



# PORTLAND MAINE

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Planning and Urban Development Department  
Penny St. Louis, Director

Planning Division  
Alexander Jaegerman, Director

August 17, 2011

J. David Parsons  
McFarland Spring Corporation  
280 Warren Avenue  
Portland, ME 04103

Stephen R. Bushey, PE  
DeLuca-Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, ME 04106

**RE:** Building Addition, McFarland Spring Corporation  
**Address:** 280 Warren Avenue, Portland  
**CBL:** 296 F-1-18  
**Application ID:** 2011-300 (*One Solution*)

Dear Mr. Parsons and Mr Bushey:

On August 17, 2011, the Portland Planning Authority approved the Level II site plan for a 1,400 sq ft addition to the existing 8,400 sq ft industrial building at 280 Warren Avenue, as submitted by McFarland Spring Corporation and shown on the approved site plans prepared by DeLuca-Hoffman Associates, Inc. (Site Plan 2 of 3 Rev 2 08.02.11 and Details 3 of 3 Rev 1 06.30.11) with the following conditions:

- i. That the applicant shall submit the specifications for any exterior lighting on the new building, or any new lighting on the site, for review and approval prior to the issuance of a certificate of occupancy, with all lighting to be of cut off design in accordance with the City's Technical Standards; and
- ii. That any dumpster and/or any other waste storage shall be located behind the buildings or at the rear of the site with screening; and
- iii. That the property pins be set at corners prior to the issuance of a building permit; and
- iv. That separate permits are required for any new signage.

The approval is based on the submitted plans. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval. It is noted that the curb cut/access on Warren, at the former Meadow Street, is not located on the applicant's property.

Please note the following standard provisions and requirements for all site plan approvals:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the Portland City ordinance. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.

2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874-8728.

Sincerely,



Alexander Jaegerman  
Planning Division Director

Enclosure: Performance Guarantee Packet

**cc. Electronic Distribution:**

Penny St. Louis, Director of Planning and Urban Development Dept.  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPierro, Development Review Coordinator, Planning  
Marge Schmuckal, Zoning Administrator, Inspections Division  
Tammy Munson, Plan Reviewer, Inspections Division  
Lannie Dobson, Administration, Inspections Division  
Michael Bobinsky, Director, Public Services  
Katherine Earley, Engineering Services Manager, Public Services

Bill Clark, Project Engineer, Public Services  
David Margolis-Pineo, Deputy City Engineer, Public Services  
Michael Farmer, Project Engineer, Public Services  
Jane Ward, Administration, Public Services  
Chris Pirone, Fire Department  
Jeff Tarling, City Arborist, Public Services  
Tom Errico, P.E., T.Y. Lin Associates  
David Senus, P.E., Woodard & Curran  
Assessor's Office

**cc. Approval Letter File**

City of Portland  
 Development Review Application  
 Planning Division Transmittal form

**Application Number:** 2011-300                      **Application Date:** 7/6/2011 12:00:00 AM  
**CBL:** 296-F-1  
**Project Name:** McFarland Spring Corporation  
**Address:** 280 Warren Avenue

**Project Description:** 1,400 sq. ft. building addition  
**Zoning:** B4  
**Other Reviews Required:**  
**Review Type:** Level II

**Distribution List:**

<input type="checkbox"/> Planner	Jean Fraser	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Chris Pirone	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis- Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

**Preliminary Comments needed by:** July 20, 2011

**Final Comments needed by:** July 27, 2011

**PROJECT NAME:** McFarland Spring Corporation

**PROPOSED DEVELOPMENT ADDRESS:**

280 Warren Avenue, Portland, Maine 04103

**PROJECT DESCRIPTION:**

1,400 sf building addition for additional workspace

**CHART/BLOCK/LOT:** 296/F/1-18

**PRELIMINARY PLAN** \_\_\_\_\_ (date)  
**FINAL PLAN** 6/30/2011 (date)

**CONTACT INFORMATION:**

<p><b>Applicant – must be owner, Lessee or Buyer</b></p> <p>Name: J. David Parsons</p> <p>Business Name, if applicable: McFarland Spring Corp.</p> <p>Address: 280 Warren Avenue</p> <p>City/State : Portland, ME      Zip Code: 04103</p>	<p><b>Applicant Contact Information</b></p> <p>Work # 207-797-6271</p> <p>Home# _____</p> <p>Cell # _____ Fax# 207-797-6010</p> <p>e-mail: parspring@aol.com</p>
<p><b>Owner – (if different from Applicant)</b></p> <p>Name: Same</p> <p>Address: _____</p> <p>City/State : _____ Zip Code: _____</p>	<p><b>Owner Contact Information</b></p> <p>Work # _____</p> <p>Home# _____</p> <p>Cell # _____ Fax# _____</p> <p>e-mail: _____</p>
<p><b>Agent/ Representative</b></p> <p>Name: Stephen Bushey DeLuca-Hoffman Associates, Inc.</p> <p>Address: 778 Main Street, Suite 8</p> <p>City/State : South Portland, ME Zip Code: 04106</p>	<p><b>Agent/Representative Contact information</b></p> <p>Work # 207-775-1121</p> <p>Cell # 207-756-9359</p> <p>e-mail: sbushey@delucahoffman.com</p>
<p><b>Billing Information</b></p> <p>Name: Same as Applicant</p> <p>Address: _____</p> <p>City/State : _____ Zip Code: _____</p>	<p><b>Billing Information</b></p> <p>Work # _____</p> <p>Cell # _____ Fax# _____</p> <p>e-mail: _____</p>

<b>Engineer</b> Name: Same as Agent Address: City/State :                      Zip Code:	<b>Engineer Contact Information</b> Work # Cell #                                      Fax# e-mail:
<b>Surveyor</b> Name: N/A Address: City/State :                      Zip Code:	<b>Surveyor Contact Information</b> Work # Cell #                                      Fax# e-mail:
<b>Architect</b> Name: Biskup Construction Address: 16 Danielle Drive City/State : Windham, ME      Zip Code: 04062	<b>Architect Contact Information</b> Work # 207-892-9800 Cell #                                      Fax# 207-892-9895 e-mail: jim@biskupconstruction.com
<b>Attorney</b> Name: Address: City/State :                      Zip Code:	<b>Attorney Contact Information</b> Work # Cell #                                      Fax# e-mail:

**APPLICATION FEES:**

**Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)**

<b>Level II Development (check applicable reviews)</b> <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	<b>Fees Paid (office use)</b>   	<b>Other Reviews (check applicable reviews)</b> <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) # of Lots ___ x \$25/lot = _____ <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation	<b>Fees Paid (office use)</b>   
The City invoices separately for the following: <ul style="list-style-type: none"> <li>• Notices (\$.75 each)</li> <li>• Legal Ad (% of total Ad)</li> <li>• Planning Review (\$40.00 hour)</li> <li>• Legal Review (\$75.00 hour)</li> </ul> Third party review is assessed separately.			
<b>Plan Amendments (check applicable reviews)</b> <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	<b>Fees Paid (office use)</b>   		

## APPLICATION SUBMISSION

As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Until December 1, 2010, submissions shall include seven (7) packets with folded plans containing the following materials:

1. **Seven (7) full size site plans** that must be **folded**.
2. Seven (7) copies of all written materials or as follows, unless otherwise noted:
  - a. Application form that is completed and signed.
  - b. Cover letter stating the nature of the project.
  - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

### Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: [www.portlandmaine.gov](http://www.portlandmaine.gov) Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.**

Signature of Applicant: 	Date: 
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## PROJECT DATA

The following information is required where applicable, in order complete the application

<b>Total Site Area</b>	70,337 sq. ft.
<b>Proposed Total Disturbed Area of the Site</b>	<6,000 sq. ft.
<b>(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)</b>	
<b>IMPERVIOUS SURFACE AREA</b>	
• Proposed Total Paved Area	0 sq. ft.
• Existing Total Impervious Area	50,952 sq. ft.
• Proposed Total Impervious Area	52,766 sq. ft.
• Proposed Total Impervious Area	sq. ft.
• Proposed Impervious Net Change	1,814 sq. ft.
<b>BUILDING AREA</b>	
• Proposed Building Footprint	1,400 sq. ft.
• Proposed Building Footprint Net change	1,400 sq. ft.
• Existing Total Building Floor Area	8,400 sq. ft.
• Proposed Total Building Floor Area	9,800 sq. ft.
• Proposed Building Floor Area Net Change	1,400 sq. ft.
• New Building	No (yes or no)
<b>ZONING</b>	
• Existing	B4
• Proposed, if applicable	
<b>LAND USE</b>	
• Existing	Automotive repair
• Proposed	Same
<b>RESIDENTIAL, IF APPLICABLE</b>	
• Proposed Number of Affordable Housing Units	
• Proposed Number of Residential Units to be Demolished	
• Existing Number of Residential Units	
• Proposed Number of Residential Units	
• Subdivision, Proposed Number of Lots	
<b>PARKING SPACES</b>	
• Existing Number of Parking Spaces	12 (min)
• Proposed Number of Parking Spaces	12
• Number of Handicapped Parking Spaces	0
• Proposed Total Parking Spaces	12
<b>BICYCLE PARKING SPACES</b>	
• Existing Number of Bicycle Parking Spaces	-
• Existing Number of Bicycle Parking Spaces	-
• Proposed Number of Bicycle Parking Spaces	-
• Total Bicycle Parking Spaces	0
<b>ESTIMATED COST OF PROJECT</b>	<b>\$150,000.00</b>

**General Submittal Requirements – Preliminary Plan (Optional)**

**Level II Site Plan**

**Preliminary Plan Phase Check list (if elected by applicant)**

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirements
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Completed application form
<input type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written description of project
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Evidence of right, title and interest.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Copies of required State and/or Federal permits.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written assessment of zoning.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written description of existing and proposed easements or other burdens.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written requests for waivers from individual site plan and/or technical standards, where applicable.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase).
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written summary of significant natural features located on the site.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written summary of project's consistency with related city master plans.
<b>Applicant Checklist</b>	<b>Planner Checklist</b>	<b>Number of Copies</b>	<b>Site Plan Submittal Requirements</b>
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	<b>Preliminary Site Plan Including the following: (*information provided may be preliminary in nature during preliminary plan phase):</b>
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).



- Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).

- Existing and proposed easements or public or private rights of way.

### General Submittal Requirements – Final Plan (Required)

#### Level II Site Plan

#### Final Plan Phase Check list (including items listed above in General Requirements for Preliminary Plan, if applicant did not elect to submit for a preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/> n/a	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within ¼ mile of an intersection identified in a previous traffic study as a failing intersection).
<input type="checkbox"/> n/a	<input type="checkbox"/>	1	Stormwater management plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/> n/a	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

#### Final Plan Phase

7 (1 paper copy as of Dec. 1)

#### Final Site Plan Including the following

- Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).

- Location of adjacent streets and intersections and approximate location of structures on abutting properties.

- Proposed site access and circulation.

- Proposed grading and contours.

- Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.

- Proposed loading and servicing areas, including applicable turning templates for delivery vehicles

- Proposed snow storage areas or snow removal plan.

 n/a

- Proposed trash and recycling facilities.

- Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.

- Existing and proposed utilities.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements).</li> </ul>
<input type="checkbox"/> n/a	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application)</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Proposed finish floor elevation (FFE).</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Exterior building elevation(s) (showing all 4 sides).</li> </ul>
<input type="checkbox"/> n/a	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Proposed stormwater management and erosion controls.</li> </ul>
<input type="checkbox"/> n/a	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Exterior lighting plan, including street lighting improvements..</li> </ul>
<input type="checkbox"/> n/a	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Proposed signage.</li> </ul>
<input type="checkbox"/> n/a	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.</li> </ul>
<input type="checkbox"/> n/a	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Total area and limits of proposed land disturbance.</li> </ul>
<input type="checkbox"/> n/a	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Soil type and location of test pits and borings.</li> </ul>
<input type="checkbox"/> n/a	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Details of proposed pier rehabilitation (Shoreland areas only).</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> <li>Existing and proposed easements or public or private rights of way.</li> </ul>

# CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,  
55 Portland Street,  
Portland, Maine 04101-2991



Mr. Frank J. Brancely,  
Senior Engineering Technician,  
Phone #: (207) 874-8832,  
Fax #: (207) 874-8852,  
E-mail: fjb@portlandmaine.gov

Date: June 30, 2011

**1. Please, Submit Utility, Site, and Locus Plans.**

Site Address: 280 Warren Avenue, Portland, Maine 04103

*(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)*

Chart Block Lot Number: 296/F/1-18

Proposed Use: Automotive Repair

Previous Use: Same

Existing Sanitary Flows: <500 GPD

Existing Process Flows: 0 GPD

Site Category	Commercial	<u>X</u>
	Industrial <i>(complete part 4 below)</i>	—
	Governmental	—
	Residential	—
	Other <i>(specify)</i>	—

Description and location of City sewer, at proposed building sewer lateral connection:

Existing building connects to sewer in Warren Avenue

*Clearly, indicate the proposed connection, on the submitted plans.*

**2. Please, Submit Domestic Wastewater Design Flow Calculations.**

Estimated Domestic Wastewater Flow Generated: <500 GPD

Peaking Factor/ Peak Times: \_\_\_\_\_

Specify the source of design guidelines: *(i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)*

**Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.**

**3. Please, Submit Contact Information.**

Owner/Developer Name: McFarland Spring Corporation

Owner/Developer Address: 280 Warren Avenue, Portland, Maine 04103

Phone: 207-797-6271 Fax: 207-797-6010 E-mail: parspring@aol.com

Engineering Consultant Name: DeLuca-Hoffman Associates, Inc.

Engineering Consultant Address: 778 Main Street, Suite 8, South Portland, ME 04106

Phone: 207-775-1121 Fax: 207-879-0896 E-mail: sbushey@delucahoffman.com

City Planner's Name: not yet assigned Phone: \_\_\_\_\_

**Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.**

**4. Please, Submit Industrial Process Wastewater Flow Calculations**

Estimated Industrial Process Wastewater Flows Generated: N/A GPD

Do you currently hold Federal or State discharge permits? Yes      No     

Is the process wastewater termed categorical under CFR 40? Yes      No     

OSHA Standard Industrial Code (SIC): \_\_\_\_\_ *(http://www.osha.gov/oshstats/sicser.html)*

Peaking Factor/Peak Process Times: \_\_\_\_\_

**Note:** On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

**Notes, Comments, or Calculations:**

SEE ATTACHED SITE PLAN

This is a building expansion only. No new wastewater flows are anticipated.



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207.775.1121  
FAX 207.879.0896

- SITE PLANNING AND DESIGN
- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- PERMITTING
- AIRPORT ENGINEERING
- CONSTRUCTION ADMINISTRATION

June 30, 2011

Ms. Barbara Barhydt  
Development Review Services Manager  
City of Portland Planning Authority  
389 Congress Street  
Portland, Maine 04101

**Subject: Application for Level II Site Plan Review  
280 Warren Avenue  
Owner/Applicant – J. David Parsons**

Dear Barbara:

On behalf of the owner of McFarland Spring Corp, J. David Parsons, please find the accompanying application materials for a proposed 1,400 SF building expansion at the subject location. Our package contains the following information:

1. Site Plans (Full size and 11" x 17")
2. Required Fees (\$400 - Level II Site Plan)
3. Parcel Deed (Book 9506, Page 42)
4. U.S.G.S. Map (Figure 1)
5. Medium Intensity Soils Map (Figure 2)
6. Tax Map 296 and photographs
7. Site Plan Application and Checklist
8. Letter of Financial Capacity
9. Building Floor Plans and Elevations

DeLuca-Hoffman Associates, Inc. has prepared the accompanying submission package for a Level II Site Plan Review. The proposed project will be located on the 1.61-acre parcel (Tax Map 296 Block F Lots 1-18) off Warren Avenue. The project site is located in the B4 Commercial Business Zone. The project includes the construction of a 1,400 SF building addition onto the existing 8,400 SF industrial building. The current building was constructed in the late 1980's and it is currently occupied by McFarland Spring Corp. McFarland Spring performs automotive repairs including brakes, springs and alignments.

The proposed building addition will address interior work space needs. The building expansion will be located on the southwest end of the building. As evidenced by the building elevations, prepared by Biskup Construction, the expansion will match the existing building's style and exterior treatment. The foundation system will consist of a cast in place footer and building wall to match existing.

Ms. Barbara Barhydt  
June 30, 2011  
Page 2

Additional photos of the existing building and the proposed expansion area are contained in Attachment 3. Utility infrastructure including domestic water service, sanitary sewer service and underground power/telephone/cable currently serves the existing building. The building addition will require no utility work other than some interior electrical and the installation of some new exterior lighting fixtures.

There is an existing fire hydrant located at the front of the site along Warren Avenue as shown on the survey plan prepared by Owen Haskell Inc. We have submitted plan materials to the Portland Fire Department for their review. The location and resource maps contained in the application package also depict the project location.

The site will continue to be accessed off Warren Avenue via two existing access drives. Much of the area surrounding the building is paved allowing for parking around the building perimeter. There are no specified painted parking stalls on the site; however there is ample space to allow for the parking of all employees and customers. Generally speaking there is space in front of the existing building to provide for 7 or more vehicles and there is space behind the building for at least another 10 or more vehicles. Overall, parking for the site is adequate according to the owner. The rear of the site contains an accessory building that is used for material storage. This building will remain.

The site's storm water runoff regime will remain unchanged although we are proposing a slight increase in the impervious surface. The applicant proposes to add approximately 1,275 SF of pavement surface towards the west side of the building addition. This additional pavement will provide maneuvering area for vehicles entering and exiting the new overhead doors within the building addition. The proposed building area is entirely within an existing paved area, so there will be a conversion from pavement to roof top. There is an existing catch basin near Warren Avenue that captures some runoff from the front parking area. Most of the rear of the site sheds runoff towards the railroad tracks behind the site. There is a drainage swale at the toe of slope of the tracks that collects runoff from most of the Warren Avenue sites and there are one or more culverts that convey water to the south side of the tracks. There are no significant impacts to either of the site's overall storm water quantity or water quality aspects resulting from the proposed expansion in our opinion since only roof top area will be increased overall.

Erosion and sediment control measures will be modest. The project will include a small amount of excavation and new foundation construction. Erosion control measures will principally consist of silt fence and temporary stabilization measures to minimize mud and tracking of dirt onto the nearby road surfaces.

The project will generate fewer than 25 new peak hour trip ends; therefore, no additional traffic permitting is necessary. The proposed expansion will not result in any increase in employees or services, but is mainly to provide additional work space.

Ms. Barbara Barhydt  
June 30, 2011  
Page 3

In accordance with Section 14-527 (e) of the zoning ordinance, we offer the following statements pertaining to the written materials required for the application.

1. The Construction Management Plan for the work is relatively straightforward and consists of the following steps:
  - The building pad and foundation area will be prepped by removing the existing asphalt surface. Temporary barricades may be placed around the work zone throughout the project duration;
  - Foundations will be excavated for footing placement and then wall reinforcement, formwork and concrete placement;
  - Foundation backfilling and surrounding surface gravel will be placed;
  - Steel shell will be erected;
  - Roofing and exterior walls will be installed;
  - Interior work including walls, utilities, wiring etc will be completed;
  - Floor slab will be installed;
  - Interior finishes including walls and electrical will be completed;
  - Exterior site work including paving and pavement markings will be completed; and
  - The applicant intends to continue their business operations throughout the duration of construction and will make accommodations for construction equipment, materials storage and overall coordination.
2. As outlined previously the proposed project will result in fewer than 25 new peak hour trips, therefore a Traffic Impact Study has not been performed for this project. The applicant is requesting a waiver of any further traffic related studies.
3. There are no significant natural features, wildlife and fisheries habitats or archaeological sites that will be impacted as a result of the proposed project. The work zone footprint is within a previously disturbed and developed area.
4. The site layout involves a 20'-0" x 70'-0" building expansion off the westerly end of the existing building. The 1.61 acre development site is part of an established and permitted industrial development that includes previously constructed infrastructure for drainage and utilities. The proposed development will not result in any detrimental effects to the existing storm water management systems since the building expansion will be placed entirely within previously created impervious paved surfaces. The increase in impervious surface will be approximately 1,814 SF (0.04 acre). A portion of this area will drain towards an existing catch basin placed in the yard area near the site driveway. This catch basin connects to the drainage system in Warren Avenue. The majority of the development area will continue to drain towards a shallow vegetated swale that flows towards the railroad tracks behind the site. Like many of the properties on the south side of Warren Avenue, the site sheds runoff towards the tracks, along which there is a swale/ditch system the is drained via one or more culverts under the tracks. This culverts drain to the south side of the tracks and ultimately lie within the Capisic Brook Watershed.

Ms. Barbara Barhydt  
June 30, 2011  
Page 4

The new pavement area lies within existing lawn, which based on the clayey soil condition we observed results in an insignificant impact to the runoff conditions. On this basis it is our opinion that the increased pavement area will not create any significant impact to the runoff draining to the rear of the property.

5. The applicant is requesting a waiver to provide storm water management calculations for the reasons previously outlined in this narrative.
6. The project is part of an existing, permitted site development and the proposed use has been operating on the property for a period greater than 15 years. For these reasons the proposed expansion appears reasonable and consistent with the City's Master Planning and intended uses for the area.
7. The site is currently served by public utilities for water and wastewater disposal. No increase to these utility demands is expected as a result of the proposed project. We have, however, prepared letters to both the Portland Water District and Portland Public Services Division to ascertain the continued availability of service to the site. Copies of their responses will be provided to the Planning Authority upon receipt.
8. The proposed project is not expected to generate any increase in solid waste production. During construction there may be a small volume of demolition debris and packaging waste for new construction materials. The contractor will use a temporary waste dumpster to collect any waste materials and these materials will be properly disposed of at an approved waste disposal or recycling facility such as the City's Riverside Recycling Facility.
9. The new addition will be constructed to the 2009 NFPA 101 Life Safety Code and to the 2009 International Building Code.
10. The proposed development is a simple building addition onto a previously approved industrial use within the City's Commercial Business zone. No further assessment of consistency with applicable design standards has been performed at this time.
11. The proposed building addition requires no major work related to new HVAC or manufacturing equipment, therefore, the applicant is requesting a waiver of this application submission requirement.

We trust these statements and the supporting application plans and materials satisfy the City's requirements and look forward to Planning Authority review and approval of the project. Please contact this office with any staff questions and concerns.



Ms. Barbara Barhydt  
June 30, 2011  
Page 5

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.



Stephen R. Bushey, PE  
Senior Engineer

Enclosures: Attachment 1 – Major Site Plans (Full size and 11” x 17”)  
Attachment 2 – Parcel Deed (Book 9506, Page 42)  
Attachment 3 – U.S.G.S. Map (Figure 1)  
Medium Intensity Soils Map  
Tax Map 296 and Photographs  
Attachment 4 – Required Fees (\$400 Level II Site Plan)  
Major Site Plan Application & Checklist  
Attachment 5 – Letter of Financial Capacity  
Attachment 6 – Building Floor Plan and Elevations

c: Jim Biskup, Biskup Construction  
J. David Parsons, McFarland Spring

**ATTACHMENT 1**

**LEVEL II SITE PLANS**

**ATTACHMENT 2**

**PARCEL DEED**

WARRANTY DEED  
Maine Statutory Short Form

**Know all Men by these Presents,**

**That** ELB REALTY TRUST, a Massachusetts Trust,

of Littleton, County of Middlesex, ~~State of~~ Commonwealth of Massachusetts  
being ~~thereby~~ for consideration paid, grant to J. DAVID PARSONS

of Guilford, County of New Haven, State of Connecticut  
whose mailing address is 272 Nortontown Road, Guilford, CT 06437

with warranty covenants, the land in Portland, County of Cumberland

State of Maine, described as follows:

A certain lot or parcel of land, with the buildings thereon, situated on the southerly side of Warren Avenue in the City of Portland, County of Cumberland and State of Maine, being the block of lots bounded northerly by Warren Avenue; easterly by proposed Meadow Street; southerly by proposed Railroad Alley, and westerly by proposed Blossom Street, and being lots numbered 46 to 63, inclusive, as shown on Plan of Meadow Park owned by Frank W. Sadler, made by Hicks & Newcomb, Engineers, dated May 22, 1915 and recorded in Cumberland County Registry of Deeds in Plan Book 12, Page 44, to which Plan reference is hereby made for a more particular description.

Being the same premises conveyed by McFarland Spring Corporation to ELB Realty Trust by deed dated November 1, 1988 and recorded in said Registry of Deeds in Book 8541, Page 193.

Also all right, title and interest of the grantor in and to the proposed streets shown on said Plan of Meadow Park. This conveyance is made subject, however, to municipal real estate taxes heretofore assessed, but not yet due and payable, which the grantee assumes and agrees to pay.

IN WITNESS WHEREOF, the said ELB REALTY TRUST has caused this instrument to be sealed with its corporate seal and signed in its corporate name by Edgar L. Bibeault, Trustee, and Arthur S. Hill, Trustee, thereunto duly authorized, this 28<sup>th</sup>

~~Witness~~ day of the month of

March, 1991.  
Signed, Sealed and Delivered

in presence of  
*Ronald D. Stiller*  
*Ronald D. Stiller*  
COMMONWEALTH OF MASSACHUSETTS  
County of Middlesex

ELB REALTY TRUST  
By *Edgar L. Bibeault*  
Edgar L. Bibeault, Trustee  
By *Arthur S. Hill*  
Arthur S. Hill, Trustee

SS. *March 28*, 19 91

Then personally appeared the above named Edgar L. Bibeault and ARTHUR S. Hill, Trustees, as aforesaid, and acknowledged the foregoing instrument to be their free act and deed.

Recorded  
Cumberland County  
Registry of Deeds  
03/28/91 05:05:41pm  
Robert F. Titcomb  
Registrar

Before me,

*[Signature]*  
Notary Public  
XXXXXXXXXX

Printed Name: *Craig M.R. Nantfield*

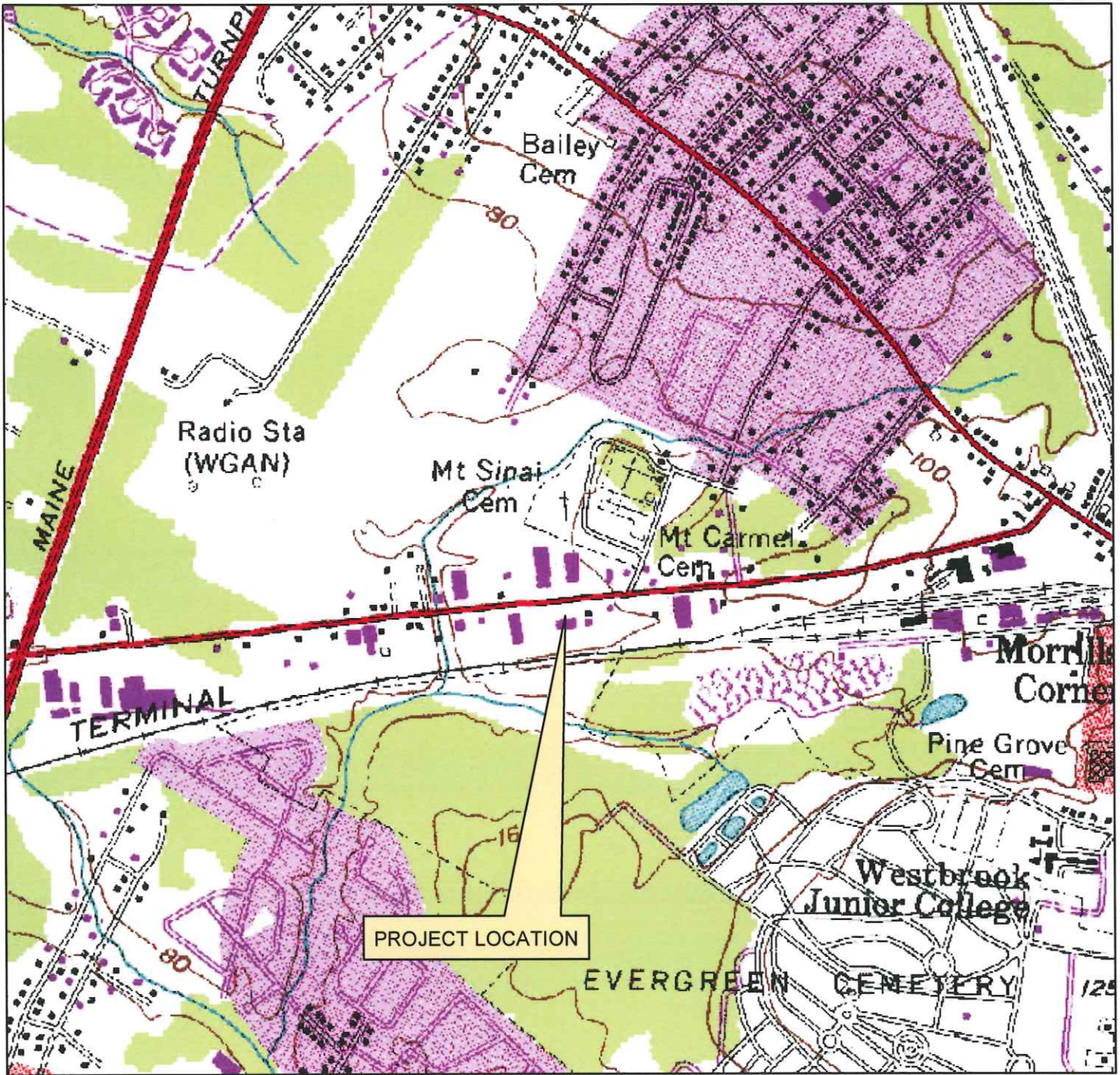
MAINE REAL ESTATE TRANSFER TAX PAID

12-158

**ATTACHMENT 3**

**FIGURE 1**

**USGS MAP**



**USGS MAP  
280 WARREN AVE  
PORTLAND, MAINE**

SOURCE: MAINE OFFICE OF GIS - DRGCLIP LAYER

DeLuca-Hoffman Associates, Inc.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207-775-1121  
www.delucahoffman.com

DRAWN: DED  
CHECKED: SRB  
DATE: JUNE 2011  
FILENAME: 3033-USGS  
SCALE: 1 inch = 1,000 feet

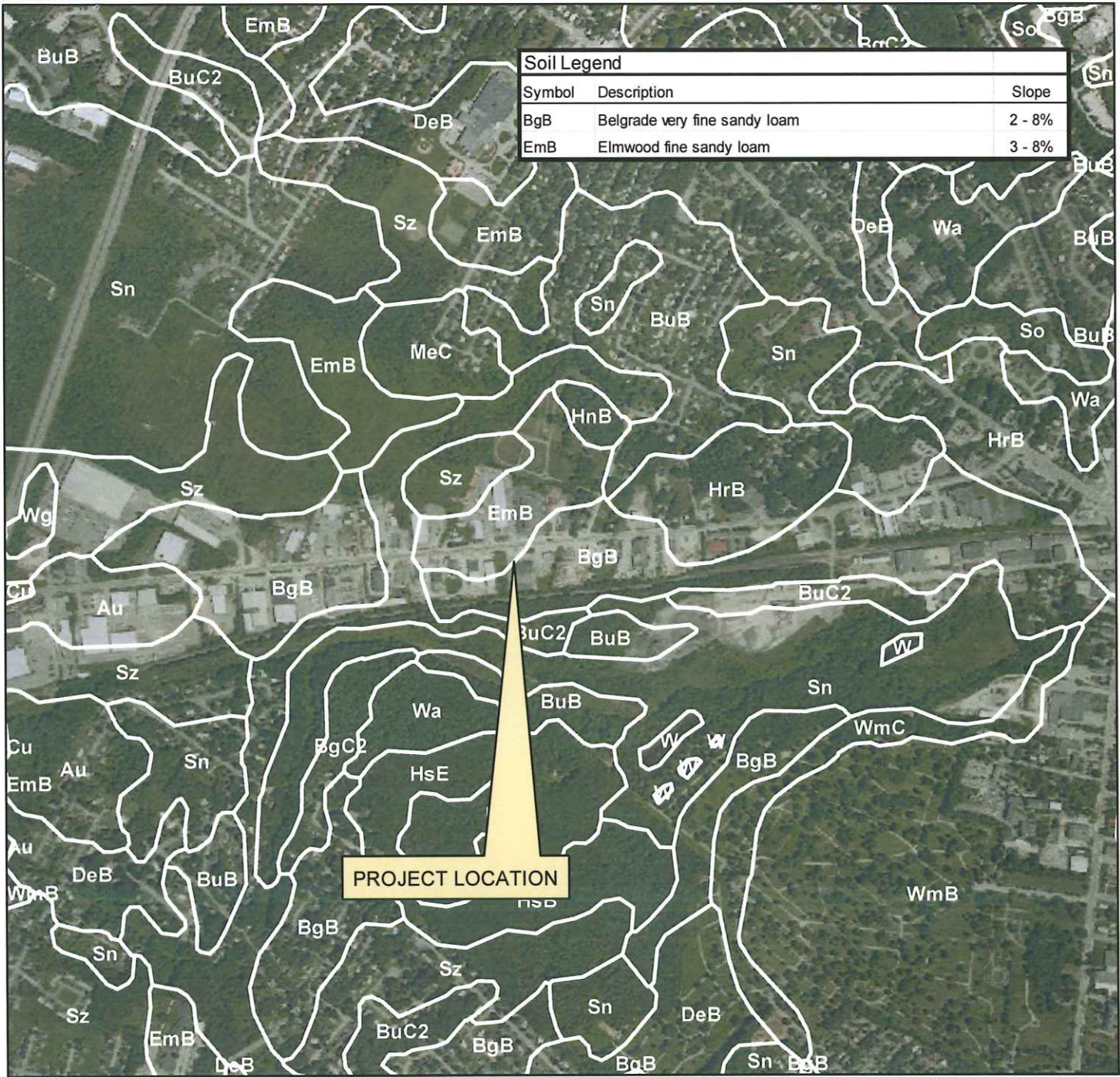
FIGURE


1

**FIGURE 2**

**MEDIUM INTENSITY SOILS MAP**






**MEDIUM INTENSITY SOILS MAP**  
**280 WARREN AVE**  
**PORTLAND, MAINE**  
 SOURCE: MAINE OFFICE OF GIS

DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207-775-1121  
 www.delucahoffman.com

DRAWN: DED  
 CHECKED: SRB  
 DATE: JUNE 2011  
 FILENAME: 3033-SOILS  
 SCALE: 1 inch = 1,000 feet

FIGURE

2

**TAX MAP**  
**&**  
**PHOTOGRAPHS**

No 296



PORTLAND TERMINAL COMPANY LOCATION EXEMPT

CITY OF PORTLAND  
ASSESSORS PLAN  
SCALE 1" = 50'

REDRAWN 10 - 75

SHEET 281-A

SHEET 280-A

SHEET 302-B

SHEET 303-B

SHEET 295-D

SHEET 301-C

SHEET 303-B

SHEET 303-B

SHEET 303-B

SHEET 303-B

SHEET 303-B

SHEET 303-B

SHEET 303-B

SHEET 303-B



PHOTO 1



PHOTO 2



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207-775-1121  
FAX: 207-879-0896  
E-MAIL: [dhai@delucahoffman.com](mailto:dhai@delucahoffman.com)

**Project Site:**  
**280 Warren Ave, Portland, Maine**  
**Photos Taken 06-30-11 by Steve Bushey, P.E.**



PHOTO 3

**DH**



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207-775-1121  
FAX: 207-879-0896  
E-MAIL: [dhai@delucahoffman.com](mailto:dhai@delucahoffman.com)

**Project Site:**  
**280 Warren Ave, Portland, Maine**  
**Photos Taken 06-30-11 by Steve Bushey, P.E.**

**ATTACHMENT 5**

**LETTER OF FINANCIAL CAPACITY**

Pa 1 of 4

Attn Stephen Bushey

 COPY

April 28, 2011

James David Parsons  
280 Warren Avenue  
Portland, ME 04103

Dear David:

This letter, when properly signed and accepted, will constitute an agreement between Norway Savings Bank (the "Bank") which agrees to lend, and James David Parsons (the "Borrower") who agrees to borrow in accordance with the following terms and conditions.

- Borrower: James David Parsons
- Amount of Loan: ~~REDACTED~~
- Purpose: The proceeds of the loan will be used to renovate commercial real estate located at 280 Warren Avenue, Portland, Maine (the "Project").
- Repayment Terms: Interest only for 6-month construction period followed by monthly payments of principal and interest in an amount sufficient to fully amortize the loan over 180 months.
- Maturity: The entire loan balance will be due in full in 15 years and 6 months.
- Interest Rate: Option 1: Wall Street Journal Prime Rate + 0%, as it may vary, with a floor of 4.00% and a cap of 7.00% for 5 years and 6 months; thereafter, Wall Street Journal Prime Rate + 0%, as it may vary, with a floor of 4.00%.  
OR  
Fixed at 5.75% for 5 years and 6 months; thereafter, Wall Street Journal Prime Rate + 0%, as it may vary, with a floor of 4.00%.
- Documentation Fee: \$250.00
- Prepayment Penalty: There will be a prepayment penalty of 5% of the outstanding principal balance in the first year, decreasing by 1% each year thereafter. Solely at the Bank's discretion, the repayment penalty may be waived if the prepayment is not due to refinancing of the principal elsewhere.
- Guarantor: The unlimited corporate guaranty of M.S.C. Acquisition Company, Inc. dba McFarland Spring Corporation.
- Tax Escrow: The Bank, at its option, may require 1/12 of the annual estimated real estate taxes and hazard insurance assessed against the property to be paid monthly to be held in an escrow account. These escrow payments would be in addition to the regular installments of principal and interest required above.

Pa 2 of 4

**Collateral:** Third security interest, fixture filing and assignment of rents and leases in real estate located at 280 Warren Avenue, Portland, Maine.

**Appraisal:** An "as is" and "as complete" broker's opinion of value will be performed on the property by an independent brokerage firm acceptable to the Bank. The broker's opinion of value is to be commissioned by the Bank and satisfactory in all respects to the Bank. The final loan to value ratio based on the appraised value must be no greater than 80%. The cost of the broker's opinion of value shall be borne by the Borrower.

**Authority of Borrower:** Borrower shall provide to Bank at closing proof satisfactory to Bank counsel of 1) the due organization, legal existence and good standing of Borrower in its state of organization; 2) all loan documents are duly authorized, executed and delivered by Borrower and any Guarantors; 3) no action, suit or proceeding pending or threatened against or affecting Borrower, any Guarantors or the Project, before any court administration agency, arbitrator or governmental authority.

**Environmental Inspection:** This commitment is subject to receipt and satisfactory review of an Environmental Data Inspection Records (EDR) reports. The Bank shall have the right to terminate this commitment if the results of the EDR report are not satisfactory in all respects. Borrower and Guarantors will be required to indemnify the Bank for any hazardous waste. *(On File)*

**Insurance:** The Borrower will provide casualty, hazard, liability, business interruption and builder's risk insurance coverage on the subject property in a form acceptable to the Bank. The policy shall name Norway Savings Bank as mortgagee.

**Title Insurance:** The Borrower shall provide the Bank with an ALTA Lender's Title Insurance Policy on the property issued by a title insurance company acceptable to the Bank. The cost of the title insurance shall be borne by the Borrower. The policies shall have mechanic's lien, survey and tenants-in-possession exceptions deleted.

**Flood Insurance:** If the subject property is located in a federally designated flood hazard zone A, flood insurance shall be required to be maintained for the life of the loan. The terms of the flood insurance policy shall be acceptable to the Bank, and shall name Norway Savings Bank as mortgagee.

**Mortgage Inspection Plan:** A mortgage inspection plan shall be provided prior to closing which shows a state of facts acceptable to Bank's counsel.

**Compliance With Law:** This commitment is subject to the subject real estate's compliance with all applicable federal, state and local laws and ordinances pertaining to land use, the environment and equal access to public accommodations.

**Legal:** All legal and loan documentation will be satisfactory in all respects to the Bank and its counsel. This commitment does not contain all terms and conditions that shall be contained in the loan documents. The legal fees including, but not limited to, document preparation will be borne by the Borrower. Whether or not this loan is closed, the Borrower shall be responsible for all expenses associated with the transaction including, but not limited to, the fees for Bank's counsel, title insurance premiums, and recording fees.

**Deposit Relationship:** The rate and terms of this commitment are in express reliance on your maintenance of a comprehensive deposit relationship with Norway Savings Bank.



p. 3 of 4

## Financial Statement:

Borrower and Guarantor will provide the Bank with financial statements and income tax returns, complete with property cash flow statements, rent rolls and other information in a form and frequency satisfactory to Norway Savings Bank for any related entity which they have a 20% or greater ownership interest annually within 120 days of their fiscal

## Other Conditions:

Prior to closing Borrower will provide the bank with a construction contract, plans and specifications which will be satisfactory to the Bank in all respects. This contract shall be collaterally assigned to the Bank.

External construction monitoring required with the Borrower required to provide contractor invoices and satisfactory lien waivers from all contractors and subcontractors listed in draw requests prior to subsequent disbursements. (The details of this process to be outlined in pre-construction meeting with construction monitor Ron Russo of Consultant Services. Consultant's fees to be paid by the Borrower.

This is notification to you under Maine law, no promise, contract, or agreement to lend money, extend credit, forbear from collection of a debt or make any other accommodation for the repayment of a debt for more than \$250,000 may be enforced against Lender unless the promise, contract, or agreement is in writing and signed by Lender, nor can any change, forbearance or other accommodation relating to the loan be enforced against Lender unless it is in writing and signed by Lender.

This commitment assumes that all information provided to date by the Borrowers is accurate. It shall be a condition for closing this loan that the financial condition of the Borrowers be satisfactory to the Bank. The Bank reserves the right to terminate this commitment and not close the loan in the event: 1) of an adverse change, as determined by the Bank, in the financial condition of the Borrowers prior to closing; 2) any information provided to Bank which proves to be inaccurate; or 3) a case or proceeding is commenced by or against the Borrowers under any bankruptcy or insolvency law.

All parties hereto agree that this commitment shall survive the Loan closing and that each of the obligations and undertakings of the Borrower and any Guarantor hereunder shall continue until the entire loan, together with interest and fees, is paid in full. In the event of a conflict between this commitment and the loan documents, the language of the loan documents shall govern.

This commitment represents the entire agreement between the parties and supersedes all prior agreements or discussions with respect to the loan(s). This commitment letter cannot be waived, modified, amended or changed except by a writing signed by all parties to the commitment letter and, that until or unless it is modified and signed by all parties, it shall continue unchanged as a valid and enforceable obligation. This commitment is non-assignable and non-transferable.

If the terms of this commitment letter are acceptable to you, please sign as indicated and return to me. This commitment must be signed and returned to the Bank by May 13, 2011. This commitment will expire July 31, 2011, if the loan is not closed by that date.

Sincerely,

Lucy Perkins  
Vice President

pg 4 of 4

SEEN AND ACKNOWLEDGED:

BORROWER:

James David Parsons 5-9-11  
Date

GUARANTOR: M.S.C. Acquisition Company, Inc., dba McFarland Spring Corporation

By: James David Parsons 5-9-11  
Its President Date

**ATTACHMENT 6**

**BUILDING ELEVATIONS**

**&**

**FLOOR PLANS**



BISCUP CONSTRUCTION, INC.  
 1 DANIELLE DRIVE  
 BINGHAM, MAINE 04002  
 TEL. (207) 892-1800  
 FAX. (207) 892-8815  
 WWW.BISCUPCONSTRUCTION.COM

STAMP

PROPOSED ADDITION  
 MC FARLAND SPRING CO.  
 PORTLAND, MAINE

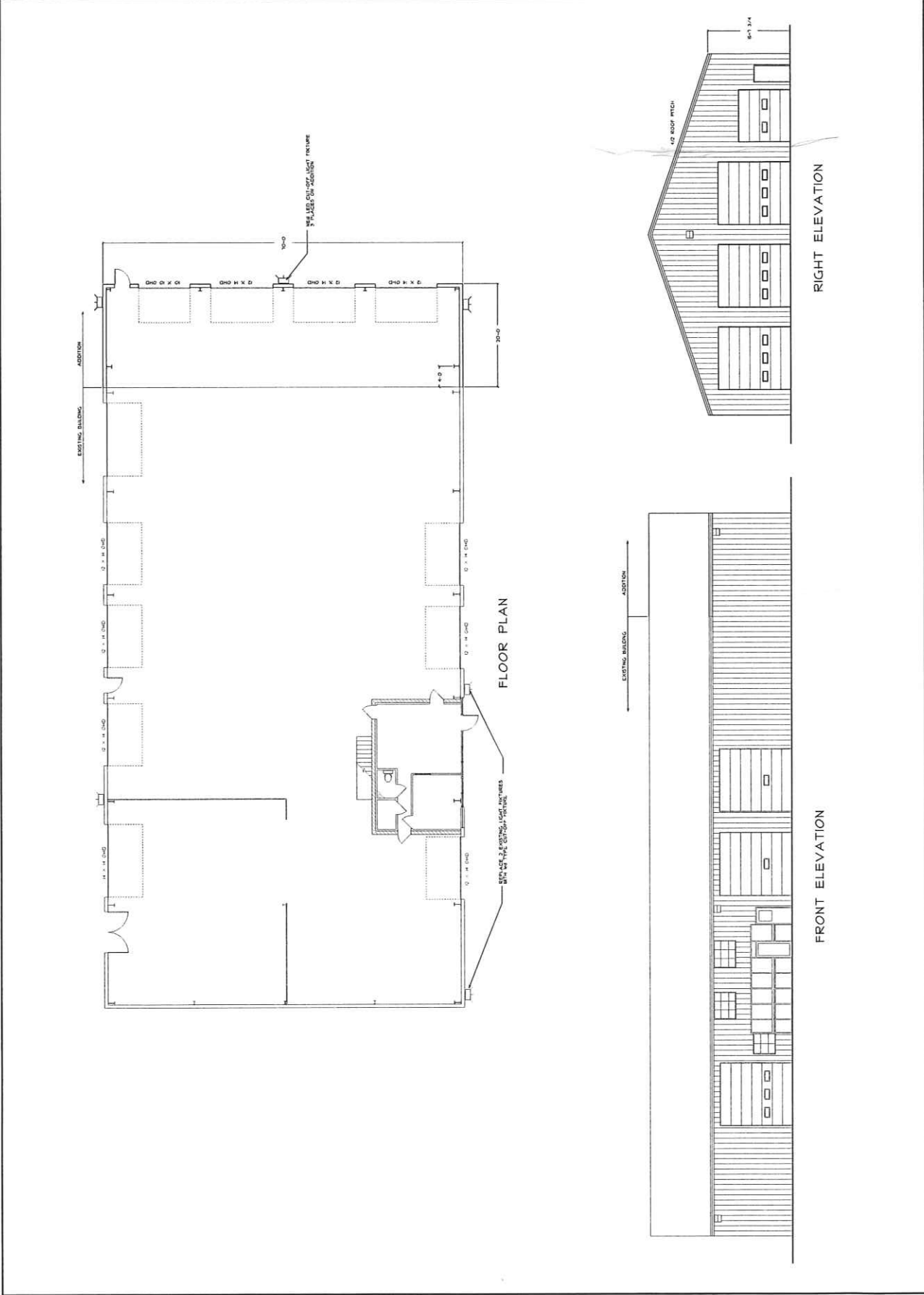
PROJECT:

REVISIONS	
DATE	DESCRIPTION

DATE: 1/2/2008  
 SCALE: 1/8" = 1'-0"  
 DESIGNER: J.B.  
 CHECKED BY: J.B.  
 © COPYRIGHT  
 BISCUP CONSTRUCTION, INC.

SHEET TITLE  
**FLOOR PLAN & ELEVATIONS**

SHEET NUMBER  
**A-1**  
 SHEET 1 OF 1





# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

*Penny St. Louis – Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator*

280 Warren Ave – 2011-300 – 296-F-1- B-4 Zone

**8/16/11:**

This application is meeting the requirements of the B-4 Zone including all setbacks and impervious surface requirements. Separate permits are required for construction and any new signage.

Marge Schmuckal  
Zoning Administrator

**From:** Chris Pirone  
**To:** Jean Fraser  
**Date:** 8/12/2011 6:00 PM  
**Subject:** Re: 280 Warren (McFarland Spring)

all set.

Captain Chris Pirone  
Portland Fire Department  
Fire Prevention Bureau  
380 Congress Street  
Portland, ME 04101  
(t) 207.874.8405  
(f) 207.874.8410

>>> Jean Fraser 8/12/2011 2:23 PM >>>  
Hi

At Dev Rev this week I think we agreed that the revised proposals were OK- could I please have your "sign off".

thanks  
Jean

## Jean Fraser - Re: 280 Warren (McFarland Spring)

---

**From:** David Margolis-Pineo (David Margolis-Pineo)  
**To:** Jean Fraser  
**Date:** 8/12/2011 3:20 PM  
**Subject:** Re: 280 Warren (McFarland Spring)

---

July 22, 2011

**August 12, 2011**

TO: Jean Fraser  
Barbara Barhydt  
FROM: David Margolis-Pineo  
Dept. of Public Services  
RE: Review Comments: McFarland Spring Corporation – 280 Warren Ave

The staff from the Department of Public Services has the following comments.

1. The site plan survey is incomplete since the property corners have not been set. All property corners shall be set before a building permit is issued.

**The applicant has indicated they intend to have all property pins set before being issued a building permit. We are good with that.**

We have no further questions.

## Jean Fraser - 280 Warren Ave

---

**From:** David Margolis-Pineo  
**To:** Barbara Barhydt; Jean Fraser  
**Date:** 8/10/2011 2:50 PM  
**Subject:** 280 Warren Ave

---

July 22, 2011

**TO:** Jean Fraser  
Barbara Barhydt  
**FROM:** David Margolis-Pineo  
Dept. of Public Services  
**RE:** Review Comments: McFarland Spring Corporation – 280 Warren Ave

The staff from the Department of Public Services has the following comments.

1. The site plan survey is incomplete since the property corners have not been set. All property corners shall be set before a building permit is issued.

We have no further questions at this time.



---

**From:** Jean Fraser [mailto:JF@portlandmaine.gov]  
**Sent:** Friday, August 12, 2011 2:23 PM  
**To:** Chris Pirone; David Margolis-Pineo; Jeff Tarling; Marge Schmuckal; Tom Errico  
**Subject:** 280 Warren (McFarland Spring)

Hi

At Dev Rev this week I think we agreed that the revised proposals were OK- could I please have your "sign off".

thanks  
Jean

**Jean Fraser - RE: 280 Warren (McFarland Spring)**

---

**From:** Tom Errico <thomas.errico@tylin.com>  
**To:** Jean Fraser <JF@portlandmaine.gov>  
**Date:** 8/12/2011 2:34 PM  
**Subject:** RE: 280 Warren (McFarland Spring)  
**CC:** David Margolis-Pineo <DMP@portlandmaine.gov>, Katherine Earley <KAS@port...

---

Jean – A status update on my original comments are noted below.

- The site currently has three access/egress points on Warren Avenue and I would suggest that one of the driveways be closed. The applicant shall submit information that documents the need for all curb cuts. Auto-Turn graphics and other supporting documentation should be provided. Based upon my site investigation, I would suggest that the westerly driveway be closed. I would note that a temporary closure plan would be acceptable, thus avoiding pavement moratorium fees. The details of this temporary program would need to be established.

**Status: Based upon the fact that the easterly driveway is not located on the applicant's property, no changes to the existing driveway condition is required.**

- Details on all designated parking spaces and circulation areas should be dimensioned and illustrated.

**Status: Given the use of the property, this action is no longer required.**

- Vehicle turning templates should be provided that documents the need for the pavement widening on the side of the building where the expansions is proposed.

**Status: The applicant has provided the suggested information and I have no further comment.**

If you have any questions or comments, please contact me.

Best regards,

Thomas A. Errico, PE  
Senior Associate  
Traffic Engineering Director  
**TYLIN** INTERNATIONAL  
12 Northbrook Drive  
Falmouth, ME 04105  
207.347.4354 direct  
207.400.0719 mobile  
207.781.4753 fax  
[thomas.errico@tylin.com](mailto:thomas.errico@tylin.com)  
Visit us online at [www.tylin.com](http://www.tylin.com)

"One Vision, One Company"  
Please consider the environment before printing.

## MEMORANDUM



**TO:** Jean Fraser, Planner  
**FROM:** Ashley Auger, E.I.T. & David Senus, P.E.  
**DATE:** August 10, 2011  
**RE:** McFarland Spring Corporation – 280 Warren Avenue

Woodard & Curran has reviewed the Response to Comments on the Final Level II Site Plan Application for the McFarland Spring Corporation project located at 280 Warren Avenue in Portland, Maine. The project proposes to construct a 1,400 Square Foot (SF) building addition to an existing 8,400 SF industrial building. Associated site improvements will include additional paved surface.

### Documents Provided

- Response to Comments Letter, dated August 8, 2011, prepared by DeLuca-Hoffman Associates, Inc., on behalf of David Parsons (owner of McFarland Spring Corporation).
- Engineering Plans, Sheets 2-3, dated June 27, 2011 (revised August 2, 2011), prepared by DeLuca-Hoffman Associates, Inc., on behalf of David Parsons (owner of McFarland Spring Corporation).
- AutoTurn Printouts, Figures Auto-1 & Auto-2, dated August 8, 2011, prepared by DeLuca-Hoffman Associates, Inc., on behalf of David Parsons (owner of McFarland Spring Corporation).

### Comments

#### **Stormwater Management**

- The Applicant has opted to eliminate (change to pervious) an existing on-site impervious area approximately 1,814 square feet in size, which is equal to the proposed new impervious area. From previous discussions with the City Department of Public Services, it is our understanding that the Maine Department of Environmental Protection General and Flooding standards will be effectively met utilizing this method. The Applicant has also achieved the required number of urban impaired stream mitigation credits for this development by eliminating existing impervious area equal in size to the proposed new impervious area, and replacing it with lawn.

## MEMORANDUM



**TO:** Jean Fraser, Planner  
**FROM:** Ashley Auger, E.I.T. & David Senus, P.E.  
**DATE:** August 10, 2011  
**RE:** McFarland Spring Corporation – 280 Warren Avenue

Woodard & Curran has reviewed the Response to Comments on the Final Level II Site Plan Application for the McFarland Spring Corporation project located at 280 Warren Avenue in Portland, Maine. The project proposes to construct a 1,400 Square Foot (SF) building addition to an existing 8,400 SF industrial building. Associated site improvements will include additional paved surface.

### Documents Provided

- Response to Comments Letter, dated August 8, 2011, prepared by DeLuca-Hoffman Associates, Inc., on behalf of David Parsons (owner of McFarland Spring Corporation).
- Engineering Plans, Sheets 2-3, dated June 27, 2011 (revised August 2, 2011), prepared by DeLuca-Hoffman Associates, Inc., on behalf of David Parsons (owner of McFarland Spring Corporation).
- AutoTurn Printouts, Figures Auto-1 & Auto-2, dated August 8, 2011, prepared by DeLuca-Hoffman Associates, Inc., on behalf of David Parsons (owner of McFarland Spring Corporation).

### Comments

#### **Stormwater Management**

- The Applicant has opted to eliminate (change to pervious) an existing on-site impervious area approximately 1,814 square feet in size, which is equal to the proposed new impervious area. From previous discussions with the City Department of Public Services, it is our understanding that the Maine Department of Environmental Protection General and Flooding standards will be effectively met utilizing this method. The Applicant has also achieved the required number of urban impaired stream mitigation credits for this development by eliminating existing impervious area equal in size to the proposed new impervious area, and replacing it with lawn.



# PORTLAND MAINE

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Planning and Urban Development Department  
Penny St. Louis, Director

Planning Division  
Alexander Jaegerman, Director

July 27, 2011

Stephen R. Bushey, PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, ME 04106

**RE: 280 Warren Avenue – Building Addition  
Level II Site Plan Review  
Application ID Number: 2011-300**

Dear Mr. Bushey:

Thank you for your cover letter and application for a Level II site plan review of the proposed 1400 sq ft building addition and associated site revisions at the above address. The proposals are being reviewed at an administrative level under the provisions of the Site Plan ordinance, particularly 14-526 and 14-527.

This letter outlines the review comments on the submitted site plan; please revise the site plan (and details as appropriate) to address the following comments:

**Zoning:** The Zoning Administrator has confirmed that the proposal meets all the required setbacks of the B-4 zone and that the Maximum floor area ratio (R-3 zone closest) is more than being met at 14% where 55% is maximum. It is also noted that the maximum impervious surface is 80 % and the applicant has stated that the impervious surface will be at 75% post construction.

**Parking:** Please provide additional detail concerning parking:

- The submitted text states that 17 or more parking spaces will be provided. The site plan depicts only 12 specific parking spaces. Please revise the site plan to show details (location and dimensions and access drives) of all designated parking spaces; applicable standards are included in the City's Technical Manual.
- We request clarification as to how the site will work with the business operating and how vehicles will be maneuvered in and out during repairs. Please revise the site plan to show details of the circulation areas, with dimensions.
- Please incorporate 4 bicycle parking spaces near an entrance as per the Ordinance requirements in 14-526 (a)(4)b; further information is included in the City's Technical Manual. In this case they would largely be for employees.

**Traffic Engineering:**

- The site currently has three access/egress points\* on Warren Avenue and we would suggest that one of the driveways be closed; based on our site investigation, we would suggest that the westerly driveway be closed. If you do not want to close any of the

driveways, please submit information that documents the need for all curb cuts, including Auto-Turn graphics and other supporting documentation.

- Please note that an interim closure plan would be acceptable for closing a driveway (ie such as bituminous curb or other infill option along with a longer term performance guarantee for the installation of granite curbing) thus avoiding pavement moratorium fees. The details of this interim program would need to be established, as well as the longer term final layout.
- Vehicle turning templates should be provided that document the need for the pavement widening on the side of the building where the expansion is proposed.

Landscape:

- Tree and landscape improvements - Depending on the final driveway access openings to Warren Avenue, additional street-trees should be included along Warren Avenue frontage as space allows and / or add trees to the space along the right property line. This should be between the front building plane and street. These trees may be shade or evergreen trees.
- Create a small landscape planting along the front of the building expansion. This could be similar to 'foundation' planting along the building using hardy shrubs. The planting may be protected by 'Cape-Cod' style bituminous, concrete or granite curbing as desired by the project or wooden guardrail. This small planting adds relief to the large paved area and building.

Storm water management: Please see the attached comments of the City's Engineering Reviewer David Senus of Woodard & Curran, which I forwarded several days ago for your consideration.

Survey:

- The site plan survey is incomplete since the property corners have not been set. All property corners shall be set before a building permit is issued.
- \*The eastern-most access is located on the former Meadow Street. The survey does not show that the applicant has an easement to use that access, which is mostly on the part of the former street owned by the abutter. If this is the case (ie no easement for access here) then the layout should be designed (see Parking and Traffic comments) to operate without that access.

Please contact me if there are any questions on 874 8728 or [jf@portlandmaine.gov](mailto:jf@portlandmaine.gov).

Sincerely,



Jean Fraser,  
Planner

Attachment: Memo from Woodard & Curran dated 7.21.2011

Cc *all cc'd by email*  
Barbara Barhydt, Development Review Services Manager  
Marge Schmuckal, Zoning Administrator  
David Senus, Woodard & Curran (City consultant reviewer)  
David Margolis-Pineo, Department of Public Services  
Tom Errico, T Y Lin (City consultant reviewer)  
Jeff Tarling, City Arborist

## MEMORANDUM



TO: Jean Fraser, Planner  
FROM: Ashley Auger, E.I.T. & David Senus, P.E.  
DATE: July 21, 2011  
RE: McFarland Spring Corporation – 280 Warren Avenue

Woodard & Curran has reviewed the Final Level II Site Plan Application for the McFarland Spring Corporation project located at 280 Warren Avenue in Portland, Maine. The project proposes to construct a 1,400 Square Foot (SF) building addition to an existing 8,400 SF industrial building. Associated site improvements will include additional paved surface.

### Documents Provided

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- Boundary and Topographic Survey, dated June 21, 2011, prepared by Owen Haskell, Inc. on behalf of DeLuca-Hoffman Associates, Inc.

### Comments

#### **Stormwater Management**

- Per Section 5 of the City of Portland Technical Manual, Level II Site Plan Applications are required to submit stormwater management plans pursuant to the regulations of the Maine Department of Environmental Protection (MaineDEP) Chapter 500 Stormwater Management Rules, including compliance with the Basic, General and Flooding Standards. A stormwater management plan was not provided in the application, and the Applicant has requested a waiver from this requirement. We cannot support a waiver from this requirement. One suggestion provided during consultation with the City Department of Public Services is that the Applicant can elect to eliminate (change to pervious) an existing on-site impervious area of equal or greater size to the proposed new impervious area, and effectively meet the General and Flooding Standard.
- The project is located within the Capisic Brook Watershed, which is identified as an Urban Impaired Stream. Section 5 of the City of Portland Technical Manual requires that all development within the Capisic Brook watershed, except single and two family homes, comply with the Urban Impaired Stream Standard pursuant to MaineDEP Chapter 500 Rules. To meet the Urban Impaired Stream standard, the Applicant must either pay a compensation fee or mitigate project impacts by treating, reducing, or eliminating an off-site or on-site pre-development impervious stormwater source.
- In summary, the Applicant must meet the Basic, General, Flooding, and Urban Impaired Stream Standards for the project. If the Applicant elects to eliminate (change to pervious) an existing on-site impervious area of equal or greater size to the proposed new impervious area, the requirements for meeting the General, Flooding and Urban Impaired Stream Standards will effectively be met, and a stormwater management plan will not be required (as the Basic Standards will be met based on the Erosion and Sediment Control information provided on the plans). However, if additional net impervious area is proposed as part of the project, the Applicant must provide a stormwater management plan meeting the Basic, General, Flooding and Urban Impaired Stream Standards.

#### **Plans & Details**

- Please provide a detail for the proposed stabilized construction exit per B-4 of the MaineDEP Erosion and Sediment Control Best Management Practices Manual.

## MEMORANDUM



**TO:** Jean Fraser, Planner  
**FROM:** Ashley Auger, E.I.T. & David Senus, P.E.  
**DATE:** July 21, 2011  
**RE:** McFarland Spring Corporation – 280 Warren Avenue

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### Comments

#### **Stormwater Management**

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- In summary, the Applicant must meet the Basic, General, Flooding, and Urban Impaired Stream Standards for the project. If the Applicant elects to eliminate (change to pervious) an existing on-site impervious area of equal or greater size to the proposed new impervious area, the requirements for meeting the General, Flooding and Urban Impaired Stream Standards will effectively be met, and a stormwater management plan will not be required (as the Basic Standards will be met based on the Erosion and Sediment Control information provided on the plans). However, if additional net impervious area is proposed as part of the project, the Applicant must provide a stormwater management plan meeting the Basic, General, Flooding and Urban Impaired Stream Standards.

#### **Plans & Details**

- Please provide a detail for the proposed stabilized construction exit per B-4 of the MaineDEP Erosion and Sediment Control Best Management Practices Manual.





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*Penny St. Louis - Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator*

280 Warren Ave – 2011-300 – Level II review  
296-F-1 – B-4 Zone  
20' x 70' addition

**7/26/11:**

The applicant is proposing to add a 1,400 sq ft addition to an existing 8,400 sq ft building that is used for auto repairs. The applicant states that McFarland Spring performs automotive repairs including brakes, springs and alignments. The B-4 Zone list such use(s) under the permitted uses section.

The proposal is meeting all the required setbacks of the B-4 zone. The maximum impervious surface is 80 % and the applicant has stated that the impervious surface will be at 75% post construction. The Maximum floor area ratio (R-3 zone closest) is more than being met at 14% where 55% is maximum.

I would like more detail concerning parking. The submitted text states that 17 or more parking spaces will be provided. The site plan depicts only 12 specific parking spaces. The applicant should outline more specific details on the site plan showing where all the parking spaces will be placed. It would be helpful to show how the site will work with the business and how cars will be maneuvered in and out during repairs. All such parking areas and maneuvering areas should be outlined on the site plan.

Marge Schmuckal  
Zoning Administrator

## Jean Fraser - 280 Warren Ave

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**From:** Jean Fraser  
**To:** Bushey, Steve  
**Date:** 7/25/2011 4:28 PM  
**Subject:** 280 Warren Ave

---

Steve

Could you please send me a pdf of the site plan proposals? (E-plan pdfs can not be copied or forwarded and I need to send this to a Councilor).

Also, if you and your client are considering making changes to the site plan to reduce the issues related to stormwater, please contact me so I can share the landscape comments (which I am holding until I have all the review comments for inclusion in a review letter).

thank you  
Jean

*Jean Fraser, Planner*  
*City of Portland*  
874 8728

## Jean Fraser - Review Comments: McFarland Spring Corporation – 280 Warren Ave

---

**From:** David Margolis-Pineo  
**To:** Jean Fraser  
**Date:** 7/22/2011 4:59 PM  
**Subject:** Review Comments: McFarland Spring Corporation – 280 Warren Ave  
**CC:** DEVELOPMENT REVIEW GROUP

---

July 22, 2011

**TO:** Jean Fraser  
Barbara Barhydt  
**FROM:** David Margolis-Pineo  
Dept. of Public Services  
**RE:** Review Comments: McFarland Spring Corporation – 280 Warren Ave

The staff from the Department of Public Services has the following comments.

1. The site plan survey is incomplete since the property corners have not been set. All property corners shall be set before a building permit is issued.

We have no further questions at this time

**Jean Fraser - Fwd: McFarland Spring Corp., 280 Warren Avenue**

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**From:** Jean Fraser  
**To:** Bushey, Steve  
**Date:** 7/22/2011 4:40 PM  
**Subject:** Fwd: McFarland Spring Corp., 280 Warren Avenue  
**Attachments:** Section 6 - Stormwater- of adopted 2010 Tech Manual.pdf; 2011.07.21 McFarland Spring Corporation Memo.pdf

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Steve,

We are currently reviewing this project and I will be writing a review letter next week, but 2 issues have come up where further information is required- so I am getting this to you in advance so to minimize any potential delay.

The 2 issues are:

- **STORMWATER AND IMPERVIOUS SURFACE:** As designed, the proposals must meet the Chap. 500 Basic, General, Flooding, and Urban Impaired Stream Standards as required by the City's Technical Standards (**copy attached**). I **attach** the comments of the City's engineering peer reviewer (on your submitted information) which suggest how the project could be revised to avoid having to meet those standards. Please note that in general the site plan standards seek to reduce impervious surfaces wherever possible as part of a city-wide effort to address storm water flooding and quality issues.
- **TRAFFIC AND ACCESS:** Please see the review comments (on your submitted information) below which requests evidence that vehicle turning movements for this use necessitate all of the accesses and pavement proposed. Please advise the applicant that many existing businesses along Warren Avenue have either closed an access or had their existing access made one way/narrowed in the interest of traffic safety generally.

I would also suggest that you refer to the site plan ordinance regarding landscaping of parking areas (Section 14-526 (b) 2bii - page 742 of the link below) and regarding what needs to be shown on the site plan (Section 14-527 c - page 763 of the link below) as I anticipate that reviewers will be asking for revisions to address the requirements in these sections of the ordinance.

<http://www.portlandmaine.gov/citycode/chapter014.pdf>

You do not need to respond to this e-mail as the engineering comments plus other review comments will be included in the review letter which will be finalized next week; it is being sent to give you an opportunity to discuss with the applicant some of the issues that have so far been identified.

Please do not hesitate to call if any questions.

thank you  
Jean

*Jean Fraser, Planner*  
City of Portland  
874 8728

>>> Tom Errico <thomas.errico@tylin.com> 7/22/2011 9:45 AM >>>

Jean – I have reviewed project information transmitted for the McFarland Spring Corp. expansion project and offer the following comments.

- The site currently has three access/egress points on Warren Avenue and I would suggest that one of the driveways be closed. The applicant shall submit information that documents the need for all curb cuts. Auto-Turn graphics and other supporting documentation should be provided. Based upon my site investigation, I would suggest that the westerly driveway be closed. I would note that a temporary closure plan would be acceptable, thus avoiding pavement moratorium fees. The details of this temporary program would need to be established.
- Details on all designated parking spaces and circulation areas should be dimensioned and illustrated.
- Vehicle turning templates should be provided that documents the need for the pavement widening on the side of the building where the expansions is proposed.

If you have any questions or comments, please contact me.

Best regards,

Thomas A. Errico, PE  
Senior Associate  
Traffic Engineering Director

**TYLIN** INTERNATIONAL

12 Northbrook Drive  
Falmouth, ME 04105  
207.347.4354 direct  
207.400.0719 mobile  
207.781.4753 fax  
[thomas.errico@tylin.com](mailto:thomas.errico@tylin.com)  
Visit us online at [www.tylin.com](http://www.tylin.com)

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## Jean Fraser - McFarland Spring Corp., 280 Warren Avenue / Landscape Review

---

**From:** Jeff Tarling  
**To:** Jean Fraser  
**Date:** 7/22/2011 4:57 PM  
**Subject:** McFarland Spring Corp., 280 Warren Avenue / Landscape Review  
**CC:** David Margolis-Pineo; Errico Thomas

---

Jean -

I have reviewed the proposed expansion of the McFarland Spring site at 280 Warren Avenue and offer the following comments & recommendations:

- a) Tree & landscape improvements - Depending on the driveway access openings to Warren Avenue it would be good to include additional street-trees along Warren Avenue as space allows and / or add trees to the space along the right property line. This would be between the front building plane and street. These trees may be shade or evergreen trees.
- b) Create a small landscape planting along the front building expansion. This could be similar to 'foundation' planting along the building using hardy shrubs. The planting may be protected by 'Cape-Cod' style bituminous, concrete or granite curbing as desired by the project or wooden guardrail. This small planting adds relief to the large paved area and building.

Note - Parking lot / Tree requirements, after reviewing the site in the field, the number of trees needed did not seem to fit our current 'one tree per five space' standards, as much of the pavement appears to be used for queuing vehicles and access in and out. My tree to space recommendation would include additional street-trees along Warren Avenue as space allows and trees in the space to the right of the new addition. The commercial nature of the project does not seem to warrant creating islands that would be in the way of the larger vehicle traffic.

Jeff Tarling  
City Arborist

**Jean Fraser - McFarland Spring Corp., 280 Warren Avenue**

---

**From:** Tom Errico <thomas.errico@tylin.com>  
**To:** Jean Fraser <JF@portlandmaine.gov>  
**Date:** 7/22/2011 9:47 AM  
**Subject:** McFarland Spring Corp., 280 Warren Avenue  
**CC:** David Margolis-Pineo <DMP@portlandmaine.gov>, Katherine Earley <KAS@port...

---

Jean – I have reviewed project information transmitted for the McFarland Spring Corp. expansion project and offer the following comments.

- The site currently has three access/egress points on Warren Avenue and I would suggest that one of the driveways be closed. The applicant shall submit information that documents the need for all curb cuts. Auto-Turn graphics and other supporting documentation should be provided. Based upon my site investigation, I would suggest that the westerly driveway be closed. I would note that a temporary closure plan would be acceptable, thus avoiding pavement moratorium fees. The details of this temporary program would need to be established.
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- Vehicle turning templates should be provided that documents the need for the pavement widening on the side of the building where the expansions is proposed.

If you have any questions or comments, please contact me.

Best regards,

Thomas A. Errico, PE  
Senior Associate  
Traffic Engineering Director

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## MEMORANDUM



**TO:** Jean Fraser, Planner  
**FROM:** Ashley Auger, E.I.T. & David Senus, P.E.  
**DATE:** July 21, 2011  
**RE:** McFarland Spring Corporation – 280 Warren Avenue

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### Comments

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- In summary, the Applicant must meet the Basic, General, Flooding, and Urban Impaired Stream Standards for the project. If the Applicant elects to eliminate (change to pervious) an existing on-site impervious area of equal or greater size to the proposed new impervious area, the requirements for meeting the General, Flooding and Urban Impaired Stream Standards will effectively be met, and a stormwater management plan will not be required (as the Basic Standards will be met based on the Erosion and Sediment Control information provided on the plans). However, if additional net impervious area is proposed as part of the project, the Applicant must provide a stormwater management plan meeting the Basic, General, Flooding and Urban Impaired Stream Standards.

#### **Plans & Details**

- Please provide a detail for the proposed stabilized construction exit per B-4 of the MaineDEP Erosion and Sediment Control Best Management Practices Manual.



DW, Lew. July 20, 2011

all reviewers present  
+ AJ + BB.

~~David M-P.~~  
left early  
before Adams

July 26, 2011

Public Hearing 6:00 p.m. • Shoreland Zone Text Amendment WN/RK

August 9, 2011

Workshop - 3:30 p.m. • 1884 Forest Avenue- Convenience Store and Bank SW

Public Hearing 7:00 p.m. • Jehovah's Witness, 355 Canco Road - Conditional Use EG JF Adams School ↙

also Thompson's Point.

**A. Preliminary Plans**

- 1. 355 Canco Rd.....eg
- 2. 1039 Riverside St.....eg
- 3. Thompson's Point- Traffic study and preliminary roadway design. mc
- 4. 80 Sherman Street.....sw
- 5. 280 Warren Ave.....jf

8 of 2nd upload.

**B. Final Plans**

- 1. Adams School (Hearing 8.9.11).....jf
- 2. 68 Waldron Way.....eg
- 3. Enterprise Rent a Car.....sw

sep site plan

Alex concerned re elevs - no windows ok lighting. send fire letter to Chm

**C. Issues, Administrative Authorizations, Curb Cuts**

- 1. Parcel A Dakota trees.....jf
- 2. 67 Douglass Str....SF revision for driveway/parking.....pd

+ seeds / drainage

Al's note? any bldgs. patio.

7-20-11 Dew Rev.

280 Warren ↓ Capris U.I. extra pavement - need st. water thnt. etc. - could reduce existing pavement elsewhere on site. drainage - expanded pavement - ask for turning analysis to justify extra pavement

NT -

BPS - DOT work already narrowed this down as part of their recent work.

TE - curb cuts an issue + clarify re paper sheets justify  
MS - pkg - show + stripe + show not impede  
or have temp closure of some unhd. over hold PG.

+ July 22 - DMP went on site - spoke to applicant. \*

## Jean Fraser - Re: McFarland spring, Warren Ave

---

**From:** Jean Fraser  
**To:** DiPierro, Philip  
**Date:** 11/23/2011 1:41 PM  
**Subject:** Re: McFarland spring, Warren Ave  
**Attachments:** not approved lighting cut McFarland spring.PDF

---

Phil

I am not too worried if they choose not to install these lights, but if they want to do the lights in different places I think we need a revised plan as well as the specs for the lights; and the lights on the front and sides must be cut off. The specs submitted by Steve Bushey (RAB Lighting WP2CH150QT wall pack with cut off glare shield) have the word "cut off" in the description but do not meet our technical standard as the shield is angled (see attached)

I visited the site this morning to see the dumpster; it does not meet the condition of approval:

- i. That any dumpster and/or any other waste storage shall be located behind the buildings or at the rear of the site with screening; and

Please ask them to remove it or relocate it and meet the condition.

Jean

>>> Philip DiPierro 11/21/2011 4:17 PM >>>

Are they also required to install new lights on the front of the existing building as shown on the approved plan? Also, I noticed a dumpster on the east side of the shop. Are they also required to relocate dumpsters to a predetermined location out back, including screening?

>>> Jean Fraser 11/21/2011 2:04 PM >>>

thanks- OK- and Steve has a few other (little) projects he is dealing with...

>>> Philip DiPierro 11/21/2011 1:33 PM >>>

I was at the site last week and no lights were installed yet.

Jim Biskup, the contractor, is aware of what the City requires. He dealt with the same issues at Hale Trailer when he built that addition.

I'll keep an eye on it.

I think Steve Bushey is out of town and won't be back until next week.

Phil

>>> Jean Fraser 11/21/2011 1:24 PM >>>

Phil

Could we discuss- I am concerned because Steve Bushey sent me the light cutoffs and I told them they were not acceptable (they were same as we have rejected at 171 Warren) and I have had nothing back- so if they have installed these lights then they should not get a final CO etc. or return of PG...

As with 171, I think the ones on the back are less an issue but the site plan explicitly states the lights on the front and side (of new ext.) will be cut off .

Jean

**Jean Fraser - Re: McFarland Spring Corp. 280 Warren Ave.**

---

**From:** Jean Fraser  
**To:** DiPierro, Philip  
**Date:** 9/2/2011 3:58 PM  
**Subject:** Re: McFarland Spring Corp. 280 Warren Ave.

Phil

I have left 1 copy of the stamped plan set for you and one for the contractor.

Re lighting, they have shown 5 new cut off lights around the existing building and extension- we just need to see the specs for those. (see cond i)

Otherwise I'm all set.

Jean

9-6-11-  
Phil not rec'd  
PG. so hold  
re circulation  
of stamped  
plans  
JF

9-21-11  
Phil has DPS Insp +  
Contractors  
rest use 9-21-11 +  
9-22-11

>>> Philip DiPierro 9/1/2011 2:41 PM >>>

Hi Jim, the cost estimate looks fine, based on the only plans I could find. Jean Fraser, the Planner, is off today so I'm going based on what I could find in her file. Do you still need to submit the required 7 copies of the approved plans for approval stamping and City Departmental distribution? I did find a disk containing the CAD files, but we still need the paper copies, unless you have made other arrangements with Jean.

The PG LOC should be in the amount of \$21,266.00.

The Site Inspection Fee should be in the amount of \$423.32.

Please submit a draft copy of the Letter of Credit for my review and approval prior to execution.

Feel free to contact me with questions. Just to let you know, I'm off tomorrow and Monday is a holiday. I'll have to follow up on Tuesday. Thanks.

Phil

Philip DiPierro  
Development Review Coordinator  
City of Portland Planning Division  
389 Congress Street  
Portland, Maine 04101

Phone 207 874-8632  
Fax 207 756-8258

>>> "Jim Biskup" <jim@biskupconstruction.com> 9/1/2011 12:22 PM >>>  
Hi Phil

**Jean Fraser - Re: McFarland Spring Corp. 280 Warren Ave.**

---

**From:** Philip DiPierro  
**To:** Biskup, Jim  
**Date:** 9/1/2011 2:41 PM  
**Subject:** Re: McFarland Spring Corp. 280 Warren Ave.  
**CC:** Fraser, Jean; Parsons, David; Perkins, Lucy

---

Hi Jim, the cost estimate looks fine, based on the only plans I could find. Jean Fraser, the Planner, is off today so I'm going based on what I could find in her file. Do you still need to submit the required 7 copies of the approved plans for approval stamping and City Departmental distribution? I did find a disk containing the CAD files, but we still need the paper copies, unless you have made other arrangements with Jean.

The PG LOC should be in the amount of \$21,266.00.

The Site Inspection Fee should be in the amount of \$423.32.

Please submit a draft copy of the Letter of Credit for my review and approval prior to execution.

Feel free to contact me with questions. Just to let you know, I'm off tomorrow and Monday is a holiday. I'll have to follow up on Tuesday. Thanks.

Phil

Philip DiPierro  
Development Review Coordinator  
City of Portland Planning Division  
389 Congress Street  
Portland, Maine 04101

*CAD disk given Phil  
8-30-11*

Phone 207 874-8632  
Fax 207 756-8258

>>> "Jim Biskup" <jim@biskupconstruction.com> 9/1/2011 12:22 PM >>>  
Hi Phil

Attached is the cost estimate of improvements to be covered by the Performance Guarantee. The Owner will be posting a letter of credit for the guarantee. I have a copy that I will forward to the Owner and his bank. Could you verify the amount and also inspection fees. We have a meeting with the bank next Tues. and would like to complete everything at that meeting.

If you have a any questions, please feel free to call.

Jim Biskup

Biskup Construction, Inc.  
16 Danielle Drive  
Windham, Me. 04062

Tel: (207) 892-9800  
Fax: (207)892-9895

**From:** Jean Fraser  
**To:** Bushey, Steve  
**Date:** 9/14/2011 3:07 PM  
**Subject:** 280 Warren Ave- MacFarland Spring revisions

Steve,

Ref **Site Plan Application 2011-300- approved on September 17, 2011.**

I refer to the revised plan you submitted yesterday: Building Expansion Site Plan (Sheet 2 of 3, Rev 4, dated 9.13.2011) that shows a relocated area of pavement to be removed.

I confirm that the revised location and area of pavement removal is acceptable as a diminimus revision to the approved site plan.

Please send 4 further paper scaled copies of this revised site plan (for me to stamp and circulate to other departments) and send me a pdf of this plan by e-mail and mail me an updated CAD file of the final plans on disk.

thank you

Jean

*Jean Fraser, Planner  
City of Portland  
874 8728*



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207.775.1121  
FAX 207.879.0896

- SITE PLANNING AND DESIGN
- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- PERMITTING
- AIRPORT ENGINEERING
- CONSTRUCTION ADMINISTRATION

August 8, 2011

Ms. Jean Fraser, Planner  
City of Portland  
389 Congress Street  
Portland, Maine 04101

**Subject: McFarland Spring Corporation  
280 Warren Avenue  
Response to Peer Review Comments**

Dear Ms. Fraser:

We are in receipt of your July 27, 2011 comments regarding the review of the plans for the subject project, and offer the following responses:

**PARKING:**

Comment 1:

*The submitted text states that 17 or more parking spaces will be provided. The site plan depicts only 12 specific parking spaces. Please revise the site plan to show details (location and dimensions and access drives) of all designated parking spaces; applicable standards are included in the City's Technical Manual.*

Response:

The accompanying revised site plan indicates the locations of parking available across the site. Generally speaking, the parking varies across the lot depending on the flow of business and daily demands of customers. Based on the capacity of the business and number of employees, the owner finds that parking availability has not been a concern, as they have ample area on which to park. No permanent pavement markings are in place on the site and the owner requests the right to maintain the existing conditions with respect to how parking functions. The accompanying plan simply outlines the available parking capacity and maneuvering areas on the site.

Comment 2:

*We request clarification as to how the site will work with the business operating and how vehicles will be maneuvered in and out during repairs. Please revise the site plan to show details of the circulation areas, with dimensions.*

Ms. Jean Fraser  
August 8, 2011  
Page 2

Response:

The accompanying figures depict the general site circulation patterns. The owner has operated the existing facility for a significant period and they have never experienced concerns with site access or circulation.

Comment 3:

*Please incorporate 4 bicycle parking spaces near an entrance as per the Ordinance requirements in 14-526 (a)(4)b; further information is included in the City's Technical Manual. In this case they would largely be for employees.*

Response:

In accordance with Section 14-526 (a)(4)(b)(ii) of the City Code the applicant is requesting a waiver of the City's ordinance requirements to provide bicycle parking spaces. The nature of their business generally precludes customer bicycle traffic and the applicant's employees do not bicycle to work. Given the industrial nature of their business and location within a busy commercial corridor they foresee no demand for bicycle parking on their property.

**TRAFFIC ENGINEERING:**

Comment 1:

*The site currently has three access/egress points\* on Warren Avenue and we would suggest that one of the driveways be closed; based on our site investigation, we would suggest that the westerly driveway be closed. If you do not want to close any of the driveways, please submit information that documents the need for all curbs, including Auto-Turn graphics and other supporting documentation.*

Response:

According to the property survey plan the applicant's property currently has only two driveways onto Warren Avenue, with the third driveway referenced in this comment being almost entirely on the adjacent property. The applicant has previously worked with the Maine Department of Transportation during their reconstruction of Warren Avenue several years ago to allow them to maintain the two existing driveway openings. These driveway conditions were maintained as part of the Warren Avenue improvements. The applicant has no intentions nor is willing to close either of their existing driveways as they find it imperative to have the two driveways for traffic circulation and proper use of their site. The neighboring driveway to the east is used by that property for access to their loading docks; therefore it would be impractical for them to close their driveway. As evidenced by the photograph their driveway is not commonly used by McFarland Spring since the abutting users often park there.





Ms. Jean Fraser  
August 8, 2011  
Page 3

Comment 2:

*Please note that an interim closure plan would be acceptable for closing a driveway (ie such as bituminous curb or other infill option along with a longer term performance guarantee for the installation of granite curbing) thus avoiding pavement moratorium fees. The details of this interim program would need to be established, as well as the longer term final layout.*

Response:

As stated in the response above the applicant will not consider closure of either of their existing driveway openings.

Comment 3:

*Vehicle turning templates should be provided that documents the need for the pavement widening on the side of the building where the expansion is proposed.*

Response:

The accompanying figure depicts the turning movement for typical vehicle entering into the expanded building side.

**LANDSCAPE:**

Comment 1:

*Tree and landscape improvements – Depending on the final driveway access openings to Warren Avenue, additional street-trees should be included along Warren Avenue frontage as space allows and/or add trees to the space along the right property line. This should be between the front building plane and street. These trees may be shade or evergreen trees.*

Response:

The accompanying site plan includes multiple new landscape plantings along the Warren Avenue frontage that are provided to meet the general intent of the City's review comments. The plantings are located within the existing areas not otherwise used for the storage of snow during the winter.

Comment 2:

*Create a small landscape planting along the front of the building expansion. This could be similar to 'foundation' planting along the building using hardy shrubs. The planting may be protected by 'Cape-Cod' style bituminous, concrete or granite curbing as desired by the project or wooden guardrail. This small planting adds relief to the large paved areas and building.*

Ms. Jean Fraser  
August 8, 2011  
Page 4

Response:

The applicant requests a waiver to provide landscaping along the building foundation as this area will be prone to roof runoff and within the area of general business activity around the perimeter of the building. It is the applicant's opinion that a planting area adjacent the building will not survive and will inhibit their functional use of the surrounding paved areas. Alternatively the accompanying plan includes plantings located to meet the intent of the review comment.

**STORMWATER MANAGEMENT:**

Comment 1:

*Per Section 5 of the City of Portland Technical Manual, Level II Site Plan Applications are required to submit stormwater management plans pursuant to the regulations of the Maine Department of Environmental Protection (MaineDEP) Chapter 500 Stormwater Management Rules, including compliance with the Basic, General and Flooding Standards. A stormwater management plan was not provided in the application, and the Applicant has requested a waiver from this requirement. We cannot support a waiver from this requirement. One suggestion provided during consultation with the City Department of Public Services is that the Applicant can elect to eliminate (change to pervious) an existing on-site impervious area of equal or greater size to the proposed new impervious area, and effectively meet the General and Flooding Standard.*

Response:

To satisfy the standards, we have modified the site plan to eliminate approximately 1,814 SF of existing impervious surface on the site in order to offset the proposed impervious areas depicted on the site plan.

Comment 2:

*The project is located within the Capisic Brook Watershed, which is identified as an Urban Impaired Stream. Section 5 of the City of Portland Technical Manual requires that all development within the Capisic Brook watershed, except single and two family homes, comply with the Urban Impaired Stream Standard pursuant to MaineDEP Chapter 500 Rules. To meet the Urban Impaired Stream standard, the Applicant must either pay a compensation fee or mitigate project impacts by treating, reducing, or eliminating an off-site or on-site pre-development impervious stormwater source.*

Response:

By eliminating existing impervious surface on the site, it is our opinion that this comment has been addressed.

Ms. Jean Fraser  
August 8, 2011  
Page 5

Comment 3:

*In summary, the Applicant must meet the Basic, General, Flooding, and Urban Impaired Stream Standards for the project. If the Applicant elects to eliminate (change to pervious) an existing on-site impervious area of equal or greater size to the proposed new impervious area, the requirements for meeting the General, Flooding and Urban Impaired Stream Standards will effectively be met, and a stormwater management plan will not be required (as the Basic Standards will be met based on the Erosion and Sediment Control information provided on the plans). However, if additional net impervious area is proposed as part of the project, the Applicant must provide a stormwater management plan meeting the Basic, General, Flooding and Urban Impaired Stream Standards.*

Response:

See previous responses to Comments 1 & 2.

Comment 4:

*Please provide a detail for the proposed stabilized construction exit per B-4 of the MaineDEP Erosion and Sediment Control Best Management Practices Manual.*

Response:

A typical detail has been added to the accompanying plans.

**SURVEY:**

Comment 1:

*The site plan survey is incomplete since the property corners have not been set. All property corners shall be set before a building permit is issued.*

Response:

The Applicant has requested that Owen Haskell Inc. complete the installation of any missing property corners in advance of the issuance of a Building Permit.

Comment 2:

*The eastern-most access is located on the former Meadow Street. The survey does not show that the applicant has an easement to use that access, which is mostly on the part of the former street owned by the abutter. If this is the case (ie no easement for access here) then the layout should be designed (see Parking and Traffic comments) to operate without that access.*

Ms. Jean Fraser  
August 8, 2011  
Page 6

Response:

The applicant does not use the eastern most access although there are no restrictions for vehicles to circulate between the two properties. The existing site conditions have been in existence for a substantial period of time and the two owners have cooperatively maintained these conditions during that period. The applicant has no intentions to make changes to the site in order to limit access between the properties, as this is not within their budget for the small building expansion for which they are proposing. The applicant is aware of no specific site circulation issues or long term concerns related to the existing site conditions; therefore they will not consider any modifications to these features.

We trust this information satisfies the comments to date. As you may surmise from our responses, the applicant is determined to minimize any ancillary costs not related to their expansion proposal.

If you have any questions with regard to this letter, please contact our office.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.



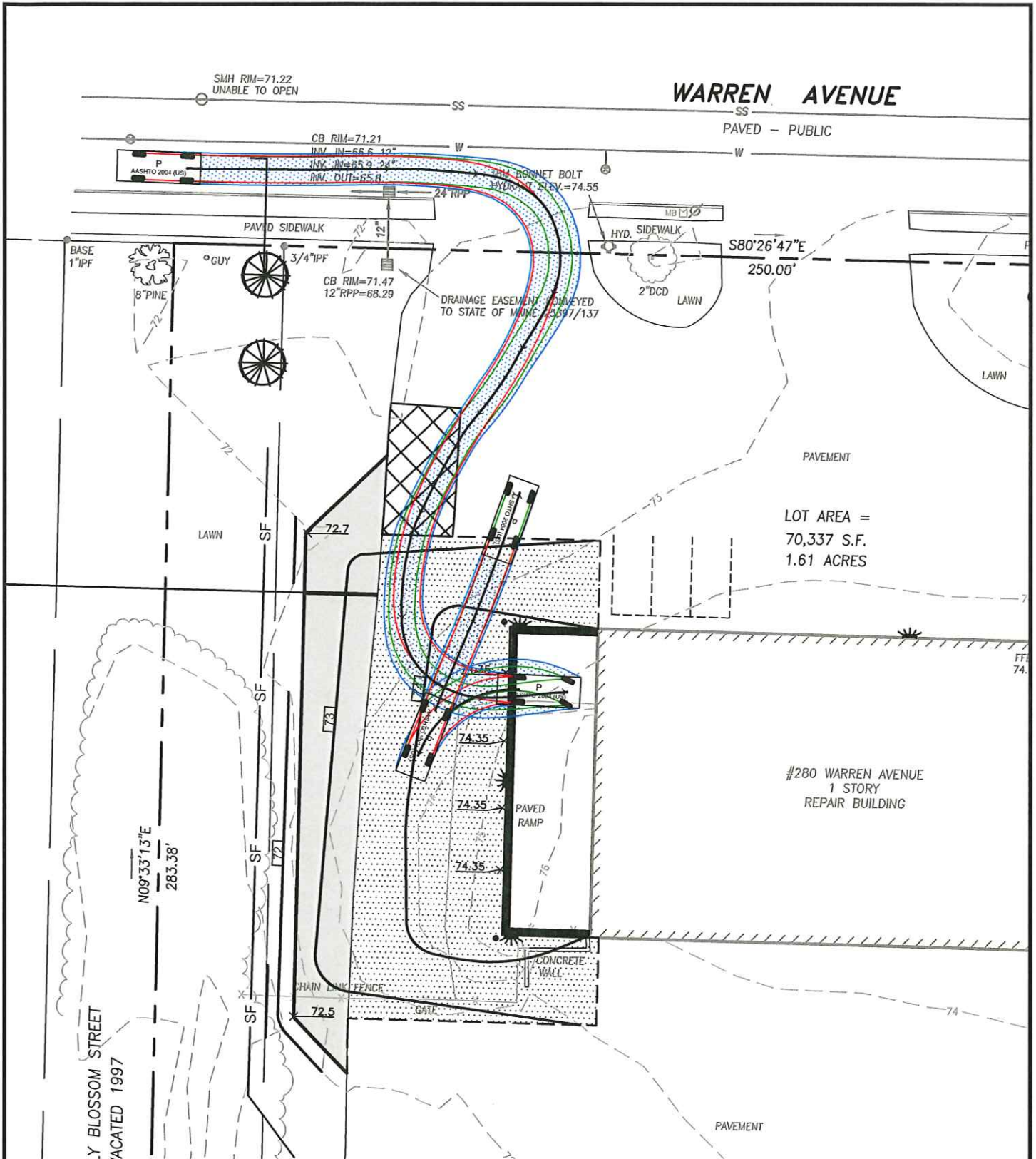
Stephen R. Bushey, P.E.  
Senior Engineer

SRB/smk

Attachments

c: Jim Biskup, Biskup Construction (via Email)  
J. David Parsons, McFarland Spring (via Email)

R:\3033 McFarland Spring - Warren Ave\Admin\Permitting\3033 2011-08-08 ComRes Fraser-digital.doc



280 WARREN AVE  
 PORTLAND, MAINE

AUTOTURN PASSENGER VEHICLE  
 TURNING MOVEMENT



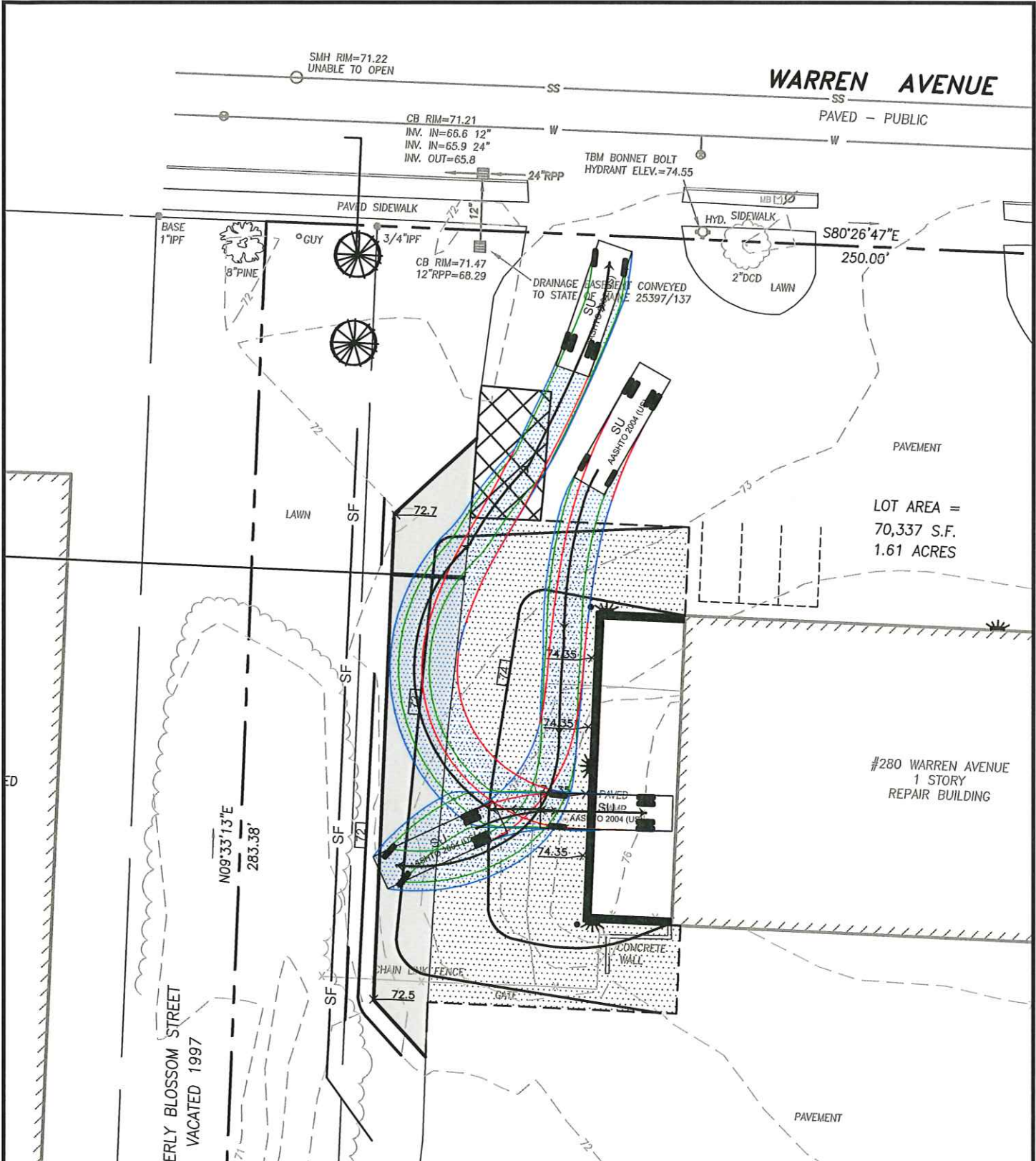
DeLuca-Hoffman Associates, Inc.

778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	RJW	DATE:	08.08.11
DESIGNED:	RJW	SCALE:	1"=30'
CHECKED:	SRB	JOB NO.	3033
FILE NAME:	3033-AUTOTURN.DWG		

FIGURE

AUTO-2



280 WARREN AVE  
 PORTLAND, MAINE

AUTOTURN SU-30 TRUCK TURNING MOVEMENT



DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

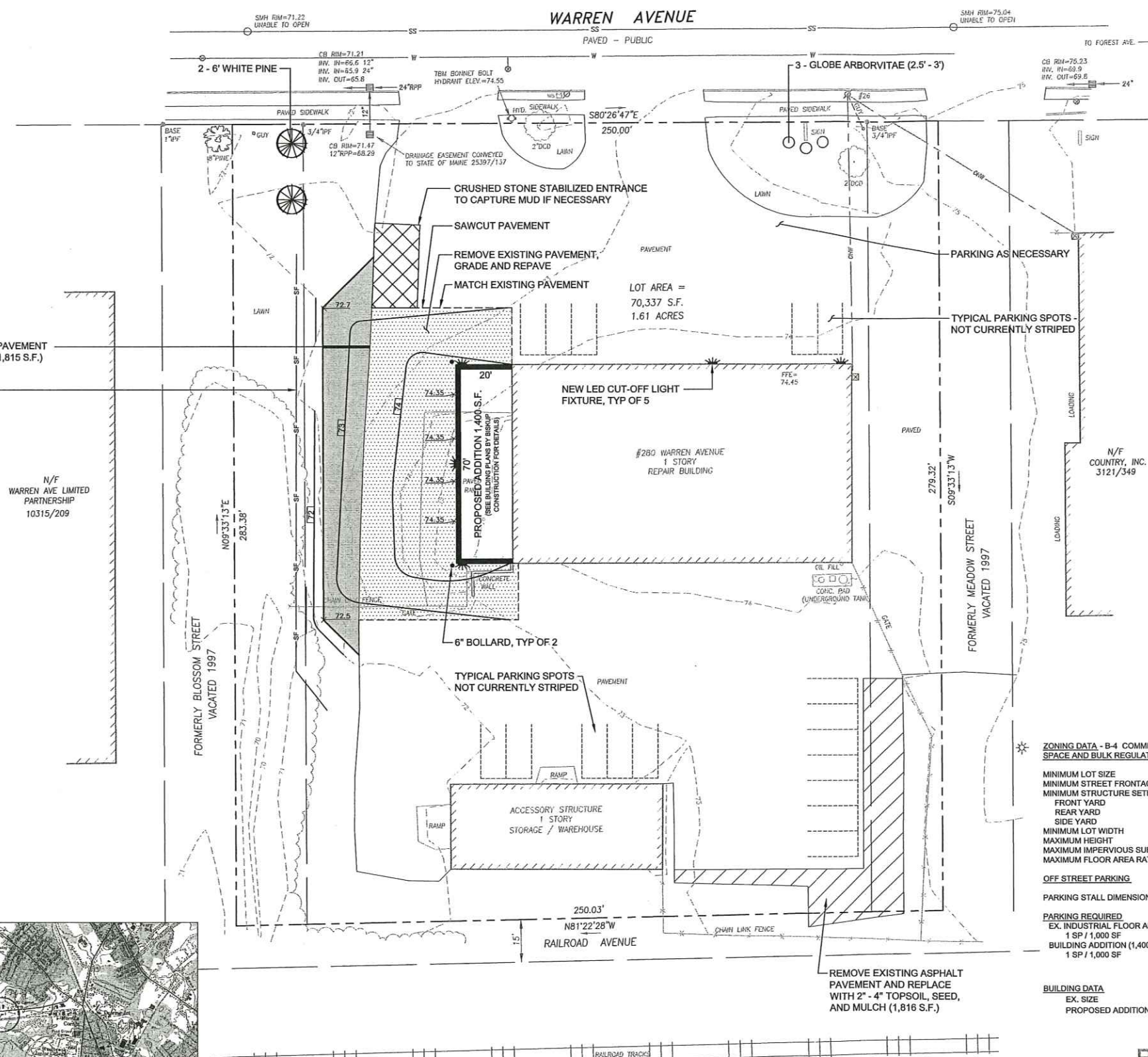
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CHECKED:	SRB	JOB NO.	3033
FILE NAME:	3033-AUTOTURN.DWG		

FIGURE

auto-1



- GENERAL NOTES:**
1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
  2. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS BY BISKUP CONSTRUCTION FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXITS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
  3. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING OCCUPANCY AND THE FINAL SERVICE CONNECTIONS.
  4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  5. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
  6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, REVISION OF DECEMBER 2002, AND THE CITY OF PORTLAND TECHNICAL STANDARDS.
  7. THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED ON THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL REPRESENTATIONS MADE BY THE APPLICANT CONCERNING THE DEVELOPMENT AND USE OF THE PROPERTY WHICH APPEAR IN THE RECORD OF THE PLANNING AUTHORITY PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
  8. THE FACILITY IS SERVICED BY PUBLIC WATER, SEWER AND OVERHEAD UTILITIES.
  9. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND ENGINEERING INSPECTION SERVICES DIVISION (ATTN: PHIL DIPIERRO 874.8632), CODE ENFORCEMENT OFFICE, IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE ENGINEER'S OFFICE OR PLANNING DIRECTOR.
  10. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
  11. RECORD OWNER OF PROPERTY:  
J. DAVID PARSONS  
BOOK 9506, PAGE 42
  12. PLAN REFERENCES:  
A. "STANDARD BOUNDARY SURVEY 296 WARREN AVE, PORTLAND, MAINE FOR PROPOSED 'LOT A' MADE FOR PEOPLE'S HERITAGE BANK" DATED MARCH 16, 1992 REVISED THRU 1-15-93 BY WOODARD & CURRAN INC.  
B. "PLAN OF MEADOW PARK OWNED BY FRANK W. SADLER" DATED MAY 22, 1915 BY HICKS & NEWCOMB ENGINEERS RECORDED IN PLAN BOOK 12 PAGE 44.
  13. VACANT
  14. AREA OF PROPERTY = 1.61 ACRES
  15. PARCEL IS SHOWN ON CITY OF PORTLAND ASSESSORS MAP 296, BLOCK F, LOT 1-18
  16. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
  17. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
  18. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
  19. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
  20. A 12" LAYER OF COMPACTED STRUCTURAL FILL (MOOT 703.06 TYPE B) SHALL BE PROVIDED BELOW ALL SLABS. 12" OF 3/4" CRUSHED STONE SHALL BE PROVIDED BENEATH ALL FOOTINGS.
  21. FOUNDATION PREPARATION REQUIREMENTS SHALL BE AS DIRECTED BY THE BUILDING CONTRACTOR.
  22. THE CONTRACTOR SHALL REPAIR AND ADD STONE TO ANY CONSTRUCTION ENTRANCES AS THEY BECOME SATURATED WITH MUD TO ENSURE THAT THEY WORK AS PLANNED DURING CONSTRUCTION AND SHALL KEEP NEARBY STREETS CLEAR OF DIRT AND MUD.
  23. SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT BARRIERS SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
  24. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST THREE (3) BUT NOT MORE THAN (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 M.R.S.A. 3360-A.
  25. CONTRACTOR SHALL CONFIRM LOCATIONS OF ELECTRICAL UTILITIES PRIOR TO CONSTRUCTION.
  26. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
  27. ALL FILLS SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 95% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHODS).
  28. ALL FOUNDATION BACKFILL SHALL BE GRAVEL AGGREGATE MEETING THE GRADATION OF MDOT 703.06 TYPE D MATERIAL.



**ZONING DATA - B-4 COMMERCIAL CORRIDOR SPACE AND BULK REGULATIONS**

	REQUIRED 10,000 S.F.	PROPOSED 70,337 SF
MINIMUM LOT SIZE	60'	250'
MINIMUM STREET FRONTAGE	60'	250'
MINIMUM STRUCTURE SETBACKS		
FRONT YARD	20'	>85'
REAR YARD	20'	>18'
SIDE YARD	10'	>31'
MINIMUM LOT WIDTH	60'	>250'
MINIMUM HEIGHT	65'	<30'
MAXIMUM IMPERVIOUS SURFACE RATIO	80%	75%
MAXIMUM FLOOR AREA RATIO	0.65	0.17

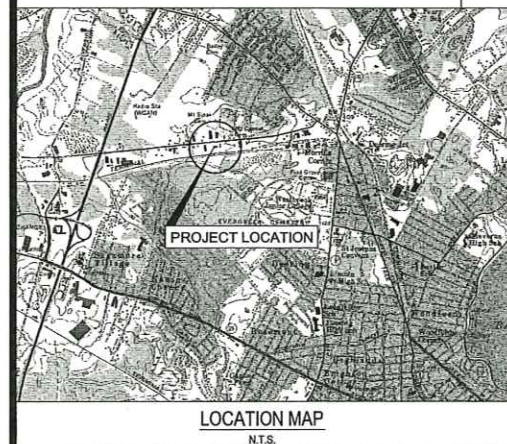
**OFF STREET PARKING**

	REQUIRED	PROPOSED
PARKING STALL DIMENSION	9x19'	9x19'
<b>PARKING REQUIRED</b>		
EX. INDUSTRIAL FLOOR AREA (8,400 SF)	9 SPACES	12 SPACES (MIN.)
1 SP / 1,000 SF		
BUILDING ADDITION (1,400 SF)	2 SPACES	2 SPACES
1 SP / 1,000 SF		
<b>TOTAL</b>	<b>11 SPACES</b>	<b>14 SPACES (MIN.)</b>

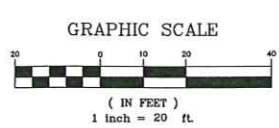
  

**BUILDING DATA**

EX. SIZE	PROPOSED ADDITION	TOTAL SIZE
8,400 SF	1,400 SF	9,800 SF



- SURFACE LEGEND**
- REMOVE EXISTING ASPHALT, REGRADE AND REPAVE WITH 1 1/2" HMA-9.5 mm AND 2 1/2" HMA-19.0 mm
  - PROVIDE NEW PAVEMENT BASE SECTION PER DETAIL A - SHEET 3
  - REMOVE EXISTING ASPHALT, AND REPLACE WITH 2" - 4" TOPSOIL, GRASS SEED AND MULCH

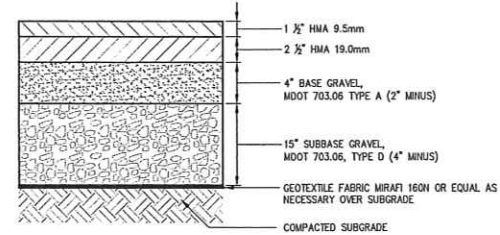


**PRELIMINARY - NOT FOR CONSTRUCTION**

PROJECT <b>280 WARREN AVE PORTLAND, MAINE</b>			PROJECT <b>280 WARREN AVE PORTLAND, MAINE</b>	DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM									
SHEET TITLE <b>BUILDING EXPANSION SITE PLAN</b>					DRAWN: DED DATE: 6.27.11 DESIGNED: SRB SCALE: 1" = 20' CHECKED: SRB JOB NO. 3033 FILE NAME: 3033-SP SHEET <b>2 OF 3</b>								
CLIENT <b>MCFARLAND SPRING CORP.</b>		REVISIONS <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>08.02.11</td> <td>REVISED PER CITY COMMENTS AND RESUBMITTED</td> </tr> <tr> <td>1</td> <td>06.30.11</td> <td>SUBMITTED TO CITY OF PORTLAND</td> </tr> </tbody> </table>			REV	DATE	DESCRIPTION	2	08.02.11	REVISED PER CITY COMMENTS AND RESUBMITTED	1	06.30.11	SUBMITTED TO CITY OF PORTLAND
REV	DATE	DESCRIPTION											
2	08.02.11	REVISED PER CITY COMMENTS AND RESUBMITTED											
1	06.30.11	SUBMITTED TO CITY OF PORTLAND											

R:\3033 McFarland Spring - Warren Ave\Cadd\Permit Set\dwg\3033-SP.dwg, SITE PLAN, 8/8/2011 1:47:07 PM, pflieatz

*as approved 8-17-11*

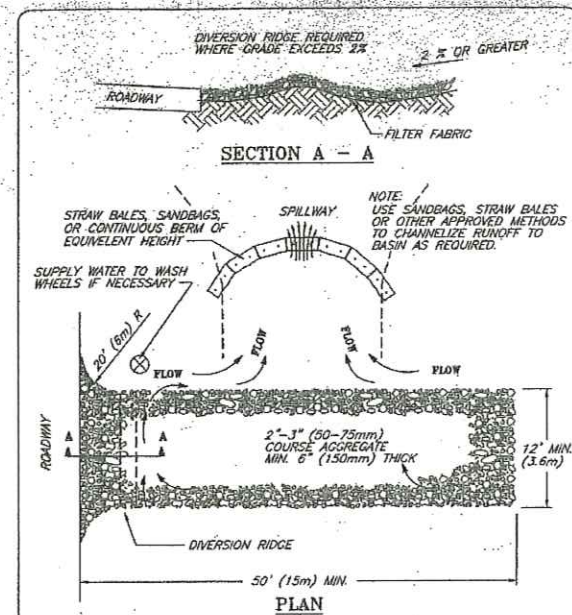


NOTE:  
ALL MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION  
COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH MDOT SPECIFICATIONS.

**(A) TYPICAL PAVEMENT SECTION**  
N.T.S.

TRENCH SECTION BACKFILL SCHEDULE				
TYPE OF PIPE	GRANULAR BASE MATERIAL	SPECIAL BACKFILL	SPECIAL BACKFILL COVER "A" (IN)	SELECT BACKFILL
CONCRETE	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	12"	GRANULAR AASHTO M145-49 A-3 OR BETTER
PVC	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
DUCTILE IRON	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
UNDER-DRAINS	3/4" CRUSHED STONE	3/4" CRUSHED STONE	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER

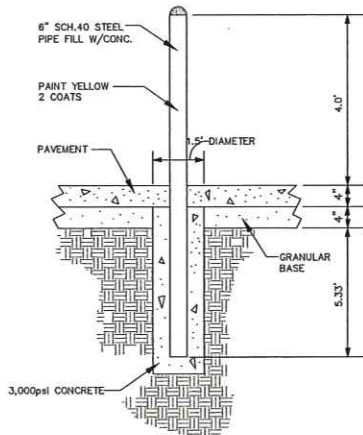
**(D) TYPICAL UTILITY PIPE TRENCH SECTION DETAIL**  
N.T.S.



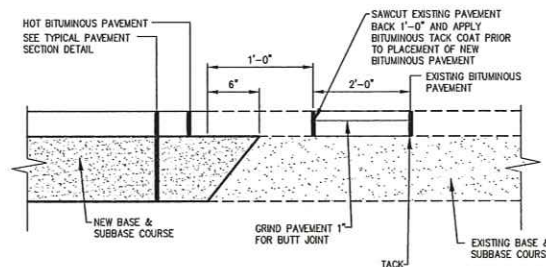
NOTES:  
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.  
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.  
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT**

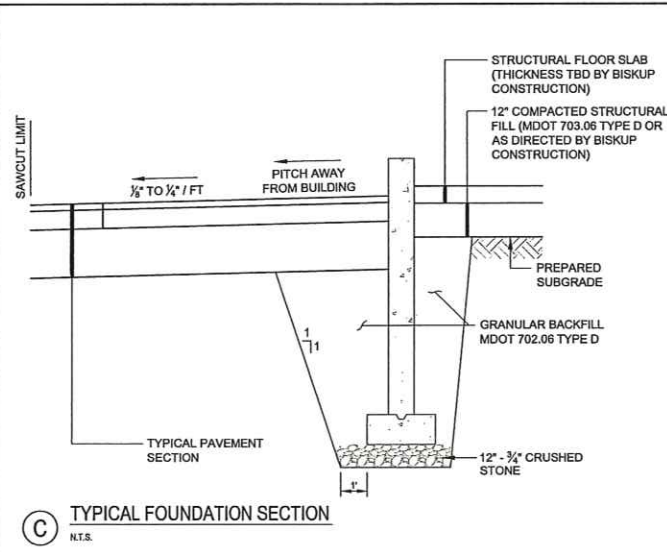
**(G) GRAVEL CONSTRUCTION ENTRANCE/EXIT**  
N.T.S.



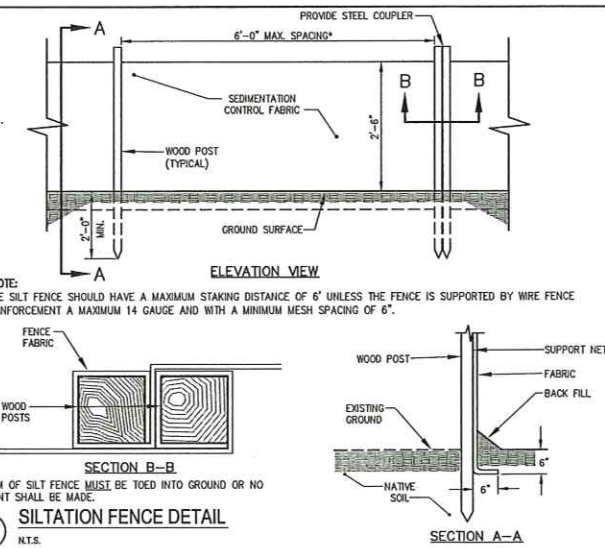
**(B) BOLLARD DETAIL**  
N.T.S.



**(E) PAVEMENT SAWCUT DETAIL**  
N.T.S.



**(C) TYPICAL FOUNDATION SECTION**  
N.T.S.



NOTE:  
THE SILT FENCE SHOULD HAVE A MAXIMUM STAKING DISTANCE OF 6' UNLESS THE FENCE IS SUPPORTED BY WIRE FENCE REINFORCEMENT A MAXIMUM 14 GAUGE AND WITH A MINIMUM MESH SPACING OF 6".

NOTE:  
BOTTOM OF SILT FENCE MUST BE TOED INTO GROUND OR NO PAYMENT SHALL BE MADE.

**(F) SILTATION FENCE DETAIL**  
N.T.S.

PRELIMINARY - NOT FOR CONSTRUCTION

R:\3033 McFarland Spring - Warren Ave\Cadd\Permit-Set\dwg\3033-SP.dwg, DETAILS, 8/18/2011 1:57:39 PM, pmlibataz

*as approved  
8-17-11  
JF*

PROJECT 280 WARREN AVE PORTLAND, MAINE			DRAWN: DED DATE: 6.27.11 DESIGNED: SRB SCALE: AS NOTED CHECKED: SRB JOB NO. 3033 FILE NAME: 3033-SP SHEET: 3 OF 3
SHEET TITLE DETAILS			
1	06.30.11	SUBMITTED TO CITY OF PORTLAND	P.E. STEPHEN BUSHEY LIC. #7429
REV	DATE	DESCRIPTION	
REVISIONS			