

Floor Framing

Note: The illustration below is showing several suggested applications for the Boise EWP products. It is not intended to show an actual house under construction.

Note: Mid-Span bridging is not required

FOR INSTALLATION STABILITY,
Temporary strut lines (1x4 min.) 8' on center max. Fasten at each joist with 2-8d nails min.

Dimension lumber is not suitable for use as a rim board in BCI® floor systems.

BCI® rim joist (where bearing length allows).

VERSA-RIM™ Vertical Load Transfer
4000 PLF **VERSA-RIM® 98**
2750 PLF **BC RIM BOARD™**
4400 **OSB RIM BOARD™**

For load bearing cantilever details, see chart below.

BCI® Joist blocking or 2x4 "squash" block on each side required when supporting a load-bearing wall above.

VERSALAM® header or a BCI® Joist header

1 1/2" knockout holes at approximately 12" o.c. are pre-punched.

See hole chart for allowable hole sizes and location.

VERSALAM® LVL beam.

Endwall blocking may be required.

BCI® Joist blocking is required when BCI® Joists are cantilevered

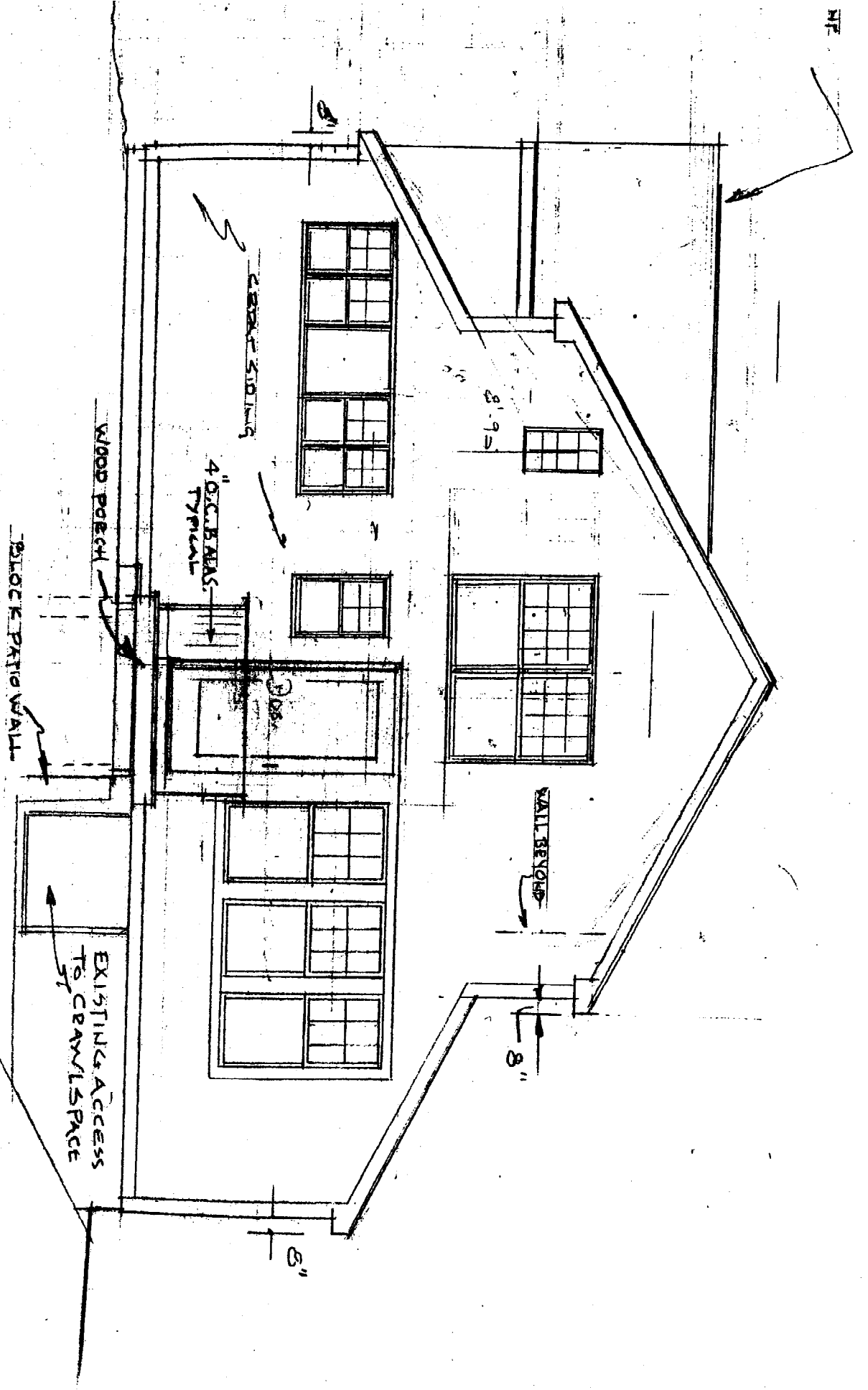
Residential Floor Span Table

Joist Depth	BCI® Joist Series	★★★ THREE STAR ★★★					★★★★ FOUR STAR ★★★★★					CAUTION ★ MINIMUM STIFFNESS ALLOWED BY CODE ★ CAUTION				
		12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	32" o.c.	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	32" o.c.	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	32" o.c.
9 1/2"	400s	16'-11"	15'-5"	14'-7"	13'-7"	12'-3"	13'-2"	12'-0"	11'-4"	10'-6"	9'-6"	18'-8"	17'-1"	16'-2"	14'-5"	12'-3"
	450s	17'-8"	16'-1"	15'-2"	14'-2"	12'-11"	13'-0"	12'-4"	11'-10"	10'-11"	9'-11"	19'-6"	17'-10"	16'-10"	15'-8"	13'-4"
	500s	18'-4"	16'-8"	15'-9"	14'-8"	13'-4"	14'-2"	13'-0"	12'-3"	11'-4"	10'-9"	20'-3"	18'-6"	17'-5"	16'-3"	14'-3"
11 7/8"	400s	20'-1"	18'-4"	17'-4"	16'-2"	14'-1"	15'-8"	14'-4"	13'-6"	12'-6"	11'-4"	22'-3"	20'-4"	18'-8"	16'-8"	14'-1"
	450s	21'-0"	19'-2"	18'-1"	16'-10"	15'-0"	16'-5"	14'-11"	14'-1"	13'-0"	11'-10"	23'-3"	21'-2"	20'-0"	18'-1"	15'-0"
	500s	21'-10"	19'-10"	18'-9"	17'-5"	15'-0"	17'-0"	15'-6"	14'-7"	13'-6"	12'-3"	24'-1"	22'-0"	20'-9"	19'-4"	15'-0"
	600s	22'-8"	20'-8"	19'-5"	18'-1"	16'-5"	17'-9"	16'-11"	15'-1"	14'-0"	12'-8"	25'-1"	22'-10"	21'-7"	20'-1"	17'-3"
	900s	25'-8"	23'-4"	22'-0"	20'-5"	18'-6"	20'-0"	18'-2"	17'-0"	15'-9"	14'-2"	28'-5"	25'-10"	24'-4"	22'-7"	19'-4"
14"	400s	22'-10"	20'-10"	19'-8"	18'-4"	14'-3"	17'-10"	16'-3"	15'-4"	14'-3"	12'-11"	25'-3"	22'-7"	20'-7"	18'-5"	14'-3"
	450s	23'-10"	21'-9"	20'-6"	19'-1"	15'-2"	18'-8"	16'-11"	15'-11"	14'-10"	13'-8"	26'-4"	24'-1"	22'-5"	20'-0"	15'-2"
	500s	24'-9"	22'-6"	21'-3"	19'-9"	15'-2"	18'-4"	17'-7"	16'-0"	15'-4"	13'-11"	27'-4"	24'-11"	23'-6"	20'-3"	15'-2"
	600s	25'-9"	23'-5"	22'-1"	20'-6"	17'-5"	20'-1"	18'-3"	17'-2"	15'-11"	14'-5"	28'-5"	25'-11"	24'-5"	22'-9"	17'-5"
	900s	29'-1"	26'-5"	24'-11"	23'-1"	19'-6"	22'-9"	20'-7"	19'-2"	17'-10"	16'-1"	32'-2"	29'-3"	27'-7"	25'-7"	19'-6"
16"	450s	26'-5"	24'-1"	22'-9"	20'-5"	15'-4"	20'-8"	18'-10"	17'-8"	16'-5"	14'-11"	29'-2"	26'-7"	24'-3"	20'-5"	15'-4"
	500s	27'-5"	25'-0"	23'-6"	20'-5"	15'-4"	21'-5"	19'-8"	18'-4"	17'-0"	15'-4"	30'-3"	27'-7"	25'-7"	20'-5"	15'-4"
	600s	28'-6"	25'-11"	24'-5"	22'-9"	17'-7"	22'-3"	20'-3"	19'-0"	17'-7"	15'-11"	31'-6"	28'-8"	27'-1"	23'-5"	17'-7"
	900s	32'-2"	29'-3"	27'-6"	25'-7"	19'-7"	25'-2"	22'-9"	21'-5"	19'-9"	17'-10"	35'-7"	32'-5"	30'-6"	26'-2"	19'-7"

- Table values assume that sheathing is glued and nailed to the joists.
- Table values represent the most restrictive of simple or multiple span applications.
- Table values are based on residential floor loads of **40 PSF live load and 10 PSF dead load.**
- Table values are the maximum allowable clear distance between supports.

- Table values assume minimum bearing lengths without web stiffeners for joist depths of 16 inches and less.
- This table was designed to apply a broad range of applications. It may be possible to exceed the limitations of this table by analyzing a specific application with the BC CALC® software.

- ★★★ Live Load deflection limited to L/480.
- ★★★★ Live Load deflection limited to L/960 to provide a floor that is much stiffer for the more discriminating purchaser.
- ★ Live Load deflection limited to L/360 as allowed by the building code. (Shaded values do not satisfy the requirements of the North Carolina State Building Code. Refer to the THREE STAR table when spans exceed 20 feet.)

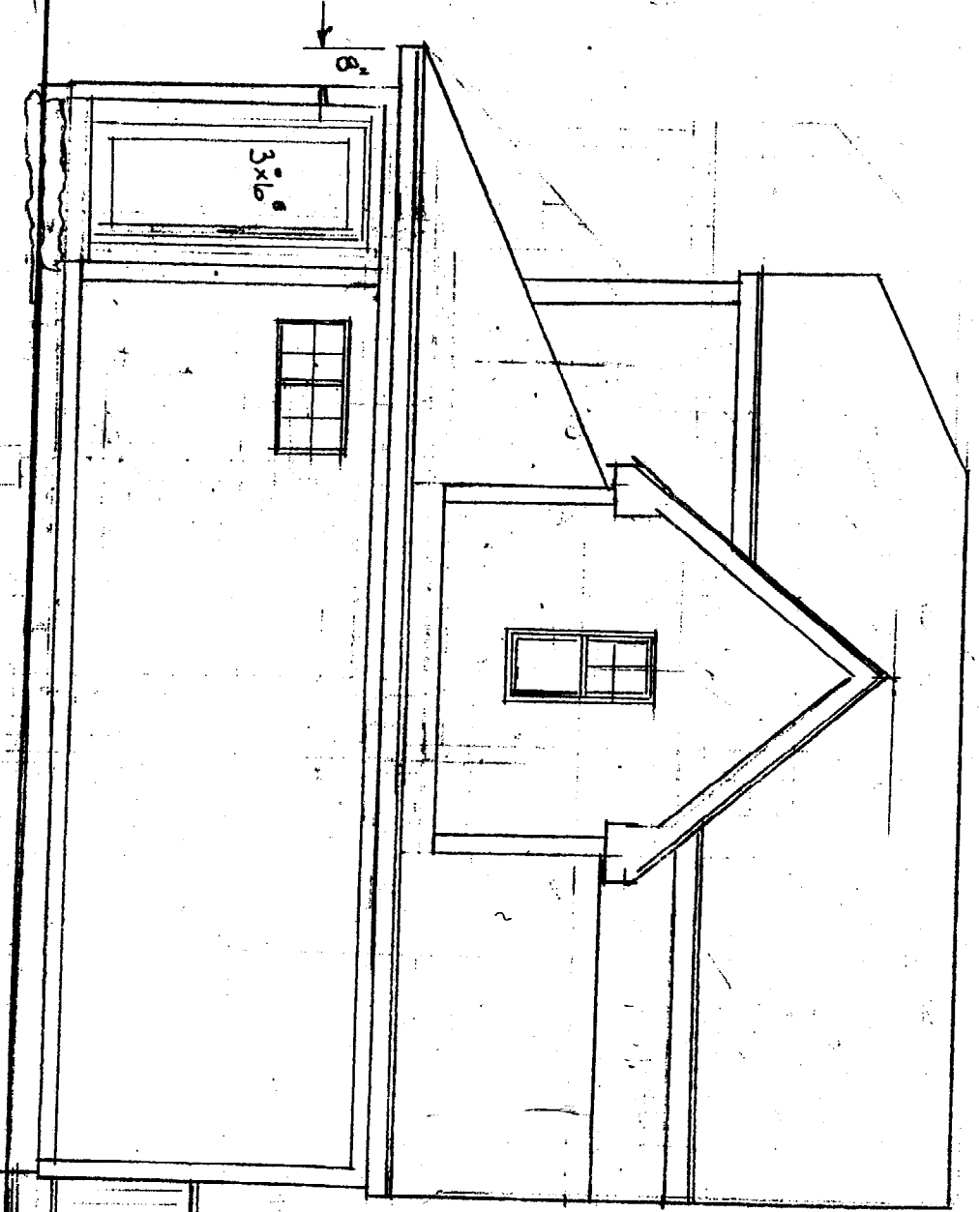


— REAR ELEVATION —
1/4" = 1'-0"

NOTES:

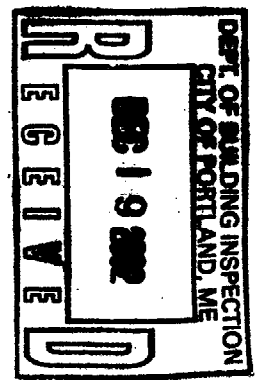
CEDAR SIDING 4" to 5" BR?
EXT. DOORS 3" x 6"
235 # ROOF SHINGLES

FOUNDATION IS EXISTING
FIRST FLOOR WALLS & FLOOR ARE EXISTING
CRAWLSPACE EXISTS



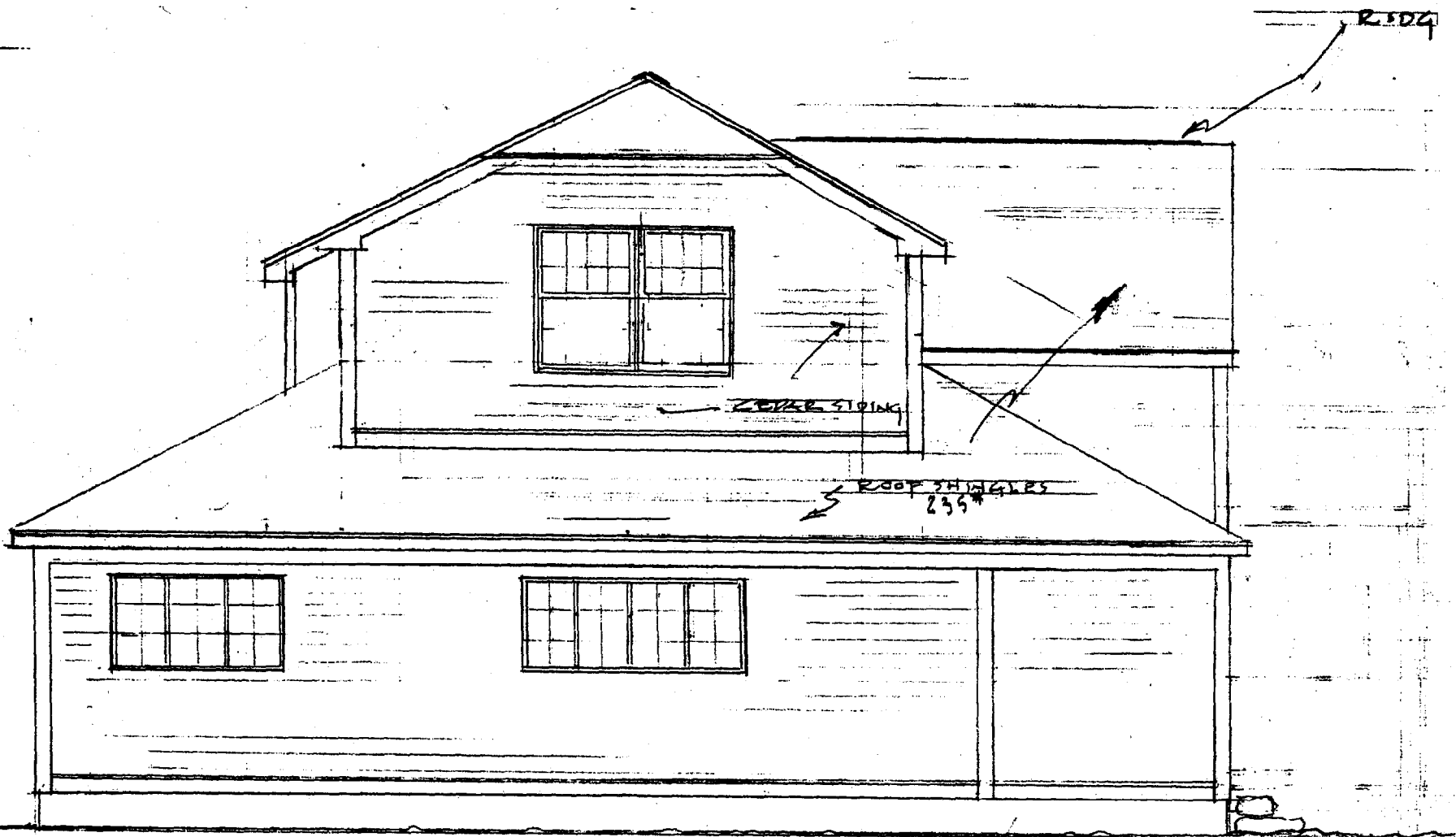
→ Porch

ING STREET

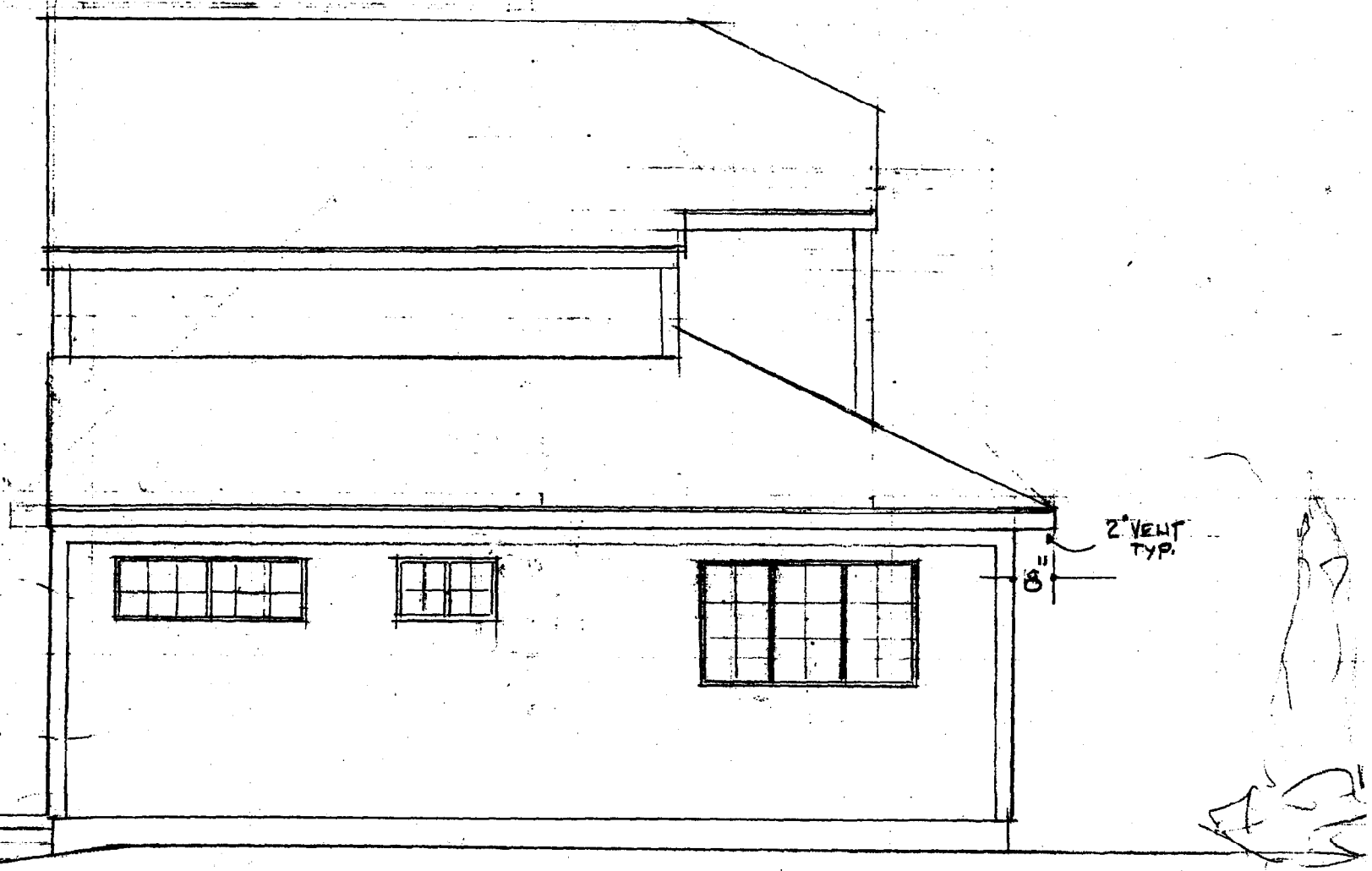


Now

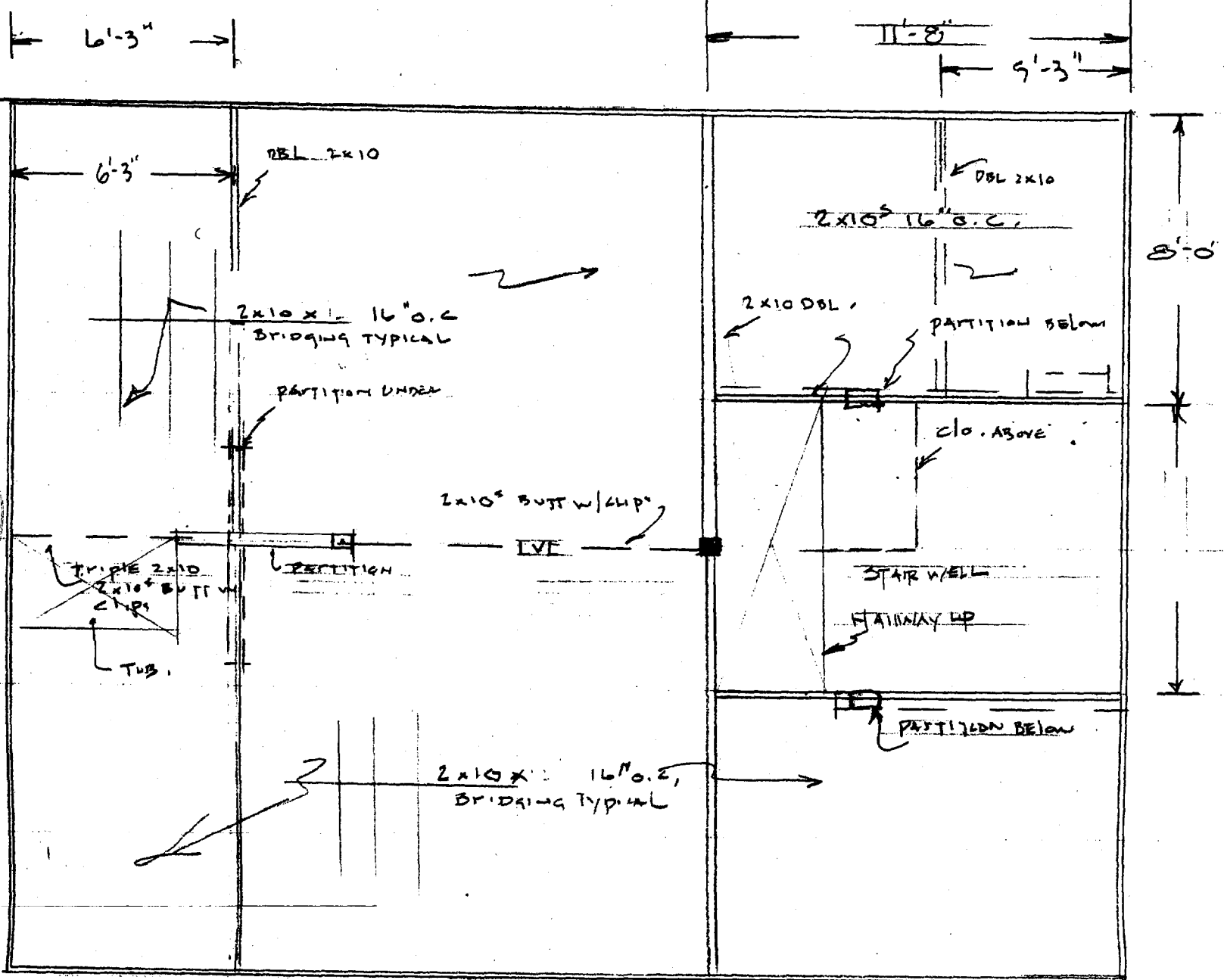
1 of 4
OCT 26, 02



— FRONT ELEVATION —
1/4" = 1'-0"

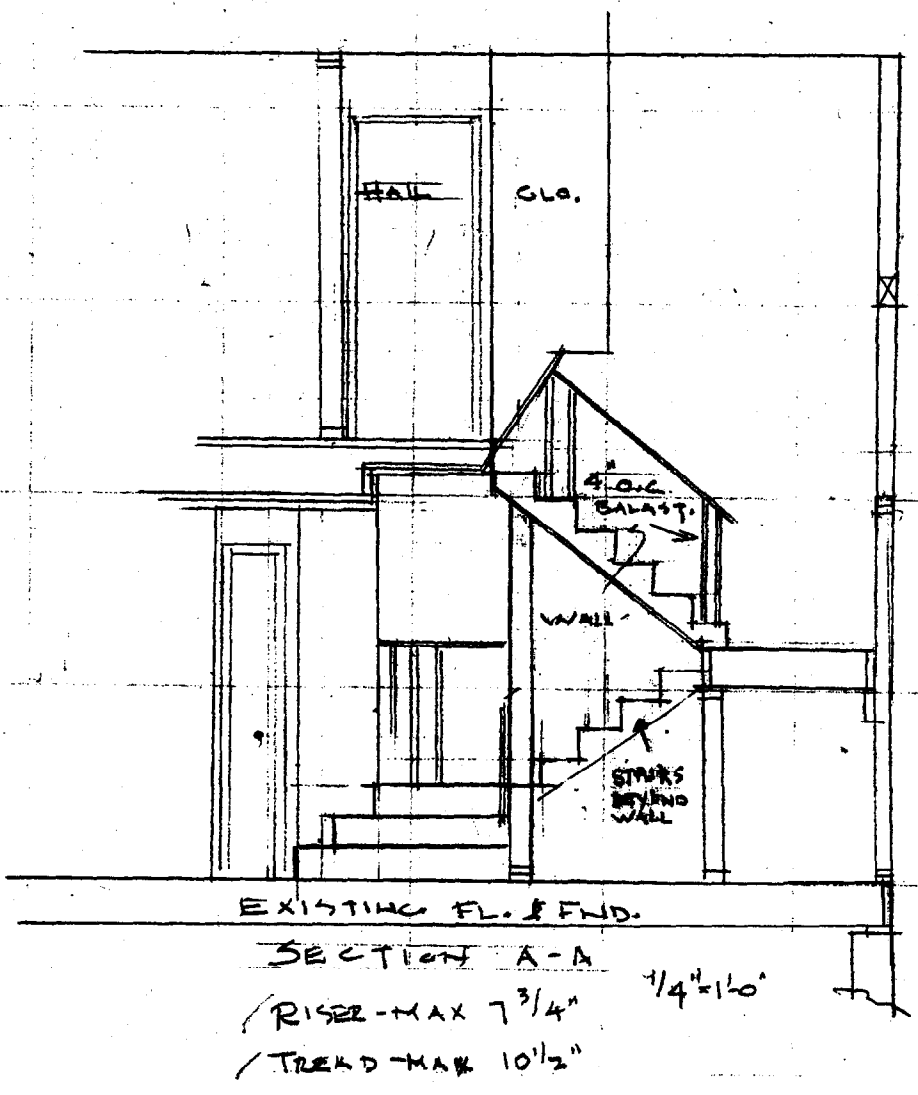
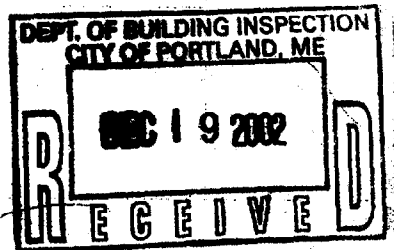


— LEFT ELEVATION —
1/4" = 1'-0"



MIN. 36"
RAILS 34" TO 38"
HEIGHT

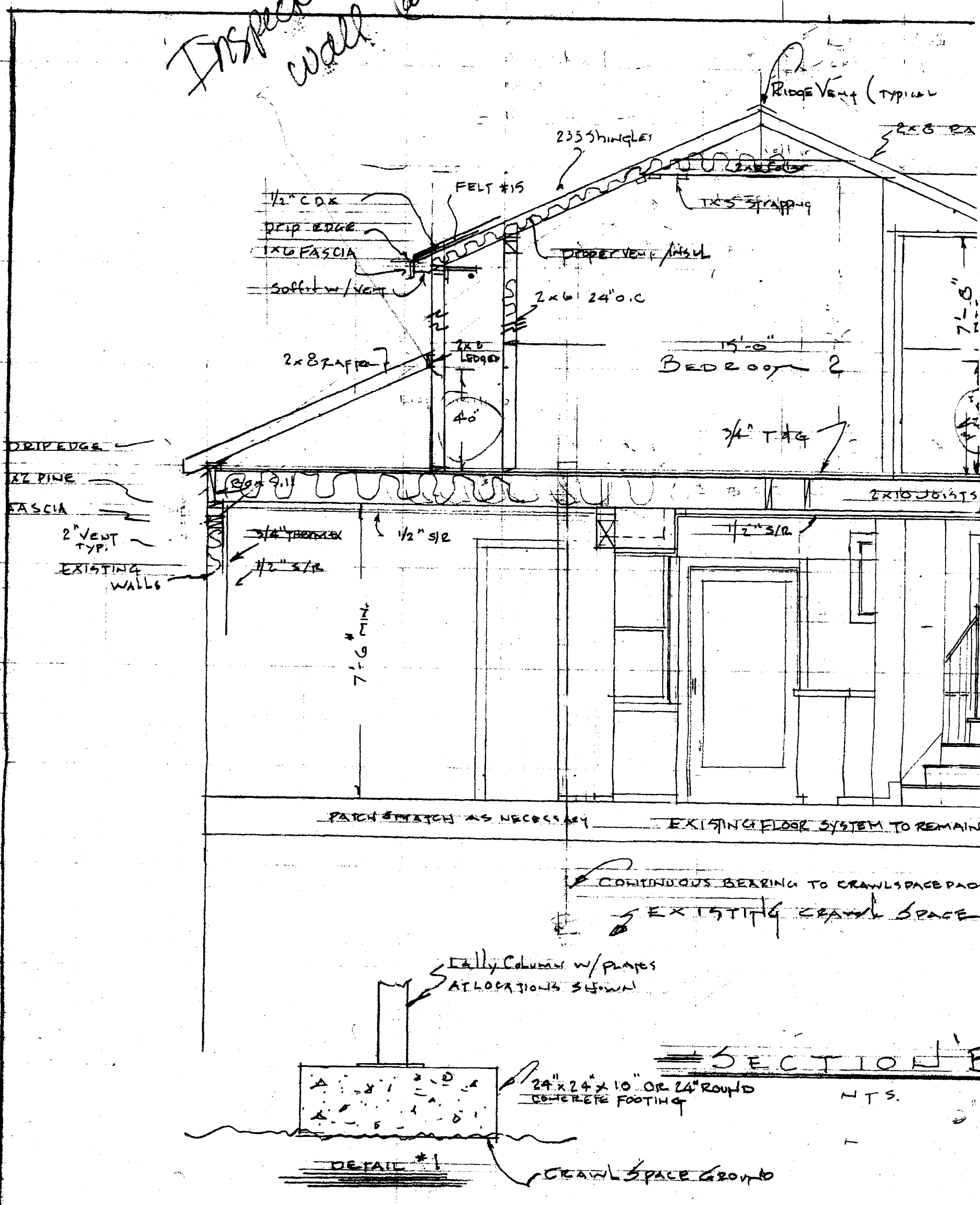
— SECOND FLOOR
FRAMING
1/4" = 1'-0"



HDR. HT WINDOW
7'-0"

FLOOR PLANS & SECTIONS		2 OF 4
FLOOR FRAMING		
4 KING ST		
DATE: 02		
REVISED		
DATE: 12/19/02		

Inspector on wall @ 4



Ridge Vent (Typical)

235 Shingles

FELT #15

1/2" CDX
 DRIP EDGE
 1x6 FASCIA
 Soffit w/vent

1x5 STRAPPING

DRIP EDGE INSUL

2x6 24" O.C

2x8 RAFTER

2x6 LEDGER

15'-0" BED ROOM 2

3/4" TAG

DRIP EDGE

1x2 PINE FASCIA

2" VENT TYP. EXISTING WALLS

3/4" TAG 1/2" S/R

7'-6" MIN

PATCH SPATCH AS NECESSARY

EXISTING FLOOR SYSTEM TO REMAIN

CONTINUOUS BEARING TO CRAWLSPACE PADS

EXISTING CRAWL SPACE

ALLY Column w/plates AT LOCATIONS SHOWN

SECTION E

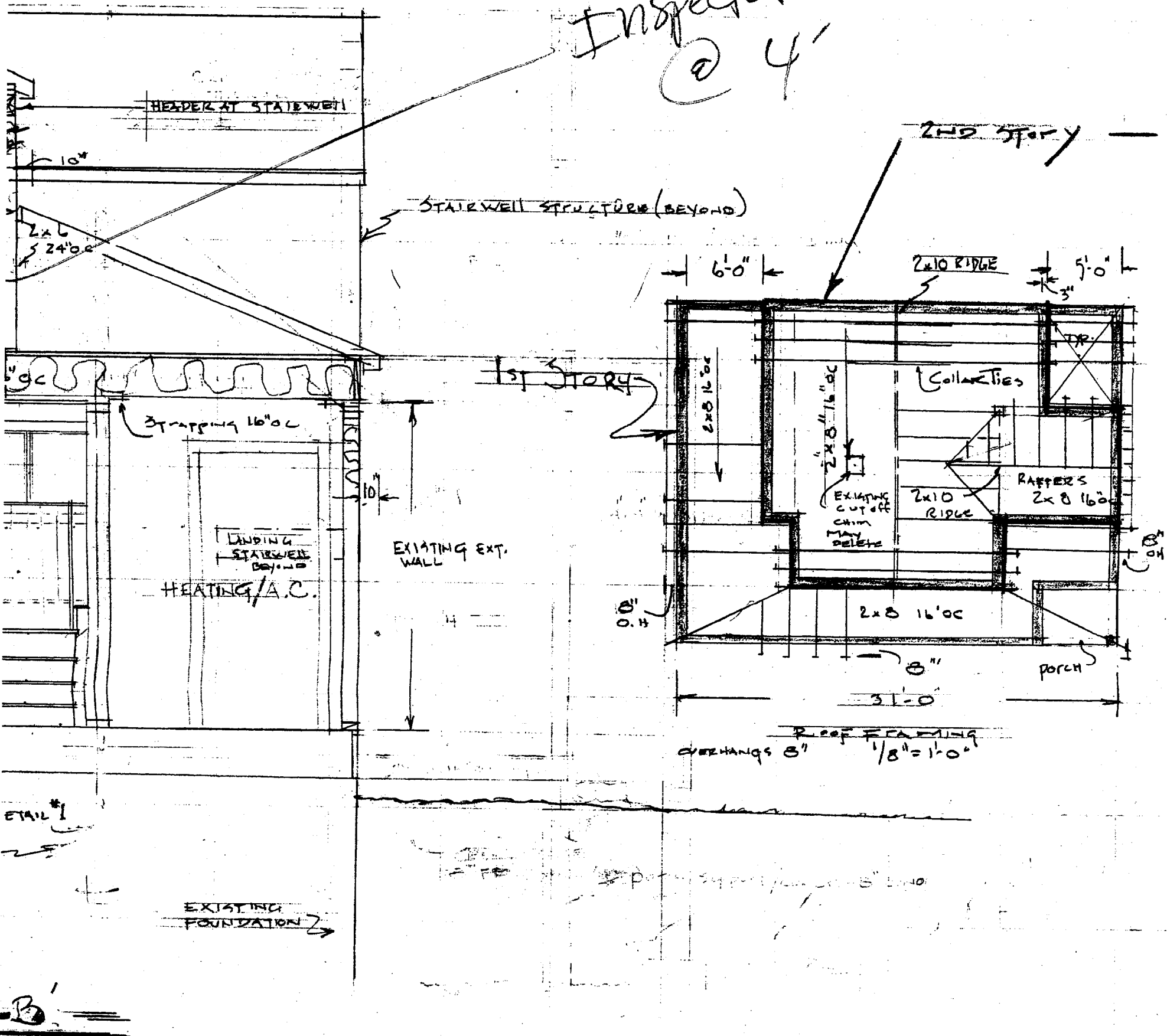
24" x 24" x 10" OR 24" ROUND CONCRETE FOOTING

N.T.S.

DETAIL #1

CRAWL SPACE GROUND

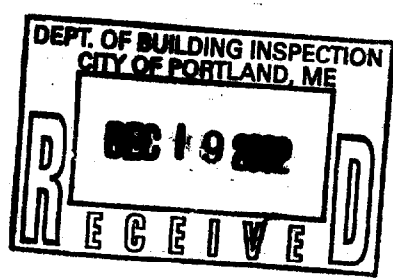
Inspector check wall @ 4'



NOTES:

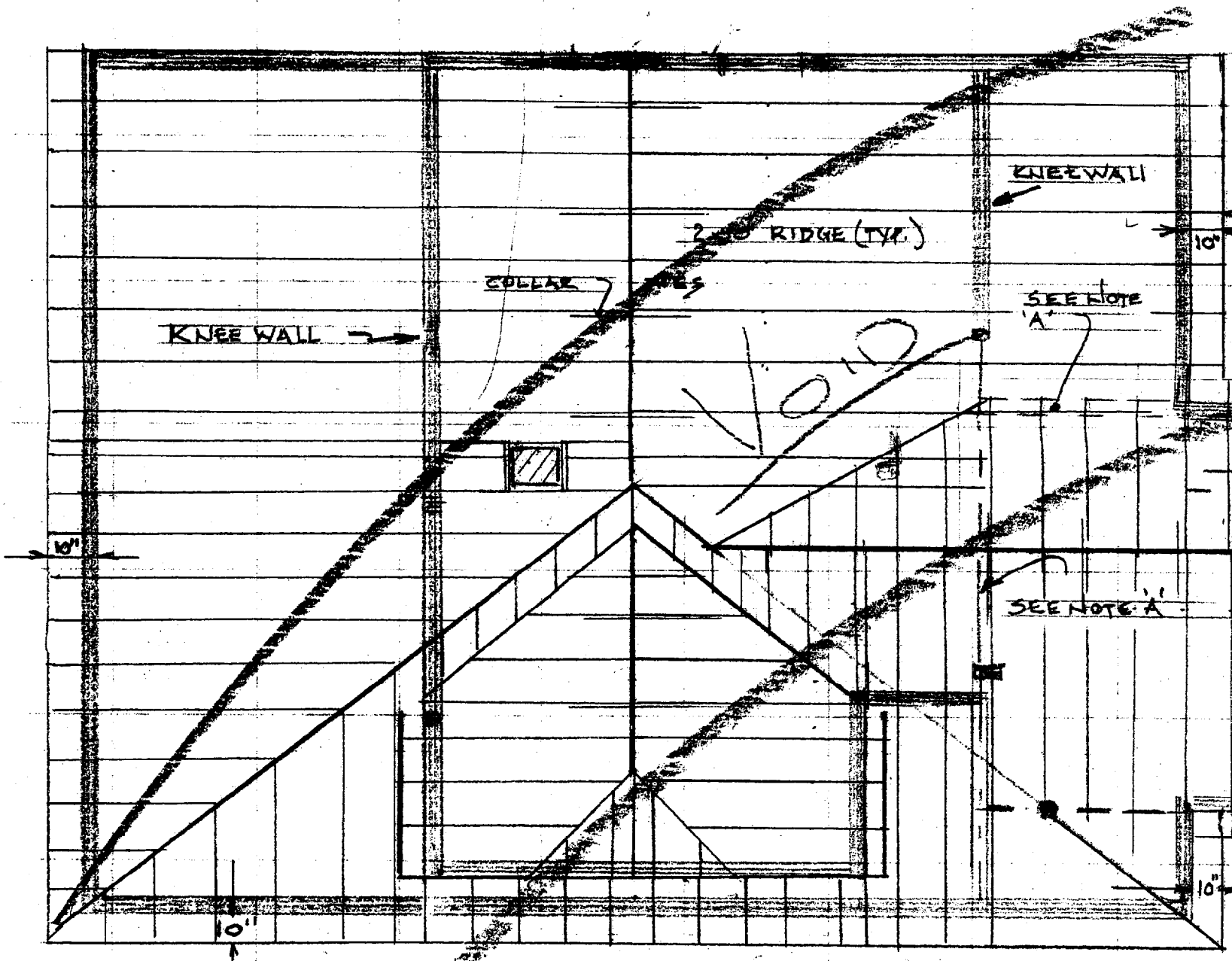
1. SEE DETAIL #1 FOR LOAD BEARING SUPPORT FOR NEW FLOOR & ROOF. LOAD POINTS SHOWN ON FIRST FLOOR PLAN AS ■ OR ■

2. EXISTING EXTERIOR WALLS TO HAVE NEW SIDING



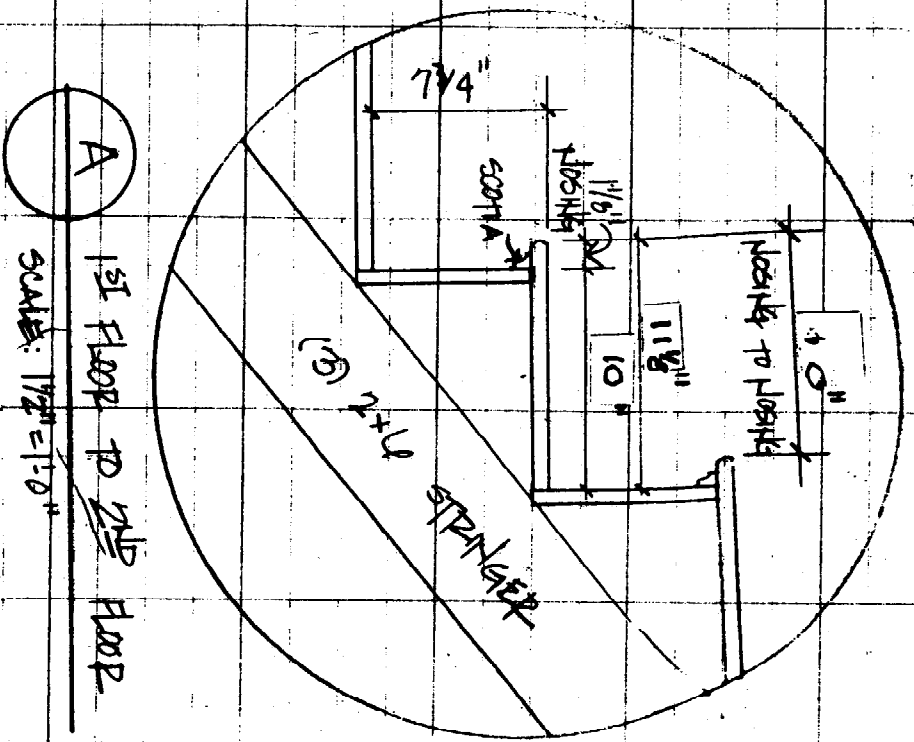
3 OF 4

OCT 26, 02

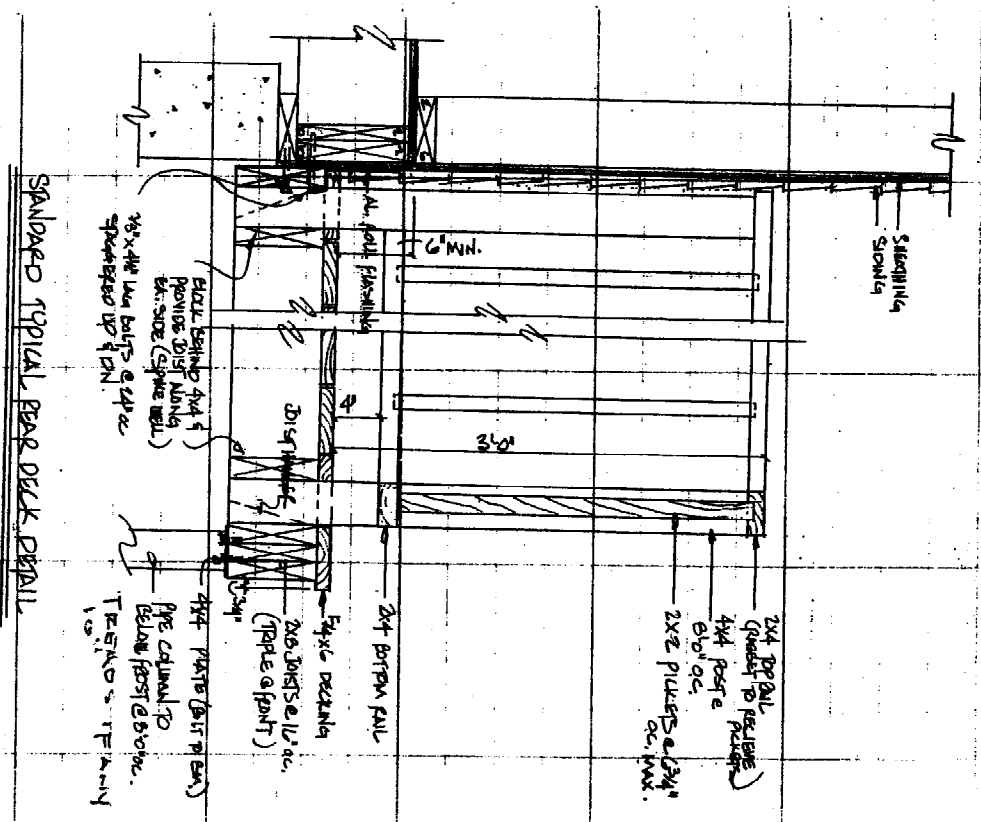


— RAFTER PLAN —

1/4" = 1'-0"



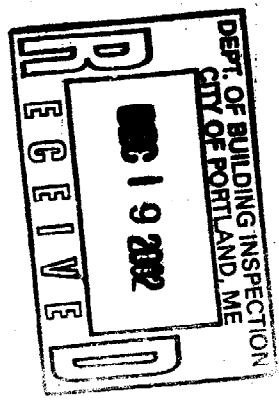
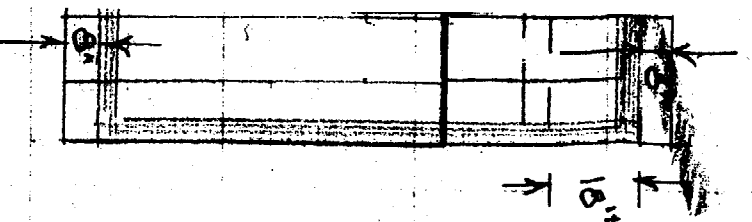
A
1ST FLOOR TO 2ND FLOOR
SCALE: 1/8" = 1'-0"



SHADDED TYPICAL REAR DECK DETAIL

NOTES:

- A - RAFTERS REST ON HEADER FOR WALL
- ALL RAFTER 2x6 SPRUCE OR HEMLOCK
- DIRECT SUPPORT TO CONCRETE PADS IN CRAWL SPACE.
- ALL RAFTERS 16" O.C.
- SHADDED AREAS - WALLS BELOW
- THE CHIMNEY EXIST BUT IS CUT OFF AT ATTIC - FRAMING REMAINS



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

PERMIT ISSUE
JAN 13 2003
Permit Number: 021278
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT

This is to certify that Plummer Sheryl C./F.S. Plumber Comp
has permission to Expansion to create 2nd floor for 2 bedrooms, 1 bath totaling 380 sq.ft.
AT 4 King St 297 G009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

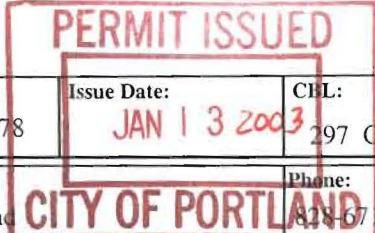
Debbie Bourke 1/13/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1278	Issue Date: JAN 13 2003	CHL: 297 C009001
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Location of Construction: 4 King St	Owner Name: Plummer Sheryl C.	Owner Address: 10 Derby Road	Phone: 828-6711
Business Name:	Contractor Name: F.S. Plummer Company, Inc	Contractor Address: P.O. Box 3824 Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$317.00	Cost of Work: \$42,000.00	CEO District: 1	3,850 #
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B BOCA 1999
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Proposed Project Description: Expansion to create 2nd floor dormers for 2 bedrooms, 1 bath totaling 380 sq.ft.	Signature:	Signature: JMB 1/13/03
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied

Signature:	Date:
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Permit Taken By: gad	Date Applied For: 11/12/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 1/13/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 1/13/03
	<i>Sec. 14-433 & Sec. 14-436a w/conditions</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1278	Date Applied For: 11/12/2002	CBL: 297 G009001
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Location of Construction: 4 King St	Owner Name: Plummer Sheryl C.	Owner Address: 10 Derby Road	Phone: () 828-6711
Business Name:	Contractor Name: F.S. Plummer Company, Inc	Contractor Address: P.O. Box 3824 Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family	Proposed Project Description: Expansion to create 2nd floor dormers for 2 bedrooms, 1 bath totaling 380 sq.ft.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 01/13/2003

Note: 12/19/02 New plans submitted for review. **Ok to Issue:**

1/6/02 After several phone tag messages and holidays, I spoke w/Mark about exceeding the 50% expansion allowance based on the 1st floor footprint being 768 sq. Ft. I also need a new plot plan reflecting the deletion of the right side porch bump out. He will meet here on 1/7 @ 11am.

1/7/03 Plot plan submitted.

1/8/03 Floor plan revision submitted for review.

- 1) 12/11/02 Met with Marge and Mark Plummer about zoning issues. The permit is being denied based on not meeting requirements for the 25' front yard setback, and the 2nd floor expansion being over the 50% allowance for a non-conforming lot. He will re-submit new plans.
- 2) 11/26/02 Spoke with Mark Plummer about zoning and building issues, he will research and re-submit.
 1. Front setback not 25' on addition
 2. Lot is non-conforming as to sq. Ft. So may have to do 50% expansion rule. Kneewalls are at 6'
 3. Need stair details and guards/hrail
 4. Need LVL manufacture and series
 5. Window brand and size
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 6) Sec. 14-433 is also used to allow a setback reduction for principal structures which existed as of July 19,1988. In an R-3 zone the rear setback may be reduced to not less than 5' to accomodate a rear door, landing and steps.
- 7) This permit is being issued based on Sec. 14-436a , Building Extensions for principal structures lawfully non-conforming as to land area per dwelling unit, the floor area expansion shall be limited to no more than fifty (50) percent of the first floor footprint...created in the uppermost floor by the use of dormers etc.
The 50% floor area is calculated using the definition for a "Story" being the inside area measured at a height four (4) feet above the floor situated under a sloping roof. INSPECTOR PLEASE CHECK

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 01/13/2003

Note: **Ok to Issue:**

- 1) Headroom in all parts of the stairway shall not be less than 80"
- 2) The window in the 2nd floor bath needs to be tempered.
- 3) Separate permits are required for any electrical or plumbing work.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

02-1278

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

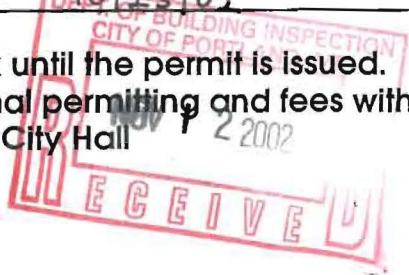
Location/Address of Construction: <u>4 KING ST / RENOVATE EXISTING 1ST FL. / ADD 2ND FLOOR</u>		
Total Square Footage of Proposed Structure <u>1149</u> ^{RENOVATED} <u>83 # of footprint (New)</u>	Square Footage of Lot <u>3,850</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>297</u> Block# <u>G</u> Lot# <u>009</u>	Owner: <u>SHERYL C. PLUMMER</u>	Telephone: <u>828 6711</u>
Lessee/Buyer's Name (if Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>10 DERBY RD PORTLAND, ME 04108 775 7670</u>	Cost Of Work: \$ <u>42,000</u> Fee: \$ <u>37.00</u>
Current use: <u>SINGLE FAMILY / RESIDENTIAL</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>SINGLE / FAMILY RESIDENTIAL</u>		
Project description: <u>RENOVATE STRUCTURE EXISTING & ADD ONE FLOOR PER PLAN</u> <u>EXISTING 784 SF NEW 365 SF 2 bedrooms</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>F.S. PLUMMER CO., INC.</u>		PERMIT DENIED 1/14/03
Mailing address: <u>P.O. Box 3824, Portland, ME 04104</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>828-6711 call</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Sheryl C. Plummer</u>	Date: <u>01/23/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before **any** site work begins on any project other than single family additions or alterations.

- VH **Footing/Building Location Inspection:** Prior to pouring concrete
- VH **Re-Bar Schedule Inspection:** Prior to pouring concrete
- VH **Foundation Inspection:** Prior to placing ANY backfill
- ✓ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- ✓ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

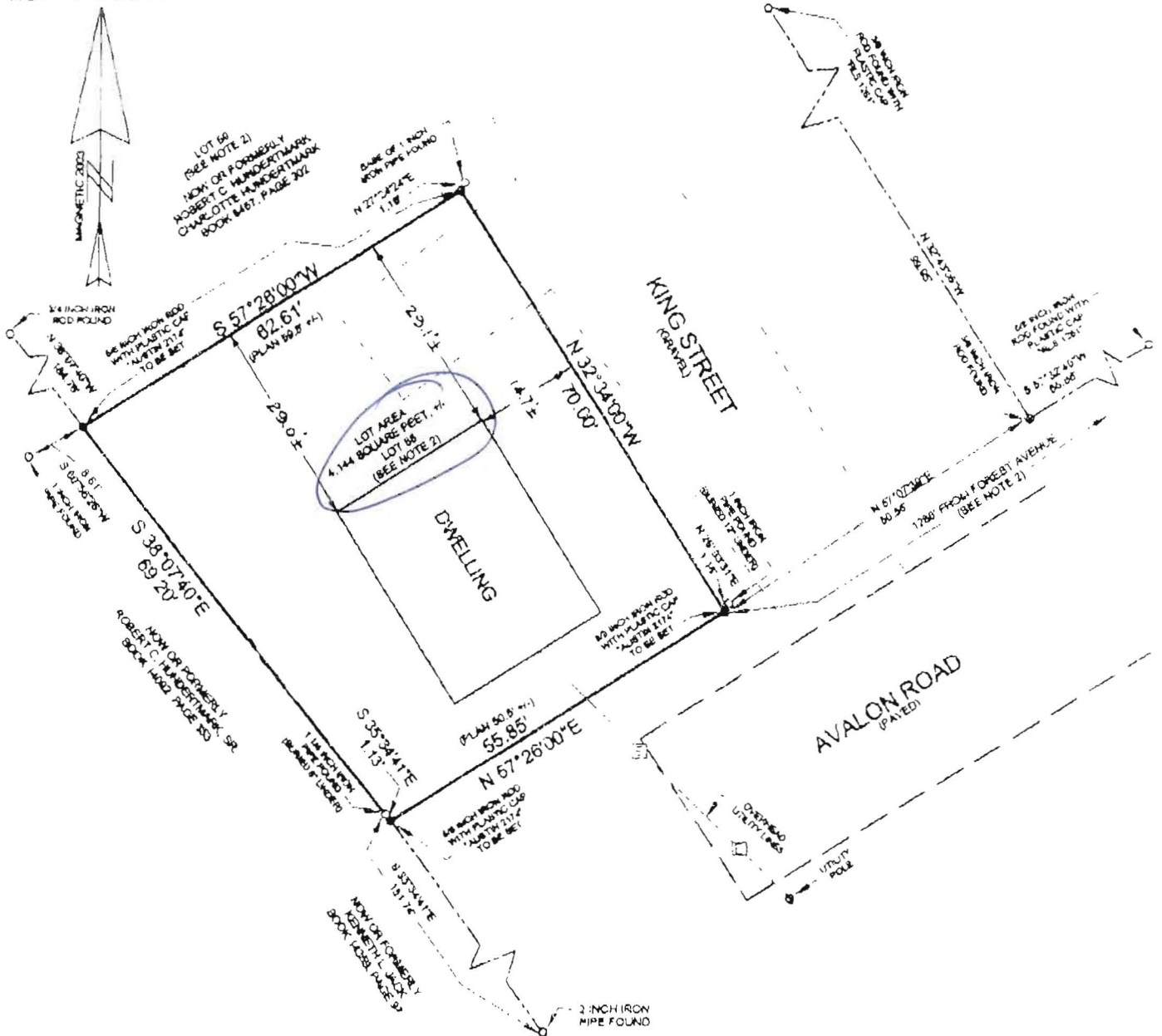
✓ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

VH **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Mark St. Pierre 1/14/03
Signature of applicant/designee Date

Seanne Bouke 1/14/03
Signature of Inspections Official Date

CBL: 297-6-009 Building Permit #: 02-1278



NOTES:

- 1) DEED REFERENCE: TIMOTHY R. POTVIN TO SHERYL C. PLUMMER DATED OCTOBER 3, 2002 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 1821H, PAGE 3.
- 2) PLAN REFERENCE: 'PLAN OF AVALON HIGHLANDS', DATED JUNE 1910 BY A. E. SKILIN AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 12, PAGE 11.
- 3) BEARINGS SHOWN ON THIS PLAN REFER TO MAGNETIC 2003 AND ARE BASED ON A HAND COMPASS READING.



PLAN SHOWING
 A STANDARD BOUNDARY SURVEY
 MADE FOR
MARK S. PLUMMER
SHERYL C. PLUMMER
 OF PROPERTY LOCATED AT
 4 KING STREET, PORTLAND, MAINE
 SCALE: 1 INCH = 20 FEET NOVEMBER 24, 2003
 SURVEYED BY
 AUSTIN LAND SURVEYING, L.L.C.
 82 ELDERBERRY LANE
 NEW GLOUCESTER, MAINE 04260
 GRAPHIC SCALE 1 INCH = 20 FEET



NOT TO SCALE

10/15/03 - checked plumbing 1st/2nd floors
Water test OK - checked Electrical for 2nd
Floor only - OK - Egress windows on 2nd floor
Bedrooms at 5.1 sq ft, need 5.7. NOT meeting EGRESS
For windows. Tom M. Can close in 2nd floor when window
issue is resolved. TMH

10/28/03 - checked electrical for 1st floor + no
problems ok to close. Rechecked egress windows,
on second floor 5.4 sq ft after taking catch off -
still NOT egress windows. Recheck Again TOMM

1/14/05 - for Jim Bedroom Egress windows $\text{Clid} @ 5.15 \text{ ft}$
① window in stair well 1 > 2 has to be tapered
② stairs 1 > 2 > attic - Rises off - ft traps reg. passing
③ o/s Deck stairs - Rises inconsistent height

1/20/05 - Window in stairwell has been eliminated -
Roofed over
stairs 1 > attic Rises & rising now Code Compliant
Deck stairs eliminated & replaced w/ Code Compliant
freestair
ok for CJO (Requested by Mark Plummer)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 4 King St

CBL 297 G009001

Issued to Plummer Sheryl C./F.S. Plummer Company, Inc

Date of Issue 01/21/2005

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-1278, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

entire

APPROVED OCCUPANCY

single family dwelling w/rear deck; no garage

USE GROUP: R-3

TYPE 5B

BOCA 1999

Limiting Conditions:

NONE ON DWELLING

INCOMPLETE GARAGE IS COVERED UNDER OPEN PERMIT # 03-1386

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Nov. 12 2007

Received from Homeco Inc.

Location of Work 4 King St

Cost of Construction \$ _____

Permit Fee \$ 217.00

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 297 6 009

Check #: 3691 Total Collected \$ 217.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

May 6



CITY OF PORTLAND, MAINE
Department of Building Inspections

April 21 2005

Received from Homecare Inc

Location of Work 4 King St.

Cost of Construction \$ _____

Permit Fee \$ 75

Building (IL) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other CAO

CBL: 297 G 009

Check #: 3841 Total Collected \$ 75.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

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Donna