

NOTES:

1. RECORD OWNER OF PROPERTY:
J. DAVID PARSONS
C/O MCFARLAND SPRING CORP.
280 WARREN AVE
PORTLAND, MAINE 04101
BOOK 9506, PAGE 42
2. PLAN REFERENCES:
A. BOUNDARY AND TOPOGRAPHIC SURVEY AT 280 WARREN AVENUE BY OWEN HASKELL, INC.
B. "STANDARD BOUNDARY SURVEY 286 WARREN AVE, PORTLAND, MAINE FOR PROPOSED 'LOT A' MADE FOR PEOPLE'S HERITAGE BANK" DATED MARCH 16, 1992 REVISED THRU 1-15-93 BY WOODARD & CURRAN INC.
C. "PLAN OF MEADOW PARK OWNED BY FRANK W. SAOLER" DATED MAY 22, 1915 BY HICKS & NEWCOMB ENGINEERS RECORDED IN PLAN BOOK 12 PAGE 44.

CONDITIONS OF APPROVAL

1. THAT THE APPLICANT SHALL SUBMIT THE SPECIFICATIONS FOR ANY EXTERIOR LIGHTING ON THE NEW BUILDING, OR ANY NEW LIGHTING ON THE SITE, FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, WITH ALL LIGHTING TO BE OF CUT OFF DESIGN IN ACCORDANCE WITH THE CITY'S TECHNICAL STANDARDS; AND
2. THAT ANY DUMPSTER AND/OR ANY OTHER WASTE STORAGE SHALL BE LOCATED BEHIND THE BUILDINGS OR AT THE REAR OF THE SITE WITH SCREENING; AND
3. THAT THE PROPERTY PINS BE SET AT CORNERS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT; AND
4. THAT SEPARATE PERMITS ARE REQUIRED FOR ANY NEW SIGNAGE.
5. THE SITE SHALL BE DEVELOPED AND MAINTAINED AS DEPICTED IN THE SITE PLAN AND THE WRITTEN SUBMISSION OF THE APPLICANT. MODIFICATION OF ANY APPROVED SITE PLAN OR ALTERATION OF A PARCEL WHICH WAS THE SUBJECT OF SITE PLAN APPROVAL AFTER MAY 20, 1974, SHALL REQUIRE THE PRIOR APPROVAL OF A REVISED SITE PLAN BY THE PLANNING BOARD OR THE PLANNING AUTHORITY PURSUANT TO THE PORTLAND CITY ORDINANCE. ANY SUCH PARCEL LAWFULLY ALTERED PRIOR TO THE ENACTMENT DATE OF THESE REVISIONS SHALL NOT BE FURTHER ALTERED WITHOUT APPROVAL AS PROVIDED HEREIN. MODIFICATION OR ALTERATION SHALL MEAN AND INCLUDE ANY DEVIATIONS FROM THE APPROVED SITE PLAN INCLUDING, BUT NOT LIMITED TO, TOPOGRAPHY, VEGETATION AND IMPERVIOUS SURFACES SHOWN ON THE SITE PLAN. NO ACTION, OTHER THAN THE AMENDMENT APPROVED BY THE PLANNING AUTHORITY OR PLANNING BOARD, AND FIELD CHANGES APPROVED BY THE PUBLIC SERVICES AUTHORITY AS PROVIDED HEREIN, BY ANY AUTHORITY OR DEPARTMENT SHALL AUTHORIZE ANY SUCH MODIFICATION OR ALTERATION.

GRUB AND EXCAVATE FOR NEW PAVEMENT SECTION, TYP

N/F
WARREN AVE LIMITED PARTNERSHIP
10315/209

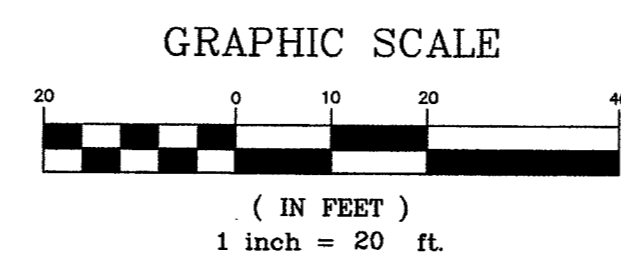
FORMERLY BLOSSOM STREET
VACATED 1997

ACCESSORY STRUCTURE
1 STORY
STORAGE / WAREHOUSE

RAILROAD AVENUE

N/F
COUNTRY, INC.
3121/349

FORMERLY MEADOW STREET
VACATED 1997



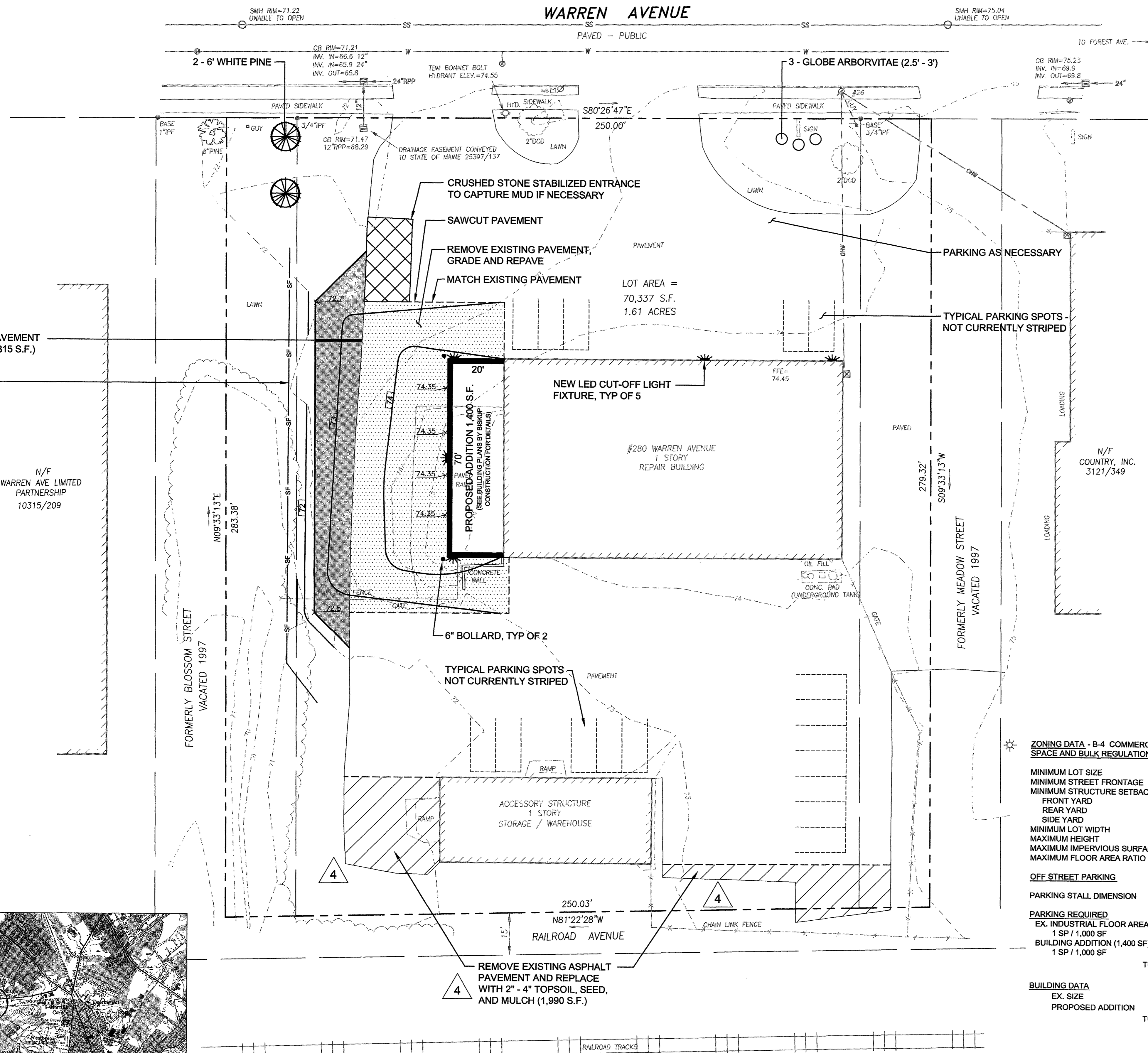
REV	DATE	DESCRIPTION
3	08.13.11	REVISED AND SUBMITTED TO CITY FOR APPROVAL
2	08.19.11	FINAL APPROVAL - SUBMITTED FOR BUILDING PERMIT
1	08.30.11	SUBMITTED TO CITY OF PORTLAND

STATE OF MAINE
STEPHEN R. BUSHEY
REGISTERED PROFESSIONAL ENGINEER
LIC. #7429

PROJECT	280 WARREN AVE PORTLAND, MAINE
SHEET TITLE	EXISTING CONDITIONS AND DEMOLITION PLAN
CLIENT	MCFARLAND SPRING CORP.

DH DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN:	DED	DATE:	6.27.11
DESIGNED:	SRB	SCALE:	1" = 20'
CHECKED:	SRB	JOB NO.:	3033
FILE NAME:	3033-SP		
SHEET	1 OF 3		



PROVIDE NEW PAVEMENT BOX SECTION (1,815 S.F.)

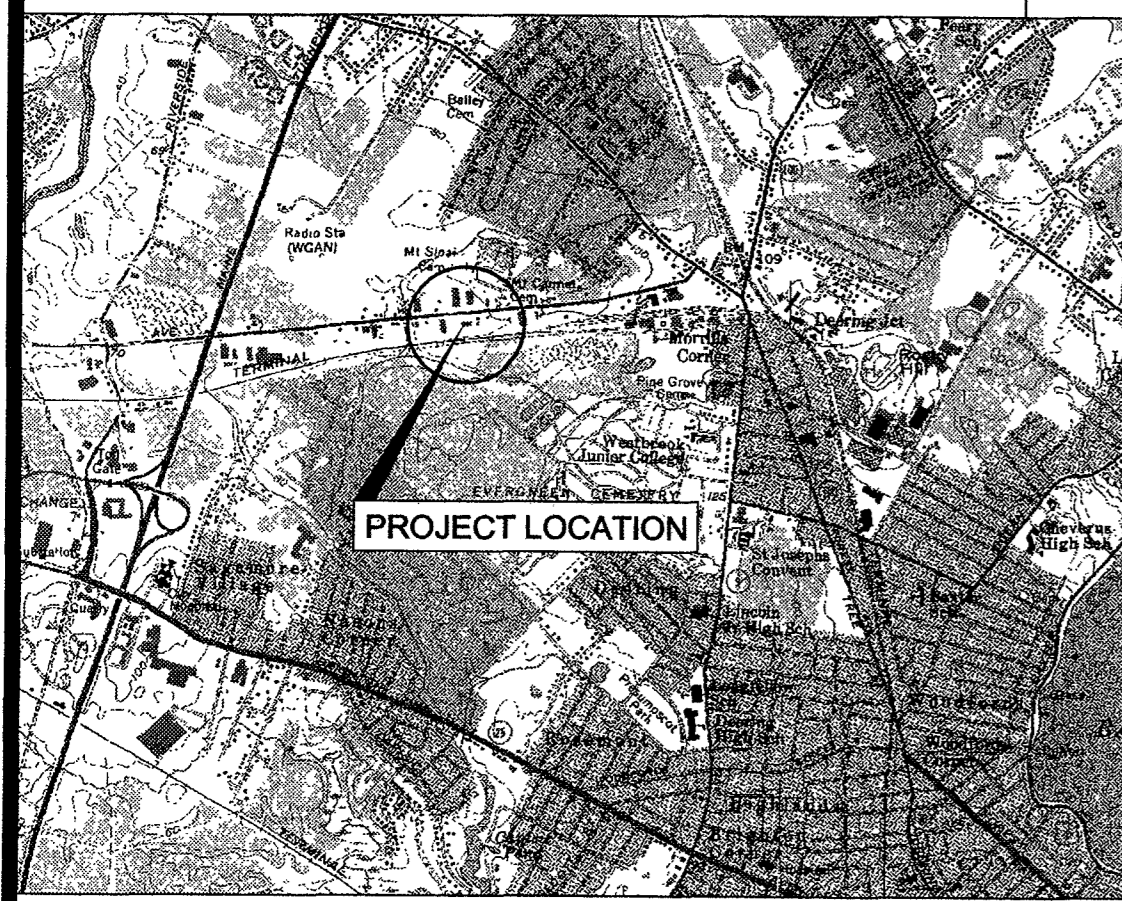
SILT FENCE

N/F WARREN AVE LIMITED PARTNERSHIP 10315/209

FORMERLY BLOSSOM STREET VACATED 1997

FORMERLY MEADOW STREET VACATED 1997

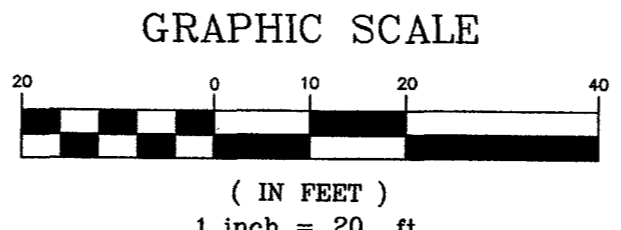
N/F COUNTRY, INC. 3121/349



LOCATION MAP N.T.S.

SURFACE LEGEND

	REMOVE EXISTING ASPHALT, REGRADE AND REPAVE WITH 1 1/2" HMA-9.5 mm AND 2" HMA-19.0 mm
	PROVIDE NEW PAVEMENT BASE SECTION PER DETAIL A - SHEET 3
	REMOVE EXISTING ASPHALT, AND REPLACE WITH 2" - 4" TOPSOIL, GRASS SEED AND MULCH

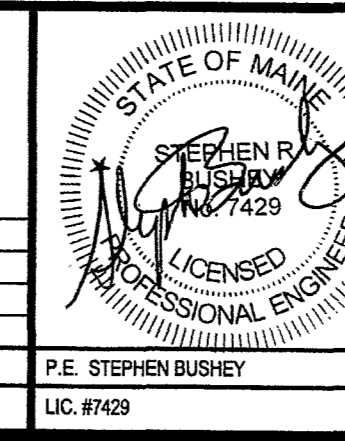


ZONING DATA - B-4 COMMERCIAL CORRIDOR SPACE AND BULK REGULATIONS

	REQUIRED	PROPOSED
MINIMUM LOT SIZE	10,000 S.F.	70,337 SF
MINIMUM STREET FRONTAGE	60'	250'
MINIMUM STRUCTURE SETBACKS		
FRONT YARD	20'	>85'
REAR YARD	20'	>16'
SIDE YARD	10'	>31'
MINIMUM LOT WIDTH	60'	>250'
MAXIMUM HEIGHT	65'	<30'
MAXIMUM IMPERVIOUS SURFACE RATIO	80%	75%
MAXIMUM FLOOR AREA RATIO	0.65	0.17
OFF STREET PARKING		
PARKING STALL DIMENSION	9'x19'	9'x19'
PARKING REQUIRED		
EX. INDUSTRIAL FLOOR AREA (8,400 SF)	9 SPACES	12 SPACES (MIN.)
1 SP / 1,000 SF		
BUILDING ADDITION (1,400 SF)	2 SPACES	2 SPACES
1 SP / 1,000 SF		
TOTAL	11 SPACES	14 SPACES (MIN.)
BUILDING DATA		
EX. SIZE	8,400 SF	
PROPOSED ADDITION	1,400 SF	
TOTAL SIZE	9,800 SF	

- GENERAL NOTES:**
- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS BY BISKUP CONSTRUCTION FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
 - ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING OCCUPANCY AND THE FINAL SERVICE CONNECTIONS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
 - ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, REVISION OF DECEMBER 2002, AND THE CITY OF PORTLAND TECHNICAL STANDARDS.
 - THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED ON THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL REPRESENTATIONS MADE BY THE APPLICANT CONCERNING THE DEVELOPMENT AND USE OF THE PROPERTY WHICH APPEAR IN THE RECORD OF THE PLANNING AUTHORITY PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVAL IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
 - THE FACILITY IS SERVICED BY PUBLIC WATER, SEWER AND OVERHEAD UTILITIES.
 - THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND ENGINEERING INSPECTION SERVICES DIVISION (ATTN: PHIL DIPIERRO 874.8632), CODE ENFORCEMENT OFFICE, IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION, SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA. A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE ENGINEER'S OFFICE OR PLANNING DIRECTOR.
 - AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
 - RECORD OWNER OF PROPERTY:
J. DAVID PARSONS
BOOK 9506, PAGE 42
 - PLAN REFERENCES:
A. "STANDARD BOUNDARY SURVEY 296 WARREN AVE, PORTLAND, MAINE FOR PROPOSED "LOT A" MADE FOR PEOPLE'S HERITAGE BANK" DATED MARCH 16, 1992 REVISED THRU 1-15-93 BY WOODARD & CURRAN INC.
B. "PLAN OF MEADOW PARK OWNED BY FRANK W. SADLER" DATED MAY 22, 1915 BY HICKS & NEWCOMB ENGINEERS RECORDED IN PLAN BOOK 12 PAGE 44.
 - VACANT
 - AREA OF PROPERTY = 1.61 ACRES
 - PARCEL IS SHOWN ON CITY OF PORTLAND ASSESSORS MAP 296, BLOCK F, LOT 1-18
 - NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
 - THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
 - CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
 - A 12" LAYER OF COMPACTED STRUCTURAL FILL (MDOT 703.06 TYPE B) SHALL BE PROVIDED BELOW ALL SLABS. 12" OF 3/4" CRUSHED STONE SHALL BE PROVIDED BENEATH ALL FOOTINGS.
 - FOUNDATION PREPARATION REQUIREMENTS SHALL BE AS DIRECTED BY THE BUILDING CONTRACTOR.
 - THE CONTRACTOR SHALL REPAIR AND ADD STONE TO ANY CONSTRUCTION ENTRANCES AS THEY BECOME SATURATED WITH MUD TO ENSURE THAT THEY WORK AS PLANNED DURING CONSTRUCTION AND SHALL KEEP NEARBY STREETS CLEAR OF DIRT AND MUD.
 - SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT BARRIERS SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
 - CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A.
 - CONTRACTOR SHALL CONFIRM LOCATIONS OF ELECTRICAL UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
 - ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).
 - ALL FOUNDATION BACKFILL SHALL BE GRAVEL AGGREGATE MEETING THE GRADATION OF MDOT 703.06 TYPE D MATERIAL.

REV	DATE	DESCRIPTION
4	08.13.11	REVISED AND SUBMITTED TO CITY FOR APPROVAL
3	08.10.11	FINAL APPROVAL. SUBMITTED FOR BUILDING PERMIT
2	08.02.11	REVISED PER CITY COMMENTS AND RESUBMITTED
1	08.30.11	SUBMITTED TO CITY OF PORTLAND
REV	DATE	DESCRIPTION



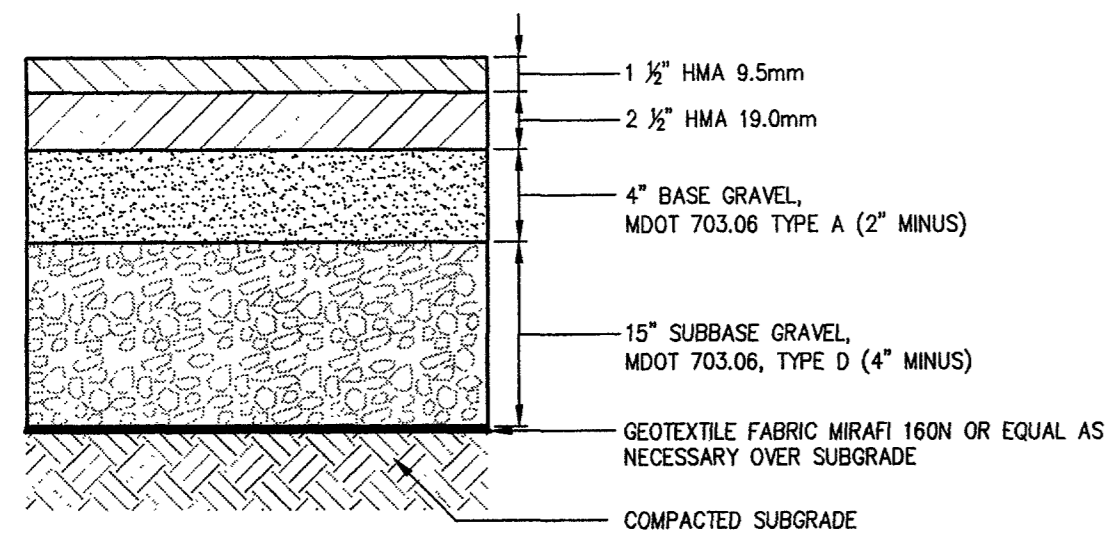
PROJECT
280 WARREN AVE
PORTLAND, MAINE

SHEET TITLE
BUILDING EXPANSION SITE PLAN

CLIENT
McFARLAND SPRING CORP.

D&L DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: DED **DATE:** 6.27.11
DESIGNED: SRB **SCALE:** 1" = 20'
CHECKED: SRB **JOB NO.:** 3033/3
FILE NAME: 3033-SP
SHEET 2 OF 3

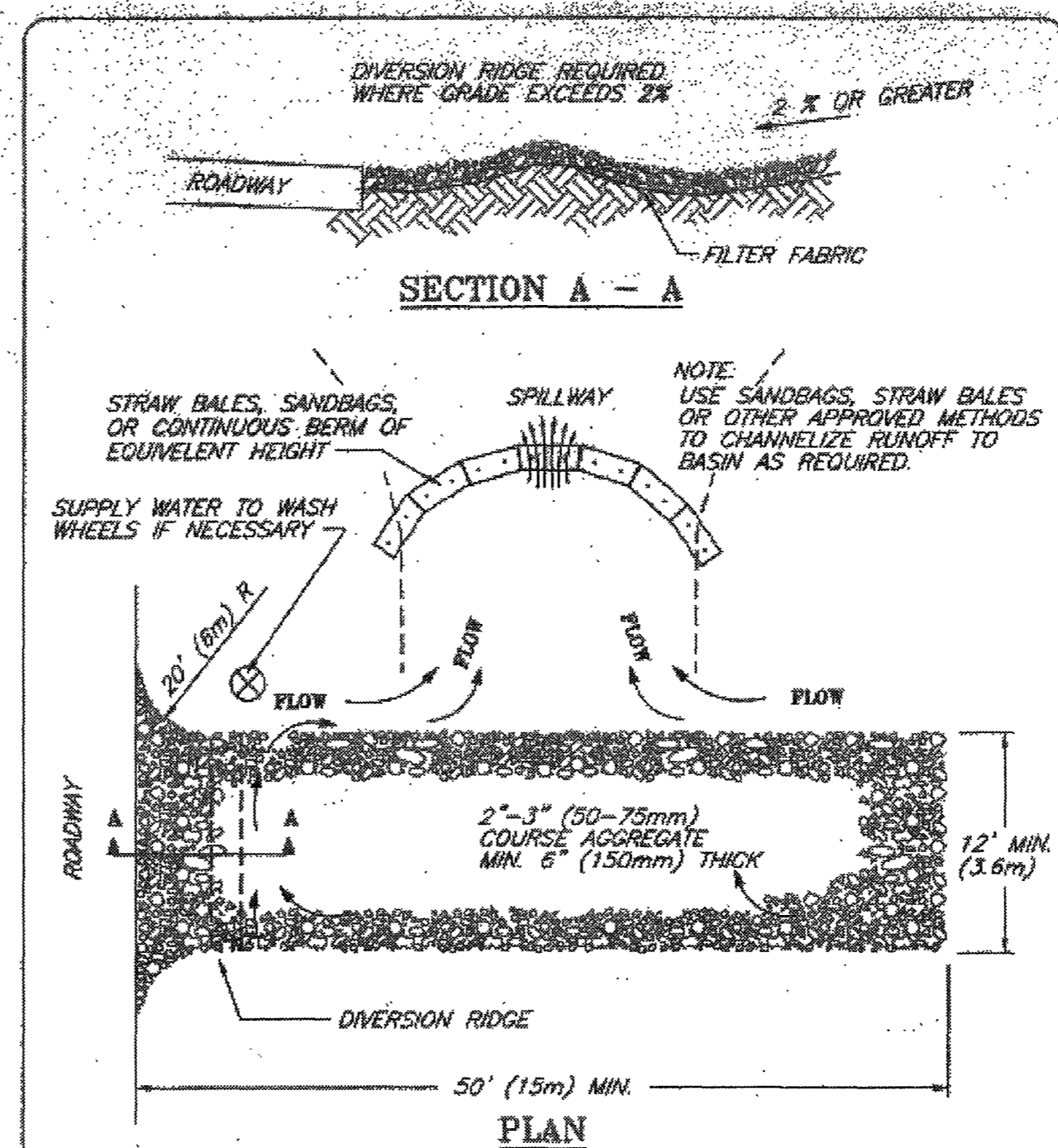


NOTE:
ALL MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION
COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH MDOT SPECIFICATIONS.

A TYPICAL PAVEMENT SECTION
N.T.S.

TRENCH SECTION BACKFILL SCHEDULE				
TYPE OF PIPE	GRANULAR BASE MATERIAL	SPECIAL BACKFILL	SPECIAL BACKFILL COVER "A" (IN)	SELECT BACKFILL
CONCRETE	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	12"	GRANULAR AASHTO M145-49 A-3 OR BETTER
PVC	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
DUCTILE IRON	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
UNDER-DRAINS	3/4" CRUSHED STONE	3/4" CRUSHED STONE	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER

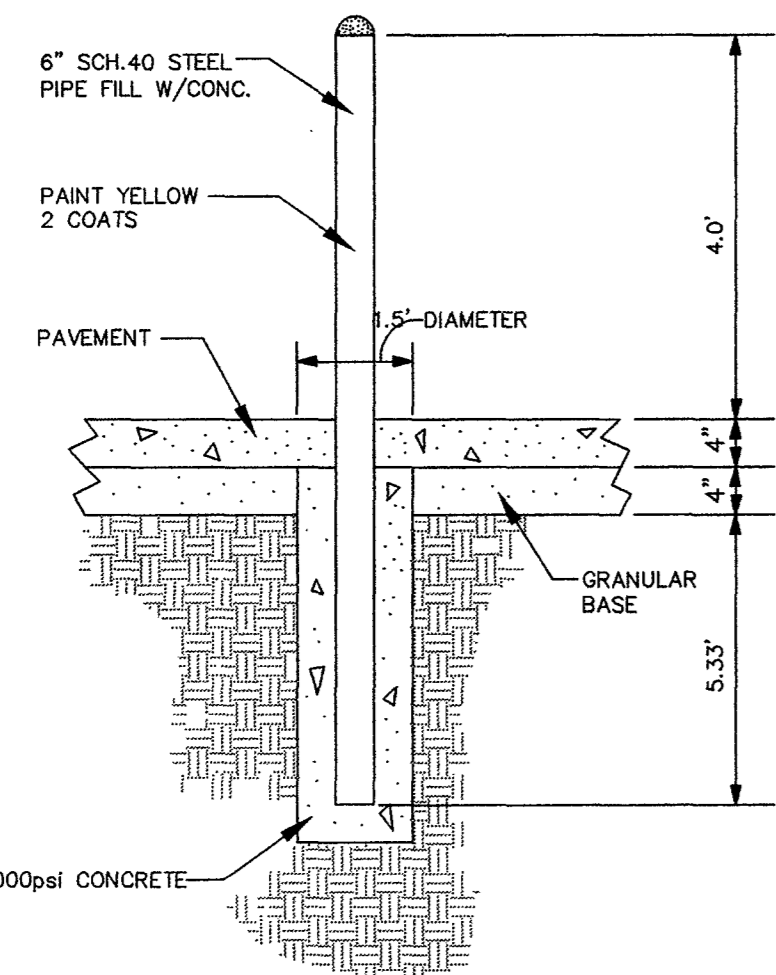
D TYPICAL UTILITY PIPE TRENCH SECTION DETAIL
N.T.S.



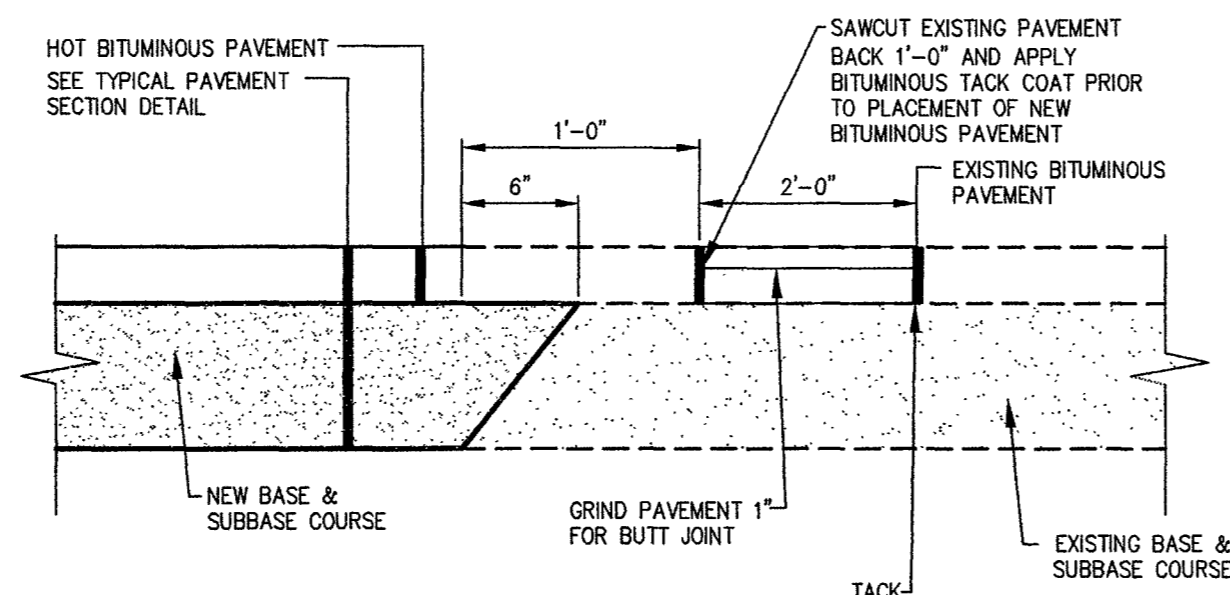
NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

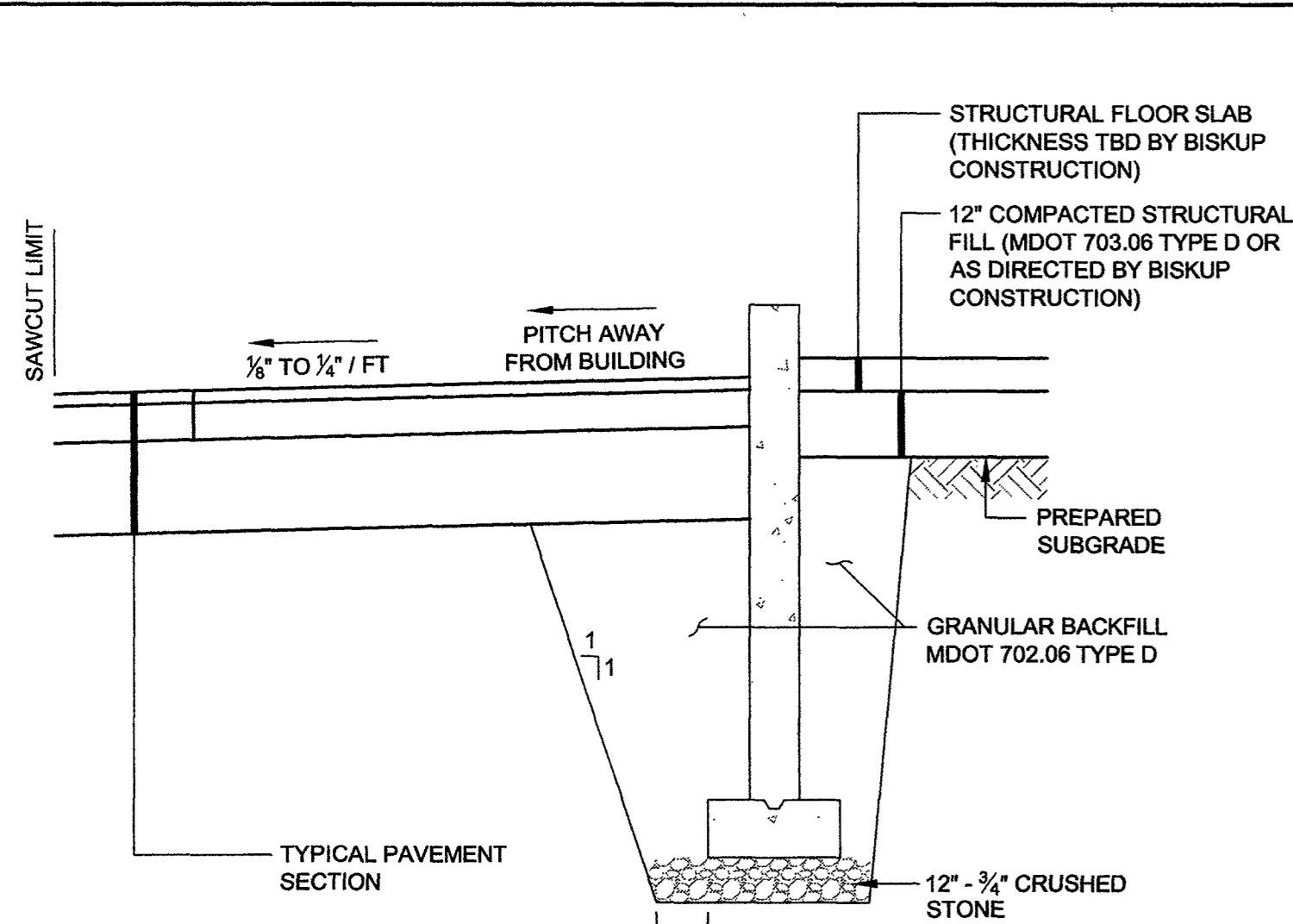
G GRAVEL CONSTRUCTION ENTRANCE/EXIT
N.T.S.



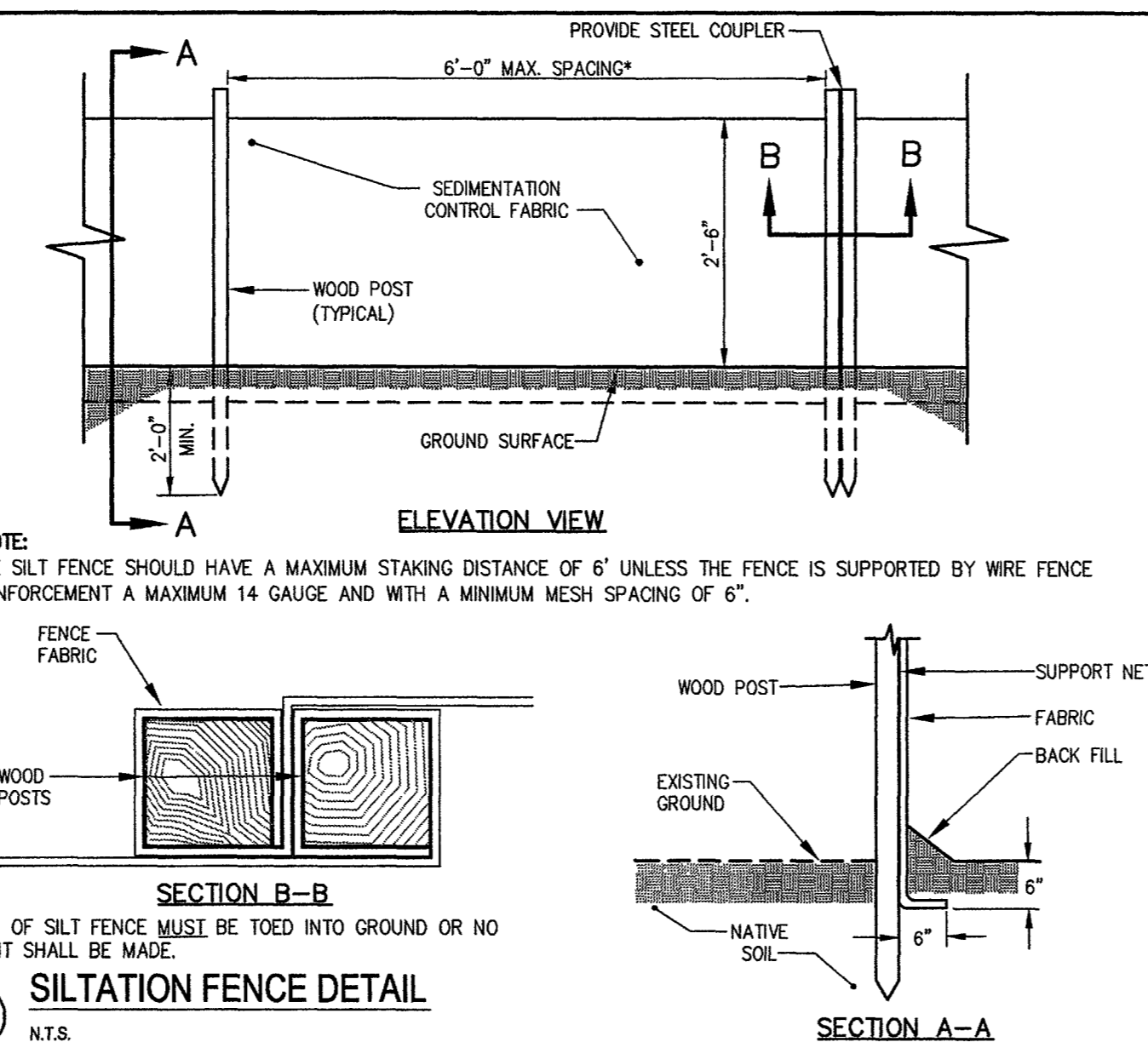
B BOLLARD DETAIL
N.T.S.



E PAVEMENT SAWCUT DETAIL
N.T.S.



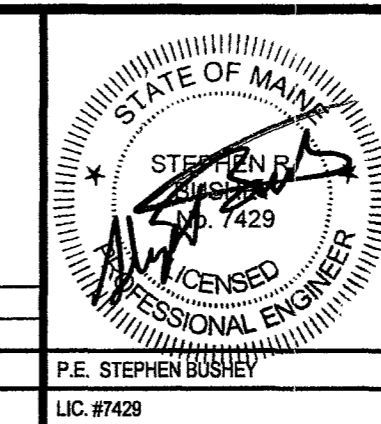
C TYPICAL FOUNDATION SECTION
N.T.S.



NOTE:
THE SILT FENCE SHOULD HAVE A MAXIMUM STAKING DISTANCE OF 6' UNLESS THE FENCE IS SUPPORTED BY WIRE FENCE REINFORCEMENT A MAXIMUM 14 GAUGE AND WITH A MINIMUM MESH SPACING OF 6'.

F SILTATION FENCE DETAIL
N.T.S.

REV	DATE	DESCRIPTION
2	08.19.11	FINAL APPROVAL - SUBMITTED FOR BUILDING PERMIT
1	08.30.11	SUBMITTED TO CITY OF PORTLAND



PROJECT
**280 WARREN AVE
PORTLAND, MAINE**

SHEET TITLE
DETAILS

CLIENT
McFARLAND SPRING CORP.

DH DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: DED DATE: 6.27.11
DESIGNED: SRB SCALE: AS NOTED
CHECKED: SRB JOB NO. 3033
FILE NAME: 3033-SP
SHEET 3 OF 3