4"
48" C/C	84"	8'-10"	7'-9"	6'-7"	---
	88"	8'-10"	7'-9"	6'-7"	---
	96"	8'-10"	7'-9"	6'-7"	---
	108"	8'-10"	7'-9"	6'-7"	---
60" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
		MAXIMUM ENCLOSURE PROJECTION			
90 MPH WIND					
36" C/C	84"	16'-7"	15'-7"	14'-6"	13'-4"
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	16'-7"	15'-7"	14'-6"	13'-4"
	108"	16'-7"	15'-7"	14'-6"	13'-4"
48" C/C	84"	8'-10"	7'-9"	6'-7"	---
	88"	8'-10"	7'-9"	6'-7"	---
	96"	8'-10"	7'-9"	6'-7"	---
	108"	8'-10"	7'-9"	6'-7"	---
60" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
		MAXIMUM ENCLOSURE PROJECTION			
100 MPH WIND					
36" C/C	84"	16'-7"	15'-7"	14'-6"	13'-4"
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	16'-7"	15'-7"	14'-6"	13'-4"
	108"	16'-7"	15'-7"	14'-6"	13'-4"
48" C/C	84"	8'-10"	7'-9"	6'-7"	---
	88"	8'-10"	7'-9"	6'-7"	---
	96"	8'-10"	7'-9"	6'-7"	---
	108"	8'-10"	7'-9"	6'-7"	---
60" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
		MAXIMUM ENCLOSURE PROJECTION			
110 MPH WIND					
36" C/C	84"	16'-7"	15'-7"	14'-6"	13'-4"
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	16'-7"	15'-7"	14'-6"	13'-4"
	108"	16'-7"	15'-7"	14'-6"	13'-4"
48" C/C	84"	8'-10"	7'-9"	6'-7"	---
	88"	8'-10"	7'-9"	6'-7"	---
	96"	8'-10"	7'-9"	6'-7"	---
	108"	7'-7"	6'-6"	---	---
60" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
		MAXIMUM ENCLOSURE PROJECTION			
120 MPH WIND					
36" C/C	84"	16'-7"	15'-7"	14'-6"	13'-4"
	88"	16'-7"	15'-7"	14'-6"	13'-4"
	96"	16'-7"	15'-7"	14'-6"	13'-4"
	108"	16'-7"	15'-6"	14'-5"	13'-4"
48" C/C	84"	8'-10"	7'-9"	6'-7"	---
	88"	8'-10"	7'-9"	6'-7"	---
	96"	8'-10"	7'-9"	6'-7"	---
	108"	---	---	---	---
60" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
		MAXIMUM ENCLOSURE PROJECTION			
130 MPH WIND					
36" C/C	84"	16'-5"	15'-5"	14'-4"	13'-2"
	88"	16'-5"	15'-5"	14'-4"	13'-2"
	96"	16'-5"	15'-5"	14'-4"	13'-2"
	108"	---	---	---	---
48" C/C	84"	8'-9"	7'-8"	6'-5"	---
	88"	8'-9"	7'-8"	6'-5"	---
	96"	---	---	---	---
	108"	---	---	---	---
60" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

MAXIMUM MULLION SPACING	MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
		MAXIMUM ENCLOSURE PROJECTION			
140 MPH WIND					
36" C/C	84"	13'-11"	12'-10"	11'-9"	10'-7"
	88"	13'-11"	12'-10"	11'-9"	10'-7"
	96"	11'-3"	10'-2"	9'-1"	7'-10"
	108"	---	---	---	---
48" C/C	84"	7'-4"	6'-3"	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
60" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---
72" C/C	84"	---	---	---	---
	88"	---	---	---	---
	96"	---	---	---	---
	108"	---	---	---	---

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LOADING CHARTS

Date Feb. 2003
JOB NO., DS3100
BY, BVK
FILE NAME:
DS3100_A-50
14 OF 20



CITY OF PORTLAND, MAINE

Department of Building Inspections

July 27 20 04

Received from American Dreamscapes

Location of Work 80 Belfort

Cost of Construction \$ 19,800.

Permit Fee \$ 201.00

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 298-A-30-31

Check #: 0793

Total Collected \$ 201.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy