

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND PERMIT ISSUED

Please Read Application And Notes, If Any, Attached



Permit Number 060659

This is to certify that MUNROE THOMAS P has permission to Build a 24' x 24' Garage on existing pre-cast wall & slab connected w/ permit# 041486 AT 37 KING ST L 297 E036001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.
Health Dept.
Appeal Board
Other Department Name

Handwritten signature and date 6/26/08

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0659	Issue Date: 06/26/2006	CBL: 297 E036001
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Location of Construction: 37 KING ST	Owner Name: MUNROE THOMAS P	Owner Address: 37 KING ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	Zone: R3

Past Use: Single Family Home	Proposed Use: Single Family Home/ build a 24' x 24' Garage on existing permitted Frost wall & Slab connected w/ permit# 041486	Permit Fee: \$75.00	Cost of Work: \$5,500.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: RB Type: 5B IRC-2003 Per MJN Signature: jmb	

Proposed Project Description:
Build a 24' x 24' Garage on existing permitted Frost wall & Slab connected w/ permit# 041486

Signature: _____
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: ldobson	Date Applied For: 05/04/2006	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>DK jmb</i>	Date: _____	Date: _____

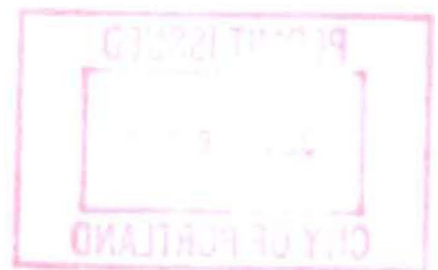


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

- 7/26/06 Visited property per Complaint - building materials
on abutters property - No one on site, left card to call.
- 7/27/06 Tom Munroe called and he agreed to maintain
The worksite on his property - JMB



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0659	Date Applied For: 05/04/2006	CBL: 297 E036001
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Location of Construction: 37 KING ST	Owner Name: MUNROE THOMAS P	Owner Address: 37 KING ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/ build a 24' x 24' Garage on existing permitted Frost wall & Slab connected w/ permit# 041486	Proposed Project Description: Build a 24' x 24' Garage on existing permitted Frost wall & Slab connected w/ permit# 041486
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/17/2006

Note: Foundation in & walls checked by Jeanie 11/22/04 (04-1486) **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 06/26/2006

Note: **Ok to Issue:**

- 1) Fire separation assembly must be extended to underside of roof sheathing.
- 2) Treads must be a minimum of 10" net w/ a nosing of 3/4" to 1 1/4" and risers cannot exceed 7 3/4 inches. Owner advises there is just one step.
- 3) The area where there are 2" x 8" rafters are planned at 24" o.c., these must either be 16" oc spaced or changed to 2" x 10" 's. Owner notified.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>37 KING STREET</u>		
Total Square Footage of Proposed Structure <u>977</u>	Square Footage of Lot <u>17400</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>297</u> Block# <u>E</u> Lot# <u>36, 37, 38, 39</u>	Owner: <u>THOMAS MUNROE</u>	Telephone: <u>939 8838</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>THOMAS MUNROE</u>	Cost Of Work: \$ <u>5500.00</u> Fee: \$
Current use: <u>RESIDENCE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>2 CAR GARAGE 24x24 - on existing Frost wall slab</u>		
Project description: _____		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>THOMAS MUNROE</u>		
Mailing address: <u>15 KING ST ME Portland, 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>939 8838</u>		

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 MAY 4 2006
 RECEIVED

Connected w/ permit # 297 Est 6

Pre-permitted

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u><i>Thomas Munroe</i></u>	Date: <u>5/4/06</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Signature of Applicant/Designee

Date

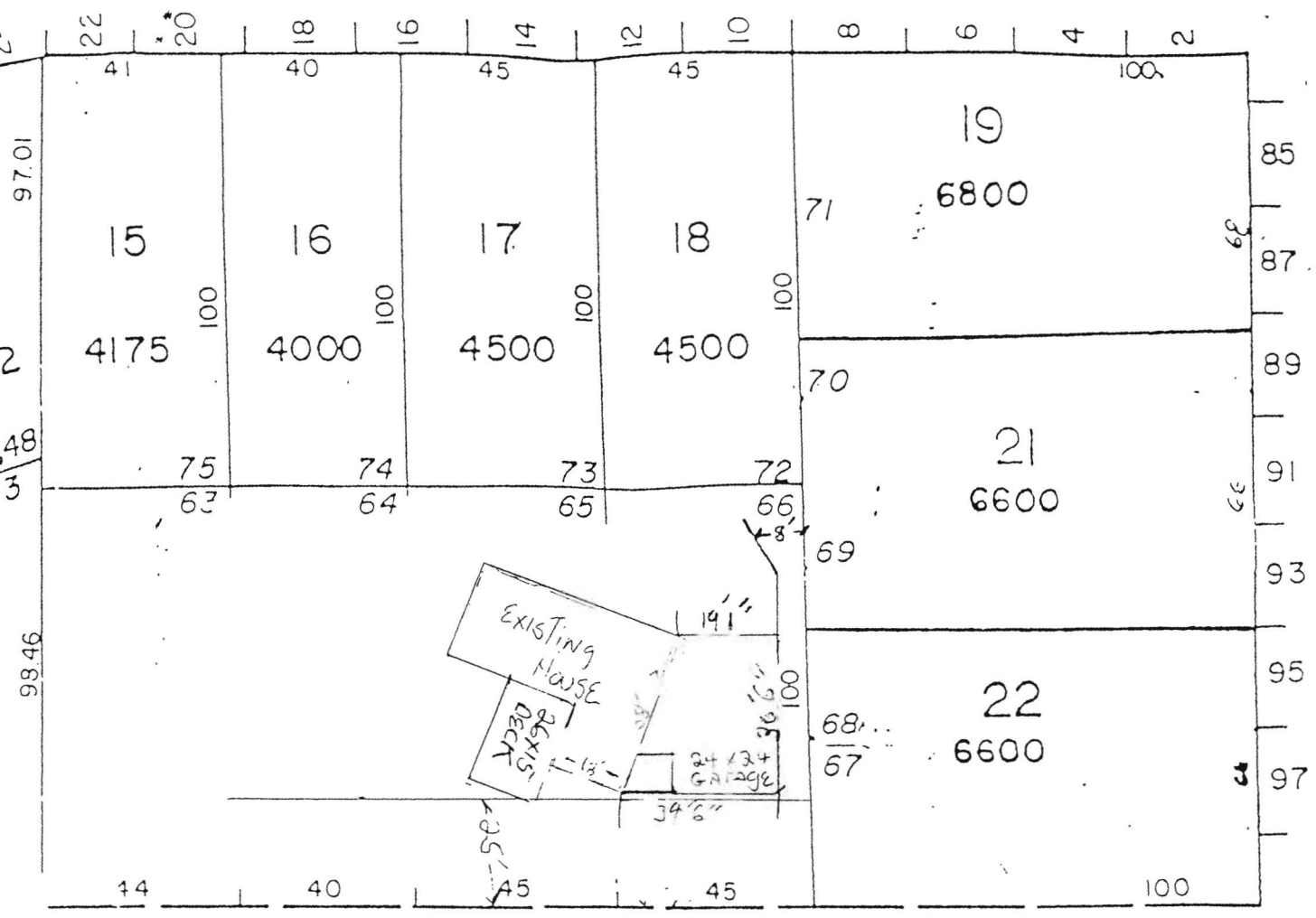
Signature of Inspections Official

Date

CBL: 297E036 Building Permit #: _____

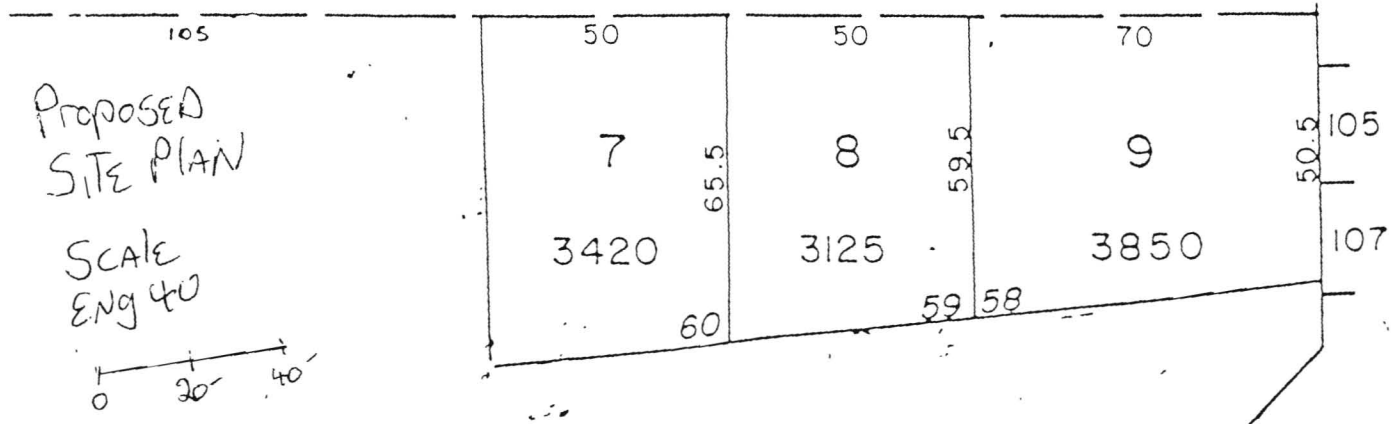
7/10/06
7-10-06
060659





ROAD
SHEET 295-A

STREET



AVALON

(G)

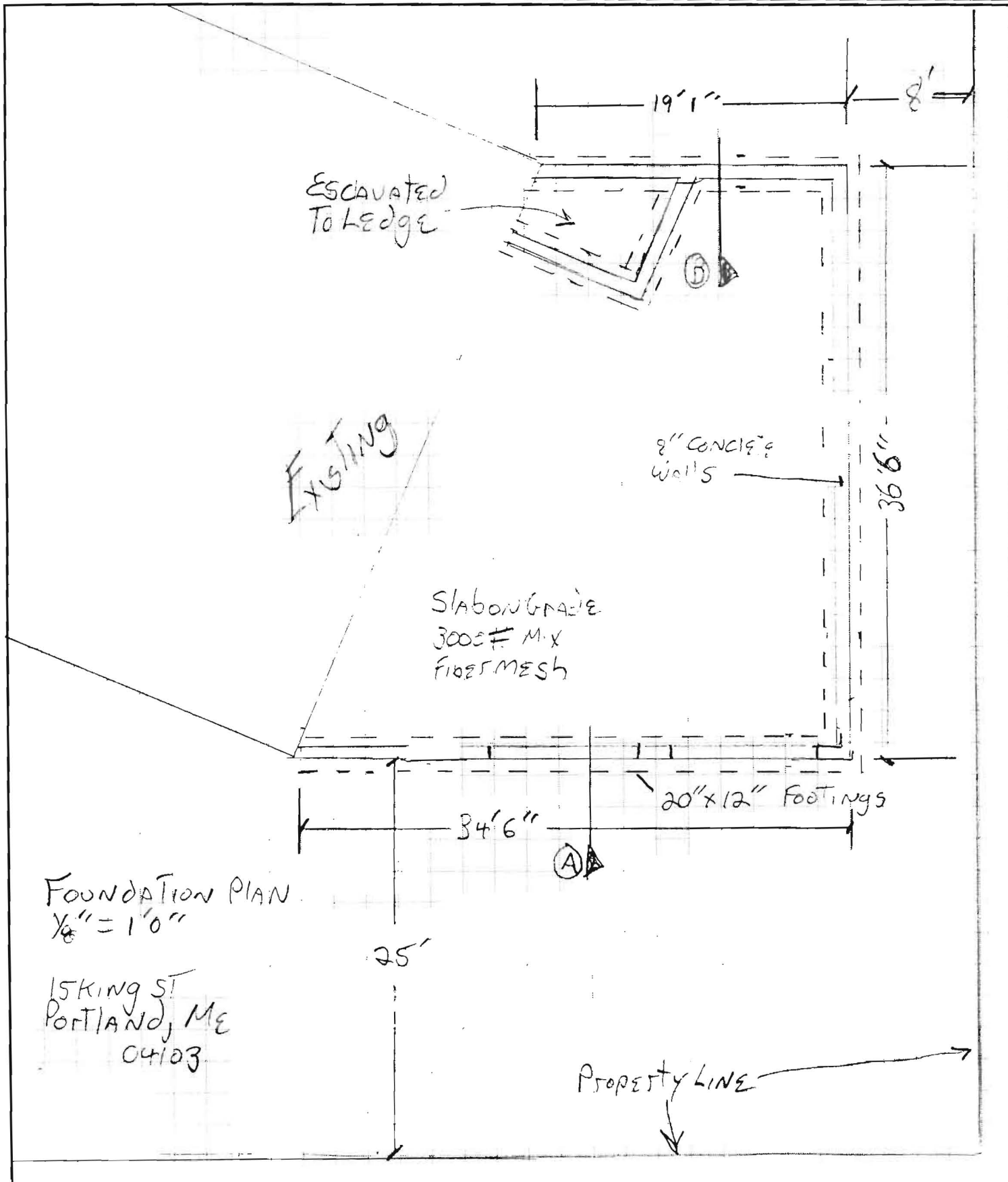
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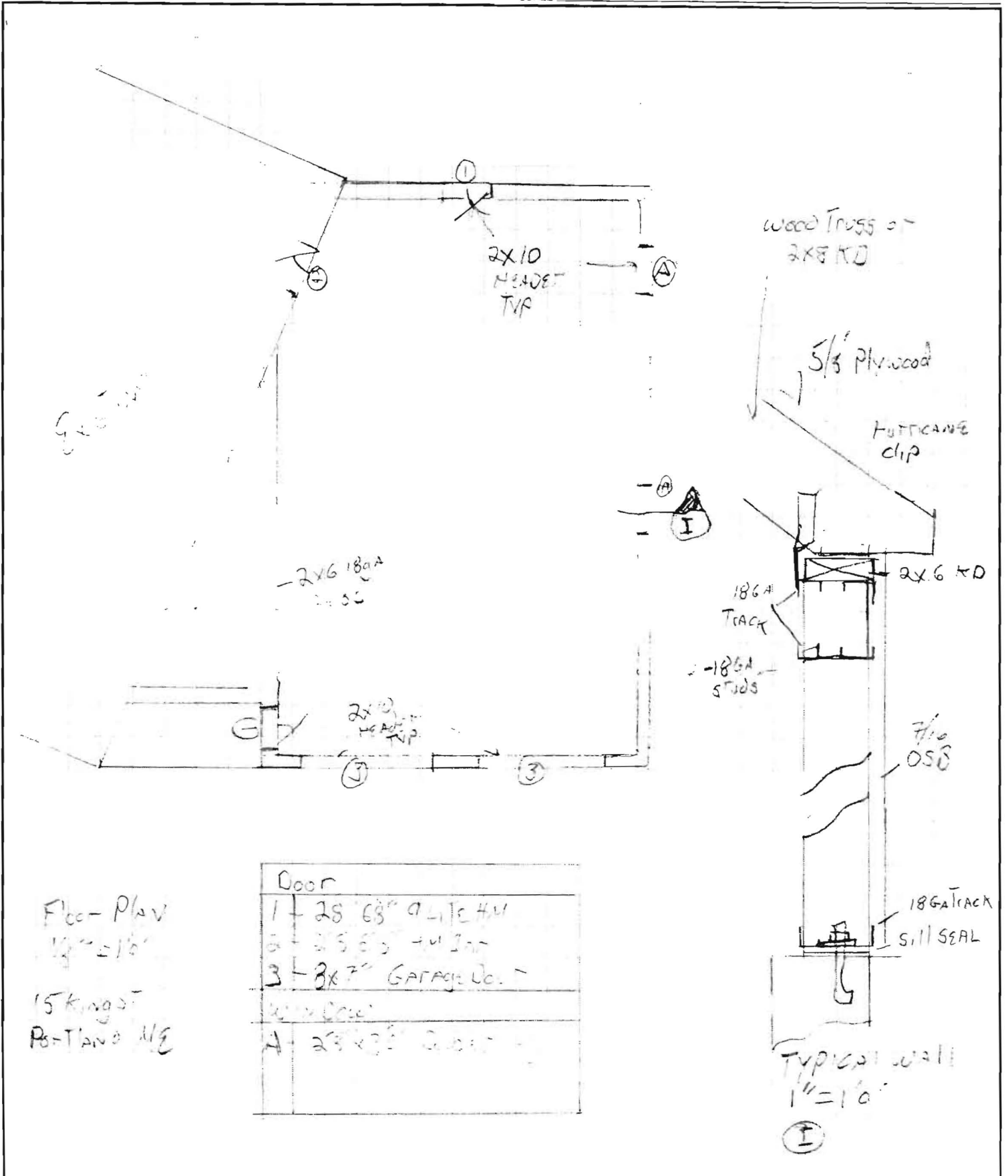
THE POCHEBIT CO., INC.
171 Warren Avenue
PORTLAND, ME 04103
(207) 797-3369 FAX (207) 797-3299

JOB _____
SHEET NO _____ OF _____
CALCULATED BY _____ DATE _____
CHECKED BY _____ DATE _____
SCALE _____



THE POCHEBIT CO., INC.
 171 Warren Avenue
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 (207) 797-3369 FAX (207) 797-3299

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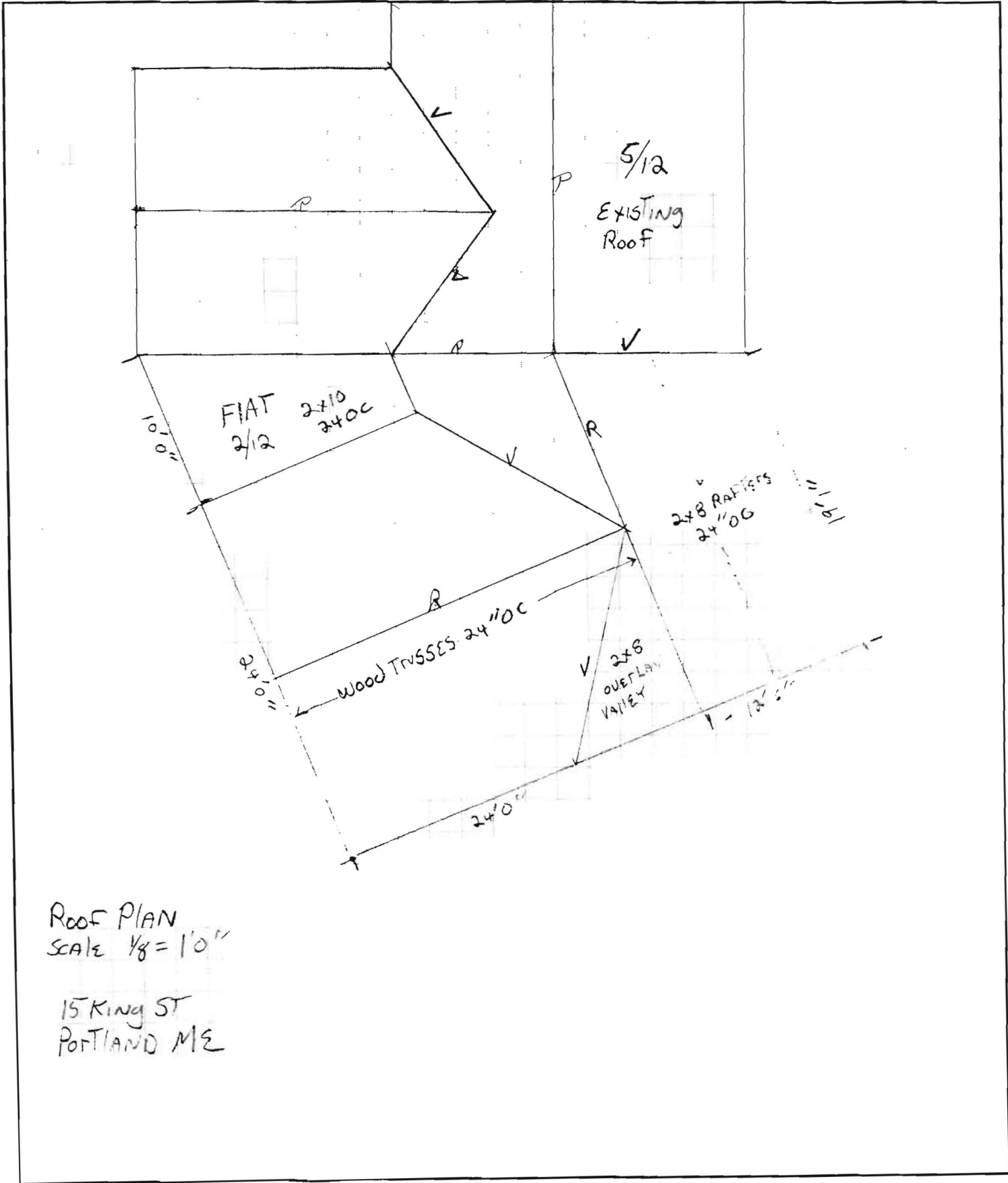
Floor Plan
 1/4" = 1'-0"
 15 Kings
 Portland ME

Door	
1	25' 63" 9 LITE HW
2	25' 63" 4 LITE HW
3	3x7" GARAGE DOOR
Window	
A	2'3" x 3'5" Double

TYPICAL WALL
 1" = 1'-0"
 (I)

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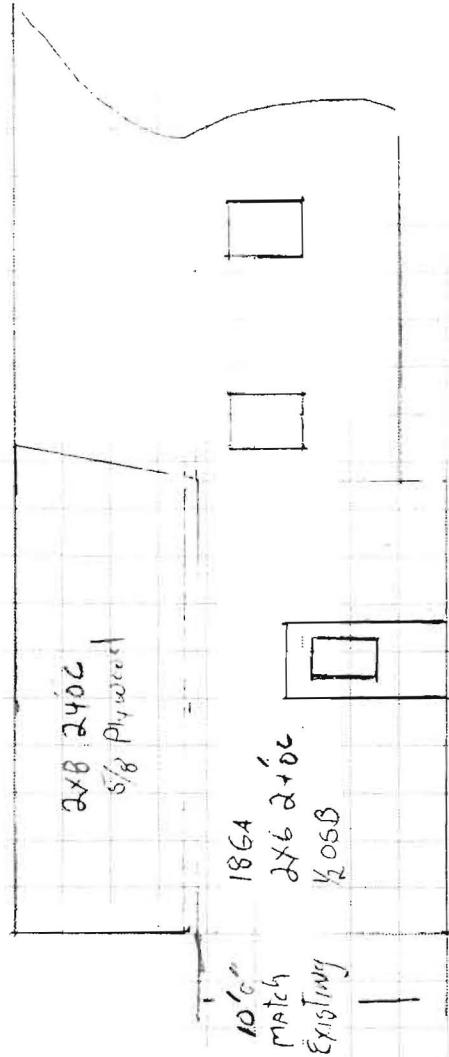
JOB 157
 SHEET NO. _____ OF _____
 CALCULATED BY _____ DATE _____
 CHECKED BY _____ DATE _____
 SCALE _____



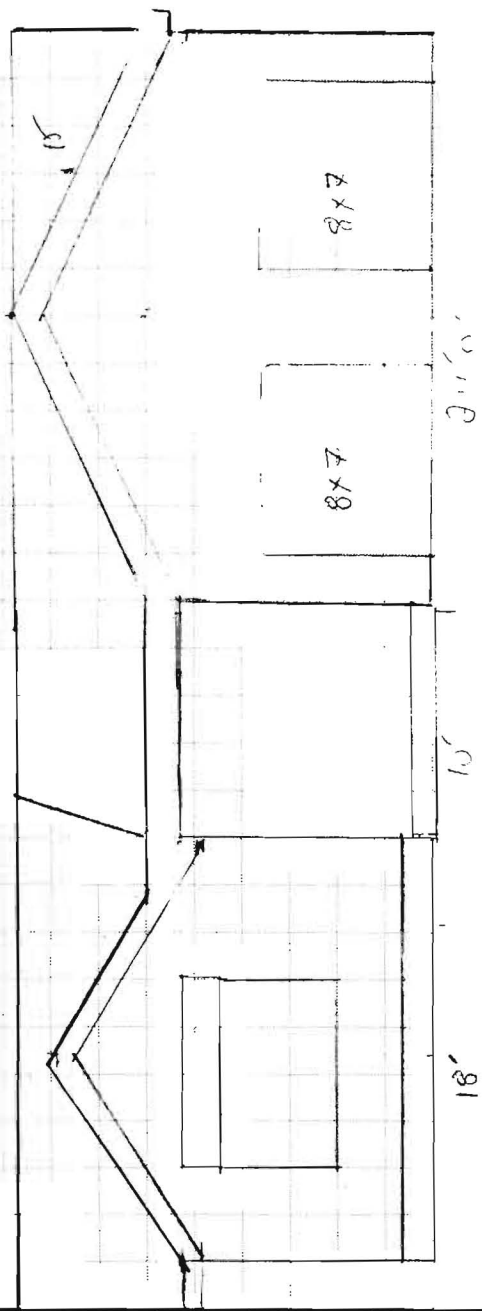
ROOF PLAN
 SCALE 1/8" = 1'0"

15 KING ST
 PORTLAND ME

ELEVATIONS
15 KING ST
Portland ME



REAR ELEVATION
1/8" = 1'0"



FRONT ELEVATION
1/8" = 1'0"

JOB _____

SHEET NO _____ OF _____

CALCULATED BY _____ DATE _____

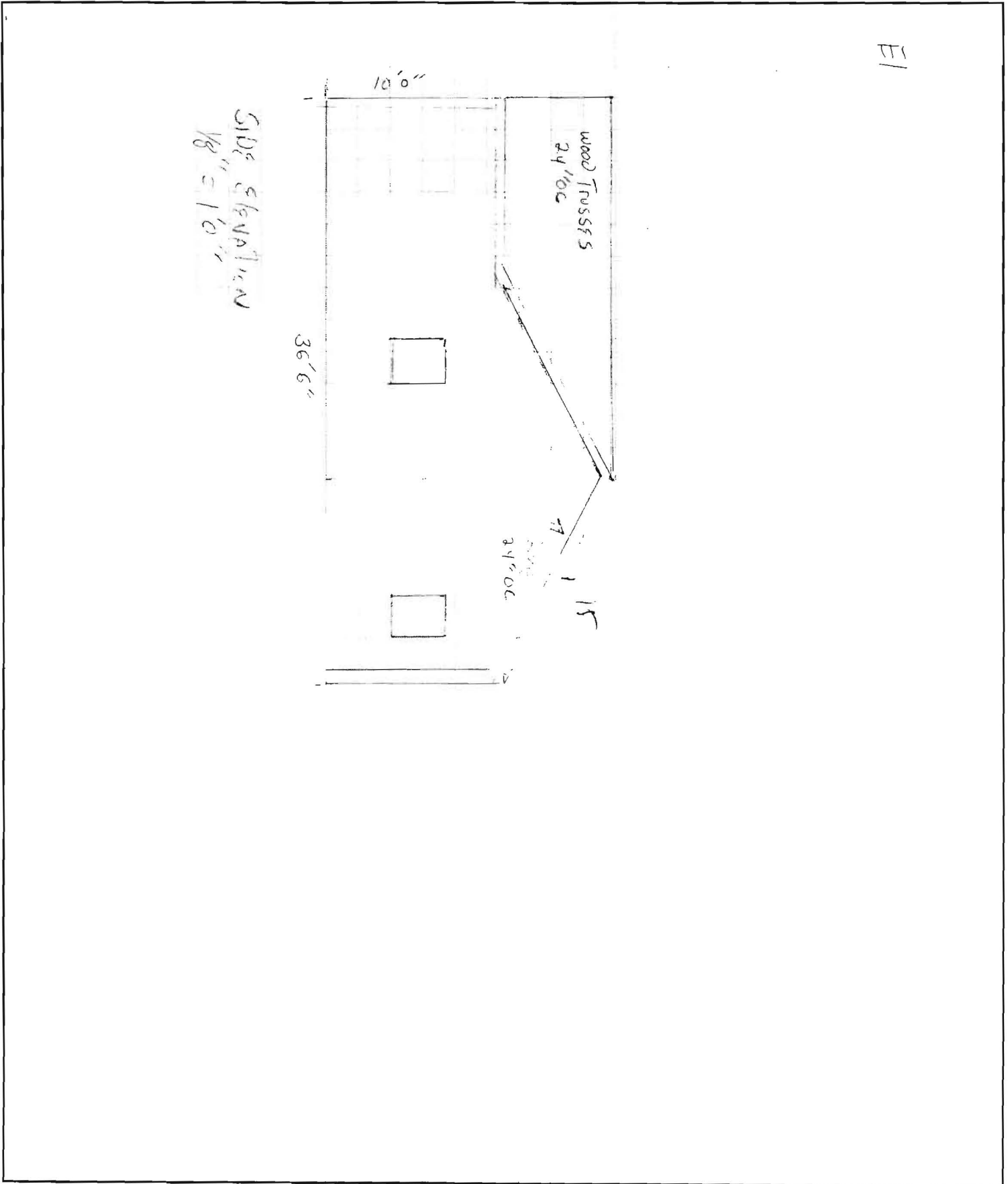
CHECKED BY _____ DATE _____

SCALE _____

THE POCHBIT CO., INC.
 171 Warren Avenue
 PORTLAND, ME 04103
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JOB _____
SHEET NO. _____ OF _____
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CHECKED BY _____ DATE _____
SCALE _____



11/



SPROWL BUILDING COMPONENTS, INC.
P. O. Box 130, Searsport, ME 04973-0130
1-800-439-5211 207-342-5211
FAX 207-342-5713

37 King St.

297 E 036

TOM MONROE

Project # 75163

<i>Roof Trusses</i>	QTY	PROFILE	TOP PITCH	BOTTOM PITCH	TYPE	SPAN
24S-5	14		5.00	2.50	STOCK	24-00-00

Installation Information

37
GARAGE @ 37 King St
Portland ME
04103

Thank You!

Gary Littlefield



Job	Truss	Truss Type	Qty	Ply	
STOCKS	24S-5	STOCK	12	1	24S-5

16372507

Sprowl Building Components, Searsmont, ME 04973

Job Reference (optional)
6 000 s Mar 18 2004 MiTek Industries, Inc. Fri Apr 09 08:55:54 2004 Page 1

-1-0-0	6-11-15	12-0-0	17-0-1	24-0-0	25-0-0
1-0-0	6-11-15	5-0-1	5-0-1	6-11-15	1-0-0

Scale = 1:41.6

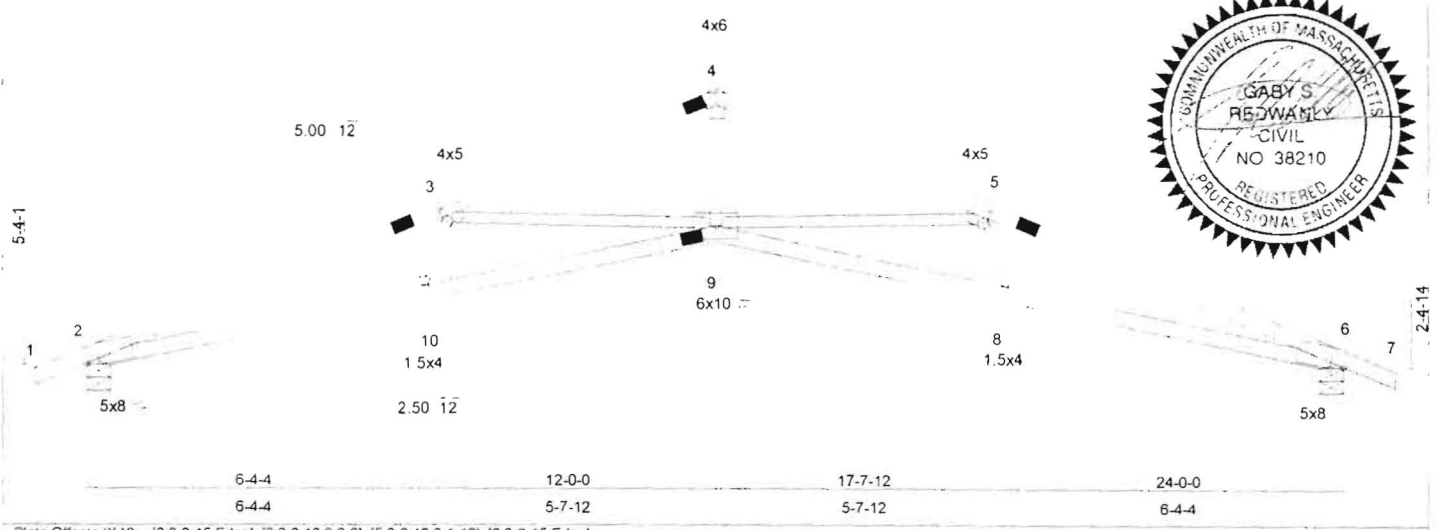


Plate Offsets (X,Y) [2-0-2-15,Edge] [3-0-0-12,0-2-0] [5 0-0-12 0-1-12] [6-0-2-15,Edge]										
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL 42.0	Plates Increase	1.15	TC 0.93	Vert(LL)	-0.49	9	>582	360	MT20	197/144
TCCL 7.0	Lumber Increase	1.15	BC 0.86	Vert(TL)	-0.68	9	>413	240		
BCLL 0.0	Rep Stress Incr	YES	WB 0.94	Horz(TL)	0.45	6	n/a	n/a		
BCDL 10.0	Code	BOCA/ANSI95	(Simplified)							Weight: 73 lb

LUMBER	BRACING
TOP CHORD 2 X 4 SPF 2100F 1.8E	TOP CHORD
BOT CHORD 2 X 4 SPF 1650F 1.5E	Installation 1 Stabilizer(s) at 9-4-8 (max) oc.
WEBS 2 X 3 SPF No.2	Permanent Sheathed or 2-5-8 oc purlins
	BOT CHORD
	Installation 1 Stabilizer(s) at 15-0-0 (max) oc.
	Permanent Rigid ceiling directly applied or 8-11-2 oc bracing.

REACTIONS (lb/size)	2=1509/0-5-8, 6=1509/0-5-8
Max Horz	2=105(load case 6)
Max Uplift	2=272(load case 6) 6=272(load case 7)
FORCES (lb) - Maximum Compression/Maximum Tension	
TOP CHORD	1-2=0/19, 2-3=-4671/635, 3-4=-3373/406, 4-5=-3373/426, 5-6=-4671/532 6-7=0/19
BOT CHORD	2-10=-617/4363 9-10=-636/4325, 8-9=-433/4325, 6-8=-414/4363
WEBS	4-9=-196/2094, 3-10=-0/131, 3-9=-1396/332, 5-9=-1396/336, 5-8=0/131

- NOTES**
- 1) Wind: ASCE 7-98, 90mph, h=25ft, TCCL=4.2psf, BCCL=5.0psf; Category II, Exp C; enclosed, MWFRS gable end zone; cantilever left and right exposed; end vertical left and right exposed Lumber DOL=1.33 plate grip DOL=1.33.
 - 2) Unbalanced snow loads have been considered for this design.
 - 3) As requested, plates have not been designed to provide for placement tolerances or rough handling and erection conditions. It is the responsibility of the fabricator to increase plate sizes to account for these factors.
 - 4) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
 - 5) Beaming at joint(s) 2, 6 considers parallel to grain value using ANSI/TPI 1-1995 angle to grain formula. Building designer should verify capacity of bearing surface.
 - 6) Provide mechanical connection (by others) of truss to beaming plate capable of withstanding 272 lb uplift at joint 2 and 272 lb uplift at joint 6.
 - 7) For bracing specified use MiTek Stabilizer(tm) Truss Bracing System (or Equivalent), attached per The Stabilizer Truss Bracing System Installation Guide. Cross bracing required at each end and at these spacings: TC, Inst, 20-0-0.
 - 8) Where diaphragm blocking is required at pitch breaks, Stabilizers may be replaced with wood blocking.

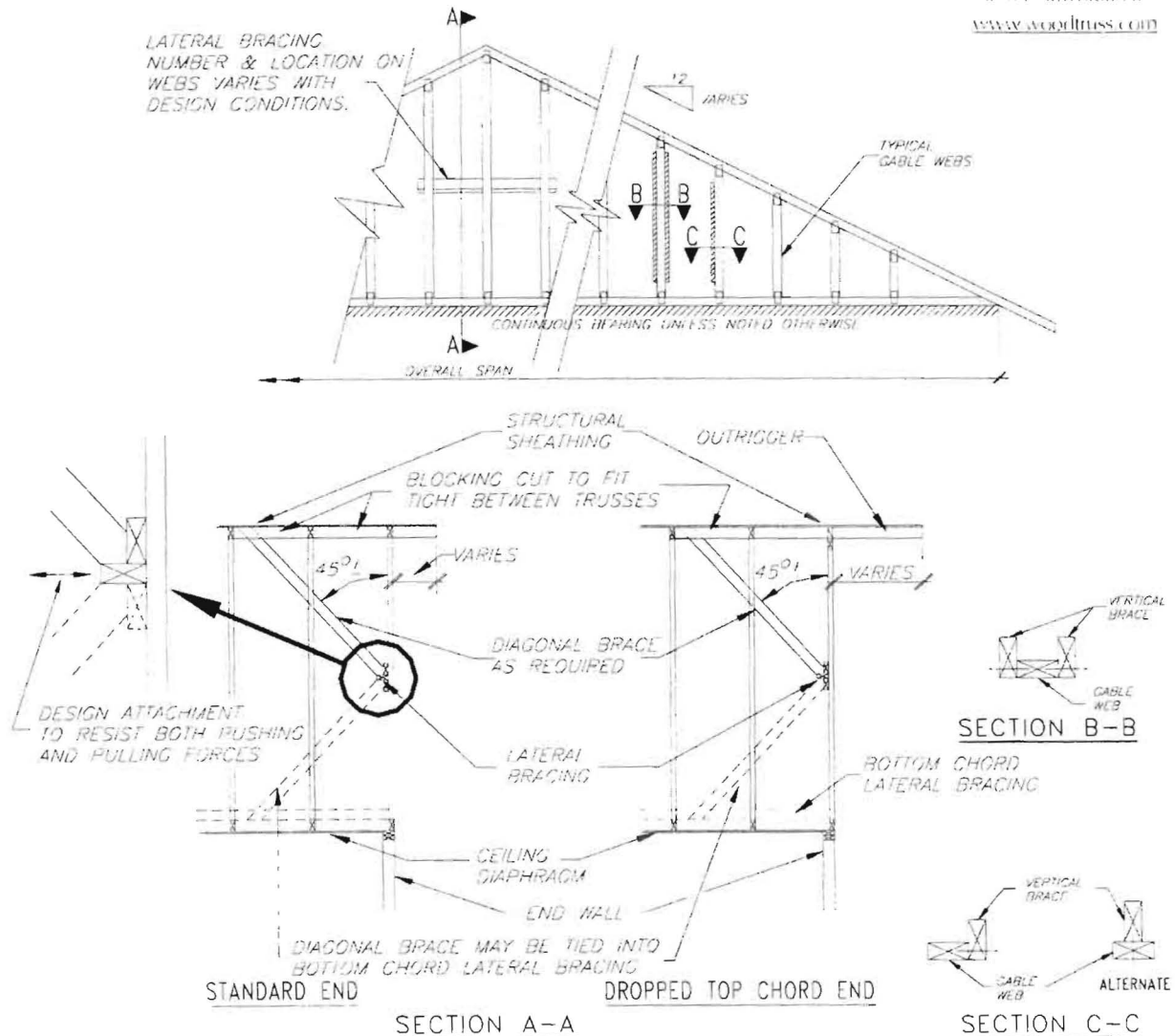
LOAD CASE(S) Standard

April 9, 2004

WTCA STANDARD DETAILS

Gable End Bracing

Figure 16.3 WTCA standard industry detail for gable end bracing. Available for free download at www.woodtruss.com



NOTES:

- 1) ACTUAL BRACING REQUIREMENTS WILL VARY DUE TO WIND LOAD, CODE CRITERIA, BUILDING HEIGHT, TRUSS SPAN, WEB LUMBER GRADE/SPECIES/ON CENTER SPACING AND OTHER VARIABLES. BRACING (AND ATTACHMENT) REQUIREMENTS SHOULD BE DESIGNED FOR EACH SPECIFIC JOB.
- 2) CONNECTION BETWEEN BOTTOM CHORD OF GABLE END TRUSS AND WALL, AS WELL AS THE DESIGN AND SPECIFICATION OF TEMPORARY AND PERMANENT BRACING OF THE ROOF SYSTEM IS THE RESPONSIBILITY OF THE BUILDING DESIGNER.



Framing Condition: Axial Loaded Wall
Spacing Requirement: 24"
Lateral Load Capacity: 40
Maximum Axial Load: 1000 lb(s).
Deflection: L/360
Punched or Unpunched: Punched

Product Code	SSMA Code	Gauge	KSI	Width	Length
CSW3	600S200-43	18	33	6"	10' 0"

Product Specification

Structural Stud

Product Code: CSW
Depth: 6"
Flange: 2"
Lip: 5/8"
Yield Strength: 33
Gauge: 18
Design Thickness: 0.0451"

SSMA Code: 600S200-43
Weight/Foot: 1.609
Punched/Unpunched: P
Product Complies With:
 A.I.S.I. Specification for the design
 of Cold-Formed Steel Structural Members
 ASTM C-955
 ASTM C-1007
 ICBO 4784P*
See report for specific information.

Gross Section Properties

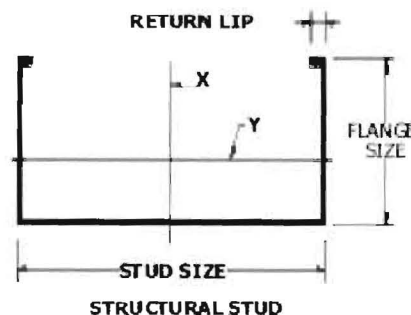
Area: 0.492 in.²
Moment of inertia about x-x axis (Ix): 2.683 in.⁴
Radius of gyration about x-x axis (Rx): 2.336 in.
Moment of inertia about y-y axis (Iy): 0.268 in.⁴
Radius of gyration about y-y axis (Ry): 0.739 in.

Effective Section Properties

Fully Braced Allowable Moment (Mall): 17261 in./lbs.
Moment of Inertia about x-x axis (IxEff): 2.683 in.⁴
Effective Section Modulus about x-x Axis (SxEff): 0.874 in.³

Torsional Section Properties

Distance between shear center and centroid (Xo): -1.467 in.
St. Venant torsional constant (Jx1000): 0.333
Warping torsional constant (Cw): 2.011
Polar radius of gyration about principal axis (Ro): 2.855 in.
Beta Equals 1-(Xo/Ro)²: 0.736



Dietrich Metal Framing, Inc.
 Corporate Headquarters 500 Grant Street/Suite 2226
 Pittsburgh, PA 15219
 Phone: (412)281.2805

Dietrich Design Group
 1414 Field Street Building C
 Hammond, IN 46320
 Phone: (219)853.9474
 Toll Free: 1.800.USE.BIGD





CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 5-4 20 06 _____

Received from Thomas Murroe -

Location of Work 37 King St -

Cost of Construction \$ _____

Permit Fee \$ 75⁰⁰ / 00

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 097-0 36-

Check #: 1573 Total Collected \$ 75⁰⁰ / 00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy