

**GENERAL NOTES**

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN JUNE 2009.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE, COORDINATE WITH CMP.
8. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES PER UNIT MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE LOT.
9. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
10. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL STANDARDS, SECTION VII EROSION AND SEDIMENTATION CONTROL STANDARDS FOR SINGLE AND TWO FAMILY HOMES.
11. ANY CURBS REMOVED WITHIN THE RIGHT-OF-WAY IS THE PROPERTY OF THE CITY OF PORTLAND AND SHALL BE DELIVERED TO THE PUBLIC WORKS FACILITY ON OUTER CONGRESS STREET.

**GRADING AND DRAINAGE NOTES:**

1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED.
2. COMMON BORROW SHALL MEET MOOT SPECIFICATION 703.18.
3. FOUNDATION DRAIN SHALL BE DIRECTED TO SUMP LOCATED WITHIN BUILDING.
4. THE GRADING AND DRAINAGE SYSTEM ON THE PROPERTY SHALL BE CONSTRUCTED AND LOCATED AS DEPICTED ON THE APPROVED SITE PLAN AND SAID GRADING AND DRAINAGE SYSTEM SHALL NOT BE MODIFIED WITHOUT FURTHER APPROVAL FROM THE PLANNING AUTHORITY.

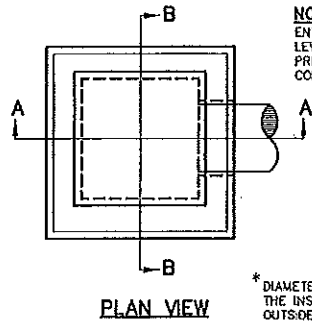
**SPACE AND BULK REQUIREMENTS - R-5 ZONE**

MINIMUM LOT SIZE:	6,000 S.F. (DUPLEX UNIT) 9,000 S.F. (MULTIFLEX UNIT)
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	20 FT.
REAR YARD	20 FT.
SIDE YARD	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	60 FT. (DUPLEX UNIT) 90 FT. (MULTIFLEX UNIT)

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

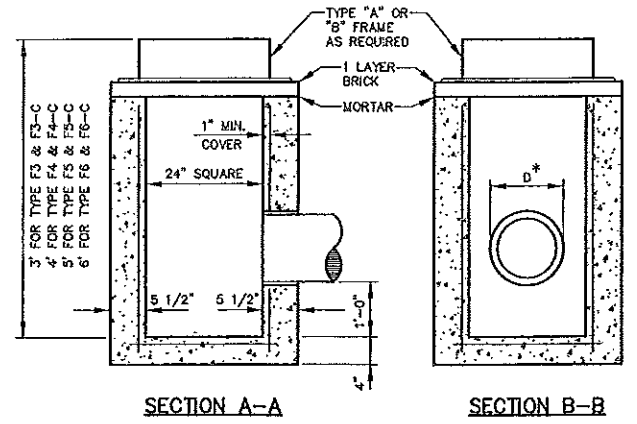
SUBDIVISION PLAN APPROVED BY CITY OF PORTLAND PLANNING BOARD

DATE	

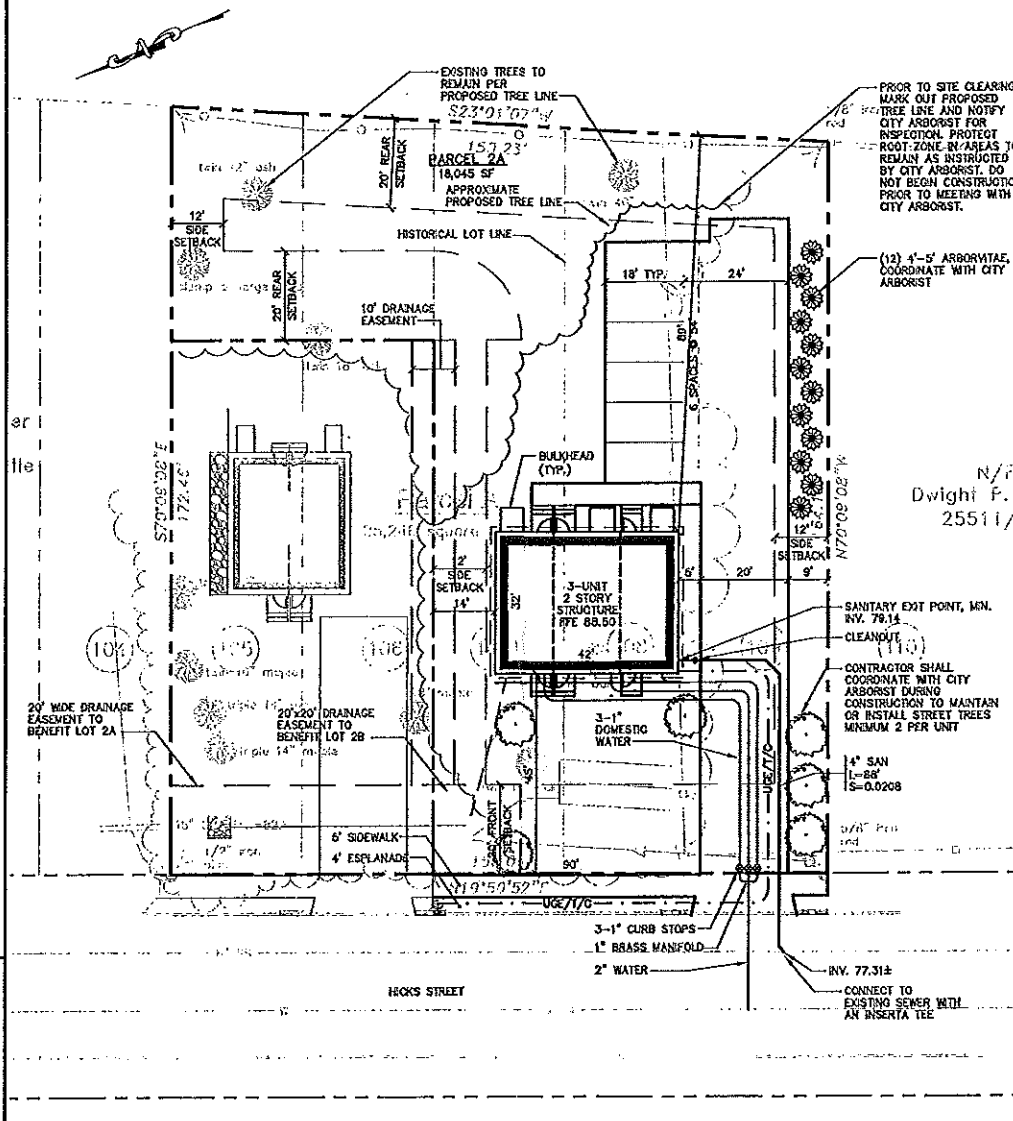


**NOTE:**  
ENTIRE CATCH BASIN WITH EXCEPTION OF LEVELING BRICK FRAME AND GRATE TO BE PRECAST AS SINGLE PORTLAND CEMENT CONCRETE UNIT.

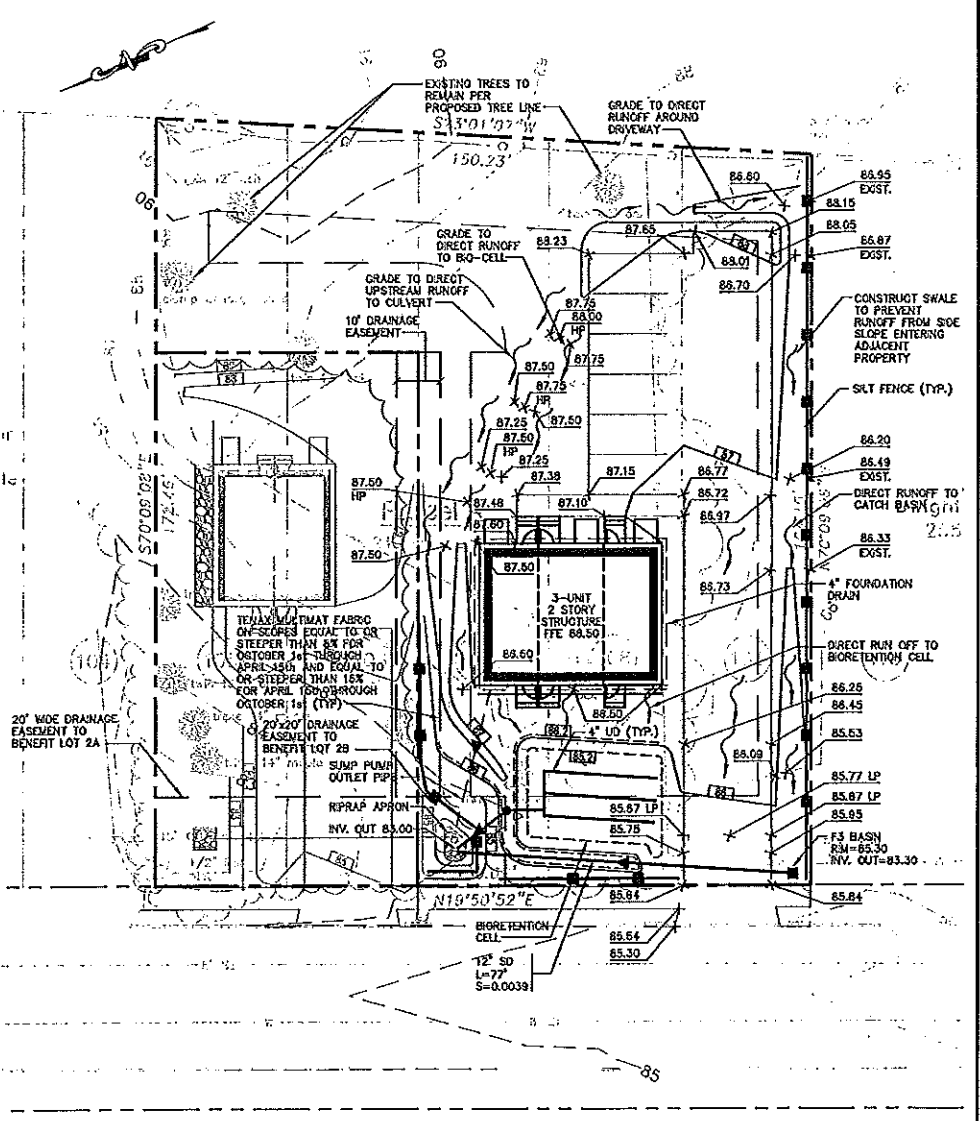
\* DIAMETER OF HOLE (D) TO BE 3" LARGER THAN THE INSIDE DIAMETER OF FLEXIBLE PIPE OR THE OUTSIDE DIAMETER OF RIGID PIPE.



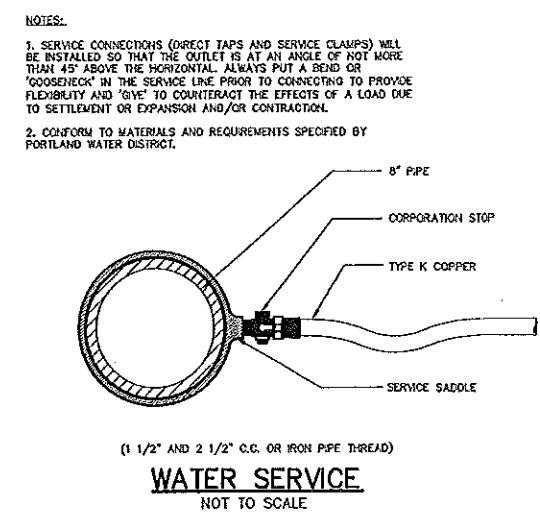
**CATCH BASIN TYPE "F"**  
NOT TO SCALE



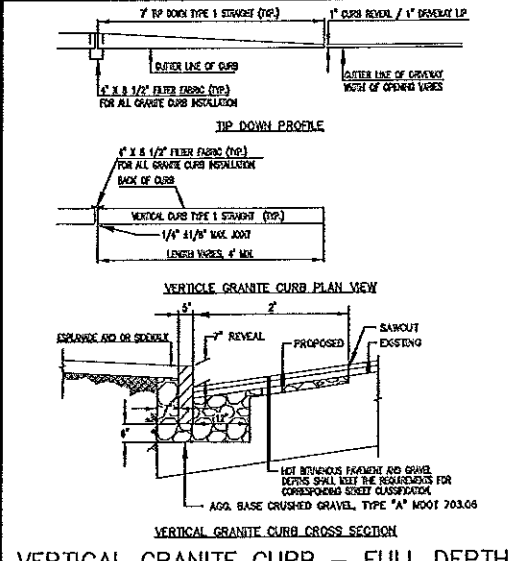
**SITE, UTILITY, AND LANDSCAPE PLAN**  
1"=20'



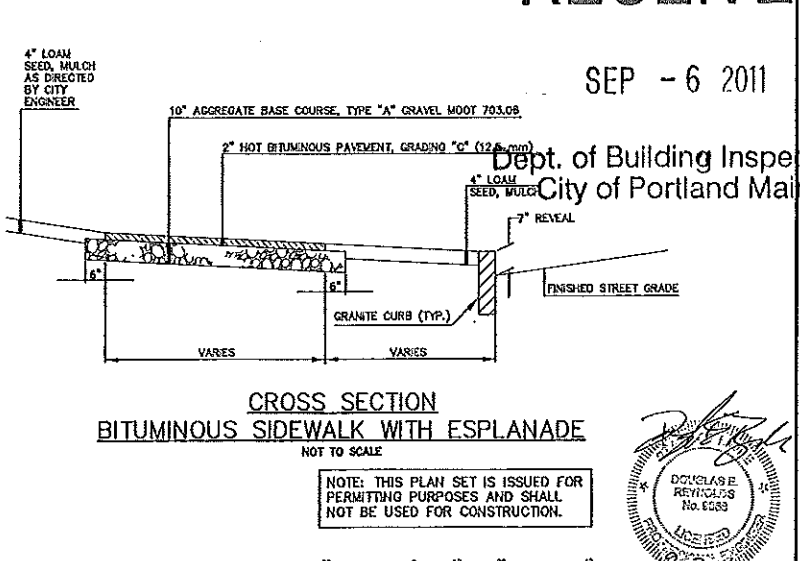
**GRADING AND DRAINAGE PLAN**  
1"=20'



**WATER SERVICE**  
NOT TO SCALE



**VERTICAL GRANITE CURB - FULL DEPTH STREET CONSTRUCTION**  
NOT TO SCALE

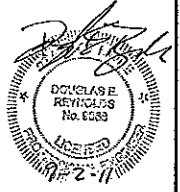


**CROSS SECTION BITUMINOUS SIDEWALK WITH ESPLANADE**  
NOT TO SCALE

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SEP - 6 2011

Dept. of Building Inspections  
City of Portland Maine



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Rev.	Date	Revision
4	9/1/11	ADDED BULKHEADS
3	10/18/10	ADDED NOTES TO LANDSCAPE PLAN
2	10/14/10	SANITARY/SWALE REVISIONS
1	10/4/10	ADDED LANDSCAPING
		Revision

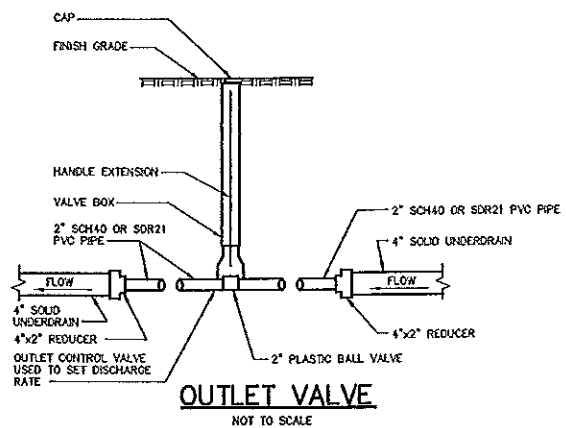
SUBDIVISION REVIEW	8/3/10	DER
Issued For		By

Design: JWA Draft: CO Date: 8/09  
 Checked: AMP Scale: 1"=20' Job No: 2277  
 File Name: 2277-plans-3UNIT.dwg  
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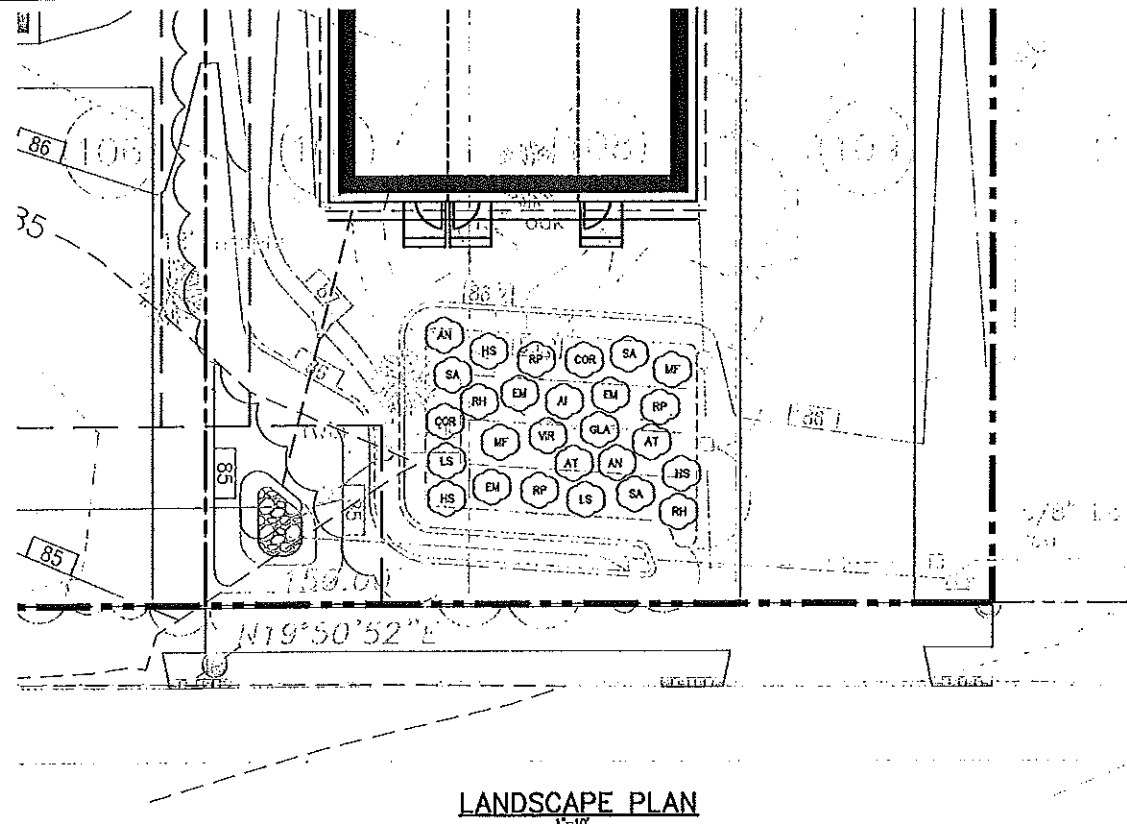
**GP Gorrill-Palmer Consulting Engineers, Inc.**  
 Engineering Excellence Since 1998  
 PO Box 1237 15 Shaker Road Gray, ME 04039  
 207-657-6910 FAX: 207-657-6912  
 E-Mail: mail@gorrillpalmer.com

Drawing Name: **Site, Utility, Grading, Drainage, Landscape Plans**  
 Project: **Hicks Street Triplex - 212 Hicks Street**  
 Hicks Street, Portland, Maine  
 Client: **John Pompeo**  
 P.O. Box 321, Gorham, Maine 04038

Drawing No. **1**



PLANT SPECIES LIST					
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SPACING	SIZE
AI	1	ASCLEPIAS INCAMATA	MARSH MILKWEED	1' O.C.	6" POT
AN	2	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	2' O.C.	6" POT
AT	2	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	1' O.C.	6" POT
EM	3	EUPATORIUM MACULATUM	JOE PYE WEED	2' O.C.	6" POT
HS	3	HEMEROCALLIS	STELLA D'ORO	15" O.C.	6" POT
LS	2	LIATRIS SPICATA	MARSH BLAZING STAR	18" O.C.	6" POT
MF	2	MONARDA FISTULA	WILD BERGAMOT	18" O.C.	6" POT
RH	2	RUDBECKIA HIRTA	BLACK EYED SUSAN	1' O.C.	6" POT
RP	3	RATHEA PINNATA	YELLOW CONEFLOWER	2' O.C.	6" POT
SA	3	SEDUM	AUTUMN JOY	18" O.C.	6" POT
GLA	1	ILEX GLABRA	COMPACT HOLLY	4' O.C.	15'-18" HT.
VR	1	ITEA VIRGINICA	SWEETSPICE	4' O.C.	#3 CONT.
COR	2	VACCINIUM CORYBOSUM	HIGHBUSH BLUEBERRY	4' O.C.	18"-24" HT.



**Table 1  
MEDOT Specifications for  
Aggregate (MEDOT #703.01)**

SEIVE SIZE	% PASSING BY WEIGHT
3/8"	100
#4	95-100
#8	90-100
#16	80-85
#30	25-50
#60	10-30
#100	2-10
#200	0-5

**Table 2 MEDOT  
Specifications for  
Underdrain Type B (MEDOT  
#703.22)**

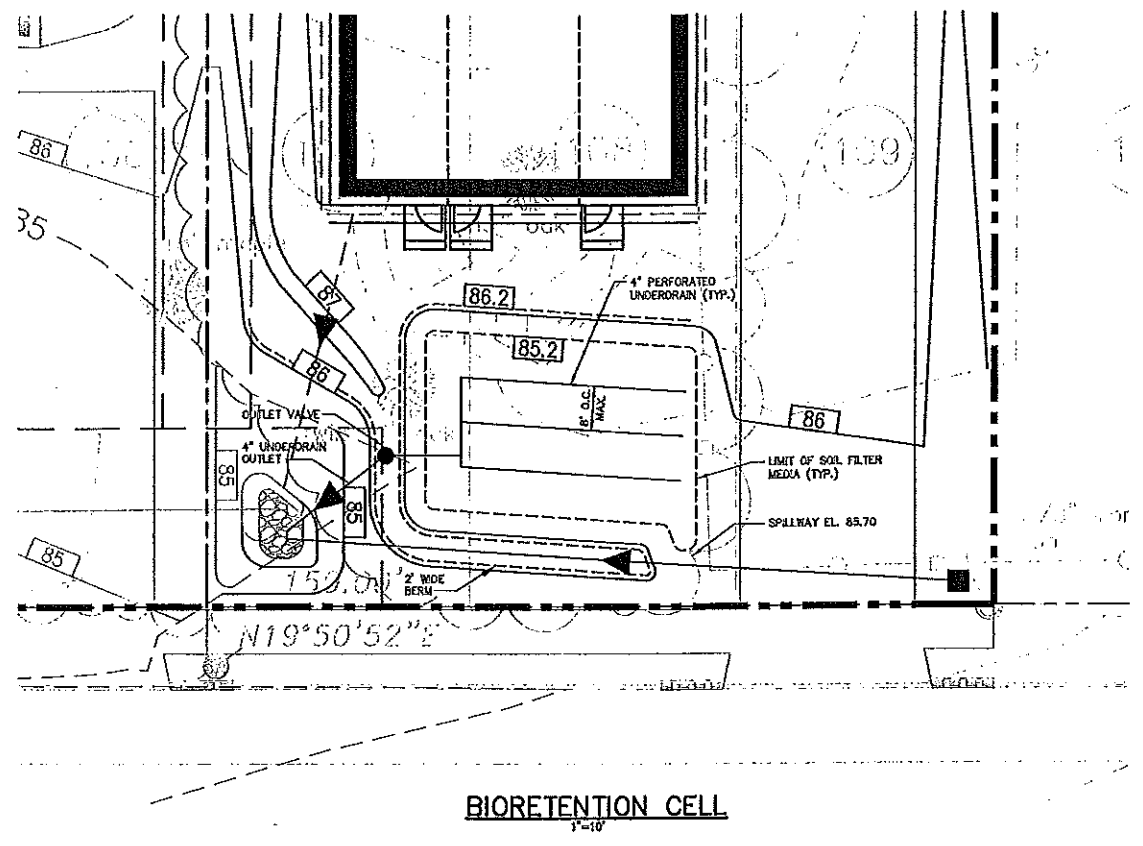
SEIVE SIZE	% PASSING BY WEIGHT
1"	90-100
1/2"	75-100
#4	50-100
#20	15-90
#50	0-15
#200	0-5

**SCHEDULE A**

ITEM DESCRIPTION	BIORETENTION CELL DIMENSION/ELEVATION
A TOP OF TOPSOIL	85.20
B TOP SOIL FILTER	84.87
C TOP UNDERDRAIN BEDDING STONE	83.87
D PIPE INVERT: 4" PERF. UD	83.20
E BOTTOM UNDERDRAIN BEDDING	82.87

**PLANTING NOTES:**

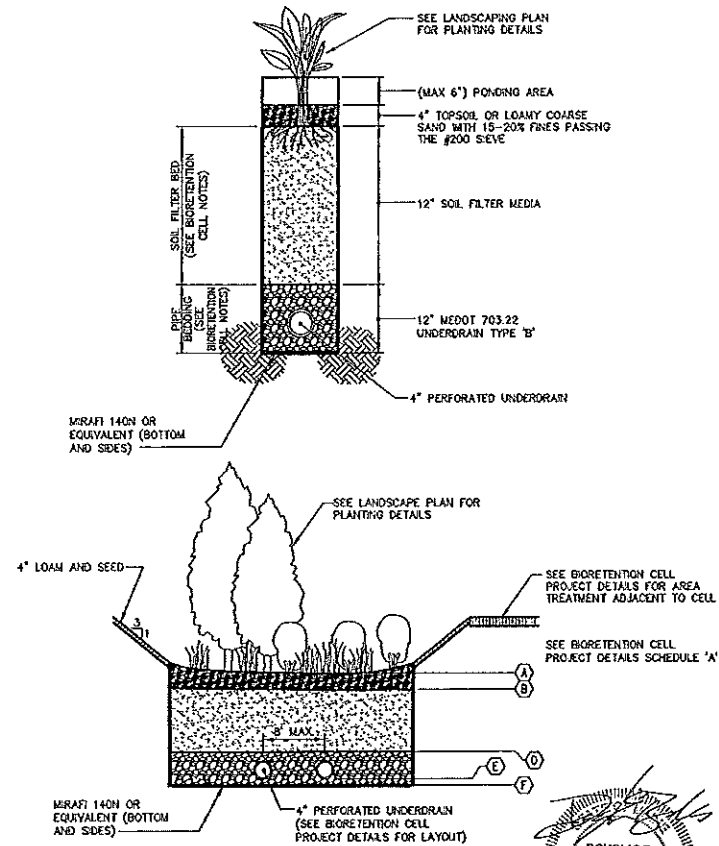
- THE LANDSCAPE CONTRACTOR SHALL CONTACT DGS&E PRIOR TO BEGINNING WORK.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DAMAGE CAUSED TO THE SITE BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
- ANY DEVIATION FROM THE LANDSCAPE PLAN SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ALL PLANT MATERIAL SHALL BE FREE FROM DISEASE AND INSECTS, AND SHALL MEET THE SPECIFICATIONS OF AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NON BIODEGRADABLE MATERIAL SHALL BE REMOVED FROM ALL PLANTS PRIOR TO INSTALLATION.
- PLANTS SHALL BE ADEQUATELY WATERED THE DAY OF INSTALLATION. FERTILIZER SHALL NOT BE USED WITHIN THE BIORETENTION CELL.
- ALL PLANTS SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. AT THE END OF THIS PERIOD THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE ANY DEAD OR DISEASED PLANTS AT NO COST TO THE OWNER.
- SOIL FILTER MAY BE LIGHTLY MULCHED AFTER PLANT INSTALLATION.



**BIORETENTION CELL**  
1"=10'

**BIORETENTION CELL NOTES:**

- SOIL SPECIFICATIONS:**
- THE SOIL FILTER MEDIA SHALL CONSIST OF A SANDY SOIL MIXED WITH 20% BY VOLUME OF A MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH.
  - SOIL FILTER MEDIA SAND SHALL MEET THE GRADATION LISTED IN TABLE 1 (MEDOT SPECIFICATION 703.01).
  - THE RESULTING SOIL FILTER MEDIA MIXTURE SHALL HAVE 8% TO 12% BY WEIGHT PASSING THE #200 SIEVE.
  - THE UNDERDRAIN BEDDING MATERIAL SHALL MEET THE GRADATION LISTED IN TABLE 2 (MEDOT SPECIFICATION 703.22 UNDERDRAIN TYPE B).
  - SOIL FILTER MEDIA MIXTURE SHALL HAVE A PERMEABILITY OF 2.4 IN./HR. TO 4 IN./HR. UPON COMPACTION BETWEEN 90% AND 92% STANDARD PROCTOR (ASTM D698).
- SUBMITTALS:**
- SUBMIT RESULTS OF FIELD AND LABORATORY TESTING TO PROJECT ENGINEER.
  - SUBMIT 75 LB. SAMPLE OF EACH TYPE OF MATERIAL: SUBMIT IN AIR TIGHT CONTAINERS TO PROJECT ENGINEER.
  - THE FOLLOWING MATERIAL SHALL BE SUBMITTED:
    - SOIL FILTER MEDIA SAND.
    - SOIL FILTER MEDIA MIXTURE.
    - UNDERDRAIN BEDDING MATERIAL.
  - PERFORM A SIEVE ANALYSIS CONFORMING TO ASTM C136 - STANDARD TEST METHOD FOR SIEVE ANALYSIS OF FINE AND COARSE AGGREGATES; 1998a ON EACH TYPE OF THE SAMPLE MATERIAL AND SUBMIT RESULTS TO PROJECT ENGINEER.
  - PERFORM A PERMEABILITY TEST ON THE SOIL FILTER MEDIA MIXTURE CONFORMING TO ASTM D2434 WITH THE MIXTURE COMPACTED TO 90% TO 92% OF MAXIMUM DRY DENSITY BASED ON ASTM D698. SUBMIT RESULTS TO THE PROJECT ENGINEER.
  - PERFORM ONE COMPACTION DENSITY TEST ON THE IN PLACE SOIL FILTER FOR EVERY 2,000 SQUARE FEET OF FILTER SURFACE AREA. TEST SHALL CONFORM TO ASTM D 2922 - STANDARD TEST METHODS FOR DENSITY OF SOIL AND SOIL-AGGREGATE IN PLACE BY NUCLEAR METHODS (SHALLOW DEPTH); 1996. SUBMIT RESULTS TO THE PROJECT ENGINEER.
- CONSTRUCTION:**
- SOIL FILTER MEDIA AND UNDERDRAIN BEDDING MATERIAL SHALL BE COMPACTED TO BETWEEN 90% AND 92% STANDARD PROCTOR.
  - PERFORATED UNDERDRAIN PIPE SHALL BE 4" SCHEDULE 40 OR SDR 35 PVC PIPE. SPACED 8 FEET ON CENTER MAXIMUM.
  - TRIBUTARY AREAS SHALL BE STABILIZED PRIOR TO INSTALLATION OF THE SOIL FILTER MEDIA MIXTURE AND UNDERDRAIN. STABILIZED IS DEFINED AS PAVED IF IN A PARKING AREA OR ROADWAY, AND 90% GRASS CATCH IF IN A VEGETATED AREA.
  - OUTFLOW OF THE BIORETENTION CELL SHALL BE CONTROLLED BY A 2" PLASTIC TYPE 316 BALL VALVE WITH TYPE 615 BALL VALVE HANDLE EXTENSION (AVAILABLE FROM E.J. PRESCOTT OR EQUIVALENT). A THREE PIECE VALVE BOX (AVAILABLE FROM E.J. PRESCOTT OR EQUIVALENT) SHALL BE INSTALLED OVER THE VALVE. UPON COMPLETION OF THE BIORETENTION CELL, CONTRACTOR SHALL PROVIDE OWNER WITH THE VALVE HANDLE WHICH FITS THE INSTALLED VALVE.
  - ALL EQUIPMENT USED WITHIN THE LIMITS OF THE BIORETENTION CELL SHALL BE LOW GROUND PRESSURE VEHICLES (LESS THAN 2.0 PSI) WHEN FULLY LOADED.
  - UPON COMPLETION OF THE INSTALLATION OF THE SOIL FILTER MEDIA AND PLANTINGS, THE CONTRACTOR SHALL FLOOD THE BIORETENTION CELL TO THE DESIGN ELEVATION WITH CLEAN WATER AND ADJUST THE VALVE TO OBTAIN A 24 HOUR TO 32 HOUR RELEASE TIME.



**BIORETENTION CELL TYPICAL DETAILS**  
NOT TO SCALE

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

Sep 01, 2011 11:25am U:\2277 - Hicks Street V - CAD\DWG\2277-planting-UNIT.dwg

Rev.	Date	Revision
1	9/1/11	ADDED BULKHEADS

Issued For	Date	By
SUBMISSION REVIEW	8/3/10	DER

Design: JKA Draft: CG Date: JUN 2010  
 Checked: DER Scale: AS NOTED Job No: 2277  
 File Name: 2277-planting-UNIT.dwg  
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

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
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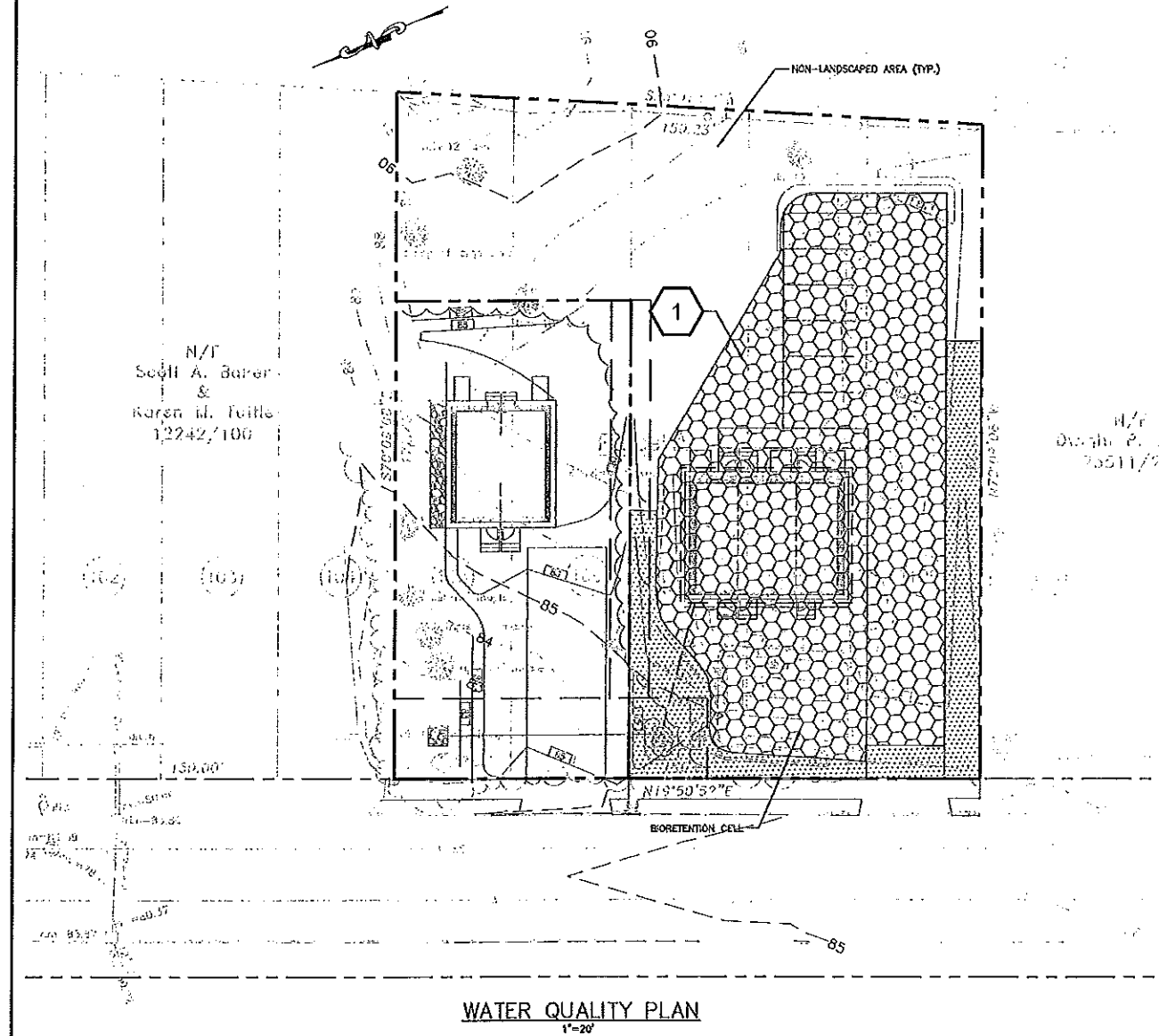
Drawing Name: **Bioretention Cells Details**  
 Project: **Hicks Street Triplex - 212 Hicks Street**  
 Hicks Street, Portland, Maine  
 Client: **John Pompeo**  
 P.O. Box 321, Gorham, Maine 04038

Drawing No. **2**

STORMWATER QUALITY TREATMENT									
SUBCATCHMENT	IMPERVIOUS: MUST TREAT 95%					DEVELOPED: MUST TREAT 80%			
	COVER TYPE	AREA (SF)	AMOUNT TREATED	% AREA	% TREATED	AREA (SF)	AMOUNT TREATED	% AREA	% TREATED
(1)	PAVE/ROOF	5,584	100%	97.6%	97.6%	8,716	100%	80%	80%
UNTREATED	PAVE	140	0%	2.4%	0%	2,183	0%	20%	0%
	TOTAL AREA	5,724		100%		TOTAL AREA	10,899	100%	
			TOTAL % TREATMENT		97.60%			TOTAL % TREATMENT	80%

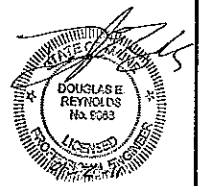
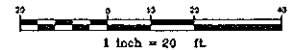
**LEGEND**

-  DISTURBED AREA TREATED BY BIORETENTION CELL SUBCATCHMENT (1)
-  UNTREATED AREA



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NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.



Rev.	Date	Revision
1	9/1/11	ADDED BULKHEADS

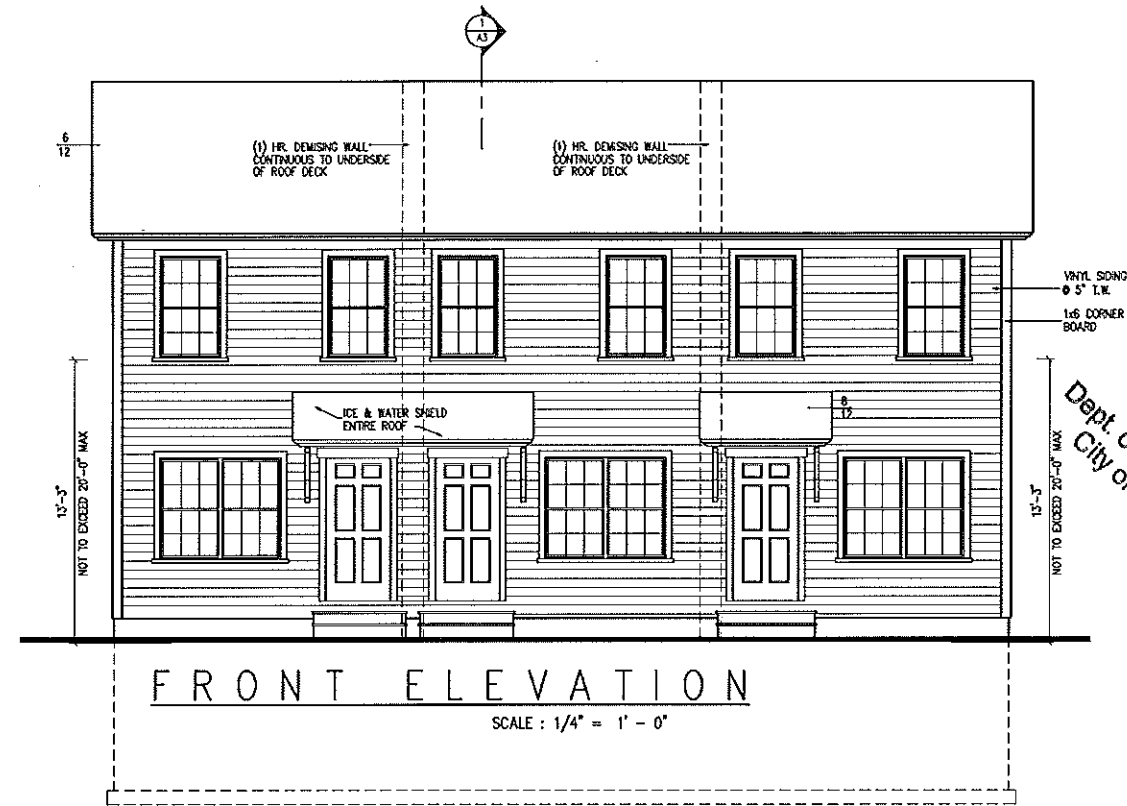
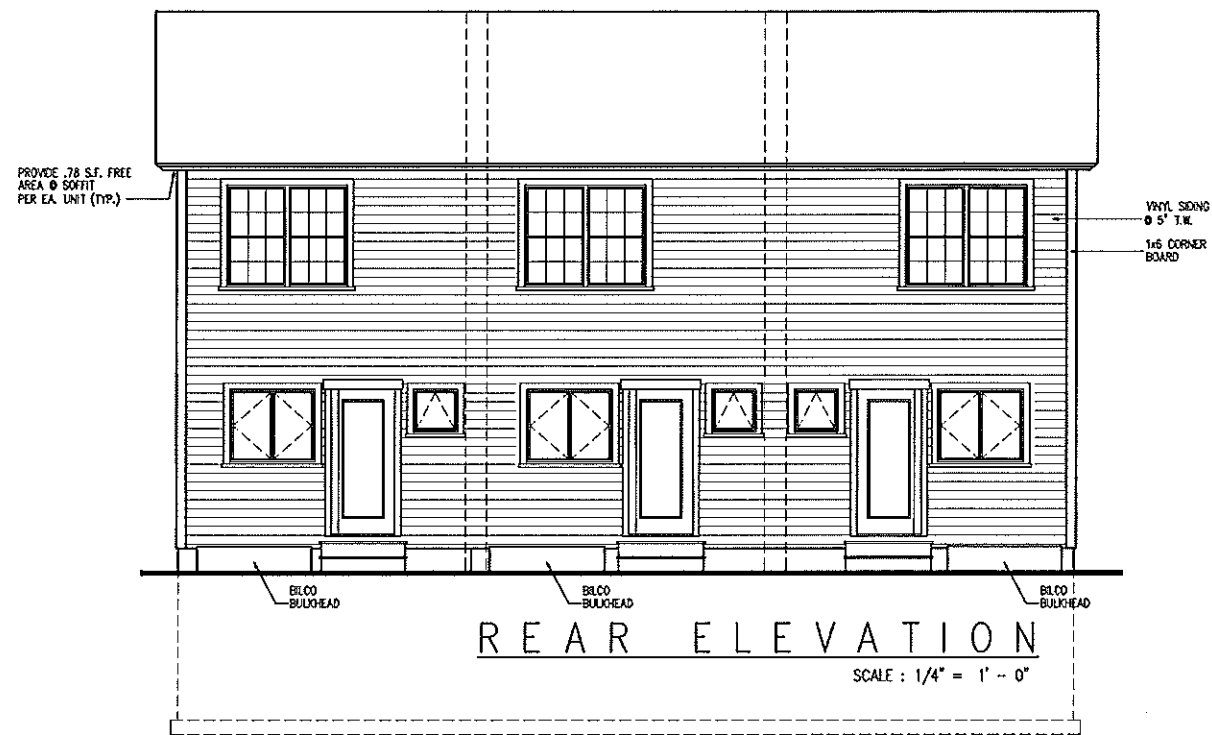
Subdivision	Date	By
SUBDIVISION REVIEW	8/3/10	DER
Issued For		

Design: J6A Draft: CG Date: 8/09  
 Checked: AMP Scale: 1"=20' Job No: 2277  
 File Name: 2277-phase-3\UNIT.dwg  
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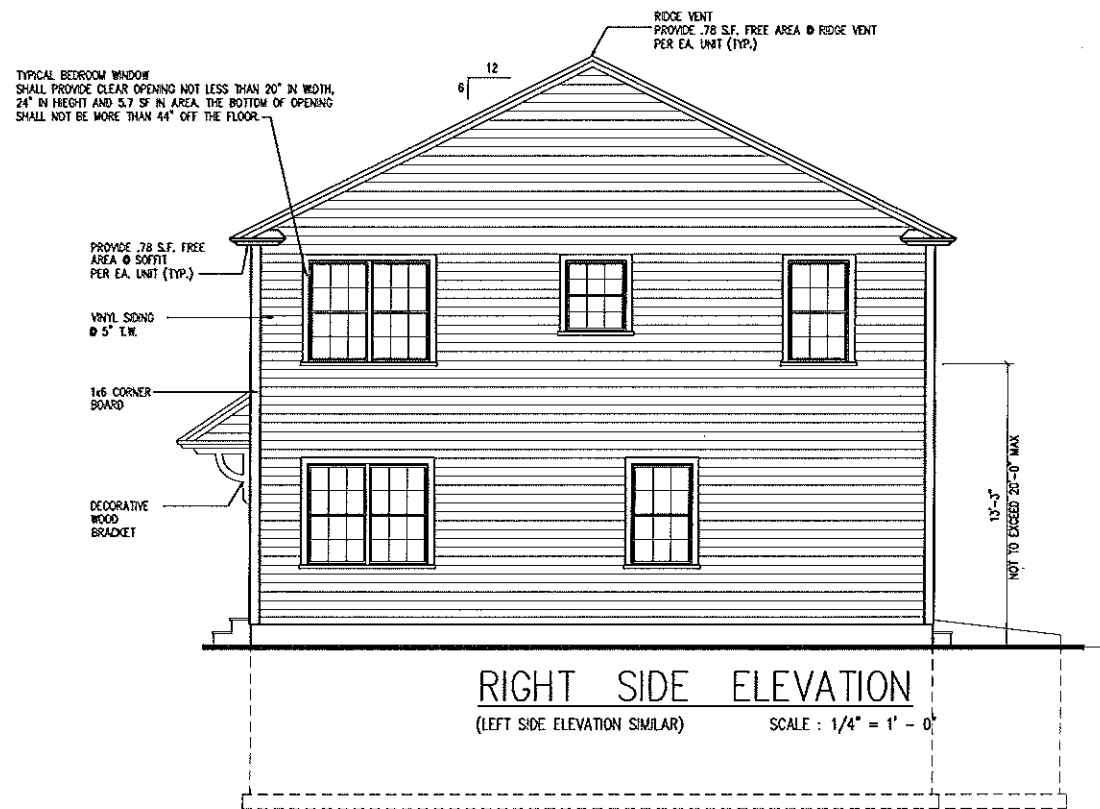
Drawing Name:	Water Quality Plans
Project:	Hicks Street Triplex - 212 Hicks Street Hicks Street, Portland, Maine
Client:	John Pompeo P.O. Box 321, Gorham, Maine 04038

Drawing No.  
**3**



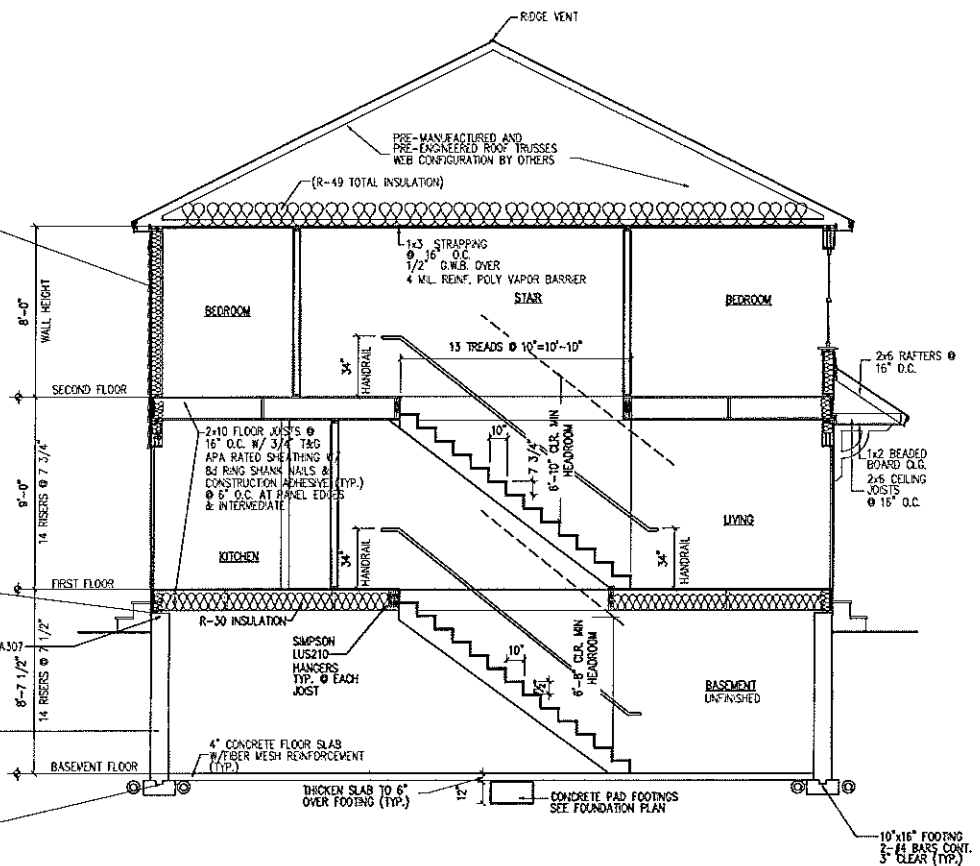
**Revisions**

RECEIVED  
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 Dept. of Building Inspections  
 City of Portland Maine

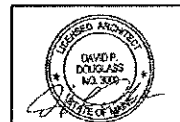


**TYPICAL ROOF CONSTRUCTION**  
 RIDGE VENT  
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.  
 ROOF SHINGLES  
 5/8" APA RATED SHEATHING W/ 8d NAILS, RING SHANK @ 6" O.C. INTERMEDIATE  
 #15 FELT PAPER  
 (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES

TYP. EXTERIOR WALL:  
 1/2" G.W.B. OVER  
 4 M.L. REINF. POLY VAPOR BARRIER  
 2x6 STUDS @ 16" O.C.  
 #3/SOLID 2x BLOCKING AT ALL SHEATHING PANEL EDGES  
 7/16" APA RATED SHEATHING  
 8d NAILS - RING SHANK @ 4" O.C. INTERMEDIATE (TYP.) OVER CONT. BLDG. WRAP UNDER VINYL SIDING



SECTION THRU HOUSE  
 SCALE: 1/4" = 1' - 0"

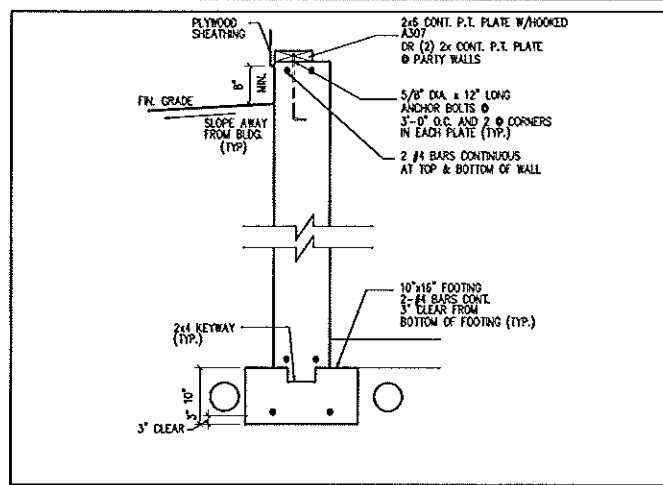


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 PORTLAND, MAINE

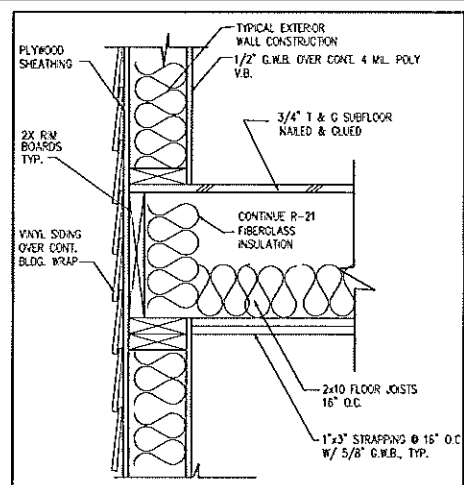
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DATE  
 01/12/12

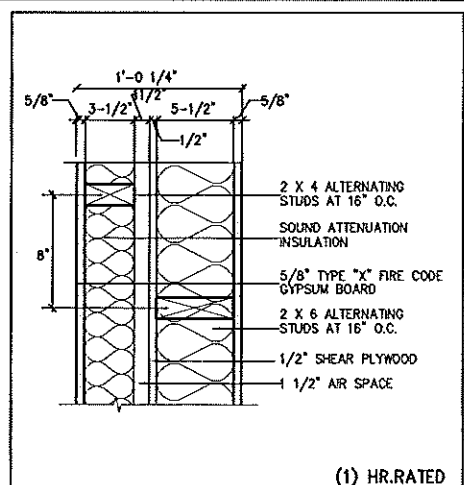
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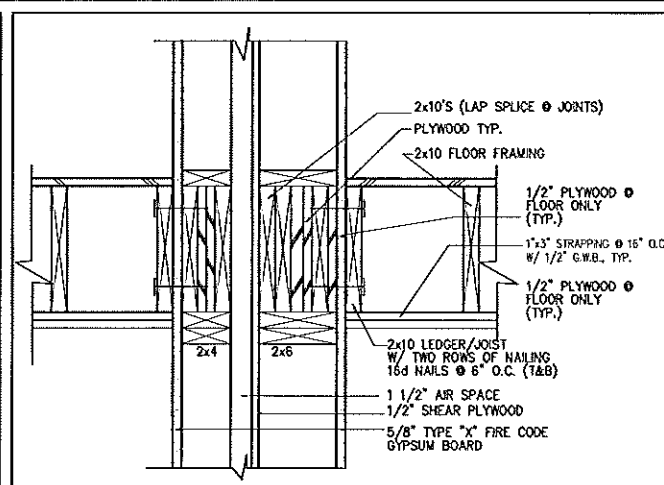
TYPICAL FOUNDATION WALL SCALE: 1"=1'-0"



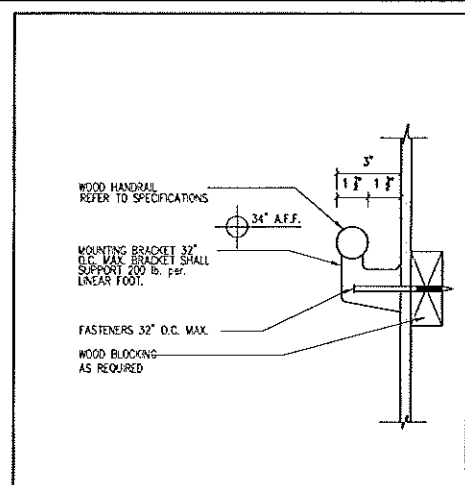
FLOOR FRAMING DETAIL 1 1/2" = 1'-0"



PARTY WALL DETAIL 1 1/2" = 1'-0" STCS7 UL # U341 STM.



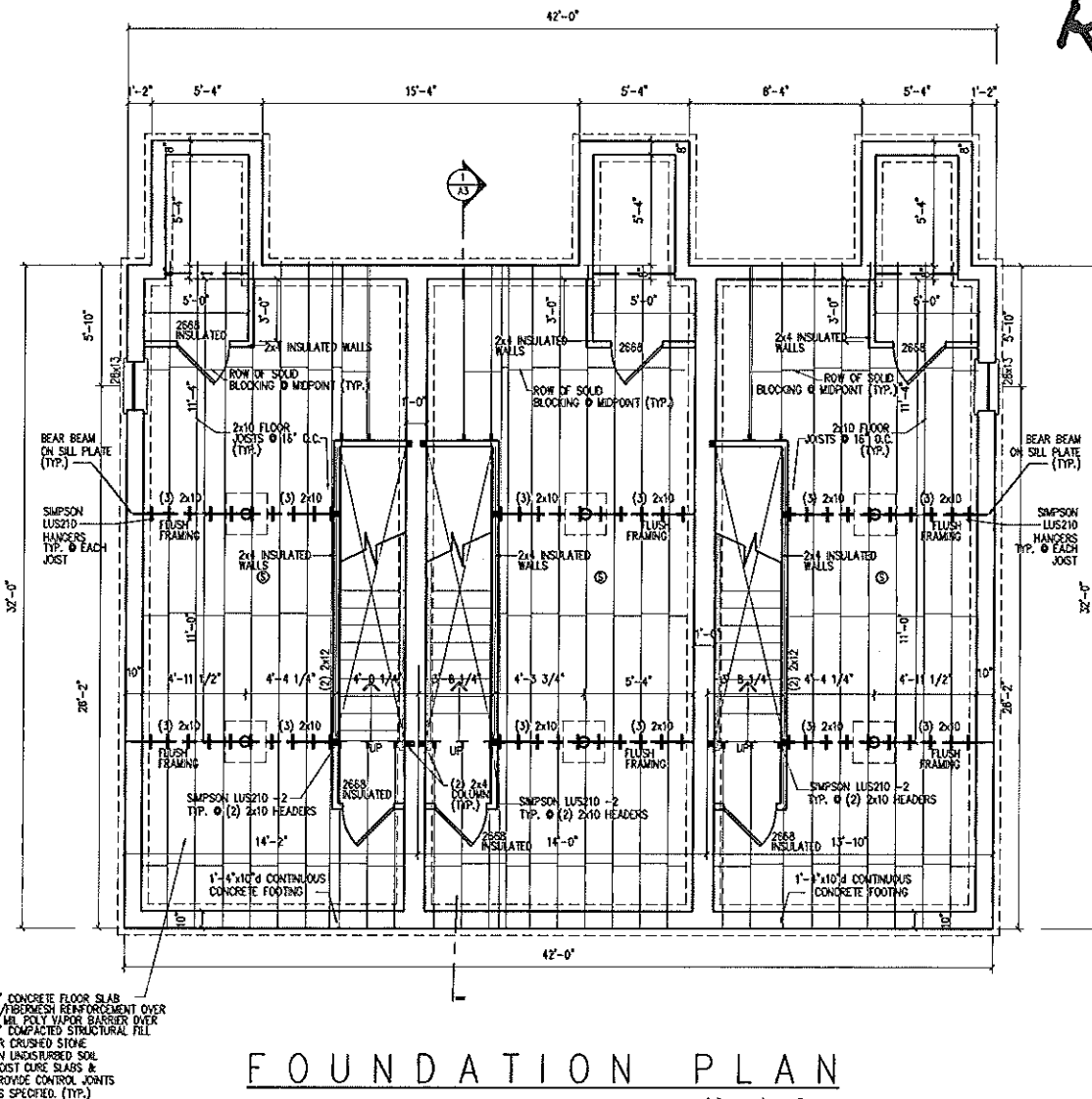
SECTION OF PARTY WALL DETAIL 1 1/2" = 1'-0"



HANDRAIL DETAIL NTS

GENERAL NOTE FOR PARTY / SHEAR WALL:  
 1. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES & INTERMEDIATE. PROVIDE SCREWS @ 6" O.C. @ PANEL EDGES & INTERMEDIATE.  
 2. RUN PARTY WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) ALONG W/ ONE OF THE 2x4 WALLS IN THE PARTY WALL BELOW. PROVIDE (1) LAYER 7/16" APA RATED SHEATHING ONE SIDE ONLY. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES. PROVIDE 8d NAILS @ 6" O.C. @ PANEL EDGES & INTERMEDIATE.  
 3. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATING SHOWN.

MULTI-FAMILY COMPONENT	PLAN REVIEW SUBMITTED PLAN	CHECKLIST FINDINGS/REVISIONS/DATES
<b>STRUCTURAL</b>		
FOOTING DIMENSIONS/DEPTH	10"x16" FOOTING, 10" & 8" THICK WALL, 4" CONC. SLAB	
FOUNDATION DRAINAGE, FABRIC, DAMP PROOFING	ASPHALT TAR PIPE/ DRAIN FILTER FABRIC OVER THE DRAIN	
VENTILATION/ACCESS CRAWL SPACE ONLY	N/A	
ANCHOR BOLTS/STRAPS, SPACING	5/8" DIA. x 12" LONG HOOKED A307, 3'-0" O.C. & CORNERS	
LALLY COLUMN TYPE, GRIDER & HEADER SPANS	3 1/2" DIA. LALLY COLUMN ON 24"x24" FOOTING 12" THICK MAX SPAN 5'-4"	
BUILT-UP WOOD CENTER GRIDER DIMENSIONS/TYPE	(3) 2x10 W/LEDGER	
SILL/BAND JOIST TYPE & DIMENSIONS	2x6 PRESSURE TREATED, 2x10 RM	
FIRST FLOOR JOIST SPECIES DIMENSIONS AND SPACING	2x10 @ 16" O.C.	
SECOND FLOOR JOIST SPECIES DIMENSIONS AND SPACING	2x10 @ 16" O.C.	
ATTIC OR ADDITIONAL FLOOR JOISTS DIMENSIONS AND SPACING	ROOF TRUSSES @ 24" O.C. W/2x4 BOTTOM CHORD	
PITCH, SPAN, SPACING & DIMENSION, ROOF RAFTER FRAMING & CONNECTIONS	6/12 ROOF TRUSSES @ 24" O.C. SPANNING 32'-0"	
SHEATHING: FLOOR, WALL AND ROOF	3/4" ADVANTIX FLOOR SHEATHING, 7/16" APA RATED WALL SHEATHING, 5/8" APA RATED ROOF SHEATHING	
FASTENER SCHEDULE	PER CODE	
<b>GARAGE</b>		
LIVING SPACE - FIRE SEPARATION TO GARAGE	N/A - NO GARAGE	
OPENING PROTECTION	N/A	
EMERGENCY ESCAPE AND RESCUE OPENINGS	30x24 EGRESS WINDOWS	
ROOF COVERING	25 YEAR FIBERGLASS SHINGLES	
SAFETY GLAZING	N/A	
ATTIC ACCESS	2x4x6 ATTIC ACCESS - REFER TO PLANS LOCATE BETWEEN ROOF TRUSSES	
CHIMNEY CLEARANCES/FIRE BLOCKING	N/A	
HEADER SCHEDULE	REFER TO HEADER SCHEDULE SHEET A2	
ENERGY EFFICIENT R-FACTORS OF WALLS, FLOORS, CEILINGS, BUILDING ENVELOPE, U-FACTOR FENESTRATION	WALLS: R-21 CEILING: R-49 FLOOR: R-21 WINDOWS: U-FACTOR .35	
<b>MEANS OF EGRESS</b>		
BASEMENT	YES - BULKHEAD ACCESS	
NUMBER OF STAIRWAYS	12	
INTERIOR	6 - INCLUDING BULKHEAD STAIRS (2) PER UNIT	
EXTERIOR	6 (2) PER UNIT	
TREADS AND RISERS	7 1/2" RISE 10" TREAD, 7 3/4" RISE	
WIDTH	3'-0" CLEAR	
HEADROOM	6'-8" CLEAR +/-	
GUARDRAILS & HANDRAILS	34" WITH RETURNS	
SMOKE DETECTORS LOCATION AND TYPE/INTERCONNECTED	REFER TO GENERAL NOTES A1	
DWELLING UNIT SEPARATION	FIRE SEPARATION CONTINUOUS TO UNDERSIDE OF ROOF DECK	
DECK CONSTRUCTION	N/A	



FOUNDATION PLAN SCALE: 1/4" = 1' - 0"

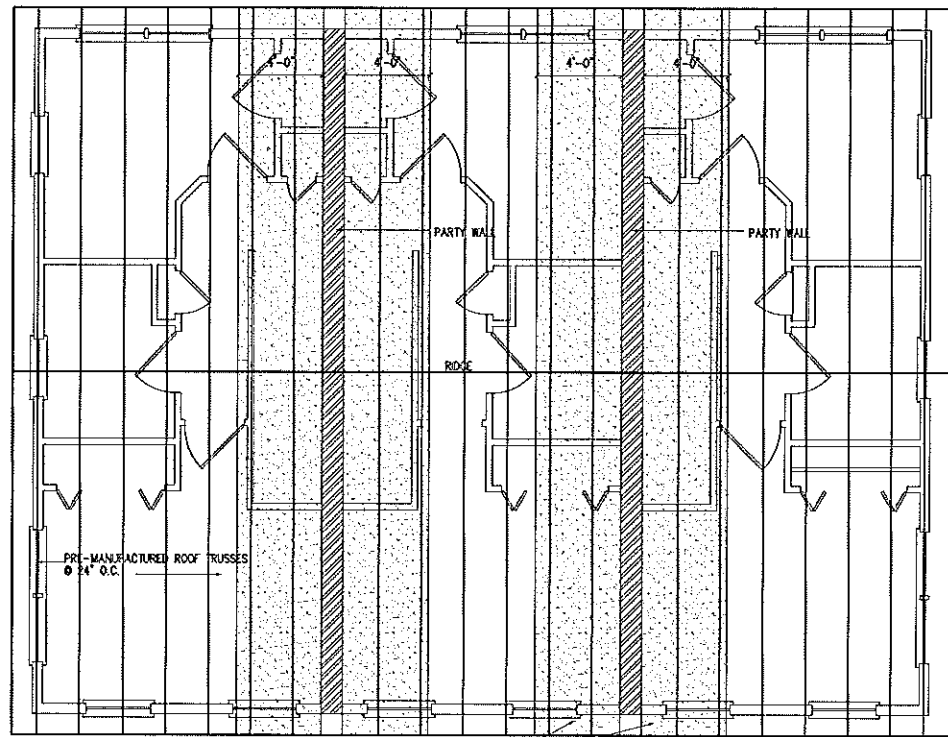
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 City of Portland Maine  
*Final*  
 Revisions



42 x 32 UNIT  
 PORTLAND, MAINE

FOUNDATIONS THIS SHEET  
 FOUNDATION PLAN  
 DETAILS

DATE  
 01/12/12  
 A1



**ROOF PLAN**  
SCALE: 1/4" = 1' - 0"

A PARAPET IS NOT REQUIRED WHEN THE ROOF IS COVERED WITH A MINIMUM CLASS C ROOF COVERING AND THE ROOF DECKING OR SHEATHING IS A NON-COMBUSTIBLE MATERIAL OR APPROVED FIRE-RETARDANT-TREATED WOOD FOR A DISTANCE OF 4 FT. ON EACH SIDE OF THE WALLS, OR ONE LAYER 1/2" TYPE X GYPSUM BOARD IS INSTALLED DIRECTLY BENEATH THE ROOF DECKING OR SHEATHING FOR A DISTANCE OF 4 FT. ON EACH SIDE OF WALLS. (RC)

- GENERAL NOTES:**
- All work shall be in accordance with IBC Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
  - All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
  - All required City and State permits must be obtained before any construction begins.
  - It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, bracing, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
  - Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
  - All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire rating material.
  - Building shall be sprinkled in accordance with NFPA-13. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
  - Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
  - Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority having jurisdiction needs to provide written requirements.
  - Balconies must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
  - HVAC installation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31, NFPA-54 and NFPA-70 as applicable.
  - These plans are not to be duplicated or reproduced for multiple buildings. The stamped drawing set is for one constructed building.

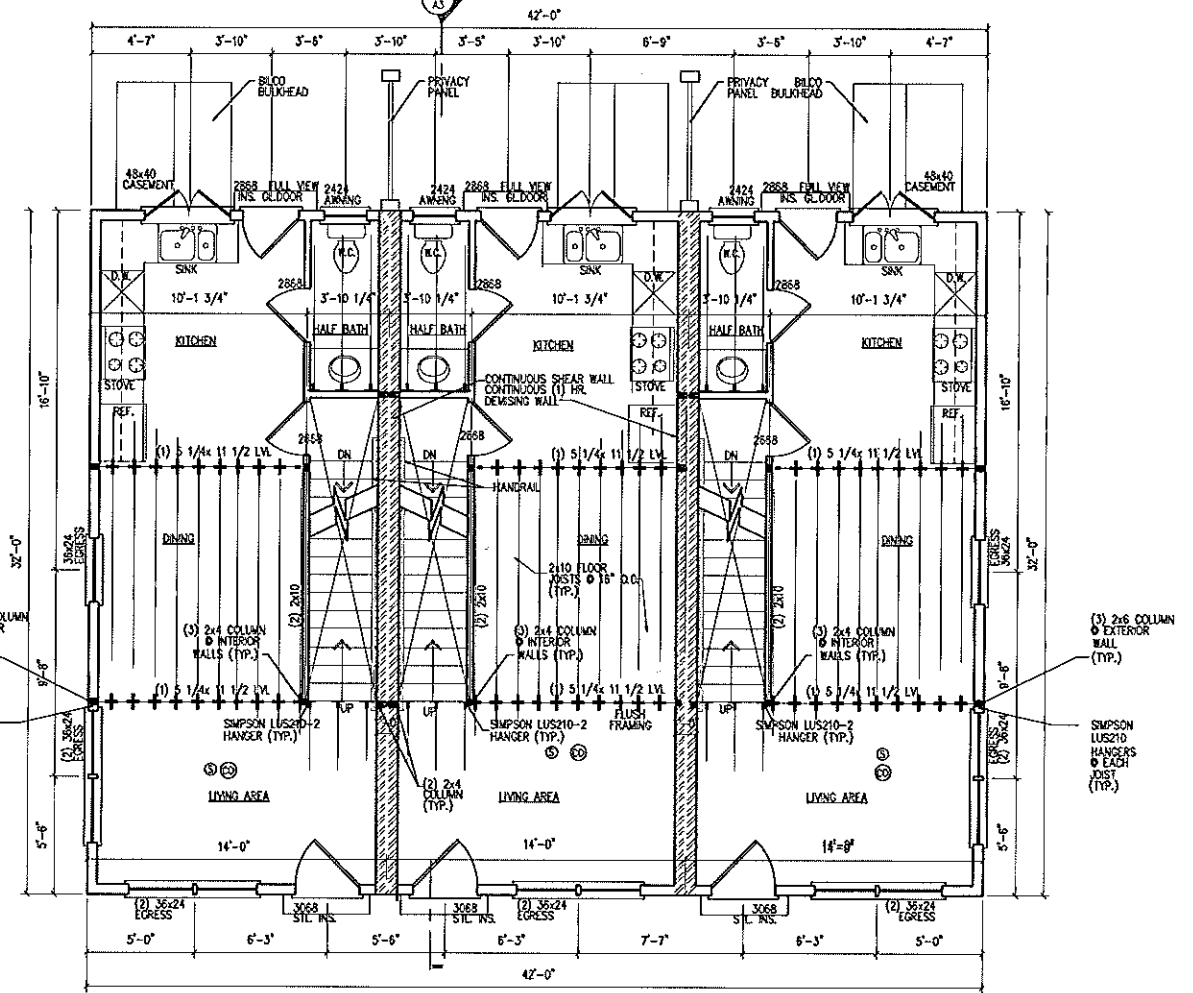
- FOUNDATION NOTES:**
- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
  - FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
  - ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
  - ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
  - ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED W/CCA TO 0.41/CF RETENTION PER ANPA.
  - ALL CONCRETE SURFACES SHALL HAVE A STEEL FROWEL & LIGHT BRUSH FINISH.
  - SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.

NOTE: BUILDING TO BE SPRINKLERED PER NFPA-13

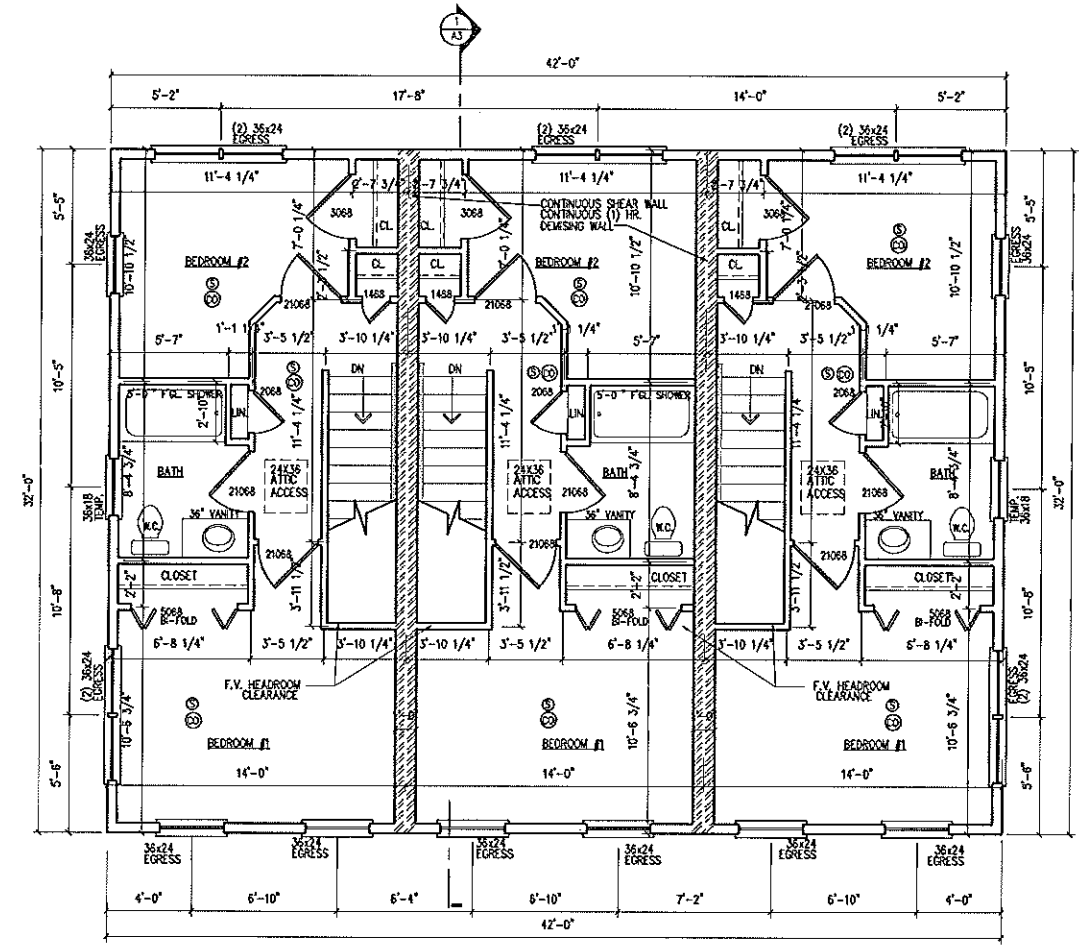
HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JACKS BOTH ENDS AS FOLLOWS:  
2x6 JACK PLUS 2x8 KING UP TO 4'-6" ROUGH OPENING  
(2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

- FRAMING NOTES:**
- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUD WALLS @ 16" O.C. W/ 1/2" G.I.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL, 6" BATT INSULATION (R-21), AND 7/16" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
  - ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.I.B. EACH SIDE.
  - INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
  - THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1' - 0"



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1' - 0"

**RECEIVED**  
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42 x 32 UNIT  
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DRAWINGS THIS SHEET  
FLOORPLANS  
NOTES

DATE  
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A2