



PORTLAND MAINE

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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

October 25, 2007

Mr. Matthew Ryle
37 King Street
Portland, ME 04103

RE: Fill Permit – 15 King Street
(ID # 2007-0133) (CBL#297 E 36 to 39)

Dear Mr. Ryle:

On October 25, 2007, the Portland Planning Authority granted approval for a fill permit at 15 King Street.
The City's approval is granted subject to the following conditions:

1. Applicant shall establish boundary lines around the perimeter of the property prior to commencement of filling the area.
2. Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.
3. All guidelines listed in the Fill Permit Application shall be followed.
4. All fill areas must be stabilized for winter by November 15, 2007.
5. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
6. The expiration date of this approval is October 25, 2008.

The approval is based on the submitted site plan and scope of work discussed at the recent site visit/pre-construction meeting. If you need to make any modifications to the site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this

Fill Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Fill Area: <i>15 King St.</i>		
Total Cubic Yardage of Proposed Fill <i>25 15 Cubic Yards</i>	Square Footage of Lot <i>18400</i>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <i>297 E 36-39</i>	Owner: <i>Matthew Ryle</i>	Telephone: <i>878 8975</i>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	500cy-less \$50.00 500cy-more \$100.00 Fee: \$ <i>50</i>

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Matthew J. Ryle</i>	Date: <i>8/1/07</i>
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This is not a permit. You may not commence ANY work until the permit is issued.

FILL PERMIT SUBMISSION

- Your submission must include 4 copies of the site plan on 11" x 17" paper or greater.
- A site plan shall include: The shape and dimension of the lot, area and limits of the proposed fill area, and the distance from the actual property lines. Any site plan not drawn to scale will not be accepted.
- The following items are guidelines to help applicant(s) prepare a site plan for approval of land areas being filled. It is the applicant's responsibility to locate and assess all impacts as a result of the proposed filling and to acquire all applicable permits outside of the City of Portland review. Site plans shall contain the information suggested in the following guidelines:
 1. Fill elevations shall match and conform in height with the elevation of an existing road shoulder, an existing driveway or land abutting your property line. Embankments and sloped areas created by fill construction shall not exceed a 3:1 side slope or 33% grade. Areas steeper than 3:1 shall be stabilized using stone riprap, erosion control blankets, or an engineered retaining structure or system.
 2. The filled area shall be graded such as to provide positive gravity drainage from a roadside, driveway, and buildings to a ditch line, culvert, wetlands, or a common drainage system located within or adjacent to the applicant's lot.
 3. Fill shall not be placed near, within, or block the flow path of an existing drainage course. Any filling or

8/13/07

Dear Planning + Development Dept.

25 cubic yards of clay + topsoil will (has been) be applied to the areas denoted in yellow as part of my landscaping effort.

The earth applied on Lot 39 will level the ground around the existing permitted garage (permit # 041486)

On lot # 34 soil was applied to level the existing lawn. Before application the grade in this area was very steep.

If ~~Once~~ permission is obtained to continue this area will be leveled to 33% + seeded. Perennials will also be added.

Best Regards,
Matthew Ryle
15 King St.

Fill Permit Application

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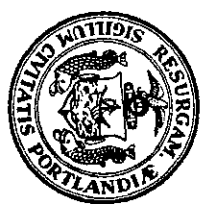
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Best Regards,
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15 King St.



City of Portland
GIS



DISCLAIMER : This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

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 City of Portland
 389 Congress St.
 Portland, Maine
 04101

HELP

City of Portland GIS Viewer

100,000

Quick Tools: Select Quick Tool

Select Property by:
 Address
 Account Number
 CBL

SWITCH TO LEGEND LAYERS

- All Layers
- House Number
- Major Roads
- Interstate
- Unit Lines
- Utilities
- Streets
- Parcels
- Buildings
- Traveled Ways
- Stream
- Wetland
- Lake/Pond
- Jetport
- Neighborhoods
- Open Space
- FEMA Flood Zones
- Zoning
- Historic
- Political Districts
- School Districts
- Assessor Chart
- Topography
- Shaded Relief
- Elevation
- Photos 2006 (peninsula)
- Photos 2006
- Photos 2001

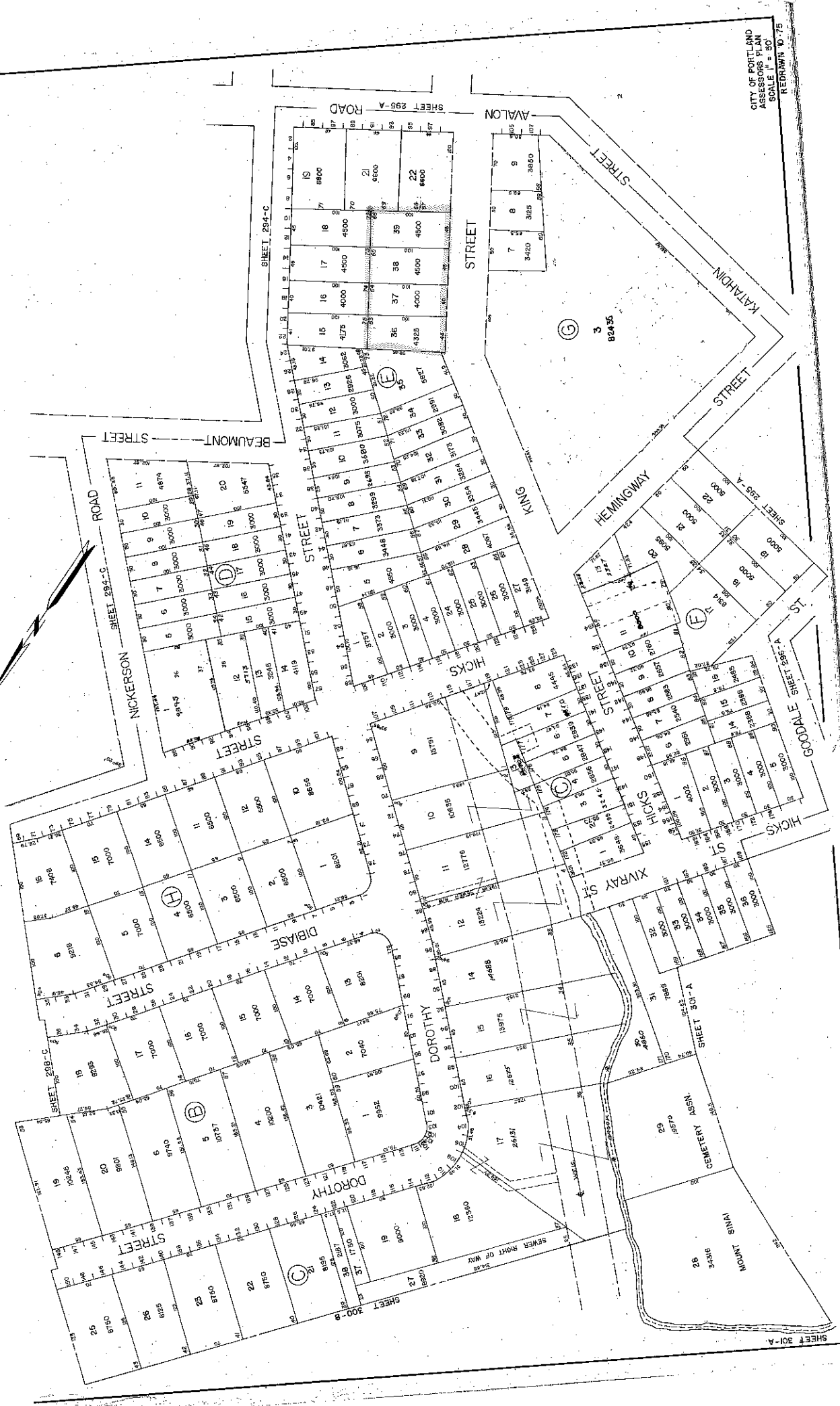
Refresh Map

Auto Refresh

Help:

- A closed group, click to open.
- An open group, click to close.
- A map layer.
- A hidden group/layer, click to make visible.
- A visible group/layer, click to hide.
- A visible layer, but not at this scale.
- A partially visible group, click to make visible.
- An inactive layer, click to make active.

PORTLAND



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	297 E036001
Location	37 KING ST
Land Use	SINGLE FAMILY
Owner Address	RYLE MATTHEW 37 KING ST PORTLAND ME 04103
Book/Page	24092/116
Legal	297-E-36 TO 39 KING ST 17325 SF

Current Assessed Valuation

Land	Building	Total
\$71,700	\$142,700	\$214,400

Property Information

Year Built 1981	Style Ranch	Story Height 1	Sq. Ft. 1404	Total Acres 0.398	
Bedrooms 3	Full Baths 2	Half Baths	Total Rooms 7	Attic None	Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
06/22/2006	LAND + BLDING	\$215,000	24092-116
03/04/2002	LAND + BLDING	\$146,000	17383-129

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

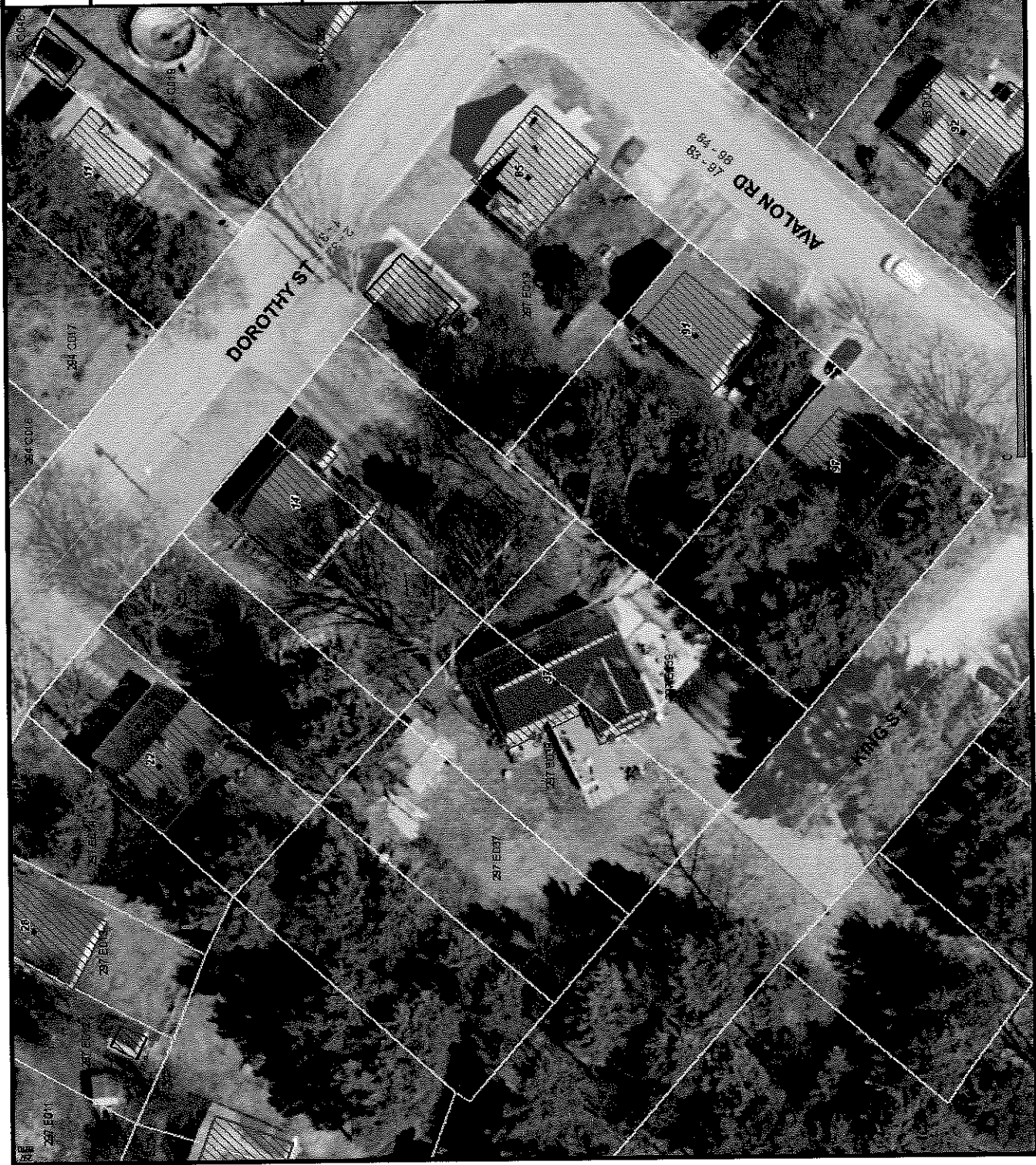
New Search!

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GIS



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389 Congress St.
Portland, Maine
04101



10/5/07

Dear Philip DiPierro or appropriate member of Planning and Development Department,

This letter is in response to Site filling without a permit, (CBL 297E036001)

I am submitting a revised fill permit application for the property at 15 King St (formerly 37 King) which was inspected this summer. Elevation estimates were requested and it was suggested by your department that I investigate the use of online tools to create these. While maps with elevations are available on both Google Earth and at the Maine GIS site, both these sites indicate my lot is more flat than it really is. Although this would work to my advantage for this proposal, I desired to provide your office with a more accurate view. I have determined relative elevation at selected points (eg. the corner of the house & the corner of the lot) on my property and drawn in the original contour lines (solid lines) to the best of my ability. Each line denotes a 1 foot drop. Note there were some very steep areas.

Areas where fill was added are shaded. The new elevations (again 1 ft increments) are found within these shaded areas as denoted by dashed lines. Please note that my application of dirt in preparation for landscaping was simply turning 2 steep >45 degree pitches into gentle 33 degree or lower gradients.

Please let me know if you need additional information.

Best Regards,

Matthew Ryle

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878-8975

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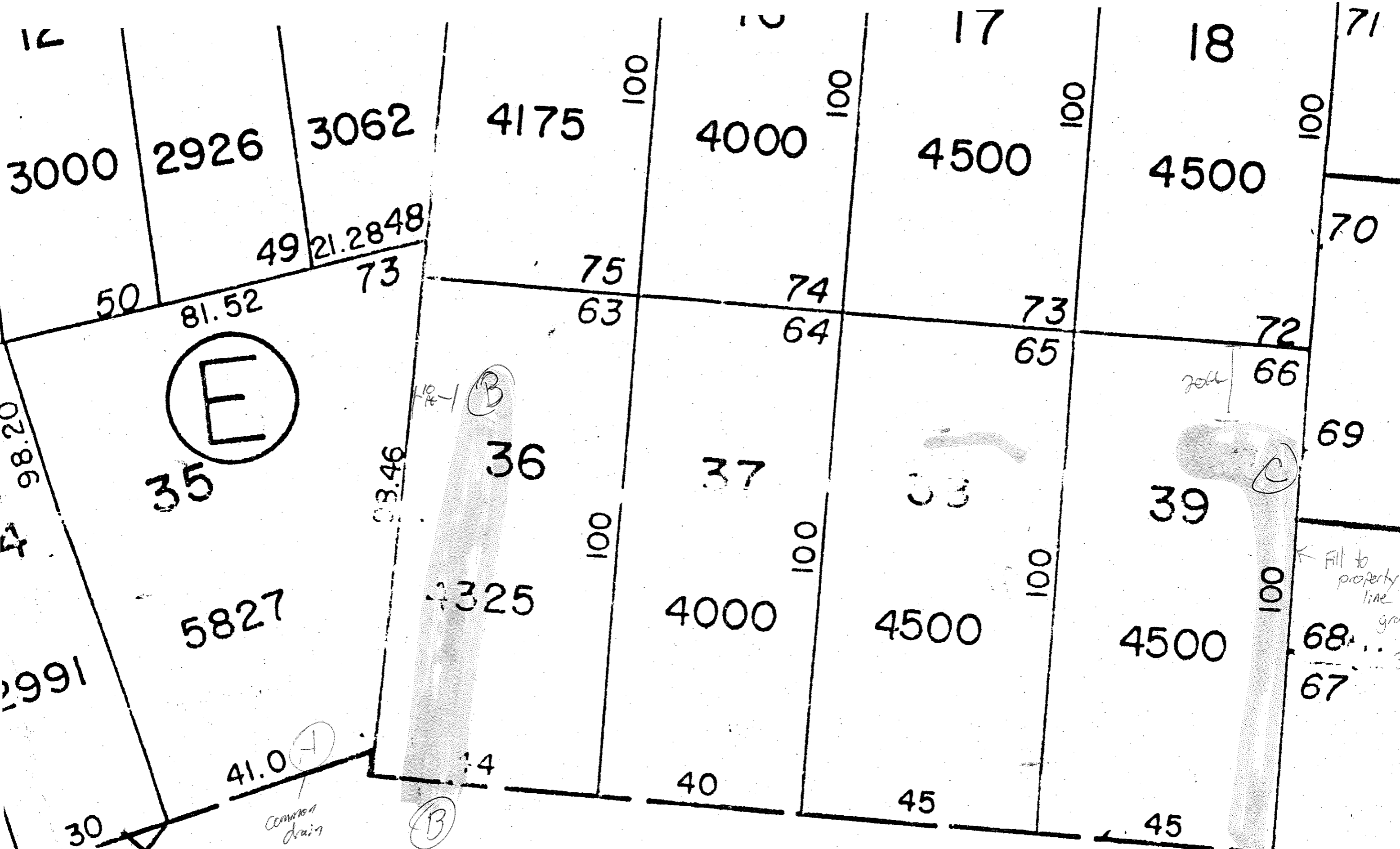
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15 King St., Portland, ME

878-8975



(E)

(B)

(C)

41.0 **(A)**

Common
Drain

(B)

fill to
existing
elevation
denoted
by **(B)**

King St

← Fill to
property
line

grade
to
33

68

67

21.2848

73

75

63

74

64

73

65

72

66

23.46

36

37

100

100

4000



35

40

45

45

100

68

65

21.2848

73

75
63

74
64

73
65

72
66

3.46

36

37

100

100

4000



35

40

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45

100

6
6

21.2848

73

75

63

74

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72

66

3.46

36

37

39

100

100

100

100

35
32
25

4000

4500

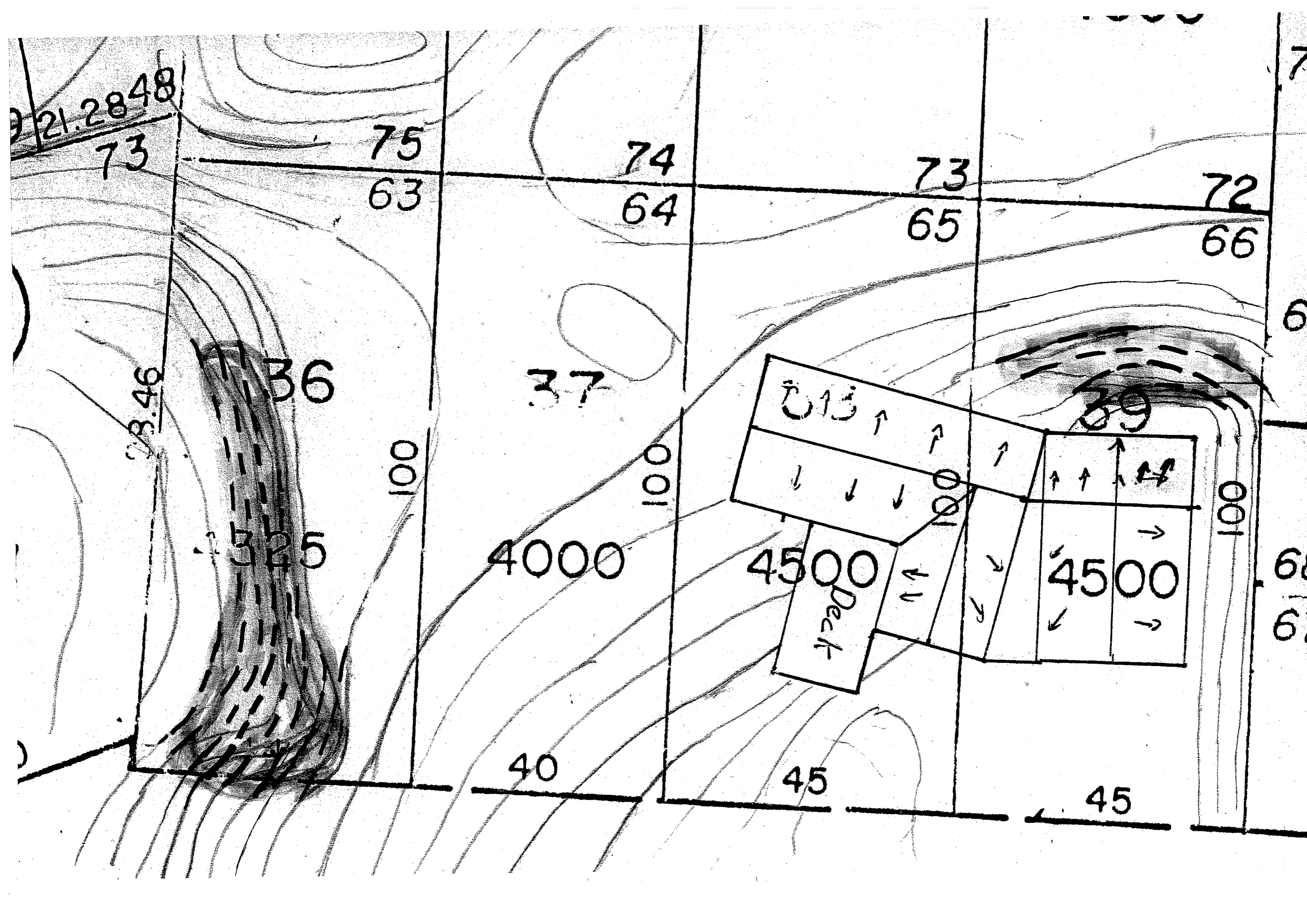
4500

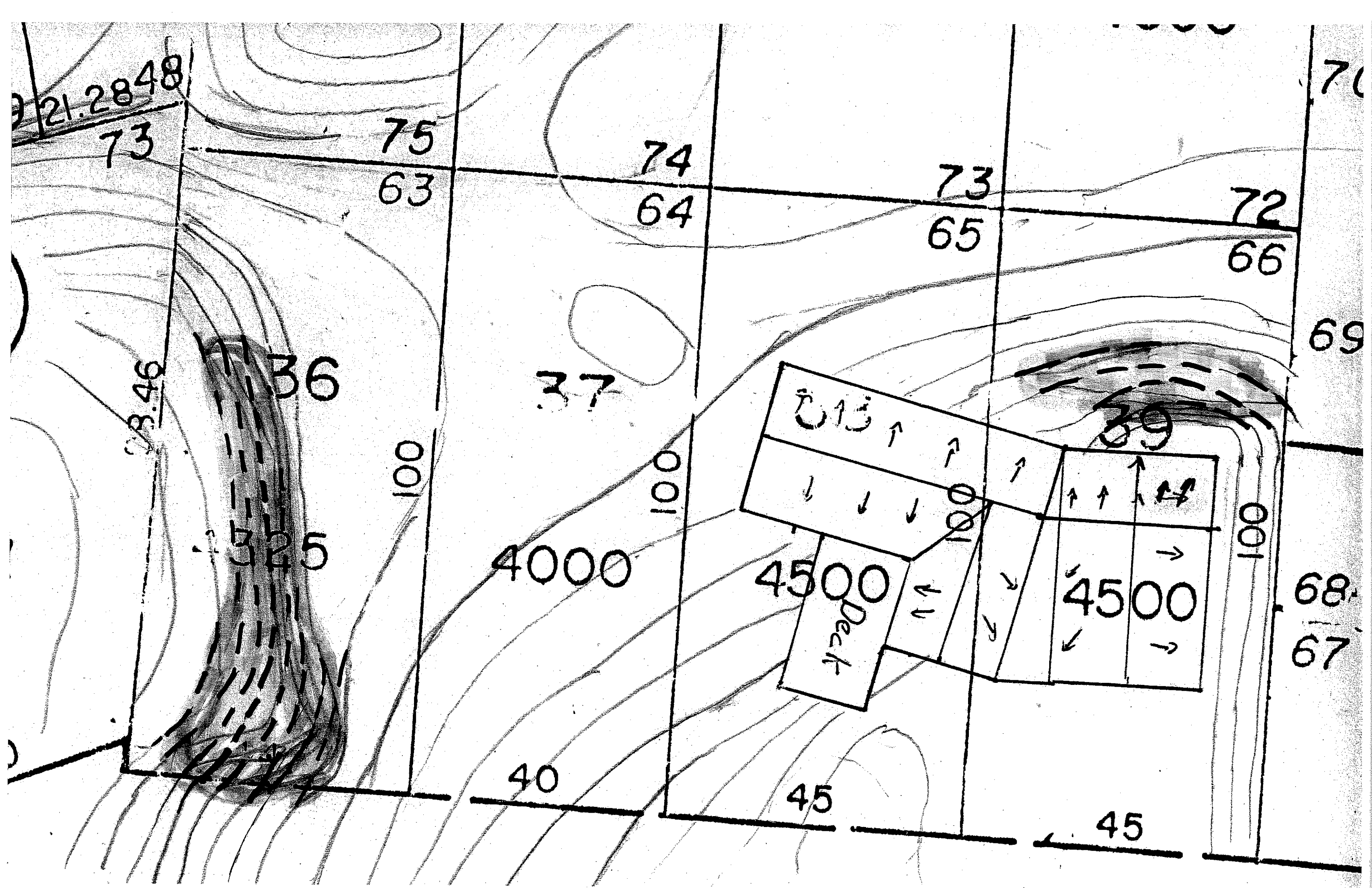
Deck

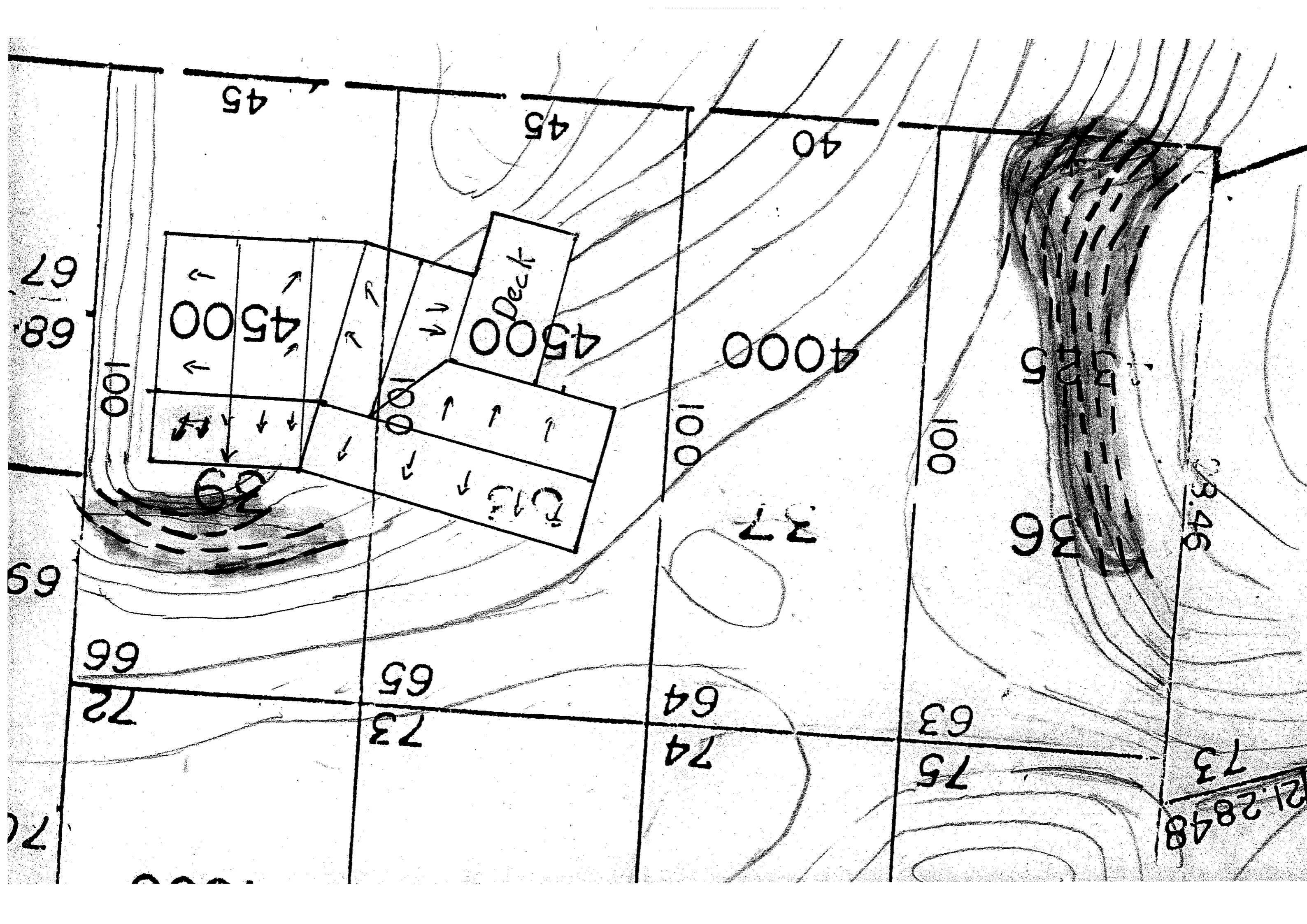
40

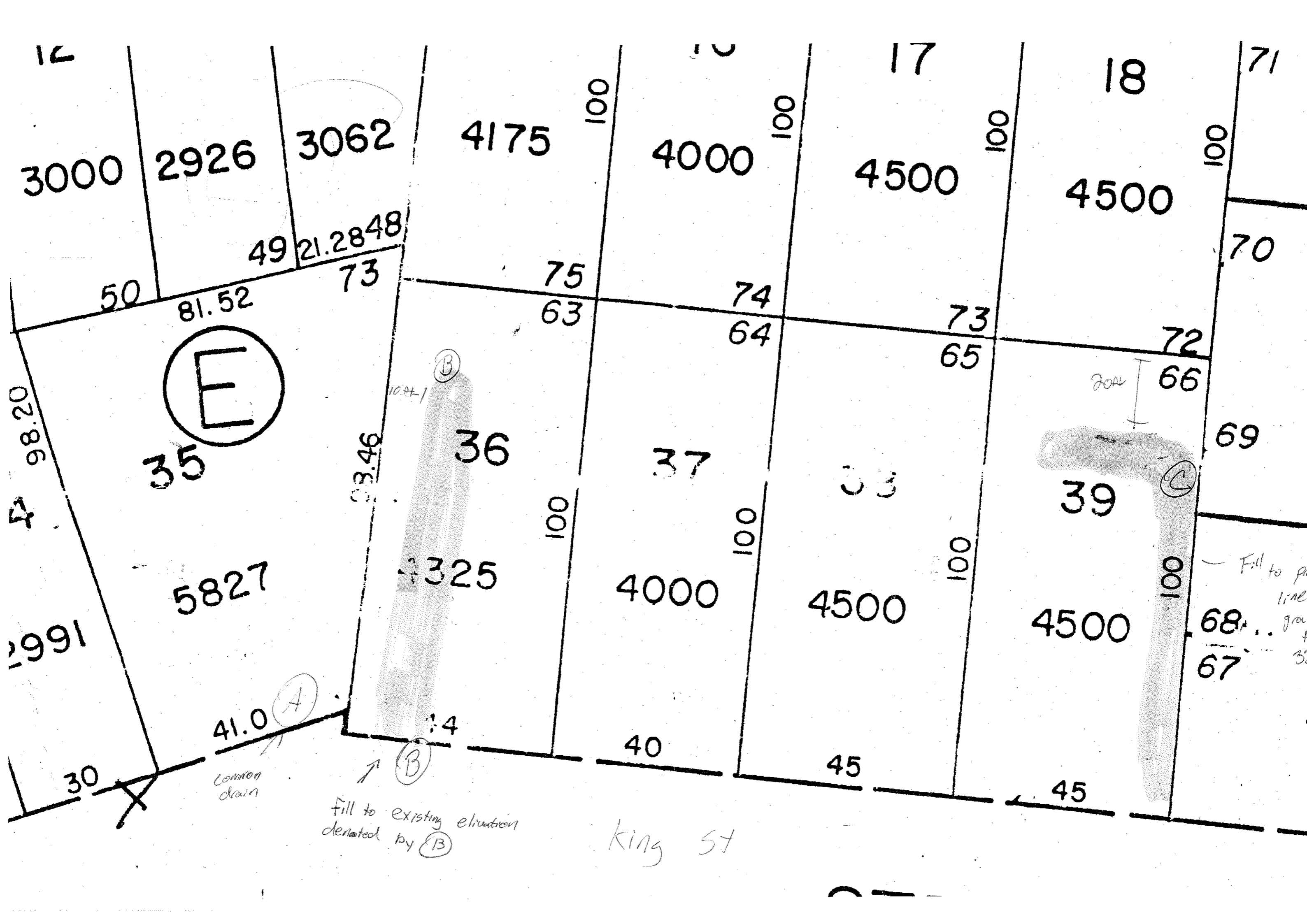
45

45









(E)

(B)

(C)

(A)

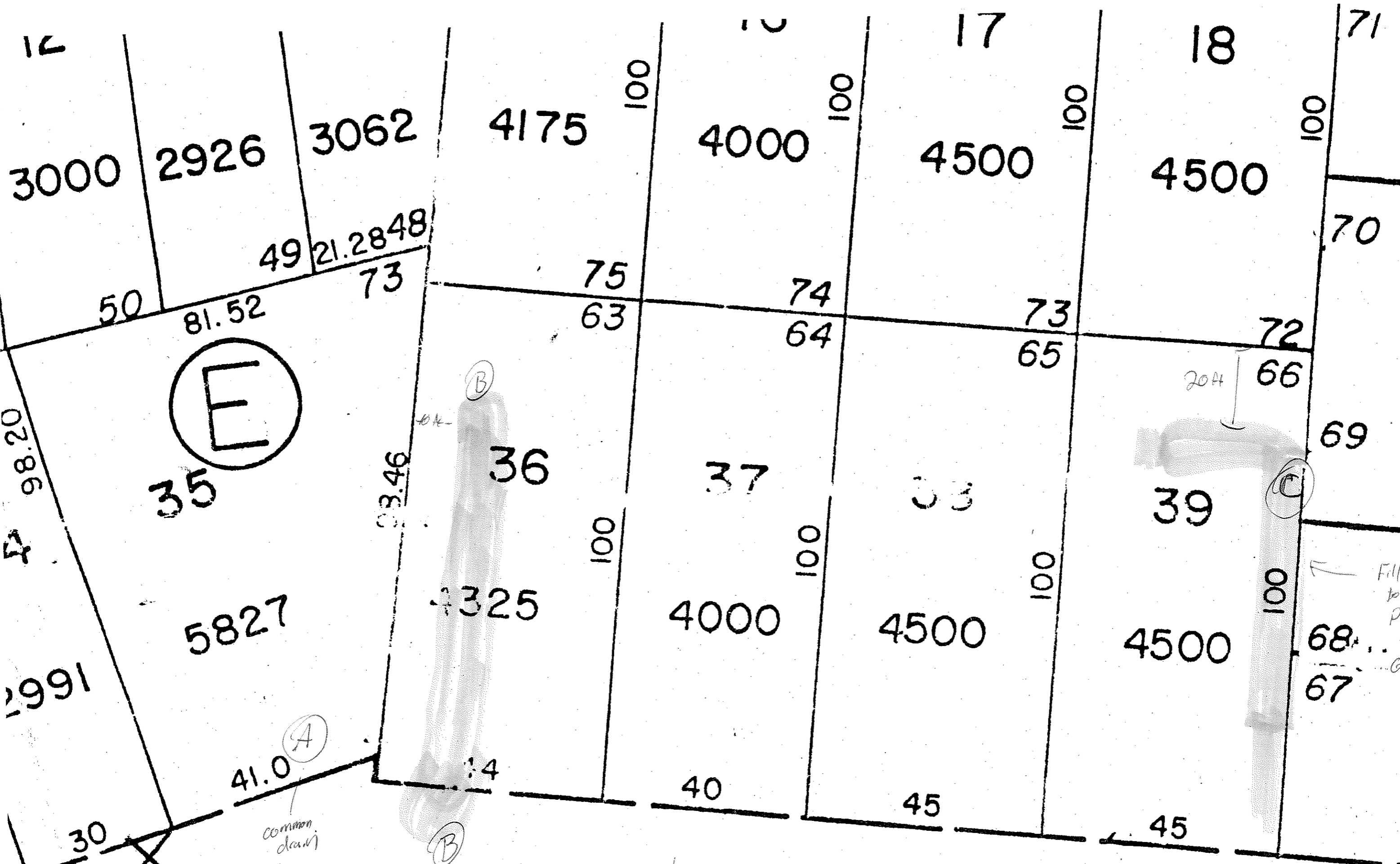
Fill to existing elevation denoted by (B)

King St

Common drain

Joist

Fill to p... line... gra... 35... 68... 67...



E

B

C

A

Common drain

Fill to Existing elevation denoted by B

King St

Fill to pro...
Gro...
to 3

