

DEVELOPMENT REVIEW COORDINATOR  
POST APPROVAL PROJECT CHECKLIST

Date: 8/22/11

Project Name: McFarland Spring Building Addition

Project Address: 280 Warren Ave.

Site Plan ID Number: 2011-300

Planning Board/Authority Approval Date: 8/17/11

Site Plan Approval Date: 8/17/11

Performance Guarantee Accepted: 9/19/11 Norway Savings  
Loc # 011-005 \$21,266.00

Inspection Fee Paid: 9/19/11 CK # 9349  
\$ 423.32

Infrastructure Contributions Paid: N/A

Amount of Disturbed Area in SF or Acres: < 1 Acre

MCGP/Chapter 500 Stormwater PBR: N/A

Plans/CADD Drawings Submitted: 9/1/11

Pre-Construction Meeting: 9/20/11

Conditions of Approval Met: 12/29/11

As-Builts Submitted: N/A

Public Services Sign Off: 12/29/11

Certificate of Occupancy Memo Processed:  
(Temporary or Permanent) 12/30/11

Performance Guarantee to Defect Guarantee: 12/30/11

Defect Guarantee Released: 9/10/12

check on clearing drainage easement on west side



# PORTLAND MAINE

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Planning and Urban Development Department  
Penny St. Louis, Director

Planning Division  
Alexander Jaegerman, Director

August 17, 2011

J. David Parsons  
McFarland Spring Corporation  
280 Warren Avenue  
Portland, ME 04103

Stephen R. Bushey, PE  
DeLuca-Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, ME 04106

**RE: Building Addition, McFarland Spring Corporation**  
**Address: 280 Warren Avenue, Portland**  
**CBL: 296 F-1-18**  
**Application ID: 2011-300 (One Solution)**

Dear Mr. Parsons and Mr Bushey:

On August 17, 2011, the Portland Planning Authority approved the Level II site plan for a 1,400 sq ft addition to the existing 8,400 sq ft industrial building at 280 Warren Avenue, as submitted by McFarland Spring Corporation and shown on the approved site plans prepared by DeLuca-Hoffman Associates, Inc. (Site Plan 2 of 3 Rev 2 08.02.11 and Details 3 of 3 Rev 1 06.30.11) with the following conditions:

- i. That the applicant shall submit the specifications for any exterior lighting on the new building, or any new lighting on the site, for review and approval prior to the issuance of a certificate of occupancy, with all lighting to be of cut off design in accordance with the City's Technical Standards; and
- ii. That any dumpster and/or any other waste storage shall be located behind the buildings or at the rear of the site with screening; and
- iii. That the property pins be set at corners prior to the issuance of a building permit; and
- iv. That separate permits are required for any new signage.

The approval is based on the submitted plans. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval. It is noted that the curb cut/access on Warren, at the former Meadow Street, is not located on the applicant's property.

Please note the following standard provisions and requirements for all site plan approvals:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the Portland City ordinance. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.

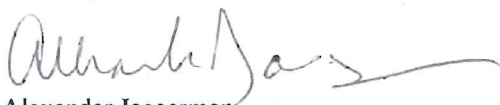
*done*  
*ok out back window screening 10/12/11*  
*done*

2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874-8728.

Sincerely,



Alexander Jaegerman  
Planning Division Director

Enclosure: Performance Guarantee Packet

**cc. Electronic Distribution:**

Penny St. Louis, Director of Planning and Urban Development Dept.  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPierro, Development Review Coordinator, Planning  
Marge Schmuckal, Zoning Administrator, Inspections Division  
Tammy Munson, Plan Reviewer, Inspections Division  
Lannie Dobson, Administration, Inspections Division  
Michael Bobinsky, Director, Public Services  
Katherine Earley, Engineering Services Manager, Public Services

Bill Clark, Project Engineer, Public Services  
David Margolis-Pineo, Deputy City Engineer, Public Services  
Michael Farmer, Project Engineer, Public Services  
Jane Ward, Administration, Public Services  
Chris Pirone, Fire Department  
Jeff Tarling, City Arborist, Public Services  
Tom Errico, P.E., T.Y. Lin Associates  
David Senus, P.E., Woodard & Curran  
Assessor's Office





# WP2FCH150QT



JOB NAME: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 TYPE: \_\_\_\_\_

## DESCRIPTION

Fully shielded, Full Cutoff wallpack. Full Cutoff optics with flat tempered glass lens. EZ mount knockouts for easy wiring. Lamp supplied.

## SPECIFICATIONS

### Finish

Chip and fade resistant polyester powder coating.

### Country of Origin

Designed by RAB in New Jersey and assembled in the USA by IBEW Local 3

### Housing

Die cast aluminum, 1/2" NPS tapped holes top, both sides and back for conduit or photocontrol. Hinged refractor frame. Continuous silicone rubber gasket.

### Quad Tap

Fixture works with 120, 208, 240 and 277 Volts

### For use on LEED Buildings

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

### Refractor

Prismatic optics designed to minimize glare and throw light down and out. Heat resistant borosilicate glass.

### Patents

RAB sensor and fixture designs are protected under U.S. and International Intellectual Property laws

### Reflector

Specular anodized aluminum, removable for installation. Symmetrical light pattern maximizes distance between fixtures.

### UL Listing

Suitable for wet locations. HID fixtures can be wired with 90° C supply wiring if supply wires are routed 3" away from ballast.

### Cutoff Lens

Tempered glass.

### Dark Sky Approved

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

### Recovery Act (ARRA) Complaint

This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010)

### Buy American Act Compliant

This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

### Trade Agreements Act Compliant

This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

### GSA Schedule

This product is suitable for listing on the GSA Schedule of the US General Services in accordance with FAR Subpart 25.4

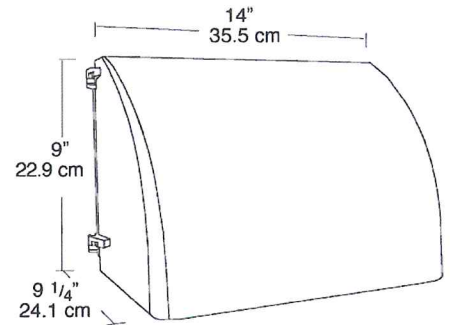
### Color:

Bronze

### Weight:

18.05

## DIMENSIONS



## ORDERING INFORMATION

Metal Halide Lamp supplied with fixture	Total Watts	Lamp Type	Lamp Base	Ballast	Starting Amps/ Operating Amps				Input Watts	LAMP ANSI	Initial Lumens	Lamp Hours
					120V	208V	240V	277V				
	150	ED17	Medium	CWA-HPF QT	1.0/1.6	.6/1.9	.5/1.8	.5/1.7	185.0	M107	12500	10000

**Factory Installed Options**  
 Add suffix to Catalog Number

Tamperproof screws (/TP)  
 Swivel Photocontrol (/PCS)  
 Single fusing for 120 and 277 volt (/F)

Double fusing for 208 and 240 volt (/FF)  
 Button Photocontrol for 208 - 277 volt (/PC2)  
 Button Photocontrol (/PC)

Note: Specifications may change without notice

**RAB Lighting, Inc.** • 170 Ludlow Ave • Northvale, NJ 07647 • Tel: 888 RAB-1000 • Fax: 888 RAB-1232 • www.rabweb.com  
 © 2011 RAB Lighting, Inc.

**Planning and Development Department  
SUBDIVISION/SITE DEVELOPMENT**

**COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE**

Date: 9/1/11

Name of Project: McFarland Spring

Address/Location: 280 Warren Ave

Developer: McFarland Spring Corp.

Form of Performance Guarantee: Letter of Credit

Type of Development: Subdivision \_\_\_\_\_ Site Plan (Major/Minor) Minor

**TO BE FILLED OUT BY THE APPLICANT:**

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road/Parking Areas	<u>82</u>	<u>143.41</u>	<u>11,760-</u>			
Curbing						
Sidewalks						
Esplanades						
Monuments						
Street Lighting						
Street Opening Repairs						
Other						
2. EARTH WORK						
Cut	<u>329</u>	<u>12.00</u>	<u>3948-</u>			
Fill	<u>165</u>	<u>15.50</u>	<u>2558-</u>			
3. SANITARY SEWER						
Manholes						
Piping						
Connections						
Main Line Piping						
House Sewer Service Piping						
Pump Stations						
Other						
4. WATER MAINS						
5. STORM DRAINAGE						
Manholes						
Catchbasins						
Piping						
Detention Basin						
Stormwater Quality Units						
Other						

6. SITE LIGHTING	_____	_____	_____	5	300	1500-
7. EROSION CONTROL	_____	_____	_____	_____	_____	_____
Silt Fence	_____	_____	_____	200'	3.00	600-
Check Dams	_____	_____	_____	_____	_____	_____
Pipe Inlet/Outlet Protection	_____	_____	_____	_____	_____	_____
Level Lip Spreader	_____	_____	_____	_____	_____	_____
Slope Stabilization	_____	_____	_____	_____	_____	_____
Geotextile	_____	_____	_____	_____	_____	_____
Hay Bale Barriers	_____	_____	_____	_____	_____	_____
Catch Basin Inlet Protection	_____	_____	_____	_____	_____	_____
8. RECREATION AND OPEN SPACE AMENITIES	_____	_____	_____	_____	_____	_____
9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	_____	_____	_____	_____	_____	900-
10. MISCELLANEOUS	_____	_____	_____	_____	_____	_____
TOTAL:	_____	_____	_____	21,266-	_____	_____
GRAND TOTAL:	_____	_____	_____	21,266-	_____	_____

total  
\$21,266.00  
ok 9/1/11

INSPECTION FEE (to be filled out by the City)

	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A: 2.0% of totals:	_____	\$423.32	\$423.32
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	<u>Diid Pitt</u>	_____	9/1/11
	(name)	(name)	

(2) 6' white pines 300 - each = 600 -  
(3) Globe Arborvitae (2.5' - 3') 100 - each 300 -

**DeLuca-Hoffman Associates, Inc.**  
 Consulting Engineers  
 778 Main Street, Suite 8  
 South Portland, Maine 04106  
 (207) 775-1121  
 Fax (207) 879-0896

**LETTER OF TRANSMITTAL**

DATE August 24, 2011	JOB NO. 3033
ATTENTION Jean Fraser → to Phil	
RE: McFarland Spring	

**TO:** City of Portland  
 Planning Department  
 City Hall  
 Congress Street  
 Portland, Maine

We are sending you  Attached  Under separate cover via \_\_\_\_\_ the following items:

Shop Drawings     Prints     Plans     Samples     Specifications  
 Copy of Letter     Change Order     \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
1			Disk with CAD Files

THESE ARE TRANSMITTED as checked below:

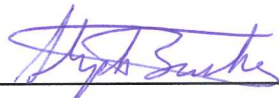
- For Approval                       Approved as Submitted                       Resubmit \_\_\_\_\_ Copies for Approval
- For Your Use                           Approved as noted                           Submit \_\_\_\_\_ copies for distribution
- As requested                           Returned for corrections                       Return \_\_\_\_\_ corrected prints
- For review and comment               \_\_\_\_\_
- FOR BIDS DUE \_\_\_\_\_               PRINTS RETURNED AFTER LOAN TO US

REMARKS: Jean,

Per the Conditions of Approval please find a disk with the Autocad files on it for the McFarland Spring project. Biskup Construction will be filing a building permit soon and I will provide any further information including the building mounted light data to you at that time. I note that Special Condition iii has also been satisfied as Owen Haskell Inc has set the property Pins.

If you require any other additional information, please contact our office.

COPY TO:  
**Jim Biskup, Biskup Construction, Transmittal Only**

SIGNED: 

*If enclosures are not as noted, kindly notify us at once.*

**From:** Jean Fraser  
**To:** Bushey, Steve  
**Date:** 9/14/2011 3:07 PM  
**Subject:** 280 Warren Ave- MacFarland Spring revisions

Steve,

Ref **Site Plan Application 2011-300- approved on September 17, 2011.**

I refer to the revised plan you submitted yesterday: Building Expansion Site Plan (Sheet 2 of 3, Rev 4, dated 9.13.2011) that shows a relocated area of pavement to be removed.

I confirm that the revised location and area of pavement removal is acceptable as a diminimus revision to the approved site plan.

Please send 4 further paper scaled copies of this revised site plan (for me to stamp and circulate to other departments) and send me a pdf of this plan by e-mail and mail me an updated CAD file of the final plans on disk.

thank you

Jean

*Jean Fraser, Planner  
City of Portland  
874 8728*





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Planning and Urban Development  
Jeffery Levine, Director

Planning Division  
Alexander Jaegerman, Director

**TO:** Ellen Sanborn, Finance Department  
**FROM:** Alexander Jaegerman, Planning Division Director  
**DATE:** September 10, 2012  
**SUBJECT:** Request for Release of Defect Guarantee  
280 Warren Avenue, McFarland Spring Expansion Project  
(ID# 2011-300                      Lead CBL #296 F 001-18001)

Please release the Defect Guarantee, Letter of Credit Account #011-005 for the McFarland Spring Expansion Project at 280 Warren Avenue.

Remaining Balance      \$2,126.60

**Approved:**

Alexander Jaegerman  
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager  
Philip DiPierro, Development Review Coordinator  
File: One Solution



# PORTLAND, MAINE

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Planning and Urban Development  
Gregory A. Mitchell, Acting Director

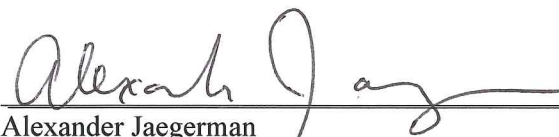
Planning Division  
Alexander Jaegerman, Director

**TO:** Ellen Sanborn, Finance Department  
**FROM:** Alexander Jaegerman, Planning Division Director  
**DATE:** December 30, 2011  
**SUBJECT:** Request for Reduction of Performance Guarantee to Defect Guarantee  
280 Warren Avenue, McFarland Spring Expansion Project  
(ID# 2011-300                      Lead CBL #296 F 001-18001)

Please reduce the Performance Guarantee, Letter of Credit Account #011-005 for the McFarland Spring Expansion Project at 280 Warren Avenue, to the Defect Guarantee.

Original Amount	\$21,266.00
<b><u>This Reduction</u></b>	<b><u>\$19,139.40</u></b>
Remaining Balance	\$ 2,126.60

This is the first reduction for the project.

**Approved:**   
Alexander Jaegerman  
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager  
Philip DiPierro, Development Review Coordinator  
File: One Solution

Memorandum  
Department of Planning and Development  
Planning Division

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TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: December 30, 2011

RE: C. of O. for # 280 Warren Avenue, McFarland Spring Expansion  
(Id # 2011-300) (CBL 296 F 001-18001)

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After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Tammy Munson, Inspection Services Manager  
Barbara Barhydt, Development Review Services Manager