

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

Permit Number: 100229  
**PERMIT ISSUED**

Please Read Application And Notes, If Any, Attached

This is to certify that Madd Llc/Len Anderson

has permission to Build new 1,311 square foot single family home with car attached garage, 3 bedrooms and 1 bath

AT 150 Hicks St CBL 297 F001001

**MAR 31 2010**

provided that the person or persons, firm or corporation accepting this permit **City of Portland** shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise enclosed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*[Signature]* 3/24/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0229	Issue Date:	CBL: 297 F001001
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Location of Construction: 150 Hicks St	Owner Name: Madd Llc	Owner Address: 543 Allen Ave	Phone: 207-233-1715
Business Name:	Contractor Name: Len Anderson	Contractor Address: 543 Allen Ave Portland	Phone: 2077973522
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Build new 1,311 square foot single family home with 1 car attached garage, 3 bedrooms and 1.5 baths.	Permit Fee: \$1,245.00	Cost of Work: \$115,000.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R3</b> Type: <b>SB</b> <b>IRC-2003</b>	

Proposed Project Description: Build new 1,311 square foot single family home with 1 car attached garage, 3 bedrooms and 1.5 baths.	Signature:	Signature: <b>JMB 3/29/10</b>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 03/09/2010	<b>Zoning Approval</b>	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <b>N/A</b> <input type="checkbox"/> Wetland <b>N/A</b> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2010-0005 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> OK w/condition Date: 3/16/10 <b>ARM</b>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <b>ARM</b> Date:
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**PERMIT ISSUED**

**MAR 31 2010**

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0229	Date Applied For: 03/09/2010	CBL: 297 F001001
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Location of Construction: 150 Hicks St	Owner Name: Madd Llc	Owner Address: 543 Allen Ave	Phone: 207-233-1715
Business Name:	Contractor Name: Len Anderson	Contractor Address: 543 Allen Ave Portland	Phone: (207) 797-3522
Lcssee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Build new 1,311 square foot single family home with 1 car attached garage, 3 bedrooms and 1.5 baths.	Proposed Project Description: Build new 1,311 square foot single family home with 1 car attached garage, 3 bedrooms and 1.5 baths.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 03/16/2010  
**Note:** The 12' x 12' deck is not part of the plans. (It did not meet the rear setback.) Will build steps to grade which don't extend more than 6' from the building and their footprint will be no more than 50 sf. **Ok to Issue:**

- As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:**      **Ok to Issue:**

**Note:**

- Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- Application approval based on information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- Those building a new single family dwelling shall install a fire alarm system within or giving access to bedrooms. That detection must be powered...

**Dept:** DRC      **Status:**      **Reviewer:** DiPierro      **Approval Date:** 03/26/2010  
**Note:** **Ok to Issue:**

- The house lateral for the sewer does not exist, then the sewer manhole. If the stub shown on the site plan for the manhole.
- Erosion and Sedimentation control measures must be inspected and maintained daily.
- The Development Review Coordinator prior to soil...
- As-built record information for sewer systems must be submitted to Public Services Engineering Section (55 Portland Street) and approved prior to the date of Occupancy.
- A street opening permit(s) is required for your site. Please contact Scott Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

*Handwritten note on blue paper:*  
 LEN A.  
 will prep  
 3/30  
 TF  
 Dave

<b>Location of Construction:</b> 150 Hicks St	<b>Owner Name:</b> Madd Llc	<b>Owner Address:</b> 543 Allen Ave	<b>Phone:</b> 207-233-1715
<b>Business Name:</b>	<b>Contractor Name:</b> Len Anderson	<b>Contractor Address:</b> 543 Allen Ave Portland	<b>Phone</b> (207) 797-3522
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

- 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 10) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Comments:**

3/29/2010-jmb: Received DRC approval 3/26

3/11/2010-amachado: Spoke to Len Anderson. Building plans show a 12' x 12' deck and the siteplan does not. Rear setback would not allow a rear deck.

3/15/2010-amachado: Dan Anderson came in and crossed the deck of the plans. Will be building steps to grade - no more than 6' off building and footprint no more than 50 sf.

3/24/2010-jmb: Spoke to Len A. About items on review checklist. Added details per his verification, he will submit spec on engineered truss beam. The beam listed on the plan is for a center bearing wall on the 1st floor, which doesn't exist, this one story structure.

3/26/2010-jmb: Dan A. Submitted specs on the girder trusses that carry the main roof trusses in lieu of a beam. Ok to issue pending DRC approval.

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**  
**NOTE: There is a \$75.00 fee per inspection at this point.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

150 Hicks St. 297-1F-001

# 10-0229

3/23/10

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	20" x 10" & 16" x 10" 4' to Frost		OK	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	OK per code		OK	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A		OK	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" x 12" - 6' oc & 12" cones		OK	
Lally Column Type (Section R407)	3 1/2 conc steel		OK	
Girder & Header Spans (Table R 502.5(2))	3 - 2x12's 6'-0 oc.		OK	
Built-Up Wood Center Girder Dimension/Type	3 - 2x12's		OK	
Sill/Band Joist Type & Dimensions	2x6 PT, 2x12		OK	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	2x12 @ 16" oc. @ 15'		OK	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	N/A 3i x 5/8 Ranch		OK	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Truss, 2x6 collar @ 2x10 rafters 24" oc. & 16" oc.		OK	

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Main truss @ 24" OC. 10:12 Dormers 2x10 @ 16" OC. "	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4" Advantec #6, 7/16", 5/8" x 1/2"	OK
Fastener Schedule (Table R602.3(1) & (2))	IRC - 2003	OK
<b>Private Garage</b> (Section R309) Living Space? (Above or beside)	Yes	OK
Fire separation (Section R309.2)	5/8" throughout	OK
Opening Protection (Section R309.1)	>	1 hr per Len A. OK
Emergency Escape and Rescue Openings (Section R310)	? BDRM # 3	DH 4060 per Len A. OK
Roof Covering (Chapter 9)	Asphalt	OK
Safety Glazing (Section R308)	N/A Shows Bathroom	min 2' at front door OK
Attic Access (Section R807)	22x30	OK
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	3/26/10 Girder Truss spec OK
Header Schedule (Section 502.5(1) & (2))	3-2x10 bearing max 7'10" ? Eng beam @ truss ? spec	(no interior part header) OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-19, ?, R-38 31	R-21 per Len A. OK

Type of Heating System	FHW / power vent	OK
<b>Means of Egress</b> (Sec R311 & R312) Basement	yes	OK
Number of Stairways	3	
Interior	1	
Exterior	2	
Treads and Risers (Section R311.5.3)	R-744" T-10"	
Width (Section R311.5.1)	3'3"	
Headroom (Section R311.5.2)	6'8"	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	3/6" L4" can't handrail	
Smoke Detectors (Section R313) Location and type/Interconnected	per code	OK
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	N/A	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	OK
Deck Construction (Section R502.2.1)	N/A	Just steps per code OK





# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

March 9 2010

Received from Maids LLC

Location of Work 164 Hick St.

Cost of Construction \$ \_\_\_\_\_ Building Fee: 1,170.00

Permit Fee \$ \_\_\_\_\_ Site Fee: 300.00

Certificate of Occupancy Fee: 75.00

**Total:** 1,545.00

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 99.5 F 12.3.8

Check #: 1405 **Total Collected \$** 1,545.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

0010 0229

2010-0005



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>164 Hicks Street</u>		
Total Square Footage of Proposed Structure/Area <u>1311</u>	Square Footage of Lot <u>1125</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>297</u> Block# <u>F</u> Lot# <u>1,23,6</u> <small>part of</small>	Applicant *must be owner, Lessee or Buyer* Name <u>Made LLC/ken Anderson</u> Address <u>543 Allen Ave.</u> City, State & Zip <u>Portland, Maine 04103</u>	Telephone: <u>207-233-1715</u>
Lessee/DBA (If Applicable) <b>RECEIVED</b> <b>MAR -9 2010</b> <b>Dept. of Building Inspections</b> <b>City of Portland Maine</b>	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>115,000</u> C of O Fee: \$ _____ Total Fee: \$ _____ <i>3kg Fee 1170.00 Site 300.00 copy 75.00 1545.00</i>
Current legal use (i.e. single family) <u>Vacant land</u>	Number of Residential Units <u>1</u>	
If vacant, what was the previous use? <u>Vacant land</u>		
Proposed Specific use: <u>Single family home</u>		
Is property part of a subdivision? <u>No</u>	If yes, please name _____	
Project description: <u>New single family home with 1 car attached garage. Home will have 3 Bedroom and 1.5 Baths</u>		
Contractor's name: <u>Ken Anderson</u>		
Address: <u>543 Allen Ave. X mail</u>		
City, State & Zip <u>Portland, Maine 04103</u>	Telephone: <u>207-233-1715</u>	
Who should we contact when the permit is ready: <u>Ken Anderson</u>	Telephone: <u>207-233-1715</u>	
Mailing address: <u>543 Allen Ave. Portland Maine 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/9/10

This is not a permit; you may not commence ANY work until the permit is issued

Applicant: Madd, LLC (Ken Anderson)

Date: 3/11/10

Address: 150 Hicks St.

C-B-L: 297-F-001 (002, 006 & part of permit #10-0229 005)

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build one story - single family home (58.5' x 31') w/ one <sup>attached</sup> car garage

Sevage Disposal - city

Lot Street Frontage - 50' min. - 212.21' ~~sc~~

Front Yard - 25' min. - 25' scaled to front right corner

Rear Yard - 25' min - 26' to house - 20' to bulkhead - but section 14-433 - 55th or 5' x 6' = 30' - 6' or OK project ≤ 6'

Side Yard - 8' on left - 5' scaled  
20' side yard / side street on right - 26' scaled

Projections -

Width of Lot - 65' min - 136' scaled

Height - 35' max - 16.5' scaled

Lot Area - 6500 sq ft min. - 10,975 sq ft assessing

Lot Coverage Impervious Surface - 35% = 3841.25 sq ft  
5 x 6 = 30  
58.5 x 28.5 = 1667.25  
25 x 11.5 = 28.75  
1.5 x 14.25 = 21.375  
1 x 15.5 = 15.5  
1762.875 OK

Area per Family - 6,500 sq ft

Off-street Parking - 2 spaces required - one in garage - one to left of garage

Loading Bays - N/A

Site Plan - minor / minor 2010-0005

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 6 - zone X  
\* no deck on home

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Inspections Copy**

2010-0005  
Application I. D. Number

**Madd Lic**  
Applicant  
**543 Allen Ave , Portland, ME 04103**  
Applicant's Mailing Address

**3/9/2010**  
Application Date  
**164 Hicks Street**  
Project Name/Description

Consultant/Agent  
Applicant Ph: (207) 233-1715 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

**150 - 150 Hicks St, Portland, Maine**  
Address of Proposed Site  
**297 F001001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify)

Proposed Building square Feet or # of Units 1125 Acreage of Site 0 Proposed Total Disturbed Area of the Site 0 Zoning \_\_\_\_\_

**Check Review Required:**

<input type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Zoning Conditional - PB	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> Design Review
<input type="checkbox"/> Amendment to Plan - Board Review	<input type="checkbox"/> Zoning Conditional - ZBA	<input type="checkbox"/> Shoreland	<input type="checkbox"/> DEP Local Certification
<input type="checkbox"/> Amendment to Plan - Staff Review	<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Site Location
<input type="checkbox"/> After the Fact - Major	<input type="checkbox"/> Stormwater	<input type="checkbox"/> Traffic Movement	<input type="checkbox"/> Housing Replacement
<input type="checkbox"/> After the Fact - Minor	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review	<input type="checkbox"/> Other

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 3/10/2010

**Inspections Approval Status:** Reviewer \_\_\_\_\_

Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	

295-51333-5  
10-7-2009

**QUITCLAIM DEED WITH COVENANT  
Statutory Short Form**

**Mount Sinai Cemetery Association, Inc.**, a Maine corporation having a place of business in Portland, Maine, for consideration paid, the receipt whereof is hereby acknowledged, does hereby **GRANT**, to **MADD, LLC**, a Maine limited liability company having a place of business in Portland, Maine, and having a mailing address of 543 Allen Avenue, Portland, Maine 04103, **WITH QUITCLAIM COVENANT**, the following described real estate located in Portland, Maine:

5

Certain lots of parcels of unimproved land located on the easterly side of Hicks Street in said Portland, and being Lots 85, 86, 87, 88, 89 and 90 as shown on a recorded plan entitled "Plan of Frost Villa Sites belonging to Everett C. Walls" said plan being made by Ernest W. Branch, surveyor, dated August 15, 1919 and recorded in the Cumberland County Registry of Deeds in Plan Book 14, Page 25.

Together with a proportionate interest in common in the fee, insofar as the grantor has the right to convey, in all streets and ways shown on said Plan, in common with the other owners of said lots, and subject to the right of all of said lot owners to make any customary use of said streets and ways.

For reference, see deeds recorded in said Registry in Book 2238, Page 300 through 306.

IN WITNESS WHEREOF, the said Mount Sinai Cemetery Association, Inc. has caused this instrument to be signed and sealed in its corporate name by Harvey Elowitch, its President, on September 24, 2009.

WITNESS:

Michael Dvaluch

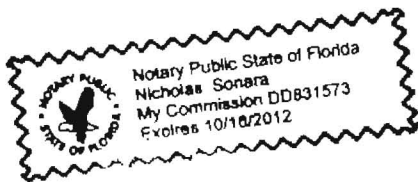
**Mount Sinai Cemetery Association, Inc.**

By: Harvey Elowitch  
Harvey Elowitch, its President

STATE OF FLORIDA  
COUNTY OF PALM BEACH, ss.

September 24, 2009

Then personally appeared the above-named Harvey Elowitch, as President of Mount Sinai Cemetery Association, Inc. and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.



Before me,  
Nicholas Sonara  
Notary Public/Attorney-at-Law  
Print name: Nicholas Sonara

Received  
Recorded Register of Deeds  
Oct 07, 2009 03:23:01P  
Cumberland County  
Pamela E. Lovley

10-7-2009

MAINE REAL ESTATE TAX PAID

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information:**

**Services**

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

browse city services a-z

browse facts and links a-z



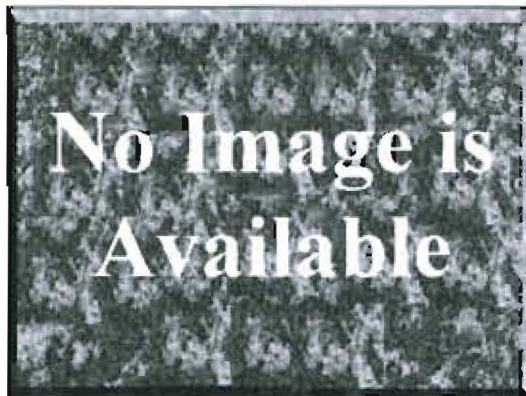
Best viewed at 800x600, with Internet Explorer

**CBL** 297 F001001  
**Land Use Type** VACANT LAND  
**Property Location** 150 HICKS ST  
**Owner Information** MADD LLC  
 543 ALLEN AVE  
 PORTLAND ME 04103  
**Book and Page** 27311/189  
**Legal Description** 297 F-1-2-6  
 HICKS ST 148-168  
 10975 SF  
 LOT 1C  
**Acres** 0.092

**Current Assessed Valuation:**

<b>TAX ACCT NO.</b>	33114	<b>OWNER OF RECORD AS OF APRIL 2009</b>
<b>LAND VALUE</b>	\$1,600.00	MOUNT SINAI CEMETERY ASSOC
<b>BUILDING VALUE</b>	\$0.00	INC
<b>RELIGIOUS INSTITUTIONS</b>	(\$1,600.00)	185 HICKS ST
<b>NET TAXABLE - REAL ESTATE</b>	\$0.00	PORTLAND ME 04103
<b>TAX AMOUNT</b>	\$0.00	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.



**Sales Information:**

Sale Date	Type	Price	Book/Page
10/7/2009	LAND	\$70,000.00	27311/189

**New Search!**

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

[City](#)
[Home](#)
[Departments](#)
[City Council](#)
[E-Services](#)
[Calendar](#)
[Jobs](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information:**

**Services**

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)



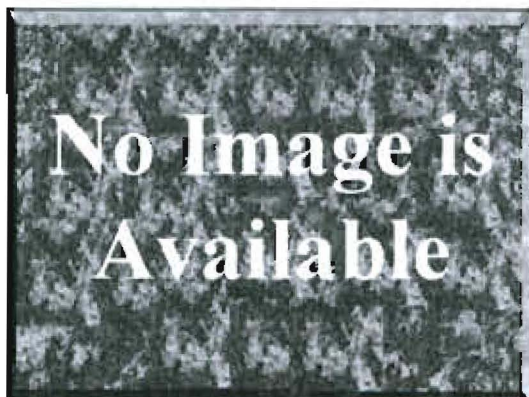
Best viewed at 800x600, with Internet Explorer

**CBL** 297 F003001  
**Land Use Type** VACANT LAND  
**Property Location** 172 HICKS ST  
**Owner Information** MADD LLC  
 543 ALLEN AVE  
 PORTLAND ME 04103  
**Book and Page** 27311/189  
**Legal Description** 297-F-3-4-5  
 HICKS ST 172-176  
 7978 SF  
 LOT 2C  
**Acres** 0.138

**Current Assessed Valuation:**

<b>TAX ACCT NO.</b>	33118	<b>OWNER OF RECORD AS OF APRIL 2009</b>
<b>LAND VALUE</b>	\$2,400.00	MOUNT SINAI CEMETERY ASSOC
<b>BUILDING VALUE</b>	\$0.00	INC
<b>RELIGIOUS INSTITUTIONS</b>	(\$2,400.00)	185 HICKS ST
<b>NET TAXABLE - REAL ESTATE</b>	\$0.00	PORTLAND ME 04103
<b>TAX AMOUNT</b>	\$0.00	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

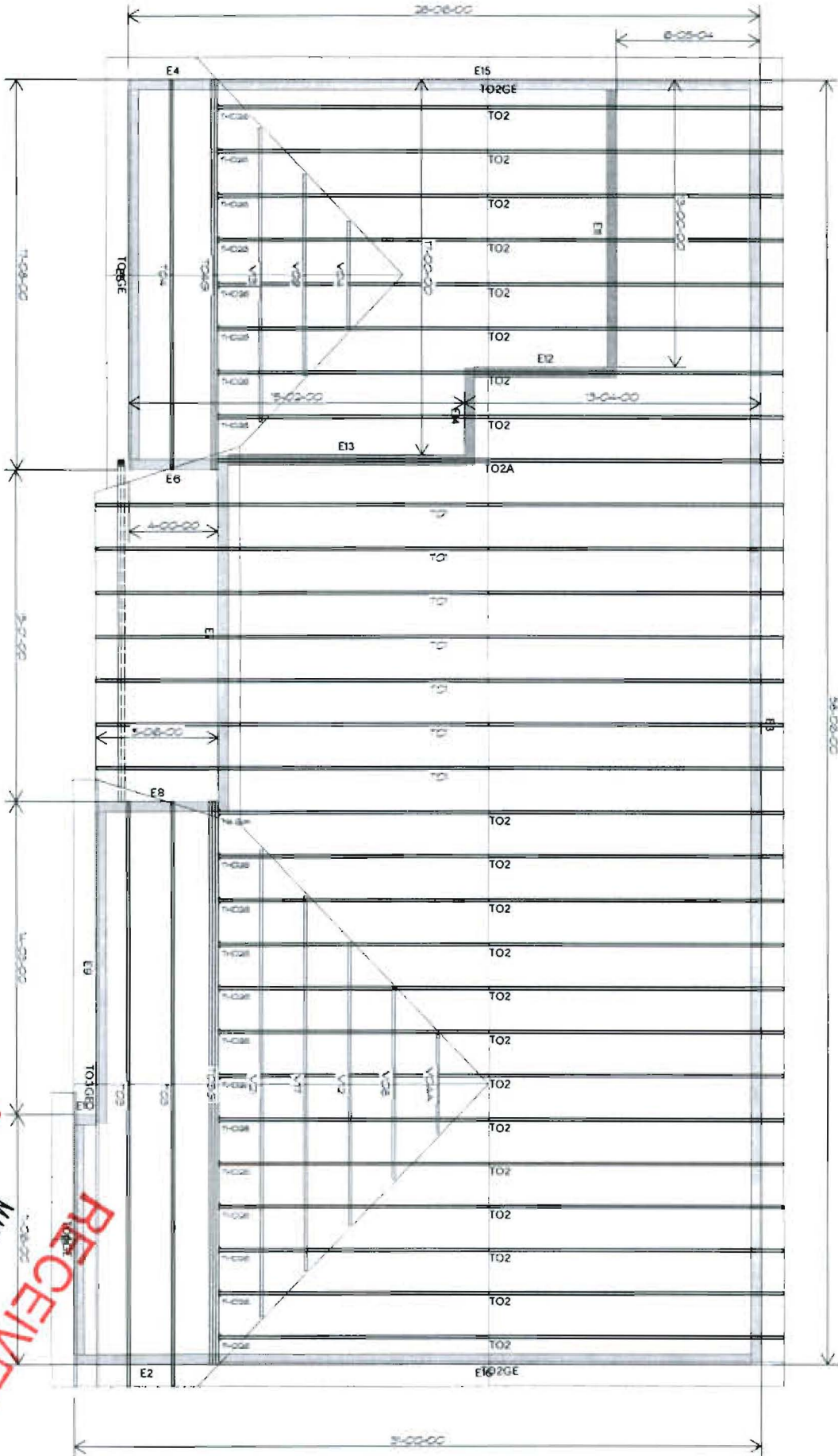


**Sales Information:**

<b>Sale Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
10/7/2009	LAND	\$70,000.00	27311/189

**New Search!**

DERRIG (ROOF)  
QUOTE B-105104  
03-17-2010



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MAR 26 2010  
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City of Portland Maine



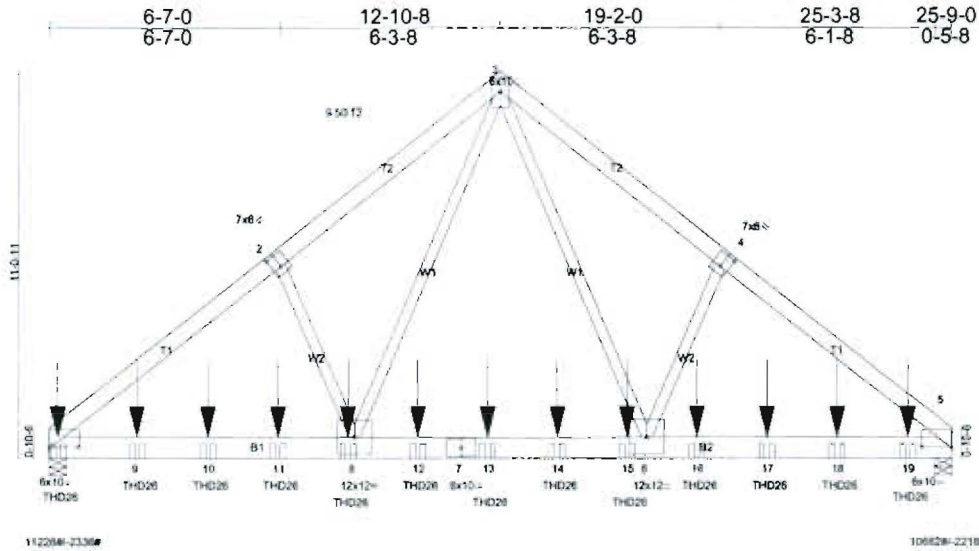


Plate Offsets (X, Y)	1-0-10-3, 0-0-7	2-0-3-0, 0-4-8	4-0-3-0, 0-4-8	5-0-10-3, 0-0-7
	8-8-3	8-8-3	17-0-13	25-9-0
			8-4-10	8-8-3

<b>LOADING</b> (psf)	<b>SPACING</b>	<b>CSI</b>	<b>DEFL</b>	<b>PLATES</b>	<b>GRIP</b>
TCLL 37.5 (Ground Snow=50.0)	2-0-0 Plates Increase 1.15 Lumber Increase 1.15	TC 0.42 BC 0.50 WB 0.62 (Matrix)	in (loc) 1/def L/d Vert(LL) -0.17 5-6 >999 240 Vert(TL) -0.29 5-6 >999 180 Horz(TL) 0.05 5 n/a n/a	MT20	197/144
TCDL 10.0	Rep Stress Incr YES				
BCLL 0.0	Code/RC2003/TPI2002				
BCDL 10.0					Weight: 528 lb

**LUMBER**  
 TOP CHORD 2 X 6 SPF No 2  
 BOT CHORD 2 X 8 SYP DSS  
 WEBS 2 X 4 SPF No.2

**BRACING**  
 TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purins (PSA)  
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing

**REACTIONS**(lb/size) 1=11108/0-6-2, 5=10544/0-6-2  
 Max Horz = 405(LC 5)  
 Max Uplift = 2336(LC 7), 5=2218(LC 8)  
 Max Grav = 11226(LC 2), 5=10662(LC 3)

**FORCES**(lb) - Max. Comp./Max Ten. - All forces 250 (lb) or less except when shown.  
 TOP CHORD 1-2=-11946/2504, 2-3=-11541/2627, 3-4=-11618/2643, 4-5=-12020/2519  
 BOT CHORD 1-9=-1920/8926, 9-10=-1920/8926, 10-11=-1920/8926, 8-11=-1920/8926, 8-12=-1206/6206, 7-12=-1206/6206, 7-13=-1206/6206, 13-14=-1206/6206, 14-15=-1206/6206, 6-15=-1206/6206, 6-16=-1812/8989, 16-17=-1812/8969, 17-18=-1812/8989, 18-19=-1812/8989, 5-19=-1812/8989  
 WEBS 3-6=-1725/7588, 4-6=-274/388, 3-8=-1692/7429, 2-8=-264/398

- NOTES**
- 3-ply truss to be connected together with 10d (0.131"x3") nails as follows:  
 Top chords connected as follows: 2 X 6 - 2 rows at 0-9-0 oc.  
 Bottom chords connected as follows: 2 X 8 - 2 rows at 0-5-0 oc.  
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
  - All loads are considered equally applied to all plies, except if noted as front (F) or back (B) face in the LOAD CASE(S) section. Ply to ply connections have been provided to distribute only loads noted as (F) or (B), unless otherwise indicated.
  - Wind: ASCE 7-02; 100mph; TCCL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp C, enclosed; MWFRS (low-rise) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
  - TCLL: ASCE 7-02; Pg=50.0 psf (ground snow); Ps=37.5 psf (roof snow), Category II; Exp C; Partially Exp; Ct=1.1
  - Roof design snow load has been reduced to account for slope.
  - Unbalanced snow loads have been considered for this design.
  - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 2336 lb uplift at joint 1 and 2218 lb uplift at joint 5
  - This truss is designed in accordance with the 2003 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1
  - "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
  - Use USP THD26 (With 16d nails into Girder & NA9D nails into Truss) or equivalent spaced at 2-2-15 oc max. starting at 0-3-1 from the left end to 24-6-0 to connect truss(es) T02 (1 ply 2 X 4 SPF) to back face of bottom chord.
  - Fill all nail holes where hanger is in contact with lumber.

**LOAD CASE(S) Standard**  
 1) Snow: Lumber Increase=1.15, Plate Increase=1.15  
 Uniform Loads (plf)  
 Vert: 1-3=-95, 3-5=-95, 1-5=-20  
 Concentrated Loads (lb)  
 Vert: 1=-1442(B) 8=-1442(B) 9=-1442(B) 10=-1442(B) 11=-1442(B) 12=-1442(B) 13=-1442(B) 14=-1442(B) 15=-1442(B) 16=-1442(B) 17=-1442(B) 18=-1442(B) 19=-1442(B)

RECEIVED  
 MAR 26 2010  
 Dept. of Building Inspections  
 City of Portland Maine

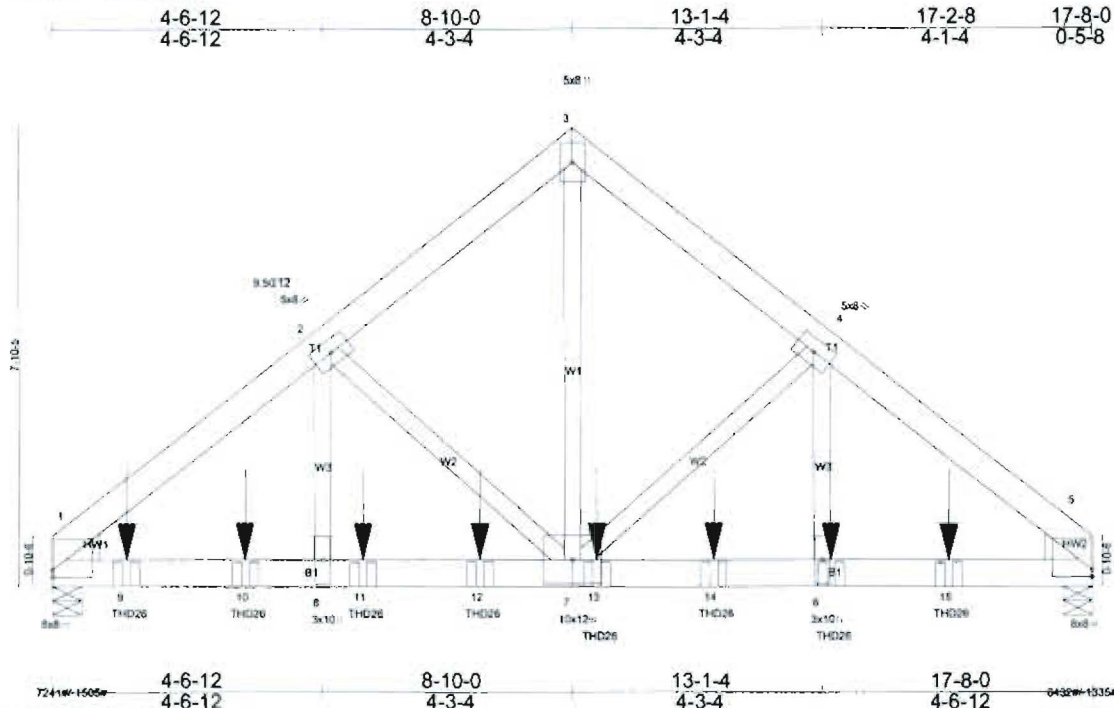


Plate Offsets (X, Y): 0-0-2, 0-1-7; [5, 0-0-2, 0-1-7]	4-6-12 4-6-12	8-10-0 4-3-4	13-1-4 4-3-4	17-2-8 4-1-4	17-8-0 0-5-8
LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 37.5 (Ground Snow=50.0)	2-0-0 Plates Increase 1.15 Lumber Increase 1.15 Rep Stress Incr NO Code/RC2003/TPI2002	TC 0.46 BC 0.43 WB 0.79 (Matrix)	in (loc) l/defl L/d Vert(LL) -0.09 6-7 >999 240 Vert(TL) -0.15 6-7 >999 180 Horz(TL) 0.05 5 n/a n/a	MT20	197/144
TCDL 10.0				Weight: 226 lb	
BCLL 0.0					
BCDL 10.0					

**LUMBER**  
 TOP CHORD 2 X 6 SPF No.2  
 BOT CHORD 2 X 6 SYP DSS  
 WEBS 2 X 4 SPF No.2  
 WEDGE  
 Left: 2 X 6 SPF No.2, Right: 2 X 6 SPF No.2

**BRACING**  
 TOP CHORD Structural wood sheathing directly applied or 4-10-6 oc purlins.  
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

**REACTIONS** (lb/size) 1=7160/0-5-15, 5=6352/0-5-15  
 Max Horiz=284(LC 5)  
 Max Uplift=-1505(LC 7), 5=-1335(LC 8)  
 Max Grav=7241(LC 2), 5=6432(LC 3)

**FORCES**(lb) - Max. Comp./Max. Ten - All forces 250 (lb) or less except when shown  
 TOP CHORD 1-2=-8422/1759, 2-3=-5669/1305, 3-4=-5662/1303, 4-5=-8337/1741  
 BOT CHORD 1-9=-1307/6151, 9-10=-1307/6151, 8-10=-1307/6151, 8-11=-1307/6151, 11-12=1307/6151, 7-12=-1307/6151, 7-13=-1208/6062,  
 13-14=-1208/6062, 6-14=-1208/6062, 6-15=-1208/6062, 5-15=-1208/6062  
 WEBS 3-7=-1422/6406, 4-7=-2397/638, 4-6=-622/3207, 2-7=-2518/662, 2-8=-643/3308

- NOTES**
- 2-ply truss to be connected together with 10d (0.131"x3") nails as follows  
 Top chords connected as follows: 2 X 6 - 2 rows at 0-9-0 oc.  
 Bottom chords connected as follows: 2 X 6 - 2 rows at 0-7-0 oc.  
 Webs connected as follows: 2 X 4 - 1 row at 0-9-0 oc.
  - All loads are considered equally applied to all plies, except if noted as front (F) or back (B) face in the LOAD CASE(S) section. Ply to ply connections have been provided to distribute only loads noted as (F) or (B), unless otherwise indicated.
  - Wind: ASCE 7-02, 100mph; TCCL=4.2psf; BCCL=6.0psf; h=25ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
  - TCLL: ASCE 7-02; Pg=50.0 psf (ground snow); Ps=37.5 psf (roof snow); Category II; Exp C; Partially Exp.; Ct=1.1
  - Roof design snow load has been reduced to account for slope.
  - Unbalanced snow loads have been considered for this design.
  - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads
  - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1505 lb uplift at joint 1 and 1335 lb uplift at joint 5.
  - This truss is designed in accordance with the 2003 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.
  - Use USP THD26 (With 16d nails into Girder & N9D nails into Truss) or equivalent spaced at 2-0-0 oc max. starting at 1-3-0 from the left end to 15-3-0 to connect truss(es) T02 (1 ply 2 X 4 SPF) to back face of bottom chord.
  - Fill all nail holes where hanger is in contact with lumber.

**LOAD CASE(S)** Standard  
 1) Snow: Lumber Increase=1.15, Plate Increase=1.15  
 Uniform Loads (plf)  
 Vart: 1-3=-95, 3-5=-95, 1-5=-20  
 Concentrated Loads (lb)  
 Vart: 6=-1442(B) 9=-1442(B) 10=-1442(B) 11=-1442(B) 12=-1442(B) 13=-1442(B) 14=-1442(B) 15=-1442(B)

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MAR 26 2010

Dept. of Building Inspections  
 City of Portland Maine

## **Jeanie Bourke - 150 Hicks Street - Site Plan Review for Building Permit**

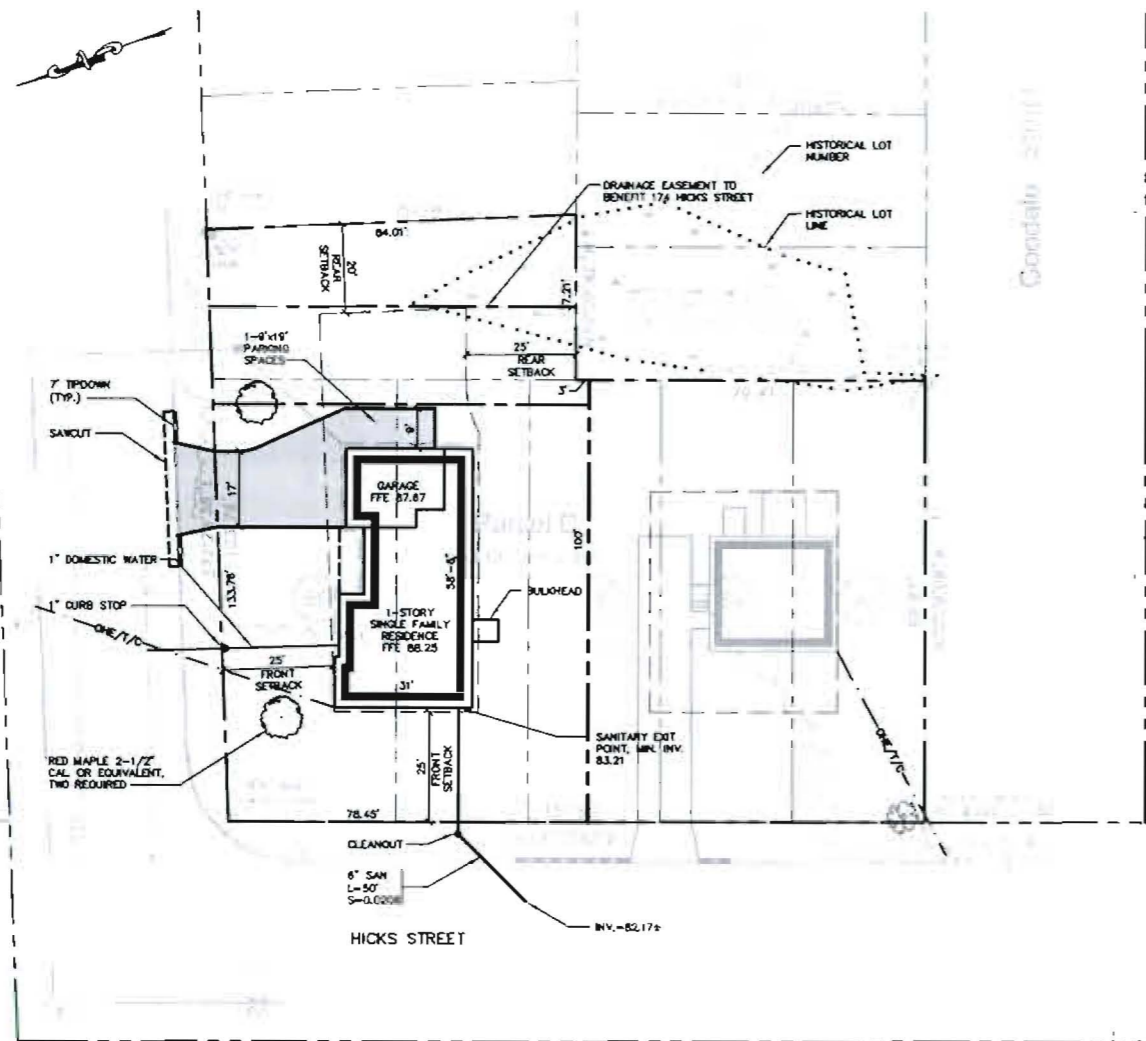
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**From:** Philip DiPierro  
**To:** Code Enforcement & Inspections  
**Date:** 3/26/2010 4:24 PM  
**Subject:** 150 Hicks Street - Site Plan Review for Building Permit

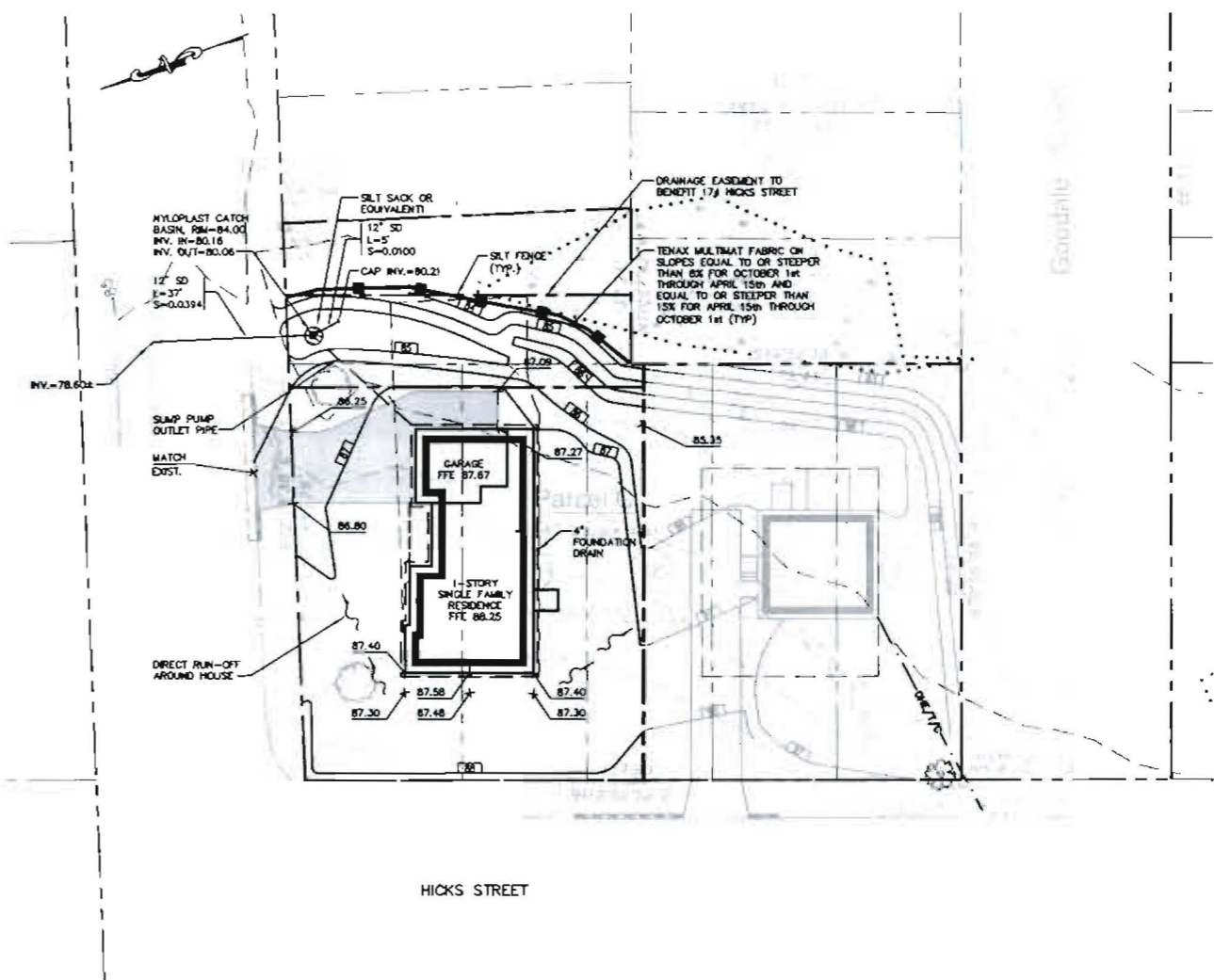
Hi all, this project meets minimum DRC site plan requirements for the issuance of a building permit. Please see UI for sign off.

Thanks.

Phil



**SITE AND UTILITY PLAN**  
1"=20'



**GRADING AND DRAINAGE PLAN**  
1"=20'

**GRADING AND DRAINAGE NOTES:**

1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED.
2. COMMON BORROW SHALL MEET MOOT SPECIFICATION 703.10.
3. FOUNDATION DRAIN SHALL BE DIRECTED TO SUMP LOCATED WITHIN BUILDING.
4. THE GRADING AND DRAINAGE SYSTEM ON THE PROPERTY SHALL BE CONSTRUCTED AND LOCATED AS DEPICTED ON THE APPROVED SITE PLAN AND SAID GRADING AND DRAINAGE SYSTEM SHALL NOT BE MODIFIED WITHOUT FURTHER APPROVAL FROM THE PLANNING AUTHORITY.

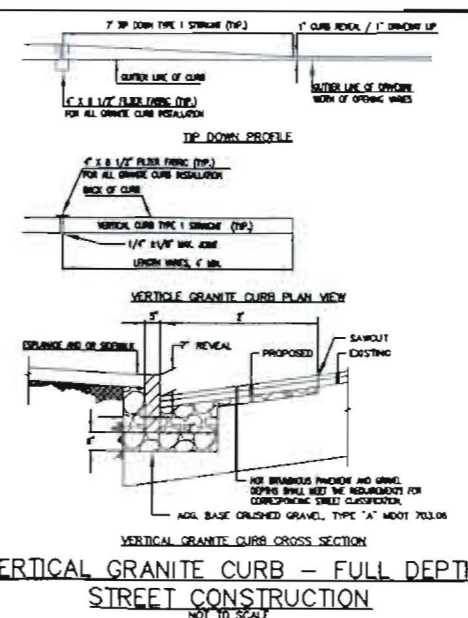
**SPACE AND BULK REQUIREMENTS - R-3 ZONE**

MINIMUM LOT SIZE	6,500 S.F.
MINIMUM FRONTAGE	50 FT.
MINIMUM SETBACKS	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	9 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH, OTHER USES	65 FT.

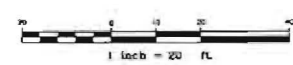
\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

**GENERAL NOTES**

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN JUNE 2006.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE, COORDINATE WITH OMP.
8. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES PER UNIT MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDTHEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
9. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
10. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL STANDARDS, SECTION WE EROSION AND SEDIMENTATION CONTROL STANDARDS FOR SINGLE AND TWO FAMILY HOMES.
11. ANY CURBSING REMOVED WITHIN THE RIGHT-OF-WAY IS THE PROPERTY OF THE CITY OF PORTLAND AND SHALL BE DELIVERED TO THE PUBLIC WORKS FACILITY ON OUTER CONGRESS STREET.



NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



U:\3282.Dwg - Home Lnk - Dan Anderson\3282-Dwg-Parcel-C.dwg 3/7/2010 3:29 PM

Rev	Date	Revision

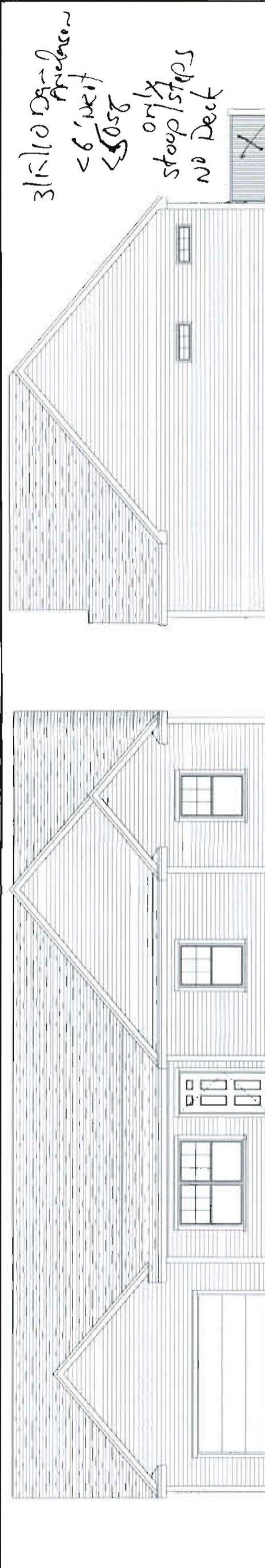
BUILDING PERMIT APPLICATION	03/06/10	DBR
Issued For	Date	By

Design: JWA	Draft: CC	Date: 8/09
Checked: AMP	Scale: 1"=20'	Job No: 2277.01
File Name: 2382-01-Parcel-C.dwg		
This plan shall not be modified without written permission from Gorrill-Palmer Consulting Engineers, Inc. (GPCE). Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to GPCE.		

**GP Gorrill-Palmer Consulting Engineers, Inc.**  
 Engineering Excellence Since 1998  
 PO Box 1237 15 Shaker Road Gray, ME 04039  
 207-657-6910 FAX: 207-657-6912 E-Mail: mail@gorrillpalmer.com

Drawing Name	<b>Site, Utility, Grading and Drainage Plans</b>
Project	<b>Hicks Street Single Family Residence</b> 164 Hicks Street, Portland, Maine
Client	<b>MADD LLC</b> 543 Allen Avenue, Portland, Maine 04103

Drawing No  
**1**



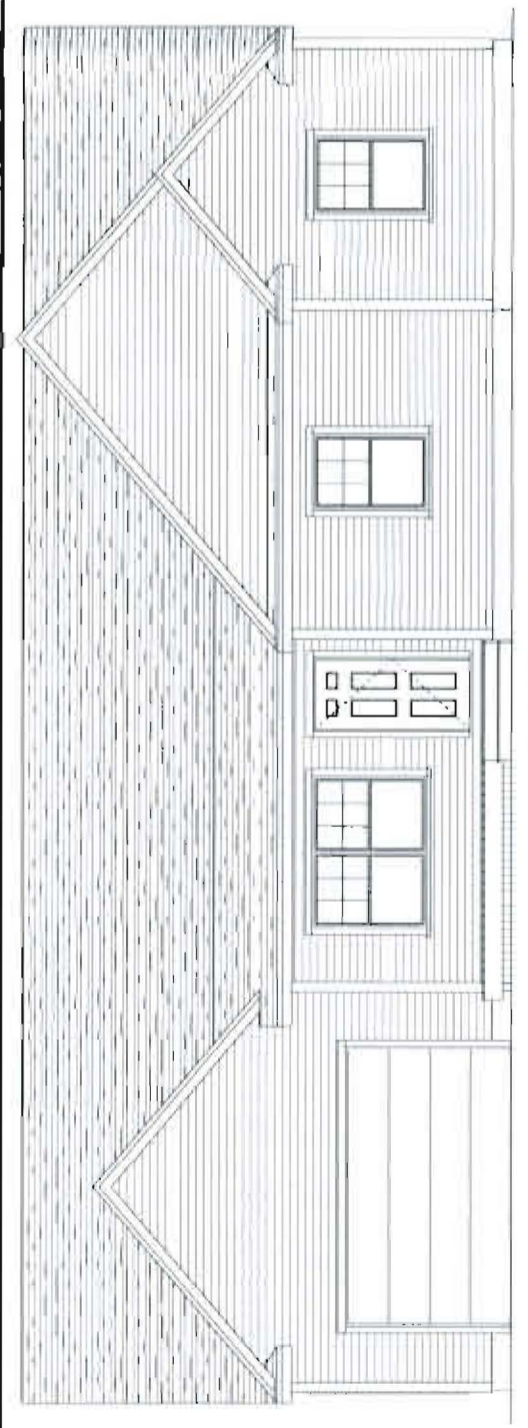
3/15/10 Design  
 Archon  
 < 6' height  
 < 505g  
 only  
 stoop/steps  
 No Deck

THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDANCE  
 FOR THE CONSTRUCTION OF THIS PROJECT. MAJORITY DESIGN  
 AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR  
 AND THE ARCHITECT ASSUMES NO LIABILITY FOR THE CONSTRUCTION  
 OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR  
 OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE  
 LOCAL AUTHORITIES. THE ARCHITECT ASSUMES NO LIABILITY FOR  
 THE CONSTRUCTION OF THIS PROJECT. MAJORITY DESIGN  
 AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR  
 AND THE ARCHITECT ASSUMES NO LIABILITY FOR THE CONSTRUCTION  
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 LOCAL AUTHORITIES.

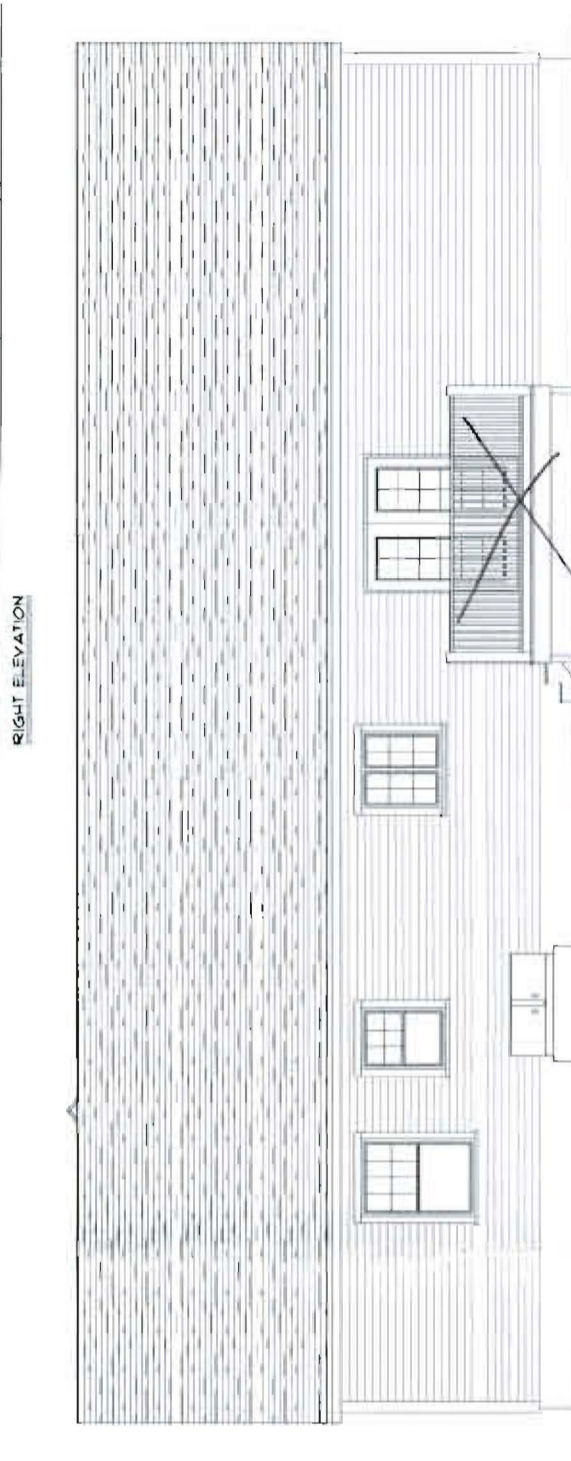
MADD INC  
 CONTRACTOR

PROJECT NAME  
 DERRIG  
 RESIDENCE  
 150 Harts St.  
 Permit # 10-0224

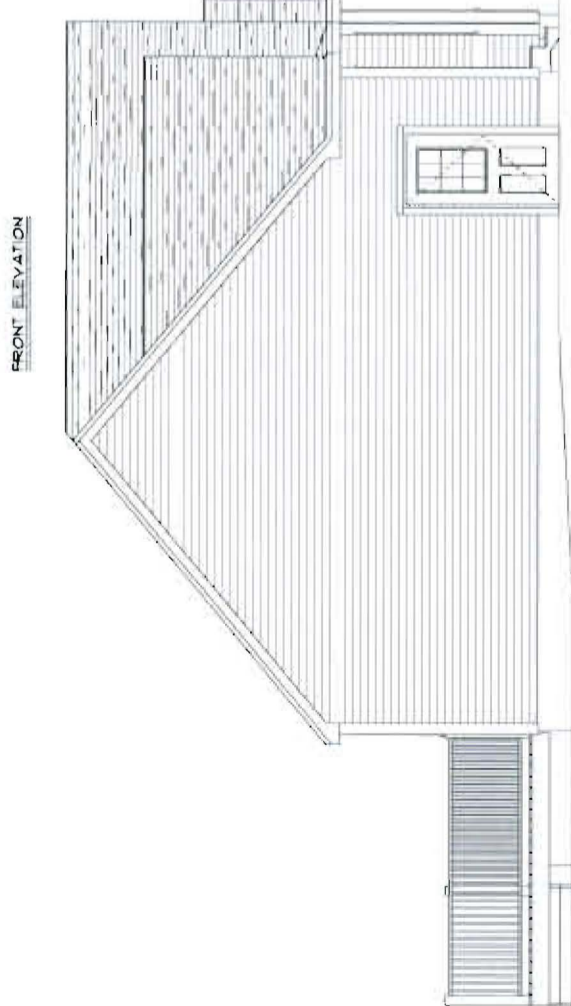
DATE	10/10/10
BY	ARCHON
SCALE	AS SHOWN
TITLE	GENERAL CONTRACTOR



FRONT ELEVATION

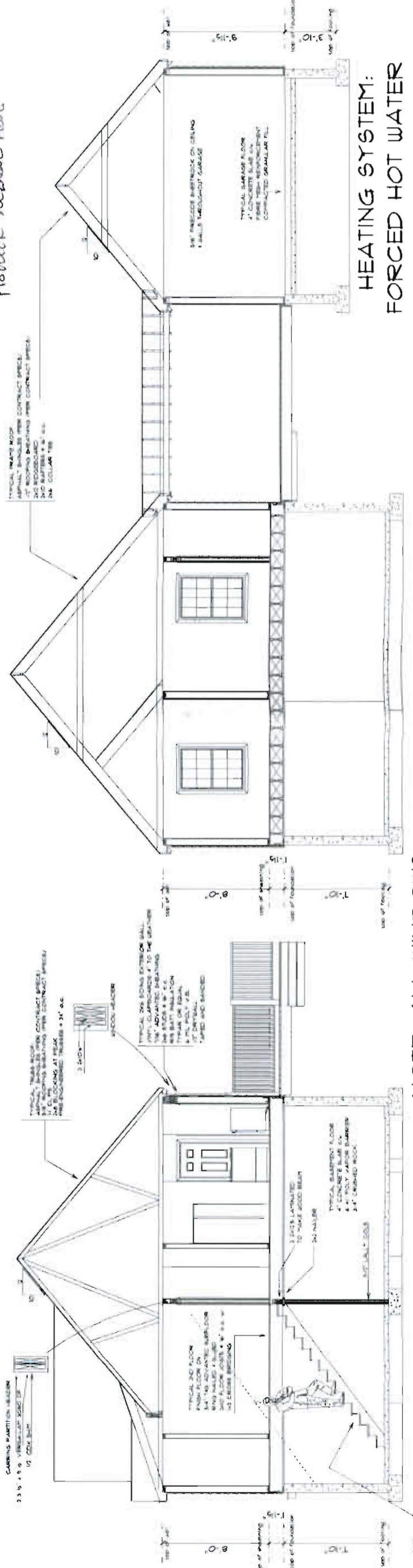


RIGHT ELEVATION



LEFT ELEVATION

REAR ELEVATION



CROSS SECTION A-A  
 SCALE 1/4" = 1'-0"

CROSS SECTION B-B  
 HEAVING DETAIL THE SAME AS  
 CROSS SECTION A-A  
 SCALE 1/4" = 1'-0"

NOTE: ALL WINDOWS  
 U-FACTOR = .31

HEATING SYSTEM:  
 FORCED HOT WATER,  
 WITH POWER VENT,  
 POSITIONING BY  
 PLUMBING CONTRACTOR

no deck-subbar note

TYPICAL TRUSS ROOF  
 2X4 RAFTERS @ 24" o.c.  
 2X6 COLLAR TIE  
 2X6 BRACING @ 48" o.c.  
 1/2" GYPSUM BOARD  
 1/2" GYPSUM BOARD

TYPICAL 2ND FLOOR  
 2X4 JOIST @ 24" o.c.  
 5/8" ADVANTIC SUBFLOOR  
 3/4" POLY V.B.  
 1/2" GYPSUM BOARD

TYPICAL 1ST FLOOR  
 2X4 JOIST @ 24" o.c.  
 5/8" ADVANTIC SUBFLOOR  
 3/4" POLY V.B.  
 1/2" GYPSUM BOARD

TYPICAL GARAGE FLOOR  
 4" CONCRETE SLAB ON  
 COMPACT GRANULAR FILL

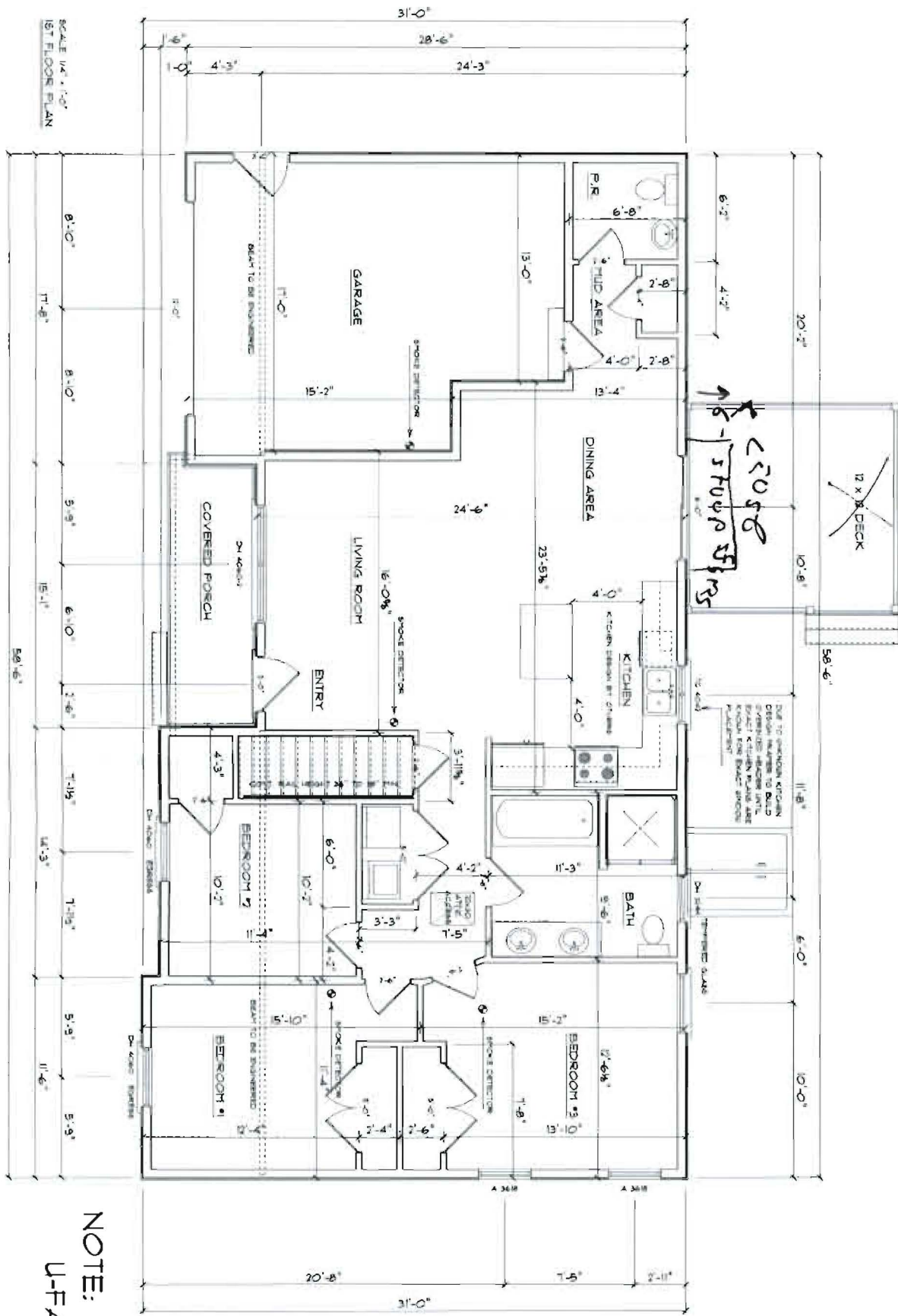
TYPICAL BASEMENT FLOOR  
 4" CONCRETE SLAB ON  
 4" POLY LAMINATE  
 2" 4" CRUSHED ROCK

TYPICAL WINDOW  
 1/2" GYPSUM BOARD  
 2X4 STUDS @ 24" o.c.  
 1/2" GYPSUM BOARD

TYPICAL DOOR  
 1/2" GYPSUM BOARD  
 2X4 STUDS @ 24" o.c.  
 1/2" GYPSUM BOARD

TYPICAL PORCH  
 2X4 JOIST @ 24" o.c.  
 2X6 BRACING @ 48" o.c.  
 1/2" GYPSUM BOARD

TYPICAL ROOF  
 2X4 RAFTERS @ 24" o.c.  
 2X6 COLLAR TIE  
 2X6 BRACING @ 48" o.c.  
 1/2" GYPSUM BOARD



NO Deck DWA 3/11/18

C5098  
5-15-18

DATE	3/11/18
SCALE	1/4" = 1'-0"
PROJECT	DERRIG RESIDENCE
DESIGNER	PALANZA RES DESIGN INC
CLIENT	MADD INC
NO.	1

PROJECT NAME  
150 H&D  
DERRIG  
RESIDENCE

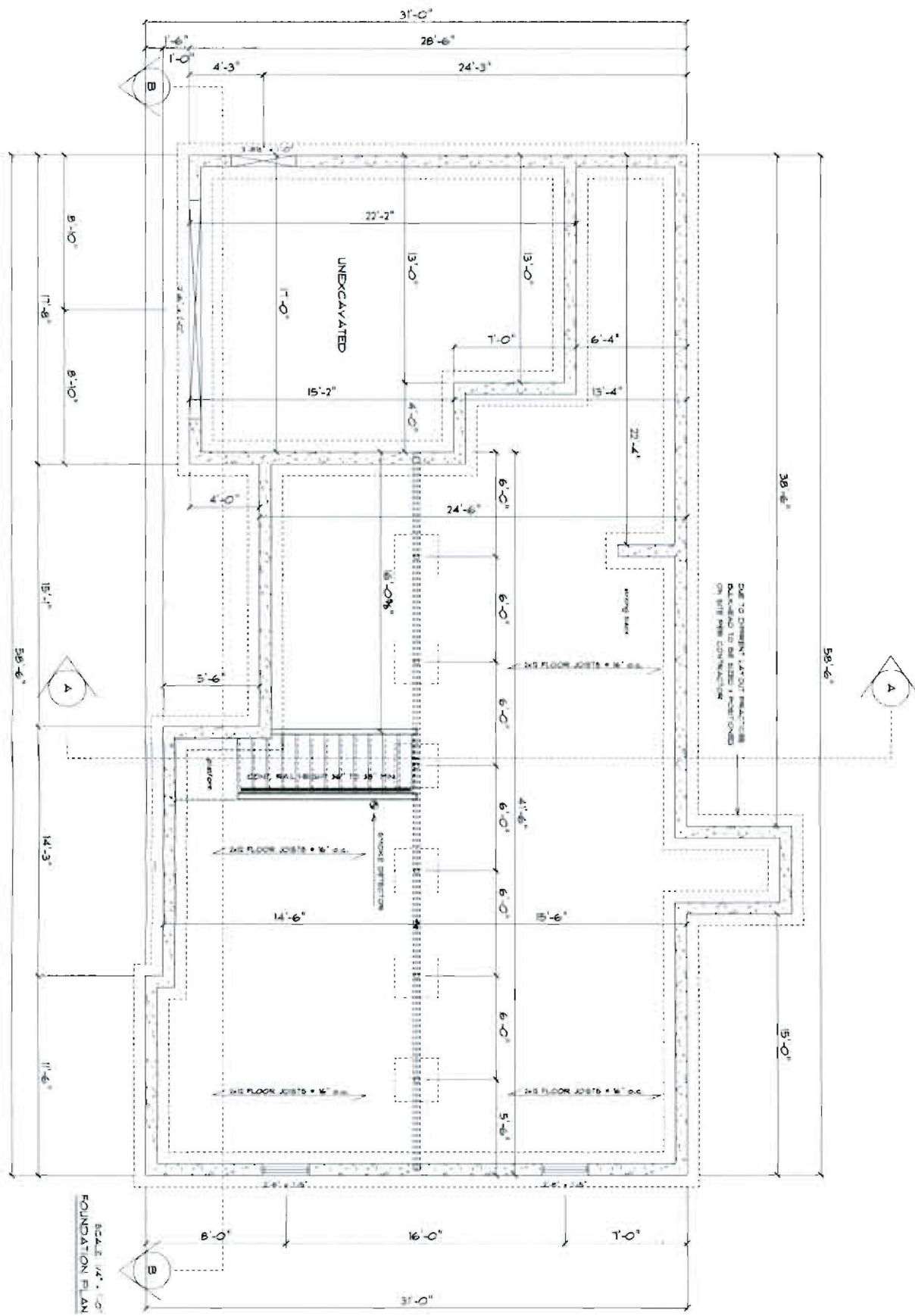
CONTRACTOR  
MADD INC

THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES FOR THE CONSTRUCTION OF THIS PROJECT. PALANZA RES DESIGN INC OR PETER PALANZA DO NOT GUARANTEE THAT THESE PLANS ARE COMPLETELY CORRECT. ACCURATE, OR IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES. IT IS THE OWNER'S AND/OR THE BUILDER'S RESPONSIBILITY TO CONSTRUCT THIS PROJECT IN CONFORMANCE WITH ALL APPLICABLE CODES AND IN A MANNER DEEMED GOOD PRACTICE FOR ALL THE TRADES THAT MAY BE INVOLVED.

ALL STRUCTURAL NOTATIONS ARE SUGGESTIONS ONLY. THE OWNER AND/OR BUILDER SHOULD TAKE ALL APPROPRIATE STEPS TO ASSURE THAT THE CONSTRUCTION OF THIS PROJECT CONFORMS TO OR EXCEEDS LOCAL AND STATE BUILDING CODES.

USE OF THE PLAN SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO PALANZA RES DESIGN INC. CONTRACTOR SPECIFICATIONS TO OVERKUL'S NOTES AND DETAILS ON THE PLANS.





NO.	REVISION	DATE	BY	CHECKED

PROJECT NAME  
**150 Hicks  
 DERRIG  
 RESIDENCE**

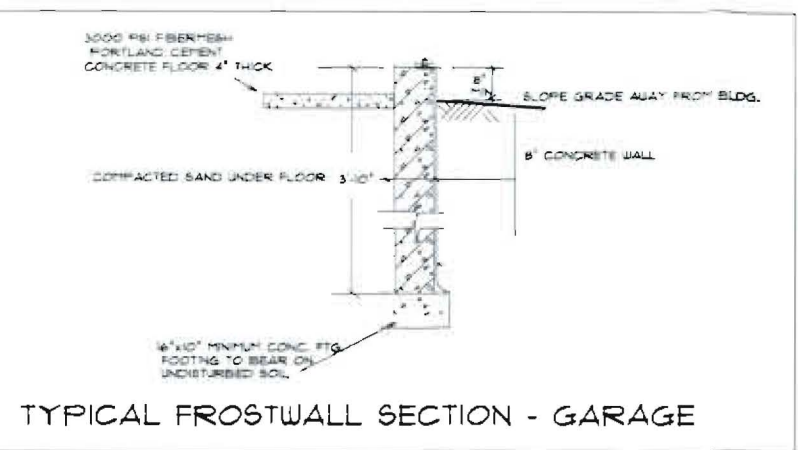
CONTRACTOR  
**MADD INC**

THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES FOR THE CONSTRUCTION OF THIS PROJECT. FALANZA RES DESIGN INC OR PETER FALANZA DO NOT GUARANTEE THAT THESE PLANS ARE COMPLETELY CONSISTENT, ACCURATE, OR IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES. IT IS THE OWNER'S AND/OR THE BUILDER'S RESPONSIBILITY TO CONSTRUCT THIS PROJECT IN COMPLIANCE WITH ALL APPLICABLE CODES AND IN A MANNER DEEMED GOOD PRACTICE FOR ALL THE TRADES THAT MAY BE REQUIRED.

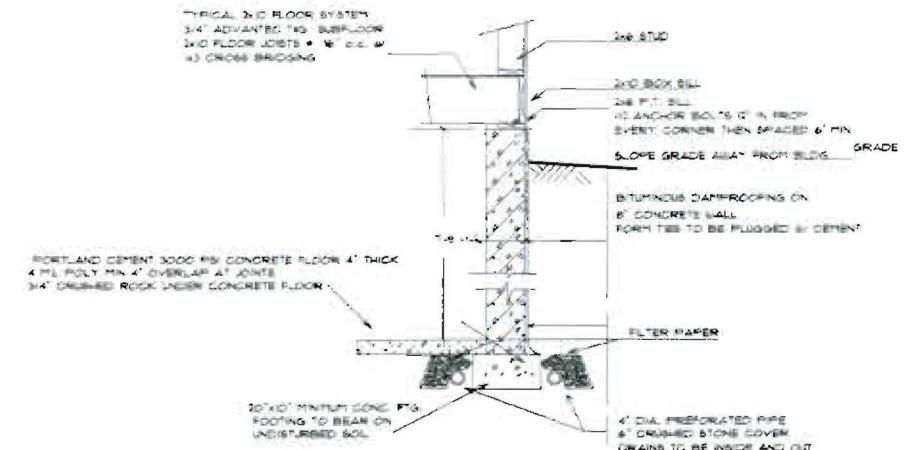
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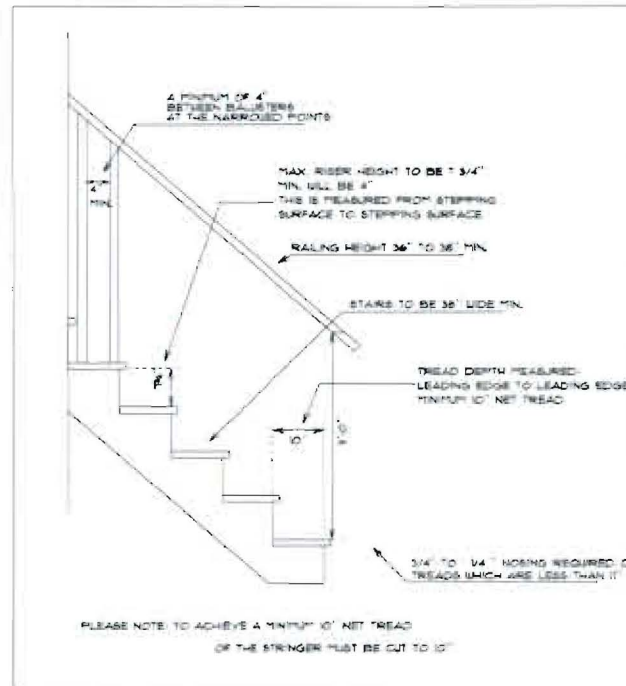




TYPICAL FROSTWALL SECTION - GARAGE

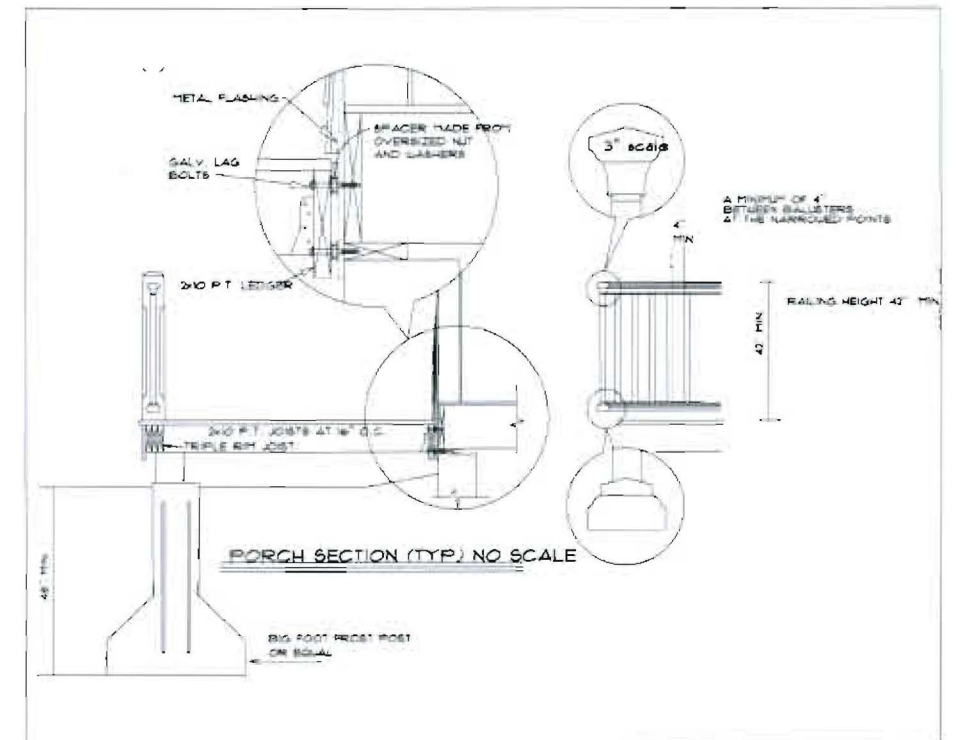


TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE



FOUNDATION NOTES

1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
2. BASEMENT WINDOW LOCATIONS & ROUGH OPENINGS SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
3. ALL ANCHOR BOLTS SHALL BE 1/2\"/>

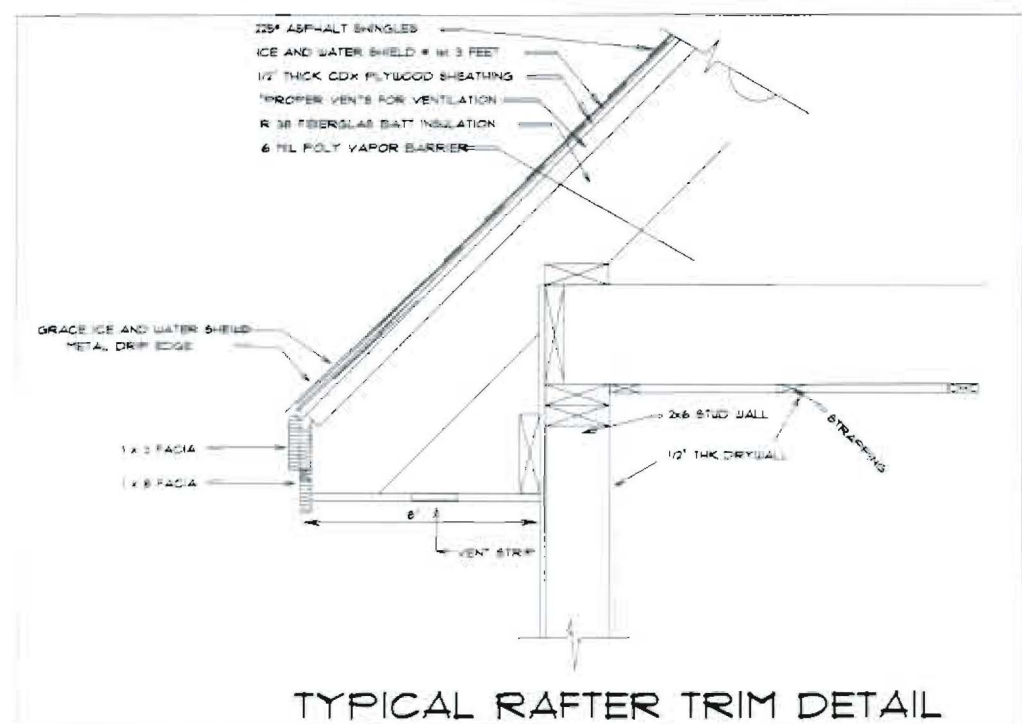


PORCH SECTION (TYP.) NO SCALE

SEE NOTE F	SEE NOTE F	SEE NOTE C	SEE NOTE P, SEE NOTE N, OR SEE NOTE G	SEE NOTE S, SEE NOTE N, SEE NOTE C, J																

(SEE NOTES A - P FOR ALL FASTENING NOTES)

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)



TYPICAL RAFTER TRIM DETAIL