

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT
PERMIT

Permit Number: 090907

RECEIVED

This is to certify that MOUNT SINAI CEMETERY SOCIAL CLUB, A One Inc.
has permission to construct a 28' x 32 Duplex - 8 sq ft w/2 bedroom per unit
AT 204 HICKS ST C 296 C01S001

¹² NOV 25 2009

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Dept. of Building Inspections
City of Portland, Maine

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or otherwise closed-in. 2 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas H. Moulton 11/25/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0907	Issue Date:	CBL: to 1b 296 C012001
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Location of Construction: 204 HICKS ST	Owner Name: MOUNT SINAI CEMETERY ASS	Owner Address: 185 HICKS ST	Phone:
Business Name:	Contractor Name: W A One Inc.	Contractor Address: PO Box 10127 Portland	Phone: 2077734988
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	Zone: R-5

Past Use: Vacant Land	Proposed Use: Duplex - construct a 28' x 32' Duplex - 896 sq ft w/2 Bedrooms per unit	Permit Fee: \$1,345.00	Cost of Work: \$125,000.00	CEO District: 5
Proposed Project Description: construct a 28' x 32 Duplex - 896 sq ft w/2 Bedrooms per unit		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Signature: _____ Date: 11/25/09

Signature: _____ Date: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Permit Taken By: Ldobson	Date Applied For: 08/21/2009	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Panel C Zone X</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan #09-79900007 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>8/27/09</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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RECEIVED

NOV 25 2009

Dept. of Building Inspections
City of Portland Maine

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0907	Issue Date: 11/25/2009	CBL: 296 C012001
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Location of Construction: 204 Hicks St	Owner Name: Pompeo John	Owner Address: P.O. Box 321	Phone: 207-776-8130
Business Name:	Contractor Name: W A One Inc.	Contractor Address: PO Box 10127 Portland	Phone 2077734988
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	Zone:

Past Use: Vacant Land	Proposed Use: Duplex - construct a 28' x 32 Duplex - 896 sq ft w/2 Bedrooms per unit	Permit Fee: \$1,345.00	Cost of Work: \$125,000.00	CEO District: 5
Proposed Project Description: construct a 28' x 32 Duplex - 896 sq ft w/2 Bedrooms per unit		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	
		Signature:		Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:				

Permit Taken By: Ldobson	Date Applied For: 08/21/2009	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

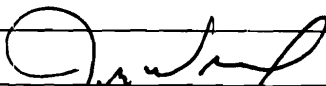
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>204 Hicks Street</u>		
Total Square Footage of Proposed Structure/Area <u>1,792</u>	Square Footage of Lot <u>25,246</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>296</u> Block# <u>C</u> Lot# <u>12-16</u>	Applicant * <u>must</u> be owner, Lessee or <u>Buyer</u> * Name <u>W.A. ONE INC.</u> Address <u>P.O. Box 10127</u> City, State & Zip <u>Portland, ME 04104</u>	Telephone: <u>207-773-4988</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Mount Sinai Cemetery</u> Address <u>185 Hicks St.</u> City, State & Zip <u>Portland, ME 04103</u>	Cost Of Work: \$ <u>125,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>VACANT LAND</u> If vacant, what was the previous use? <u>" "</u> Proposed Specific use: <u>duplex</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Construction of A 28x32 duplex</u>		
Contractor's name: <u>W.A. ONE INC. c/o Diversified Properties, Inc</u> Address: <u>PO Box 10127</u> City, State & Zip <u>Portland ME 04104</u> Telephone: <u>773-4988</u> Who should we contact when the permit is ready: <u>Jim Wolf</u> Telephone: <u>773-4988</u> Mailing address: <u>P.O. Box 10127 Portland, ME 04104</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 	Date: <u>8-10-01</u>
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This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0907	Date Applied For: 08/21/2009	CBL: 296 C012001
-----------------------	---------------------------------	---------------------

Location of Construction: 204 Hicks St	Owner Name: MOUNT SINAI CEMETERY ASS	Owner Address: 185 HICKS ST	Phone:
Business Name:	Contractor Name: W A One Inc.	Contractor Address: PO Box 10127 Portland	Phone (207) 773-4988
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	

Proposed Use: Duplex - construct a 28' x 32 Duplex - 896 sq ft w/2 Bedrooms per unit	Proposed Project Description: construct a 28' x 32 Duplex - 896 sq ft w/2 Bedrooms per unit
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/27/2009

Note: **Ok to Issue:**

- 1) A separate permit shall be obtained for a shed shown at the rear of the lot (SW corner) or the shed shall be removed.
- 2) This application shows not daylight basement in the rear and no bulkheads.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages. Currently there are no rear decks, only a rear entry platform and stairs. Separate permits shall be required for the addition of rear decks.
- 4) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is noted that this lot is currently 25,246 sq ft in size. THE LOT SHALL NOT BE DIVIDED PRIOR TO REQUIRED REVIEWS OF THAT REVISION.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 09/10/2009

Note: **Ok to Issue:**

- 1) All floors and walls that separate dwelling units or dwelling units and common areas are required to meet a 1 hour fire rated assembly and sound transmission rating of 45 STC.
- 2) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC
- 3) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 5) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 6) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 7) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 8) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

8/27/2009-mes: currently this lot is 25,246 sq ft for the entire lot - 296-C-12 thru 16 - the site plan is under the new system #09-

Location of Construction: 204 Hicks St	Owner Name: MOUNT SINAI CEMETERY ASS	Owner Address: 185 HICKS ST	Phone:
Business Name:	Contractor Name: W A One Inc.	Contractor Address: PO Box 10127 Portland	Phone (207) 773-4988
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	

79900007. - WAIT for Planning SITE PLAN SIGN-OFF

9/28/2009-mes: Jim Wolf, the developer is now dividing up the lot and has changed the site plan. Legal is looking into whether this is a subdivision. I have re-reviewed it.

11/25/2009-tm: Phil Dipierro sent an E-mail to approve issuing the building permit.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

X

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

X

Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space

X

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

X

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

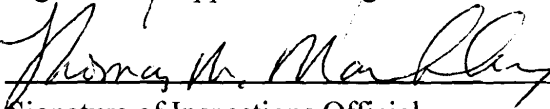
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

X 

Signature of Applicant/Designee

11/25/01

Date



Signature of Inspections Official

11/25/09

Date

Comments Submitted

Latest Sheet

Applicant: Diversified/WAONE is owner

Date: 9/28/09

Address: 204 Hicks St

C-B-L: 296-C-12-16

CHECK-LIST AGAINST ZONING ORDINANCE

Bldg permit #09-0907

Date -

Zone Location - R-5

#1A

#2A

Interior or corner lot - HAS NOW split the lot into 2 panels - 7200[#] & 18,045.75[#]

Proposed Use/Work - on the 7,200[#] lot - is showing a 2 family 28' x 32'

Sewage Disposal - City

Lot Street Frontage - 50' min - 58.5' scaled & 87' scaled

Front Yard - 20' min - lot #1A shows 55' setback

Rear Yard - 20' min - lot #1A shows 20' exactly

Side Yard - 12' min - 13' & 18.5' shown & scaled

Projections - 2 story front stairs for both units & rear stairs for both units

Width of Lot - 2 unit 60' min req - 60' shown scaled
3 unit 90' min req - 90' shown scaled

Height - 35' max - 23.5' scaled

Lot Area - for 2 unit: 6,000[#] min - 7,200[#] given
for 3 unit 18,000[#] min - 18,045.75[#] given

Lot Coverage Impervious Surface -

Area per Family - for 2 unit - 3000[#] per unit a 6000[#] min - 7,200[#] given
for 3 unit - 6,000[#] each a 18,000[#] min - 18,045.75[#]

Off-street Parking - 2 PKs trench D.U or 4 PKg - 4 shown

Loading Bays - N/A

7200[#] x 40% = 2880[#] MAX / 28 x 32 = 896[#] + entries
18,045.75 x 40% - is vacant

Site Plan - #09-79900007

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 6 - Zone X

NO Daylight basement - NO rear decks (only entry platforms & stairs)
Shed shown on survey

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	296 C013001
Location	204 HICKS ST
Land Use	RELIGIOUS
 Owner Address	 MOUNT SINAI CEMETERY ASSOCIATION 185 HICKS ST PORTLAND ME 04103
 Book/Page	 296-C-13 TO 16
Legal	HICKS ST 204-212 20121 SQ FT

Current Assessed Valuation

Land	Building	Total
\$16,100	\$ 0.00	\$16,100

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres
		2		0.462
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic
				Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

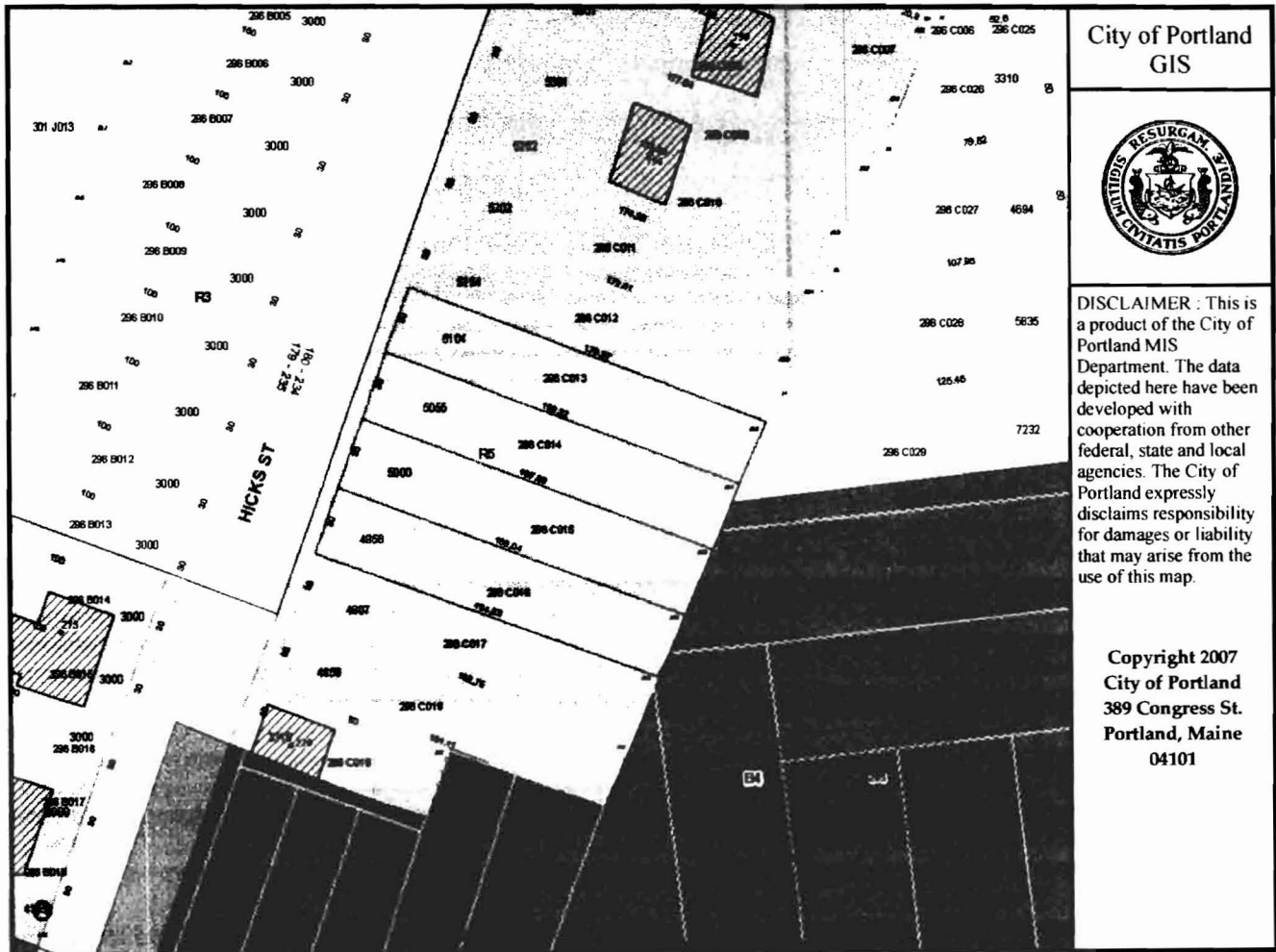
Picture	Sketch	Tax Map
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

204 Hicks St - Jim Wood



From: Marge Schmuckal
To: Barbara Barhydt; Jean Fraser
Date: 8/17/2009 4:08:09 PM
Subject: Re: Jim Wolf's duplex- Pre-app 204 Hicks Street

Jean,

Section 14-336(b) of the parking section of the ordinance states:

"Parking shall be prohibited in the front yard of lots containing two (2) or more dwelling units, **except within one (1) driveway on the lot.** "Driveway," as used in this paragraph, shall not include any turnaround area."

Therefore, what Jim Wolf is showing on his plans is approveable under the ordinance.

Marge

>>> Jean Fraser 8/14/2009 3:05:15 PM >>>
Barbara and Marge,

Sukria and I met with Jim this afternoon and the following was agreed:

1. Jim needs to submit the following (in addition to the grading and drainage plans he sent by pdf):

Floor plans and elevations

Drainage narrative

Note re the street trees (re location; 4 are shown)

Note re provision of sidewalk (he will do sidewalk; curbs already in place)

Agreed that 2 sets of plans will be full size to scale and 5 sets 11X17 (as long as scaleable and measureable); he indicated they would arrive in Planning on Mon or Tues next week.

2. He will hold to submit until Jean clarifies with Marge re the parking; his plan (attached and paper copy at scale given to Marge today) shows parking stacked (each unit has 2 spaces, one behind each other; each unit can access their stacked 2 spaces independently). Jim says the entire site plan and building/parking layout is exactly as an approved lot on Carriage Lane. Marge- is this something we have approved/would approve?

3. He has the new application form all filled in etc.; we pointed out #15 of the Site Plan requirements that would apply here. Because its exactly like Carriage Lane, he feels confident it will be OK.

Note: This is zoned R5 within a pocket of R5 surrounded by R3 near the Warren Ave end of Hicks. He confirmed that he is going to divide the lot and do another house/duplex in future.

He will submit the building permit application a few days after he submits the site plan application.

Jean

(Shukria- please add if I have left anything out)

CC: Shukria Wiar

Off-street parking shall not include:

- (a) More than one (1) commercial motor vehicle in any residence zone, the R-P zone or any B-1 zone;
- (b) More than six (6) commercial motor vehicles in any B-2 zone;
- (c) Loading, sales, dead storage, repair, or servicing of any kind, except when customarily incidental or accessory to a conforming principal building or use when located in an I-2, I-2b, I-3 zone and I-3b zone;
- (d) Except in the case of a car dealer, more than one (1) unregistered motor vehicle stored outside for a period in excess of thirty (30) days in any residence zone, the R-P zone or any business zone;
- (e) Notwithstanding (1) above, any truck body, commercial trailer or similar commercial vehicles in any residence zone or the R-P zone.

(Code 1968, § 602.14.E; Ord. No. 298-88, 5-31-88)

Sec. 14-336. Location in residence zones for six or fewer vehicles.

(a) Where off-street parking for six (6) or fewer vehicles is required or provided in any residence zone, it shall not be located closer than fifty (50) feet to any street line if less than five (5) feet from any lot line and shall not be closer to any street line than the required depth of the front yard for the same lot, except on a corner lot where the minimum depth from the line of the side street shall be the minimum width of the side yard on the side street. Lots in the R-6 zone shall not be required to provide the five-foot setback required by this section, but parking in the R-6 zone shall meet the front yard setbacks set forth in this section.

(b) Parking shall be prohibited in the front yard of lots containing two (2) or more dwelling units, except within one (1) driveway on the lot. "Driveway," as used in this paragraph, shall not include any turnaround area.

(Code 1968, § 602.14.F; Ord. No. 231-90, § 1, 3-5-90; Ord. No. 310-98, § 2, 5-4-98)

Sec. 14-337. Location in residence zones for more than six vehicles.

Off-street parking shall not include:

- (a) More than one (1) commercial motor vehicle in any residence zone, the R-P zone or any B-1 zone;
- (b) More than six (6) commercial motor vehicles in any B-2 zone;
- (c) Loading, sales, dead storage, repair, or servicing of any kind, except when customarily incidental or accessory to a conforming principal building or use when located in an I-2, I-2b, I-3 zone and I-3b zone;
- (d) Except in the case of a car dealer, more than one (1) unregistered motor vehicle stored outside for a period in excess of thirty (30) days in any residence zone, the R-P zone or any business zone;
- (e) Notwithstanding (1) above, any truck body, commercial trailer or similar commercial vehicles in any residence zone or the R-P zone.

(Code 1968, § 602.14.E; Ord. No. 298-88, 5-31-88)

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(Code 1968, § 602.14.F; Ord. No. 231-90, § 1, 3-5-90; Ord. No. 310-98, § 2, 5-4-98)

Sec. 14-337. Location in residence zones for more than six vehicles.

Comments
Submitted

8/26/09

City of Portland
Development Review Application
Planning Division Transmittal form

Application Number: 09-79900007 **Application Date:** 8/20/09
Project Name: 28X32 DUPLEX CONSTRUCTION
Address: 204 Hicks St **CBL:** 296 - C-013-001
Project Description: 28x32 Duplex Construction; 204 Hicks Street; Diversified Properties, Applicant
Zoning: R-3
Other Reviews Required:
Review Type: MINOR SITE PLAN

W.A.DNE Inc. c/o
Diversified Properties

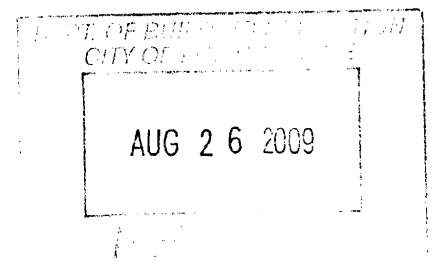
Portland Me 04104

Distribution List:

<input checked="" type="checkbox"/> Planner	Shukria Wiar	<input checked="" type="checkbox"/> City Arborist	Jeff Tarling
<input checked="" type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input checked="" type="checkbox"/> Design Review	Alex Jaegerman
<input checked="" type="checkbox"/> Traffic	Tom Errico	<input checked="" type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input checked="" type="checkbox"/> Inspections	Tammy Munson	<input checked="" type="checkbox"/> Sanitary Sewer	John Emerson
<input checked="" type="checkbox"/> Fire Department	Keith Gautreau	<input checked="" type="checkbox"/> Stormwater	Dan Goyette
<input checked="" type="checkbox"/> Parking	John Peverada	<input checked="" type="checkbox"/> Historic Preservation	Deb Andrews
<input checked="" type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
<input checked="" type="checkbox"/> DRC Coordinator	Phil DiPierro		

Preliminary Comments needed by: Wednesday, September 2nd, 2009

Final Comments needed by:



Zoning Administrator Marge Schmuckal

08/27/09

This duplex is located in the R-5 Residential Zone. All setbacks, lot coverage, building height and parking requirements are being met.

It is noted that a separate permit shall be obtained for a shed shown at the rear of the lot (SW corner) or the shed shall be remove.

This application shows no daylight basement in the rear and no bulkheads. No decks are being shown, only landing platforms and stairs. Separate reviews and permits shall be required for the addition of rear decks.

This application is being approved on the basis of plans submitted. The property is one lot that is 25,246 sq ft in size. The lot shall not be divided prior to required reviews of that revision. Such a division may require a subdivision review before the Planning Board.

DIVERSIFIED PROPERTIES, INC.

P.O. BOX 10127, PORTLAND, ME 04104

TEL 207-773-4988 FAX 207-773-6875

OFFICE HOURS

Monday – Friday 8:30am to 5 pm

PHYSICAL ADDRESS

449 Forest Ave., Portland, ME 04101

Thursday, August 20, 2009

Jean Fraser
Shukria Wiar
Portland City Hall
389 Congress Street
Portland, ME 04101

RE: 204 Hicks Street

Dear Jean and Shukria:

Enclosed please find a site plan application for the construction of a duplex at 204 Hicks Street. Gorrill Palmer Engineers has been retained to prepare a site, utility, grading and drainage plan and a water resources narrative for the site. The property has been surveyed by Titcomb Associates and is shown as Parcel B on the enclosed survey. The city has the property shown on tax map 296-C-12 to 16. The property is currently owned by the Mount Sinai Cemetery and under contract to W.A. One, Inc.

Site Description

The project site is located on Hicks Street close to Warren Avenue. There are no existing buildings located on the site. Hicks Street is a city accepted road with granite curbing.

Zoning

The project site is zoned R-5 (Residential Zone). Minimum lot size in this zone is 6,000 square feet. The parcel being developed is 25,246 square feet.

Proposed Use

We are requesting a building permit for a duplex. Plans for the building are enclosed.

Access

The proposed building will be accessed by one double car drive with 4 9 by 19 parking spaces located outside of the required front yard. No other drive exists within 50 feet of our proposed location.

AUG 26 2009

RECEIVED



Development Review Application
PORTLAND, MAINE

Department of Planning and Urban Development,
Planning Division and Planning Board

PROJECT NAME: Hicks Street Duplex

PROPOSED DEVELOPMENT ADDRESS:

204 Hicks Street

PROJECT DESCRIPTION:

Construct 1 28 x 32 duplex

CHART/BLOCK/LOT: 296-C-12 to 16

CONTACT INFORMATION:

APPLICANT W.A. ONE INC. c/o
Name: Diversified Properties
Address: P.O. Box 10127
Portland ME
Zip Code: 04104
Work #: 773-4988
Cell #: 831-4988
Fax #: 773-6875
Home: _____
E-mail: _____

PROPERTY OWNER
Name: Mount Sinai Cemetery
Address: 185 Hicks St
Portland
Zip Code: 04103
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

BILLING ADDRESS

Name: Same As Applicant
Address: _____

Zip: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

~As applicable, please include additional contact information on the next page~

AGENT/REPRESENTATIVE

Name: SAME AS Applicant
Address: _____

Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

ENGINEER

Name: Gorrill-Palmer Consulting
Address: P.O. Box 1237
Gray ME.
Zip Code: 04039
Work #: 657-6910
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

ARCHITECT

Name: NA
Address: _____

Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

CONSULTANT

Name: NA
Address: _____

Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

SURVEYOR

Name: T. Tcomb Associates
Address: 133 Gray Rd.
Falmouth ME.
Zip Code: 04105
Work #: 797-9199
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

ATTORNEY

Name: Terry Snow
Address: PO Box 275
Cumberland Center
Zip Code: 04021
Work #: 829-6363
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area 25,246 sq. ft.
 Proposed Total Disturbed Area of the Site _____ sq. ft.
 (If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland.)

IMPERVIOUS SURFACE AREA

Proposed Total Paved Area _____ sq. ft.
 Existing Total Impervious Area 0 sq. ft.
 Proposed Total Impervious Area _____ sq. ft.
 Proposed Impervious Net Change _____ sq. ft.

BUILDING AREA

Existing Building Footprint 0 sq. ft.
 Proposed Building Footprint 896 sq. ft.
 Proposed Building Footprint Net change 896 sq. ft.
 Existing Total Building Floor Area 0 sq. ft.
 Proposed Total Building Floor Area 1,792 sq. ft.
 Proposed Building Floor Area Net Change 1,792 sq. ft.
 New Building YES (yes or no)

ZONING

Existing R-3
 Proposed, if applicable _____

LAND USE

Existing VACANT
 Proposed duplex

RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units 1
 Proposed Number of Residential Units to be Demolished 1
 Existing Number of Residential Units 2
 Proposed Number of Residential Units 1
 Subdivision, Proposed Number of Lots _____

PARKING SPACES

Existing Number of Parking Spaces 0
 Proposed Number of Parking Spaces 4
 Number of Handicapped Parking Spaces 0
 Proposed Total Parking Spaces 4

BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces 0
 Proposed Number of Bicycle Parking Spaces _____
 Total Bicycle Parking Spaces _____

ESTIMATED COST OF PROJECT

125,000

AUG 26 2009

Please check all reviews that apply to the proposed development

Design Review _____	Stormwater Quality _____
Flood Plain Review _____	Traffic Movement _____
Historic Preservation _____	Zoning Variance _____
Housing Replacement _____	Historic District/Landmark _____
14-403 Street Review _____	Off Site Parking _____
Shoreland _____	Multi-Family Dwelling _____
Site Location Act Local Review _____	B-3 Pedestrian Activity Review _____
Single Family Dwelling _____	Change of Use _____
2 Family Dwelling <input checked="" type="checkbox"/> _____	

APPLICATION FEE:

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p>Major Development (more than 10,000 sq. ft.)</p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p>Plan Amendments</p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p> <p>Subdivision</p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$_____ + (applicable Major site plan fee)</p>
<p>Minor Site Plan Review</p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p>Other Reviews</p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00)</p> <p><input type="checkbox"/> Storm water Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p>

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submissions shall include seven (7) packets with folded plans containing the following materials:

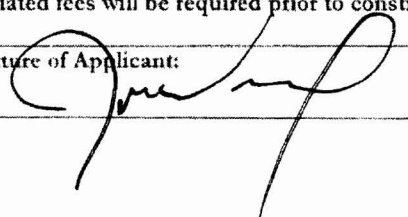
1. Seven (7) full size site plans that must be folded.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist (page 9) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: 	Date: 8/20/09
---	---------------

**Hicks Street Duplex – WA One
Water Resources Narrative**

I. Overview

The proposed project is a two-family dwelling located on Hicks Street on an approximately 0.58 acre parcel. The site is currently undeveloped.

II. Development Description

The project area consists of approximately 0.58 acres of undeveloped land on the southerly end of Hicks Street. The includes the construction of a 28' by 32' two story structure which will be a two-family residence..

The existing parcel slopes from east to west, with the majority of the site being tributary to an existing culvert on the abutting parcel to the north. The existing low point on the property is located adjacent to the Hicks Street right-of-way and drains via the abutter's culvert to a ditch parallel to Hicks Street and is then tributary to the Hicks Street storm drain system.

III. Municipal Requirements

Pursuant to SECTION V PORTLAND STORMWATER MANAGEMENT STANDARDS, of the Technical Standards, Paragraph II Applicability, Subparagraph B,

“Single and two-family development proposals shall be required to meet Basic Standards, excluding Appendix B1c.”

The Basic Standards requires applicants to address erosion and sediment control for the property, to maintain the measures during construction, and to stabilize the site with loam and seed upon the completion of the project.

IV. Conformance to Requirements

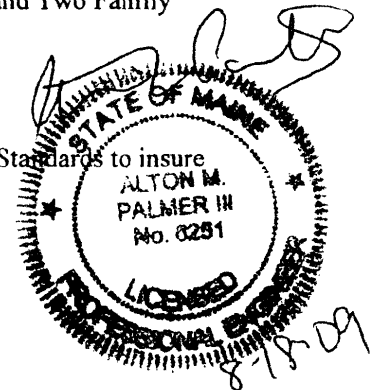
The proposed grading for the site conforms to the natural topography, resulting in stormwater runoff from the proposed project being tributary to the existing low point adjacent to the northwest corner of the site, similar to the existing conditions.

Siltation fence is shown downgradient of the developed area for sediment control, and it is noted on the plans that erosion control fabric is required on specified slopes dependent upon the time of year that final stabilization occurs.

In addition, a note on the plan requires that all work be conducted in accordance with Portland Technical Standards, Section VIII, Erosion and Sedimentation Control Standards for Single and Two Family Homes.

V. Conclusion

Incorporating BMP's such as silt fence and erosion control fabric meets the Basic Standards to insure that the project does not result in the transport of sediment off-site.



From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 11/24/2009 5:15:15 PM
Subject: Wolf Duplex - 204 Hicks Street

Hi all, this project meets the minimum DRC site plan requirements for the issuance of the Building Permit. The performance guarantee has been accepted, the site inspection fees paid, and the preconstruction meeting has been held.

This has not been entered into HTE yet, but I'm ok with the issuance of the BP.

Thanks.

phil



SITE Plan
Approval



To: Marge Schmuckal ✓
David Margolis-Pineo
Tom Errico
Jeff Tarling
Keith Gautreau
Dan Goyette

From: Shukria Wiar

Date: September 16, 2009

9/16/09

Additional information submitted for the following project:

Application #: 09-79900007

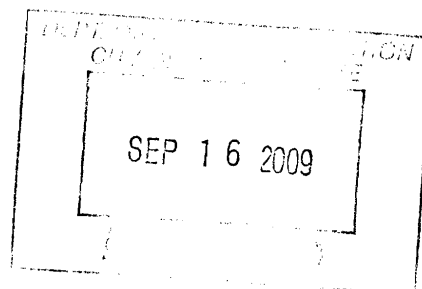
Project Name: Duplex

Project Address: 204 Hicks Street

Comments:

The applicant has submitted a revised site plan for review; he is proposing to split the lot now. See cover letter for all the revisions.

#09-0907
296-C-012



Shukria Wiar - Hicks Street Duplex - Revised Site Plan and Grading Plan

From: "Jim Wolf" <jmw1@maine.rr.com>
To: "'Shukria Wiar'" <SHUKRIAW@portlandmaine.gov>
Date: 9/15/2009 7:33 PM
Subject: Hicks Street Duplex - Revised Site Plan and Grading Plan
CC: "Barbara Barhydt" <BAB@portlandmaine.gov>, "David Margolis-Pineo" <DMP@portlandmaine.gov>

Shukria

Attached please find a copy of our revised site plan for a duplex at 204 Hicks Street. Revisions to the plan include:

1. Regrading to send the stormwater runoff from the impervious surfaces to sheetflow to Hicks Street via the driveway.
2. Power shall be underground from the pole.
3. Additional erosion control has been shown.
4. Four trees to the left of the property and one to the right of the drive are shown to be preserved. These trees serve as the required 2 street trees per unit required by code.
5. The parcel has been shown split into two lots allowing code enforcement to address the splitting of the lot at this time. This parcel has been under separate ownership from abutting properties for more than 5 years. Splitting of the lot shall occur when the property is deeded from its current owner to WA One and a separate entity.

Please contact me after your review to discuss any questions you may have. Thank you for your continued help.

Jim

Zoning Administrator Marge Schmuckal

08/27/09

This duplex is located in the R-5 Residential Zone. All setbacks, lot coverage, building height and parking requirements are being met.

It is noted that a separate permit shall be obtained for a shed shown at the rear of the lot (SW corner) or the shed shall be remove.

This application shows no daylight basement in the rear and no bulkheads. No decks are being shown, only landing platforms and stairs. Separate reviews and permits shall be required for the addition of rear decks.

This application is being approved on the basis of plans submitted. The property is one lot that is 25,246 sq ft in size. The lot shall not be divided prior to required reviews of that revision. Such a division may require a subdivision review before the Planning Board.

9/29/09

I have reviewed the most current submittal which shows the duplex and another lot.

Lot #1A with the new duplex is showing that it is meeting all the dimensional requirements of the R-5 Zone. Lot #2A is a buildable lot which I assume to be for a three residential dwelling unit lot. Separate building permits and a possible subdivision review requirement will be necessary at that time.

There is still the question of whether this is a subdivision, i.e. two dwelling units and a separate lot (comprising of three divisions under State Law). Legal is researching the matter.

Currently there is a permit application on file #09-0907 for the duplex. This permit will not be issued until the site plan/subdivision is approved.

There is still the matter of the illegal shed at the rear of proposed vacant lot #2A. The shed is not a principal use in the R-5 Zone and needs to be removed.

Lawrence R. Sawyer
John W. Sawyer
Laurence P. Minott, Jr.

Sawyer, Sawyer & Minott, P.A.

Attorneys and Counselors at Law

*157 Main Street • P.O. Box 58
Gorham, Maine 04038-0058*

Telephone (207) 839-6771
Facsimile (207) 839-3104

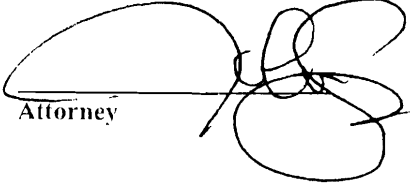
LOAN CLOSING IDENTIFICATION STATEMENT

MORTGAGEE: None
BUYERS/MORTGAGORS: John M. Pompeo
SELLERS: W.A. One
LOCUS: 204 Hicks Street, Portland, Maine 04103
CLOSING DATE: December 3, 2009

I, John W. Sawyer of Sawyer, Sawyer & Minott, P.A., closing attorney for the above-captioned transaction, hereby state as follows:

BUYERS: SELLERS:

_____	_____	I have personal knowledge of said parties through previous business dealings.
_____	_____	I am confident that said parties are whom they claim to be through current transaction dealings.
<u>X</u>	<u>X</u>	Attached are copies of acceptable forms of identification.
_____	_____	I have requested and reviewed identification at closing and I am confident that said parties are who they claim to be.


Attorney

RECEIVED

STATUTORY WARRANTY DEED

DEC - 4 2009

W.A. ONE, a Maine Corporation with a principal place of business in Portland in the County of Cumberland and State of Maine, whose mailing address of P.O. Box 1000, Portland, Maine 04104
Dept. of Building Inspections
City of Portland Maine

For Consideration Paid, GRANTS with WARRANTY COVENANTS TO

JOHN M. POMPEO, of Buxton, York County, Maine, whose mailing address is P.O. Box 321, Gorham, Maine 04038,

A certain lot or parcel of land with any improvements thereon situated on the easterly side of Hicks Street in the City of Portland, County of Cumberland and State of Maine, and being depicted as **Parcel 1A** on a plan entitled "**Standard Boundary Survey**" made for **Diversified Properties** by Titcomb Associates dated June 29, 2009 and recorded at the Cumberland County Registry of Deeds in **Plan Book 209, Page 399**, containing 7200 square feet.

Together with a proportionate interest in common in the fee, insofar as the Grantor has the right to convey, in all streets and ways shown on said Plan, including Plan of Frost Villa Sites dated August 15, 1919 and recorded at said Registry of Deeds in Plan Book 14, Page 25, in common with the other owners of said lots, and subject to the right of all of said lot owners to make any customary use of said streets and ways.

Being a portion of the premises conveyed to Grantor herein by deed from Mount Sinai Cemetery Association, Inc. dated September 24, 2009 and recorded at the Cumberland County Registry of Deeds in Book 27311, Page 172.

As part consideration of this conveyance, Grantee covenants and agrees that this conveyance is **together with and subject to** the rights of Parcel 1A and Parcel 2A as depicted on said Plan recorded in Plan Book 209, Page 399 to install and maintain **drainage and utility easements** for the benefit of said Parcels 1A and 2A. Said easement area being depicted on said Parcels 1A and 2A as a twenty (20) foot easement area extending from the northerly sideline of Parcel 1A along the westerly boundary 1A in a southerly direction and extending into Parcel 2A, all as shown on said Plan recorded in Plan Book 209, Page 399. The owner of Parcel 1A shall cooperate with the owner of Parcel 2A for said purposes including access for personnel and equipment on Parcel 1A to construct, install and maintain said easement area for drainage and utility purposes. This easement right is not exclusive to Parcel 1A, and said right shall be exercised in common with the same rights which are reserved to Parcel 2A.

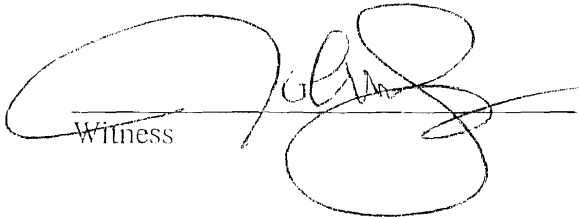
Also hereby conveying all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

The provisions described herein shall be deemed covenants running with the land, burdening and benefiting the respective premises, and shall be binding on the respective heirs, devisees, successors and assigns of the parties herein.

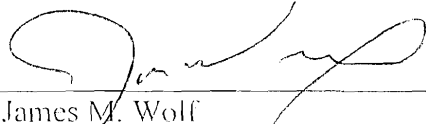
As part consideration of this conveyance, Grantee covenants and agrees that the parcel herein conveyed shall remain as one lot and not be further divided without the written recorded approval of Grantor herein, its successors and assigns.

IN WITNESS WHEREOF, the said **W.A. ONE** has caused this instrument to be signed in its corporate name and sealed with its corporate seal by James M. Wolf, its President thereunto duly authorized this 3rd day of December, 2009.

W.A. ONE



Witness

By: 

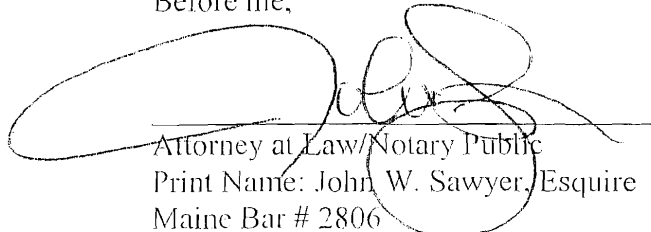
James M. Wolf
Its President

STATE OF MAINE
CUMBERLAND, SS.

December 3, 2009

Then personally appeared the above-named JAMES M. WOLF, President of **W.A. ONE** as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,



Attorney at Law/Notary Public
Print Name: John W. Sawyer, Esquire
Maine Bar # 2806

My Commission Expires: _____

PURCHASE AND SALE AGREEMENT - LAND ONLY

June 29 2009

Effective Date
Effective Date is defined in Paragraph 20 of this Agreement.

1. PARTIES: This Agreement is made between W.A. ONE INC AND OR Assigns ("Buyer") and Mount Sinai Cemetery Assoc, INC ("Seller").

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth Seller agrees to sell and Buyer agrees to buy all part of; If "part of" see para. 22 for explanation) the property situated in municipality of Portland County of Cumberland, State of Maine, located at Hicks Street and described in deed(s) recorded at said County's Registry of Deeds Book(s) 2724 Page(s) 425
Being Parcel A as shown on a Plan by OEST ASSOC.

3. PURCHASE PRICE: For such Deed and conveyance Buyer agrees to pay the total purchase price of \$. Buyer has made, or will make within 5 business days of the date of this offer, a deposit of earnest money in the amount of \$ 1,000. If said deposit is to be made after the submission of this offer and is not made by the above deadline, this offer shall be void and any attempted acceptance of this offer in reliance on the deposit being made will not result in a binding contract. Buyer agrees that an additional deposit of earnest money in the amount of \$ NA will be paid NA. Failure by Buyer to make this additional deposit in compliance with the above terms shall constitute a default under this Agreement. The remainder of the purchase price shall be paid by a certified or cashier's check upon delivery of the Deed.

This Purchase and Sale Agreement is subject to the following conditions:

4. EARNEST MONEY/ACCEPTANCE: Lee Lowry ESO ("Escrow Agent") shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until (date) AM PM; and, in the event of non-acceptance, this earnest money shall be returned promptly to Buyer. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to recover reasonable attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

5. TITLE AND CLOSING A deed, conveying good and merchantable title in accordance with the Standards of Title adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on Sept. 29, 2009 (closing date) or before, if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days, from the time Seller is notified of the defect, unless otherwise agreed to in writing by both Buyer and Seller, to remedy the title. Seller hereby agrees to make a good-faith effort to cure any title defect during such period. If, at the later of the closing date set forth above or the expiration of such reasonable time period, Seller is unable to remedy the title, Buyer may close and accept the deed with the title defect or this Agreement shall become null and void in which case the parties shall be relieved of any further obligations hereunder and any earnest money shall be returned to the Buyer.

6. DEED: The property shall be conveyed by a Quit Claim w/ Covenant deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not materially and adversely affect the continued current use of the property.

7. POSSESSION: Possession of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

8. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Buyer shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in substantially the same condition as on the date of this Agreement.

9. PRORATIONS: The following items, where applicable, shall be prorated as of the date of closing: rent, association fees, (other) . Real estate taxes shall be prorated as of the date of closing (based on municipality's fiscal year). Seller is responsible for any unpaid taxes for prior years. If the amount of said taxes is not known at the time of closing, they shall be apportioned on the basis of the taxes assessed for the preceding year with a reapportionment as soon as the new tax rate and valuation can be ascertained, which latter provision shall survive closing. Buyer and Seller will each pay their transfer tax as required by State of Maine

July 2006 Page 1 of 4 - P&S-LO Buyer(s) Initials Seller(s) Initials HSE

10. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form. Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

11. DUB DILIGENCE: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

Licensee makes no warranties regarding the condition, permitted use or value of Sellers' real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY Purpose: <u>Needed for building permit</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>45</u>	<u>Buyer</u>	<u>Buyer</u>
2. SOILS TEST Purpose: <u>WETLAND STUDY</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>21</u>	<u>Buyer</u>	<u>Buyer</u>
3. SEPTIC SYSTEM DESIGN Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
4. LOCAL PERMITS Purpose: <u>Building permit for 1 duplex</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>90</u>	<u>Buyer</u>	<u>Buyer</u>
5. HAZARDOUS WASTE REPORTS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
6. UTILITIES Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
7. WATER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
8. SUB-DIVISION APPROVAL Purpose: _____	<input type="checkbox"/>	<input type="checkbox"/>	_____	_____	_____
9. DEP/LURC APPROVALS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
10. ZONING VARIANCE Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
11. MDOT DRIVEWAY/ ENTRANCE PERMIT Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
12. DEED RESTRICTION Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
13. TAX EXEMPT STATUS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
14. OTHER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____

Further specifications regarding any of the above:

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

July 2006

Page 2 of 4 - P&S-LO Buyer(s) Initials

[Handwritten initials]

Seller(s) Initials

HSE

12. FINANCING: This Agreement is is not subject to Financing. If subject to Financing:
- a. This Agreement is subject to Buyer obtaining a _____ loan of _____ % of the purchase price, at an interest rate not to exceed _____ % and amortized over a period of _____ years.
 - b. Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within _____ days from the Effective Date of the Agreement. If Buyer fails to provide Seller with such letter within said time period, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
 - c. Buyer to provide Seller with loan commitment letter from lender showing that Buyer has secured the loan commitment within _____ days of the Effective Date of the Agreement. If Buyer fails to provide Seller with this loan commitment letter within said time period, Seller may deliver notice to Buyer that this Agreement is terminated three business days after delivery of such notice unless Buyer delivers the loan commitment letter before the end of the three-day period. If the Agreement is terminated under the provision of this sub-paragraph, the earnest money shall be returned to Buyer.
 - d. Buyer hereby authorizes, instructs and directs its lender to communicate the status of the Buyer's loan application to Seller or Seller's licensee.
 - e. After (b) or (c) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed under the terms of the financing. Any failure by Buyer to notify Seller within two business days of receipt by Buyer of notice from the lender shall be a default under this Agreement.
 - f. Buyer agrees to pay no more than _____ points. Seller agrees to pay up to \$ _____ toward Buyer's actual pre-pays, points and/or closing costs, but no more than allowable by Buyer's lender.
 - g. Buyer's ability to obtain financing is is not subject to the sale of another property. See addendum Yes No.
 - h. Buyer may choose to pay cash instead of obtaining financing. If so, buyer shall notify seller in writing and the Agreement shall no longer be subject to financing, and Seller's right to terminate pursuant to the provisions of this paragraph shall be void.

13. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following relationships:

Licensee of _____ Agency is a Seller Agent Buyer Agent
 Disc Dual Agent Transaction Broker

Licensee of _____ Agency is a Seller Agent Buyer Agent
 Disc Dual Agent Transaction Broker

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

14. MEDIATION: Except as provided below, any dispute or claim arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction. Earnest money disputes subject to the jurisdiction of small claims court will be handled in that forum.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA: Yes Explain: _____ No

20. EFFECTIVE DATE/NOTICE: Any notice, communication or document delivery requirements hereunder may be satisfied by providing the required notice, communication or documentation to the party or their licensee. Withdrawals of offers and counteroffers will be effective upon communication, verbally or in writing. This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated. Licensee is authorized to complete Effective Date on Page 1 of this Agreement. Except as expressly set forth to the contrary, the use of "by (date)" or "within _____ days" shall refer to calendar days being counted from the Effective Date as noted on Page 1 of the Agreement, beginning with the first day after the Effective Date and ending at 5:00 p.m. Eastern Time on the last day counted.

21. CONFIDENTIALITY: Buyer and Seller authorize the disclosure of the information herein to the real estate licensees, attorneys, lenders, appraisers, inspectors, investigators and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the lender and/or closing agent preparing the entire closing statement to release a copy of the closing statement to the parties and their licensees prior to, at and after the closing.

[Handwritten Signature]

22. OTHER CONDITIONS:

See Exhibit A for Additional conditions.

A copy of this Agreement is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Revenue Services.

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

Buyer's Mailing address is P.O. Box 10127, Portland, ME, 04104

[Signature] 6/29/09
BUYER President DATE BUYER DATE

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay agency a commission for services as specified in the listing agreement.

Seller's Mailing address is 5500 NW 2ND Ave Apt 418 Boca Raton, FL 33487

→ Harvey S. Elowitz 6/29/09
SELLER MT. Sinai Cemetery Association DATE SELLER DATE

COUNTER-OFFER: Seller agrees to sell on the terms and conditions as detailed herein with the following changes and/or conditions:

The parties acknowledge that until signed by Buyer, Seller's signature constitutes only an offer to sell on the above terms and the offer will expire unless accepted by Buyer's signature with communication of such signature to Seller by (date) _____ (time) _____ AM _____ PM.

SELLER _____ DATE _____ SELLER _____ DATE _____

The Buyer hereby accepts the counter offer set forth above.

BUYER _____ DATE _____ BUYER _____ DATE _____

EXTENSION: The time for the performance of this Agreement is extended until _____ DATE _____

BUYER _____ DATE _____ SELLER _____ DATE _____

BUYER _____ DATE _____ SELLER _____ DATE _____



Exhibit A to Purchase Agreement between Mt. Sinai Cemetery Association(seller) and WA One, Inc.(purchaser) for land on Hicks Street Portland Maine known as Parcel A on a plan prepared by Oest Associates

1. Seller has disclosed to Purchaser the existence of a potential adverse claim by the abutter, Mr. Baker (including fence and shed). Purchaser accepts the risks of such claim and Seller has no duty or obligation to remedy or resolve any issue related thereto, and no covenant in its deed shall include any claim by such abutter.
2. Purchaser shall not apply for any permit or approval that would require subdivision approval.

Jan

HSE

2 Family

204 Hicks St

9-0987 -

296-C-12-16

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10x16 Footing 2#4 Rebar 8 foot (incl wall) -	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Crushed Stone fabric - perimetric drain - damp proofing	OK		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	NA		
Anchor Bolts/Straps, spacing (Section R403.1.6)	5/8" 2 anchor bolts - 3-oc 2 from corner	OK		
Lally Column Type (Section R407)	Steel lally / concrete filled in 1-4x10c Footing	OK		
Girder & Header Spans (Table R 502.5(2))	5 1/4 x 11 1/2 LVL	OK		
Built-Up Wood Center Girder Dimension/Type	3(2x10)	OK		
Sill/Band Joist Type & Dimensions	2x10 pt	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 JOISTS 16"OC	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 JOISTS 16"OC	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	NA	NA		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	$\frac{1}{2}$ pitch pre-manufactured Trusses 24"OC	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	$\frac{7}{16}$ APA Sheathing 8d nails 5	0
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2103	
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	NA	NA
Emergency Escape and Rescue Openings (Section R310)	Egress Windows	OK
Roof Covering (Chapter 9)	$\frac{5}{8}$ sheathing #15 felt paper - Waterproofing 25 year Fiberglass shingles	OK
Safety Glazing (Section R308)	OK	OK
Attic Access (Section R807)	NA	NA
Chimney Clearances/Fire Blocking (Chap. 10)	2 inches from flammables	OK
Header Schedule (Section 502.5(1) & (2))	See notes	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration		

Type of Heating System		
Means of Egress (Sec R311 & R312)		
Basement	1	
Number of Stairways	2	
Interior	2	
Exterior	—	
Treads and Risers (Section R311.5.3)	7 3/4 max rise - 10 inch nethad	OK
Width (Section R311.5.1)	36 min	
Headroom (Section R311.5.2)	6' 8 min	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	Guards 36 - Handrails 34	
Smoke Detectors (Section R313) Location and type/Interconnected	each bedroom - all levels interconnected e	OK
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	party wall - 5/8" fire rated sprinkled -	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	Fire stop all penetrations	
Deck Construction (Section R502.2.1)	NA	NA

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BU **INSPECTION**

PERMIT

Permit Number: 091419
PERMIT ISSUED

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Pompeo John/property owner

has permission to Amendment to permit # 090907 adding 2 B...heads

AT 202 HICKS ST CBI 296 C012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise altered-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 12/30/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1419	Issue Date:	CBL: 296 C012001
-----------------------	-------------	---------------------

Location of Construction: 202 HICKS ST	Owner Name: Pompeo John	Owner Address: P.O. Box 321	Phone: 207-776-8130
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R5

Past Use: Vacant Land Connected w/ permit# 090907 for a new single family home	Proposed Use: Vacant Land Connected w/ permit# 090907 for a new single family home - Amendment to permit # 090907 Adding 2 Bulkheads	Permit Fee: \$40.00	Cost of Work: \$1,500.00	CEO District: 5
Proposed Project Description: Amendment to permit # 090907 Adding 2 Bulkheads		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB <i>IRC 2003</i>	
		Signature: <i>[Signature]</i>		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 12/16/2009	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>12/21/09 JBN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>JBN</i> Date: _____
--	---	--

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1419	Date Applied For: 12/16/2009	CBL: 296 C012001
------------------------------	--	----------------------------

Location of Construction: 202 HICKS ST	Owner Name: Pompeo John	Owner Address: P.O. Box 321	Phone: 207-776-8130
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Vacant Land Connected w/ permit# 090907 for a new single family home - Amendment to permit # 090907 Adding 2 Bulkheads	Proposed Project Description: Amendment to permit # 090907 Adding 2 Bulkheads
--	---

Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 12/21/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is noted that this lot is currently 25,246 sq ft in size. THE LOT SHALL NOT BE DIVIDED PRIOR TO REQUIRED REVIEWS OF THAT REVISION.			
2) Separate permits shall be required for future decks, sheds, pools, and/or garages. Currently there are no rear decks, only a rear entry platform and stairs. Separate permits shall be required for the addition of rear decks.			
3) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.			
Dept: Building	Status: Approved	Reviewer: Residential Plan Revie	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
Dept: Planning	Status: Approved	Reviewer: Shukria Wiar	Approval Date: 12/21/2009
Note: See email from Shukria. Amended siteplan not required.			Ok to Issue: <input checked="" type="checkbox"/>

Comments:
12/17/2009-amachado: Spoke to John Pompeo. Need elevation sketch of bulkhead to show tha it meets the 24" height requirement. Need new foundation plan to show bulkhead. John said that he would have Dan Anderson give me a call.
12/17/2009-amachado: Gave new siteplan to Shukria. The bulkheads are new, the rear entries changed and the driveway is now 20' wide. Waiting to see if they have to do amendment to the site plan.
12/21/2009-amachado: Received foundation plan and elevations from Dan Anderson.

PERMIT ISSUED

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

PERMIT ISSUED

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>204 Hicks St</u>			Total Square Footage of Proposed Structure/Area		Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>296 C 12</u>			Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>John Pompeo</u> Address <u>P.O. Box 321</u> City, State & Zip <u>Gorham ME 04038</u>		Telephone: <u>776-8130</u>	
Lessee/DBA (If Applicable)			Owner (if different from Applicant) Name Address City, State & Zip		Cost Of Work: \$ <u>1500</u> C of O Fee: \$ _____ Total Fee: \$ _____	
Current legal use (i.e. single family) <u>Vacant</u> Number of Residential Units _____ If vacant, what was the previous use? <u>2 Family</u> Proposed Specific use: <u>amending permit 09-0907</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>amending permit 090907 adding 2 Bulkheads</u>			<u>Mail to John Pompeo</u>			
Contractor's name: <u>Pompeo</u> Address: <u>P.O. Box 321</u> City, State & Zip <u>Gorham ME 04038</u> Telephone: <u>776-8130</u> Who should we contact when the permit is ready: <u>John Pompeo 776-8130</u> Telephone: <u>776-8130</u> Mailing address: <u>P.O. Box 321 Gorham ME</u>						

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
DEC 16 2009
City of Portland Inspections
Department of Planning and Development

Signature: [Signature] Date: 12-04-09

This is not a permit; you may not commence ANY work until the permit is issued

Applicant: John Pompeo

Date: 12/17/09

Address: 202-204 Hick St.

C-B-L: 296-C-12

Permit # 09-419

CHECK-LIST AGAINST ZONING ORDINANCE

(amending permit

09-0907)

- rear ^{entry is} entry is smaller
- dw 20' wide row (was 18')
- adding 2 bulkheads

Date -

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - adding 2 bulkheads to rear of duplex

Sewage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard - 20' min - section 14-425 allows bulkhead - 24" - $\leq 50sf$; 24ϕ $\leq 6'$ from building - (6' ok)

Side Yard - 12' min - 15' to bulkhead on left. (ok)

19" to bulkhead on right. (ok)

Projections -

Width of Lot -

Height -

Lot Area - 7200 sf. - / 6,000 req.

Lot Coverage/Impervious Surface - 40% = 2880 ϕ

Area per Family - 3,000 sf (ok)

$24 \times 32 = 896 \phi$
 front $10 \times 6 = 60 \phi$
 rear $8 \times 2 = 16 \phi$

bulkhead $4' \times 6' = 24 \phi$

" $4' \times 6' = 24 \phi$

1020 ϕ (ok)

* Off-street Parking - original site plan 8' to dw $\frac{15' \text{ wide}}{15'}$
new 6' to dw $\frac{20' \text{ wide}}{20'}$

Loading Bays -

Site Plan - original permit - 09-7710007

Shoreland Zoning/Stream Protection -

Flood Plains -

From: Shukria Wiar
To: Ann Machado
Date: 12/21/2009 9:08:28 AM
Subject: Re: 202 Hicks Street

Good Morning,

I reviewed the site plan that you provided and it does not need amended site plan. The changes are considered diminutive. The Planning Authority has reviewed and approved the two bulkheads, the rear entries to the building, and the driveway.

If you have any questions, please let me know.

Thanks.

Shukria

>>> Ann Machado 12/21 8:35 AM >>>
Shukria -

Have you had a chance to find out if the changes (two bulkheads, rear entries and the driveway) to the duplex at 202 Hicks Street need a amended siteplan or are they considered diminutive? If they don't need to do a siteplan amendment will you send me an email saying that you are all set planning wise?

Thanks.

Ann

STATUTORY WARRANTY DEED

W.A. ONE, a Maine Corporation with a principal place of business in Portland, in the County of Cumberland and State of Maine, whose mailing address of P.O. Box 10127, Portland, Maine 04104

For Consideration Paid, GRANTS with WARRANTY COVENANTS TO

JOHN M. POMPEO, of Buxton, York County, Maine, whose mailing address is P.O. Box 321, Gorham, Maine 04038.

A certain lot or parcel of land with any improvements thereon situated on the easterly side of Hicks Street in the City of Portland, County of Cumberland and State of Maine, and being depicted as **Parcel 1A** on a plan entitled "**Standard Boundary Survey**" made for **Diversified Properties** by Titcomb Associates dated June 29, 2009 and recorded at the Cumberland County Registry of Deeds in **Plan Book 209, Page 399**, containing 7200 square feet.

Together with a proportionate interest in common in the fee, insofar as the Grantor has the right to convey, in all streets and ways shown on said Plan, including Plan of Frost Villa Sites dated August 15, 1919 and recorded at said Registry of Deeds in Plan Book 14, Page 25, in common with the other owners of said lots, and subject to the right of all of said lot owners to make any customary use of said streets and ways.

Being a portion of the premises conveyed to Grantor herein by deed from Mount Sinai Cemetery Association, Inc. dated September 24, 2009 and recorded at the Cumberland County Registry of Deeds in Book 27311, Page 172.

As part consideration of this conveyance, Grantee covenants and agrees that this conveyance is **together with and subject to** the rights of Parcel 1A and Parcel 2A as depicted on said Plan recorded in Plan Book 209, Page 399 to install and maintain **drainage and utility easements** for the benefit of said Parcels 1A and 2A. Said easement area being depicted on said Parcels 1A and 2A as a twenty (20) foot easement area extending from the northerly sideline of Parcel 1A along the westerly boundary 1A in a southerly direction and extending into Parcel 2A, all as shown on said Plan recorded in Plan Book 209, Page 399. The owner of Parcel 1A shall cooperate with the owner of Parcel 2A for said purposes including access for personnel and equipment on Parcel 1A to construct, install and maintain said easement area for drainage and utility purposes. This easement right is not exclusive to Parcel 1A, and said right shall be exercised in common with the same rights which are reserved to Parcel 2A.

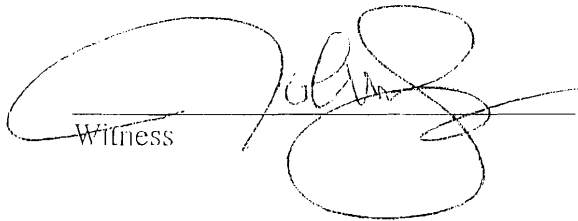
Also hereby conveying all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

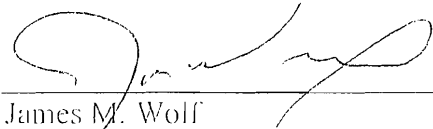
The provisions described herein shall be deemed covenants running with the land, burdening and benefiting the respective premises, and shall be binding on the respective heirs, devisees, successors and assigns of the parties herein.

As part consideration of this conveyance, Grantee covenants and agrees that the parcel herein conveyed shall remain as one lot and not be further divided without the written recorded approval of Grantor herein, its successors and assigns.

IN WITNESS WHEREOF, the said **W.A. ONE** has caused this instrument to be signed in its corporate name and sealed with its corporate seal by James M. Wolf, its President thereunto duly authorized this 3rd day of December, 2009.

W.A. ONE

Witness 

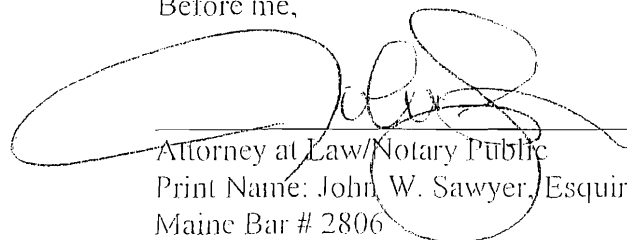
By: 
James M. Wolf
Its President

STATE OF MAINE
CUMBERLAND, SS.

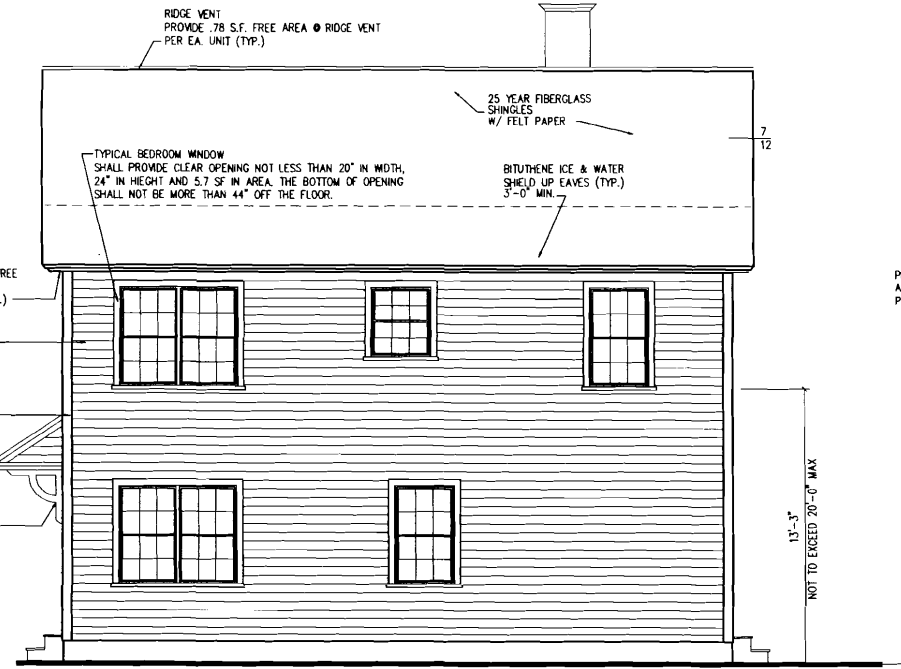
December 3, 2009

Then personally appeared the above-named JAMES M. WOLF, President of **W.A. ONE** as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

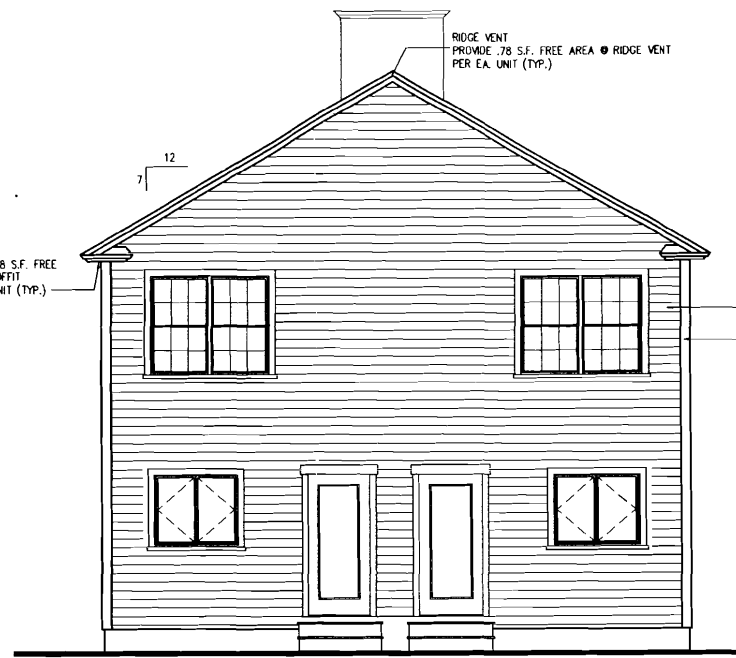
Before me,


Attorney at Law/Notary Public
Print Name: John W. Sawyer, Esquire
Maine Bar # 2806

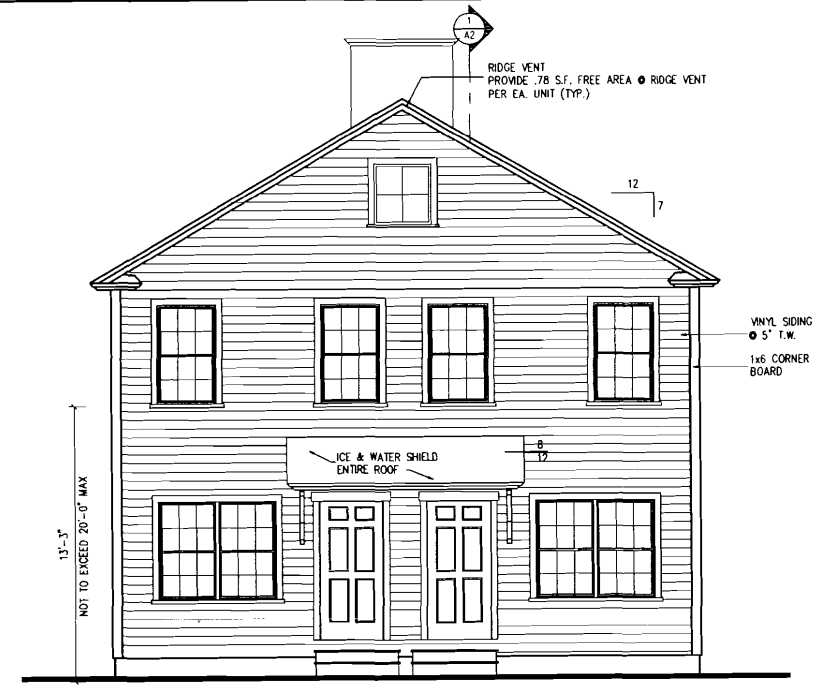
My Commission Expires: _____



RIGHT SIDE ELEVATION
(LEFT SIDE ELEVATION SIMILAR) SCALE : 1/4" = 1' - 0"



REAR ELEVATION SCALE : 1/4" = 1' - 0"



FRONT ELEVATION SCALE : 1/4" = 1' - 0"

GENERAL NOTES:

- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire sealing material.
- ~~Building shall be sprinkled in accordance with NFPA-13. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to State law.~~
- Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
- Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority having jurisdiction needs to provide written requirements.
- Balconies must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
- HVAC installation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31, NFPA-54 and NFPA-70 as applicable.

FRAMING NOTES:

- All exterior walls to be 2x6 wood stud walls.
 - 2x4" O.C. w/ 1/2" G.W.B. AND VAPOR BARRIER INSIDE FACE OF WALL. 6" BATT INSULATION (R-19), AND 7/16" APA RATED SHEATHING ON EXTERIOR FACE OF WALL.
- All interior walls to be 2x4 wood stud walls (UNLESS NOTED OTHERWISE) w/ ONE LAYER 1/2" G.W.B. EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

FOUNDATION NOTES:

- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
- FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED W/CCA TO 0.40/CF RETENTION PER ANPA.
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
- SET BOTTOM OF FOOTINGS MIN. 4"-0" BELOW GRADE.
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- RADIANT HEAT IN SLAB.
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ FIBER MESH REINFORCEMENT. PROVIDE CONTROL JOINTS @ 15'x15' SPACING (225SF).
- ALL CONCRETE SHALL BE 3000 PSI (f_c) STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%/s.
- ALL OTHER ADMIXTURES SHALL BE PRE-APPROVED.

HEADER SCHEDULE

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
2x6 JACK PLUS 2x6 KING UP TO 4'-8" ROUGH OPENING
(2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

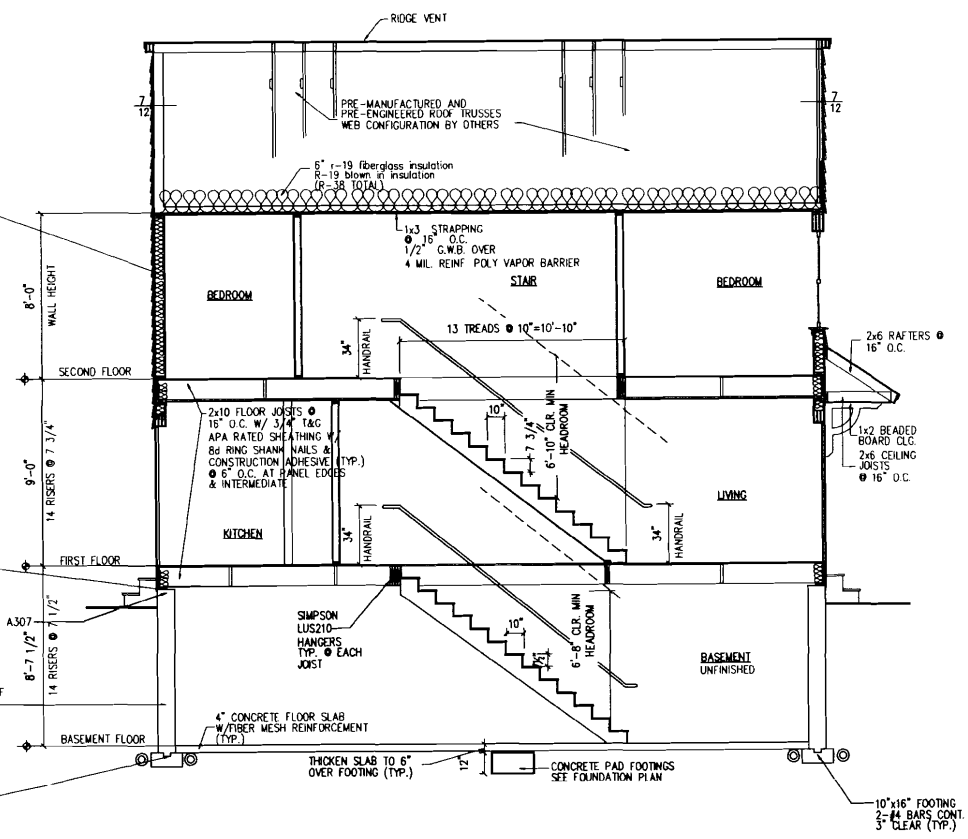
12-04-09
JP.

TYPICAL ROOF CONSTRUCTION

- RIDGE VENT
- PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
- ROOF SHINGLES
- 5/8" APA RATED SHEATHING W/ 8d NAILS, RING SHANK @ 6" O.C. INTERMEDIATE
- #15 FELT PAPER
- (2) ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES.

- TYP. EXTERIOR WALL
- 1/2" G.W.B. OVER
- 4 MIL REINF. POLY VAPOR BARRIER
- 2x6 STUDS @ 24" O.C.
- W/SOLID 2x BLOCKING AT ALL SHEATHING PANEL EDGES
- 7/16" APA RATED SHEATHING
- 8d NAILS - RING SHANK @ 4" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE (TYP.) OVER CONT BLDG. WRAP UNDER VINYL SIDING

- 2x6 P.T SILL W/ SILL SEALER
- 5/8" DIA. x 12" LONG HOOKED A307 ANCHOR BOLTS @ 3'-0" O.C. AND 2 @ CORNERS
- WALL REINFORCING: 2-#4 BARS CONT. TOP & BOTTOM OF 10" WALL AT FRONT & SIDES & 8" WALL @ REAR.
- 10"x16" FOOTING 2-#4 BARS CONT. 3" CLEAR (TYP.)



SECTION THRU HOUSE SCALE : 1/4" = 1' - 0"

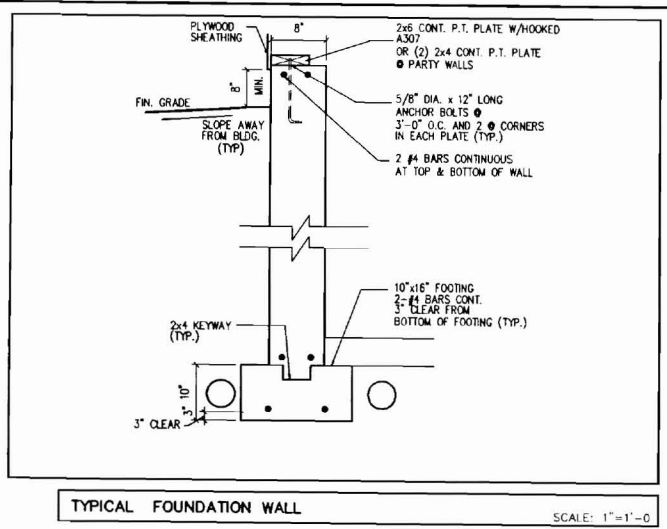
DRAWINGS THIS SHEET

ELEVATIONS SECTION GENERAL NOTES

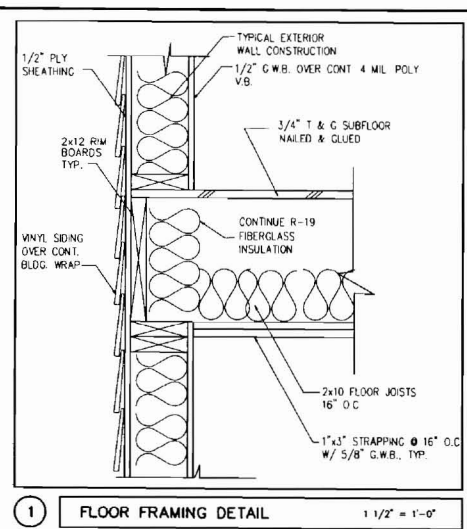
28 x 32 UNIT

DATE
06/04/04

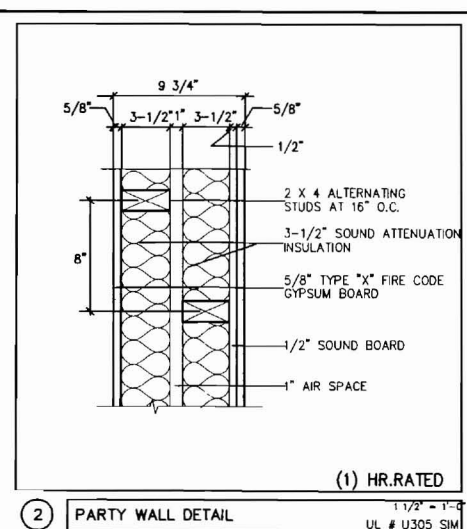
A2



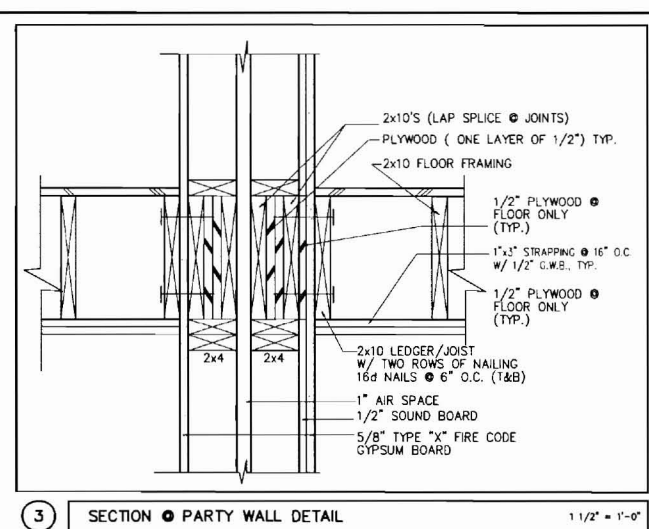
TYPICAL FOUNDATION WALL SCALE: 1" = 1'-0"



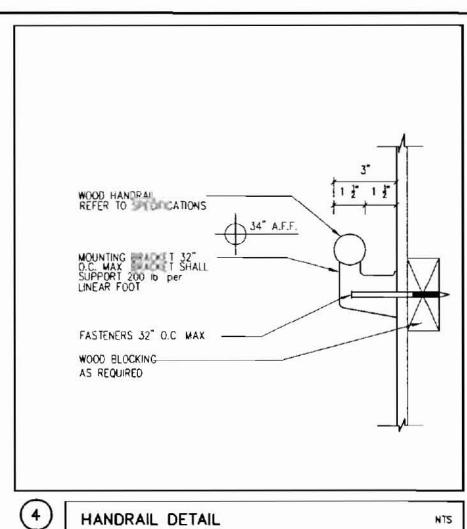
FLOOR FRAMING DETAIL 1 1/2" = 1'-0"



PARTY WALL DETAIL 1 1/2" = 1'-0" UL # U305 SIM

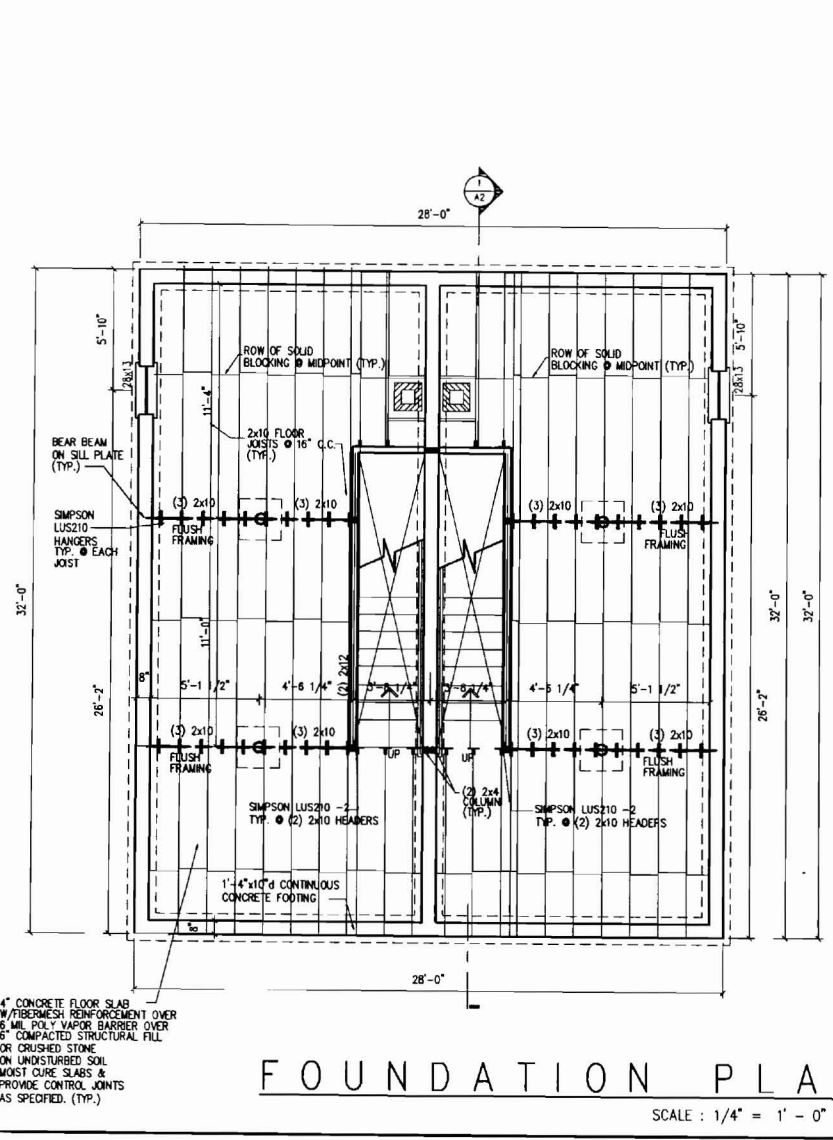


SECTION PARTY WALL DETAIL 1 1/2" = 1'-0"

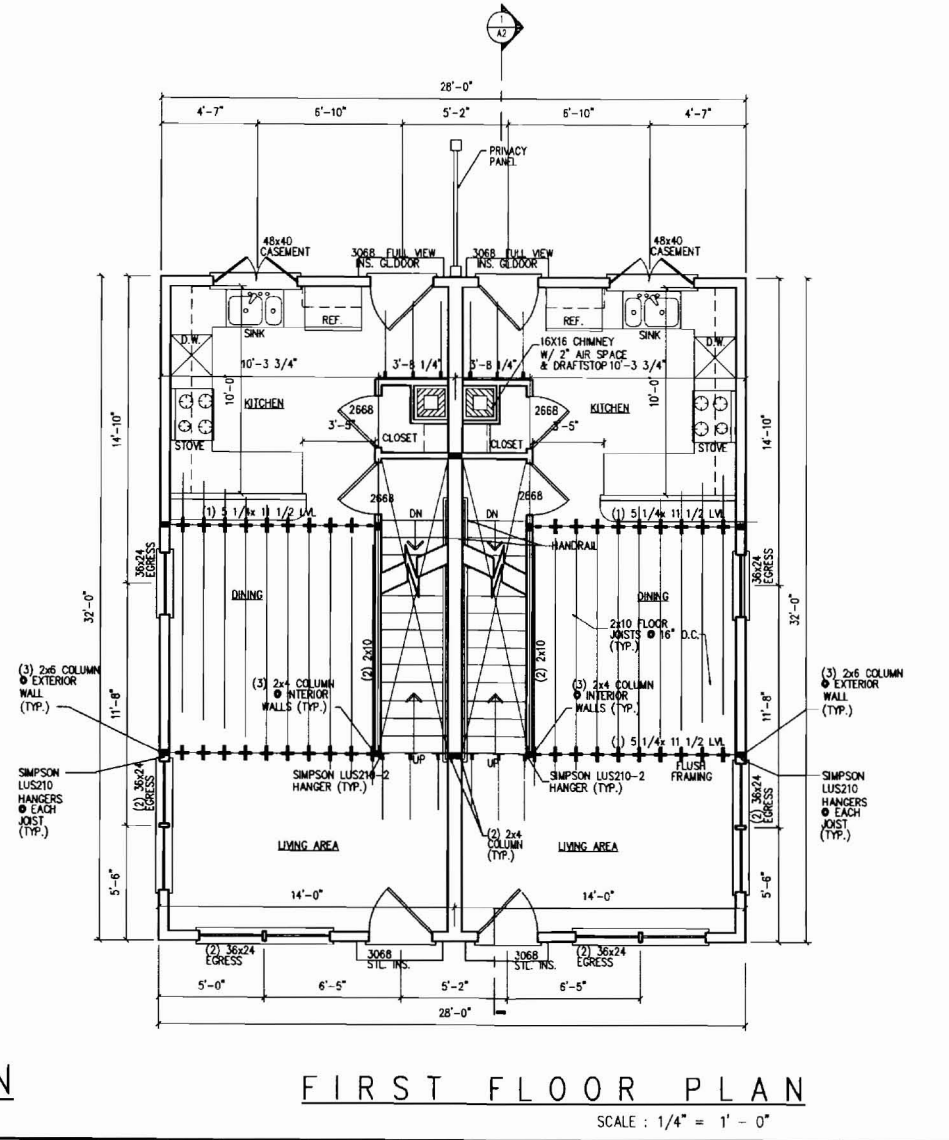


HANDRAIL DETAIL NTS

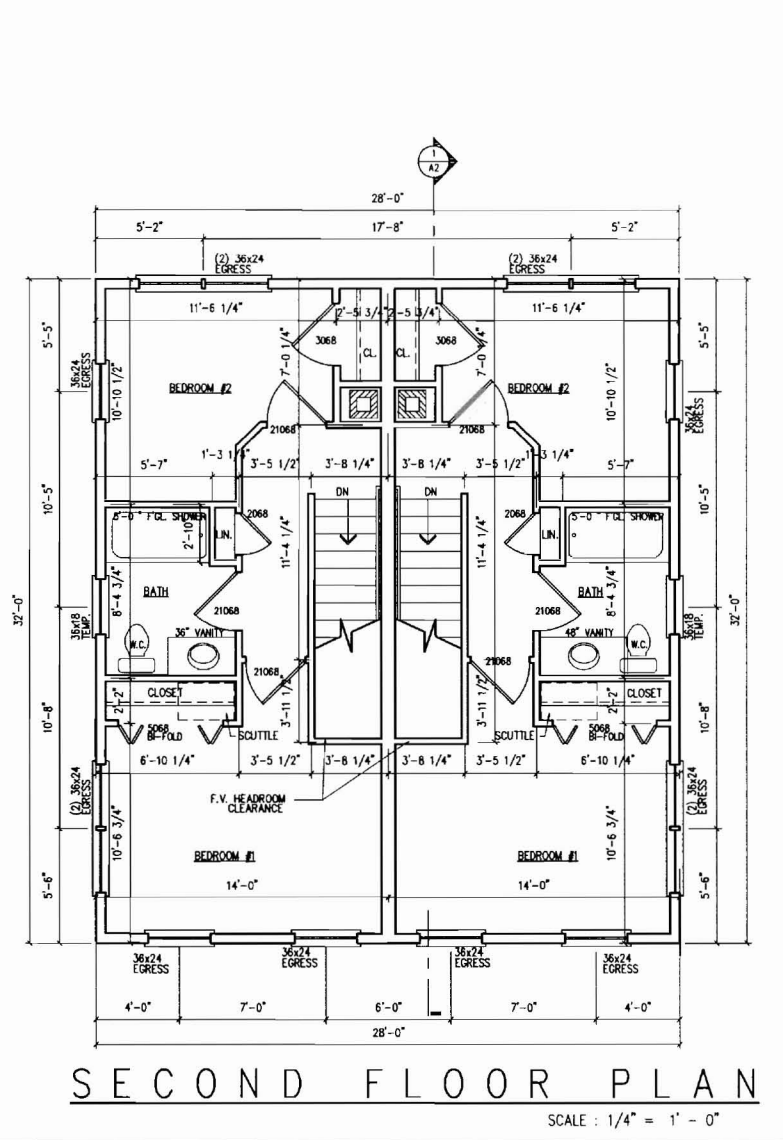
GENERAL NOTE FOR PARTY / SHEAR WALL:
 1. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES & INTERMEDIATE. PROVIDE SCREWS @ 5" O.C. @ PANEL EDGES & INTERMEDIATE.
 2. RUN 2x4 WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) ALIGNED W/ ONE OF THE 2x4 WALLS IN THE PARTY WALL BELOW. PROVIDE (1) LAYER 7/16" APA RATED SHEATHING ONE SIDE ONLY. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES. PROVIDE 8d NAILS @ 5" O.C. @ PANEL EDGES & INTERMEDIATE.
 3. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATING SHOWN.



FOUNDATION PLAN SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

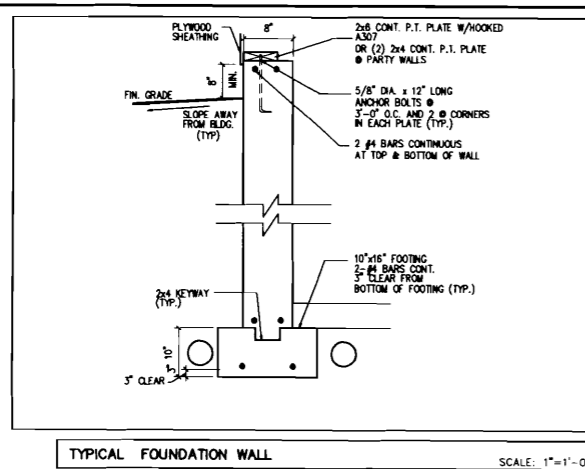
DRAWINGS THIS SHEET

FOUNDATION PLAN FLOORPLANS DETAILS

28 x 32 UNIT

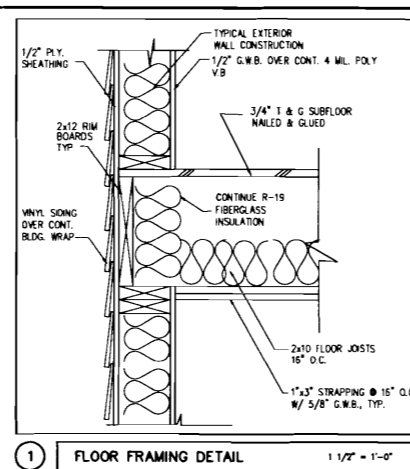
DATE: 06/04/04

A1



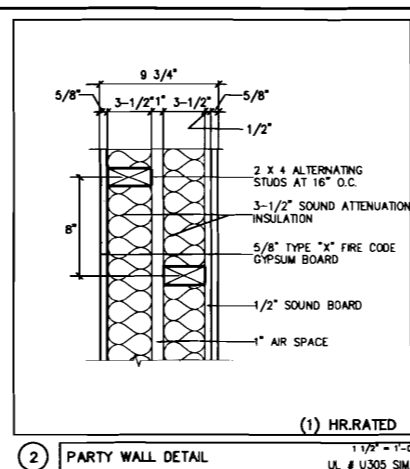
TYPICAL FOUNDATION WALL

SCALE: 1" = 1'-0"



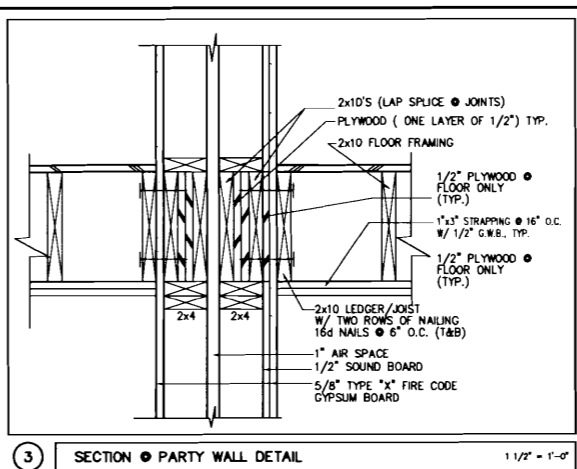
FLOOR FRAMING DETAIL

SCALE: 1 1/2" = 1'-0"



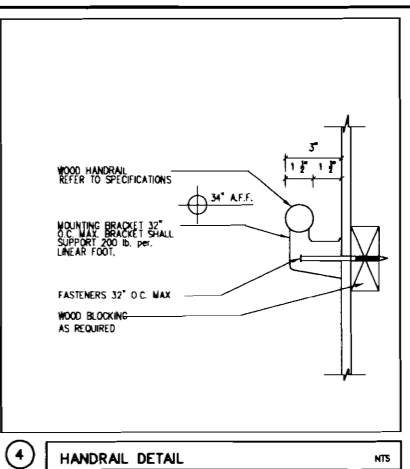
PARTY WALL DETAIL

SCALE: 1 1/2" = 1'-0"



SECTION OF PARTY WALL DETAIL

SCALE: 1 1/2" = 1'-0"



HANDRAIL DETAIL

SCALE: NTS

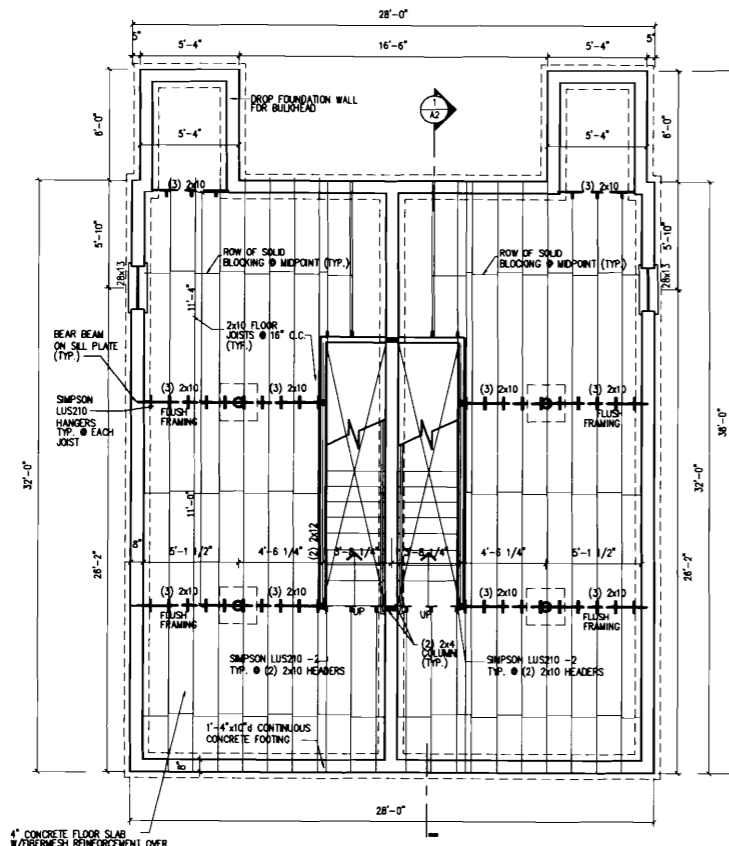
GENERAL NOTE FOR PARTY / SHEAR WALL:

1. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES & INTERMEDIATE. PROVIDE SCREWS @ 8" O.C. @ PANEL EDGES & INTERMEDIATE.
2. RUN 2x4 WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) ALLOWED W/ ONE OF THE 2x4 WALLS IN THE PARTY WALL BELOW. PROVIDE (1) LAYER 7/16" APA RATED SHEATHING ONE SIDE ONLY. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES. PROVIDE 8d NAILS @ 8" O.C. @ PANEL EDGES & INTERMEDIATE.
3. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATING SHOWN.

RECEIVED

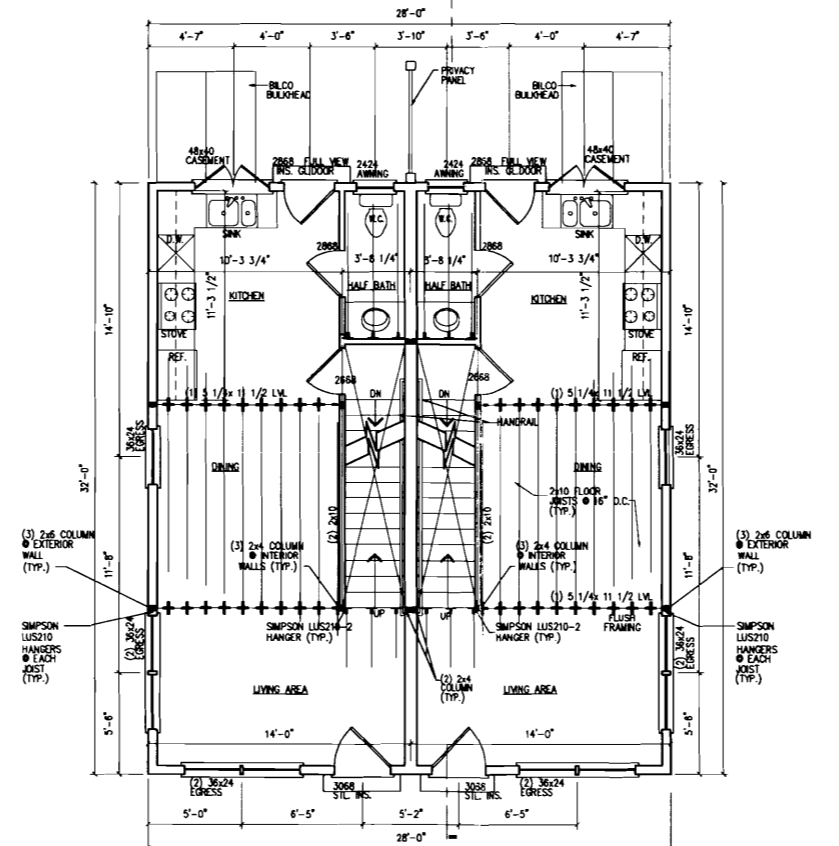
DEC 21 2009

Dept. of Building Inspections
City of Portland, Maine



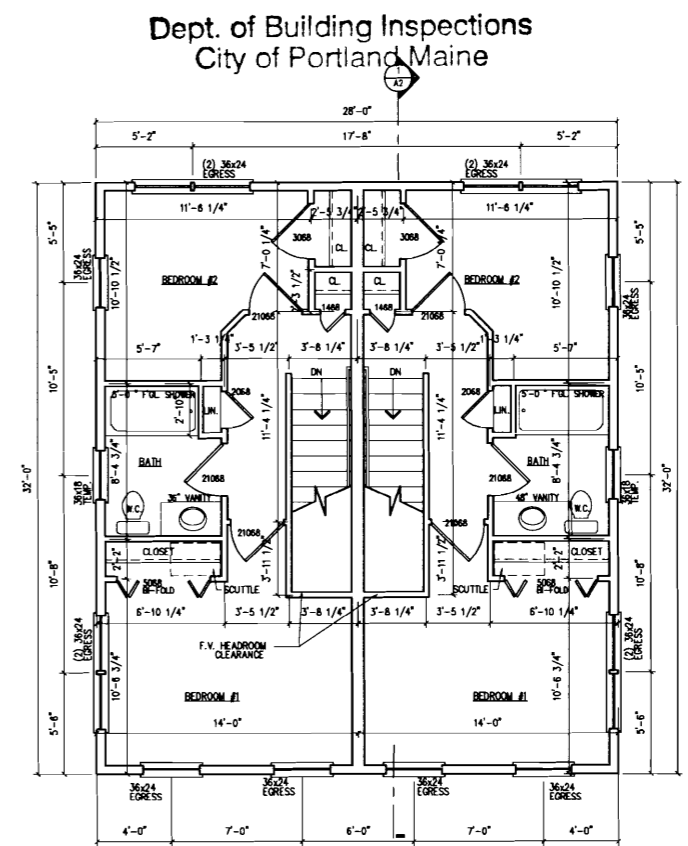
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

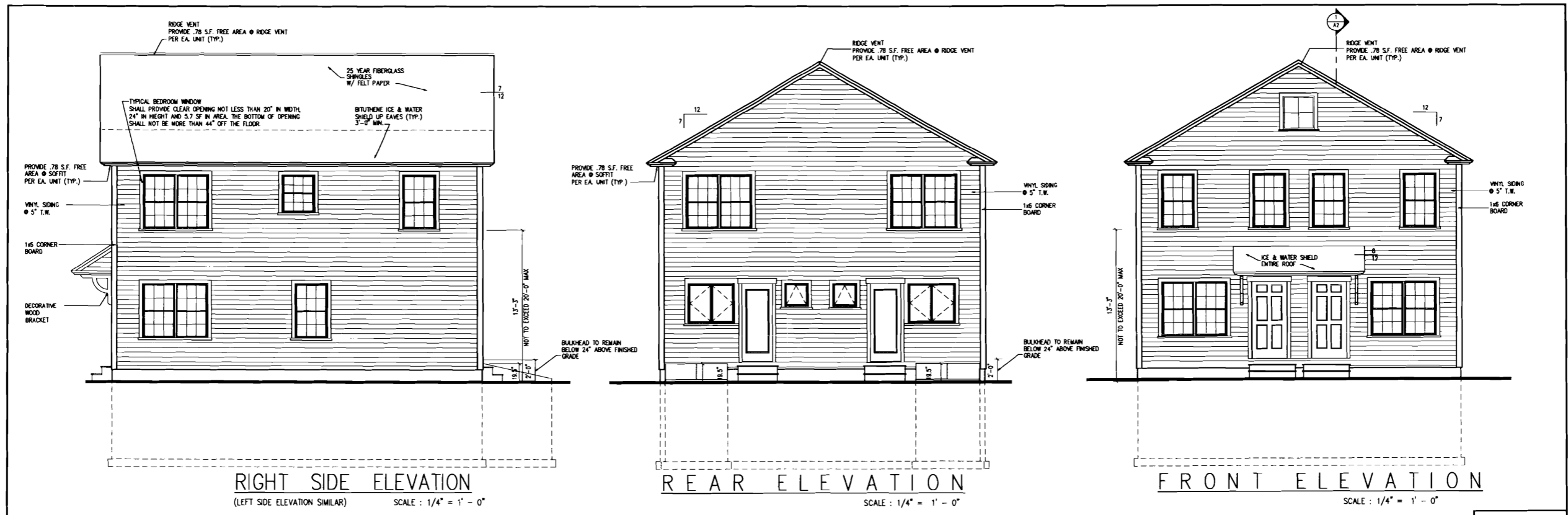
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

DRAWINGS THIS SHEET
FOUNDATION PLAN
FLOORPLANS
DETAILS
28 x 32 UNIT
DUPLX
DATE
12/19/09
A1



GENERAL NOTES:

- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
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- Building shall be sprinkled in accordance with NFPA-13. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
- Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
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FRAMING NOTES:

- All exterior walls to be 2x6 wood stud walls @ 24" O.C. w/ 1/2" G.W.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL, 6" BATT INSULATION (R-19), AND 7/16" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
- All interior walls to be 2x4 wood stud walls (UNLESS NOTED OTHERWISE) w/ ONE LAYER 1/2" G.W.B. EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

FOUNDATION NOTES:

- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
- FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED W/CCA TO 0.44/CF RETENTION PER ANPPA.
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
- SET BOTTOM OF FOOTINGS MIN. 4"-0" BELOW GRADE.
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE w/ FIBER MESH REINFORCEMENT. PROVIDE CONTROL JOINTS @ 15' MAX SPACING (225SF).
- ALL CONCRETE SHALL BE 3000 PSI (f_c) STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%/a.

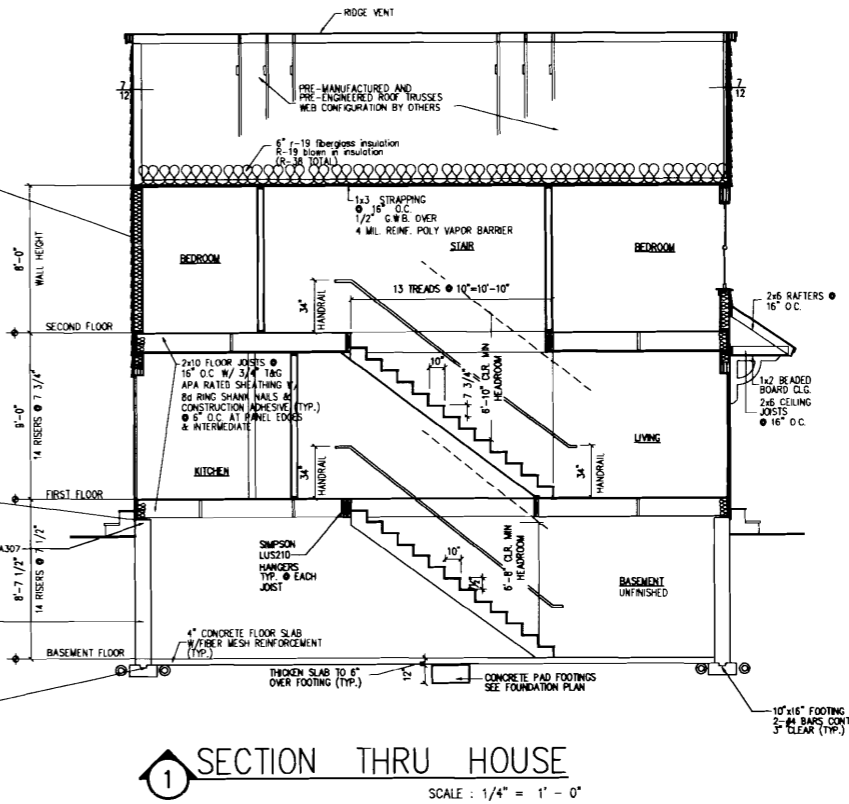
NOTE: BUILDING TO BE SPRINKLERED PER NFPA-13

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4'-8" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

TYPICAL ROOF CONSTRUCTION

- PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
 - ROOF SHINGLES
 - 5/8" APA RATED SHEATHING w/ 8d NAILS, RING SHANK @ 6" O.C. PANEL EDGES AND 8" O.C. INTERMEDIATE
 - #15 FELT PAPER
 - (2) ROLLS 30" WIDE WATERPROOF MEMBRANE @ EAVES.
- TYP. EXTERIOR WALL:
 1/2" G.W.B. OVER
 4 MIL REINF. POLY VAPOR BARRIER
 2x6 STUDS @ 24" O.C.
 W/SOLID 2x BLOCKING AT ALL SHEATHING PANEL EDGES
 7/16" APA RATED SHEATHING
 8d NAILS - RING SHANK @ 4" O.C. PANEL EDGES AND 8" O.C. INTERMEDIATE (TYP.) OVER CONT. BLDG. WRAP UNDER VINYL SIDING



RECEIVED

DEC 21 2009

Dept. of Building Inspections
 City of Portland Maine

SECTION THRU HOUSE

SCALE: 1/4" = 1' - 0"

28 x 32 UNIT
 DUPLEX

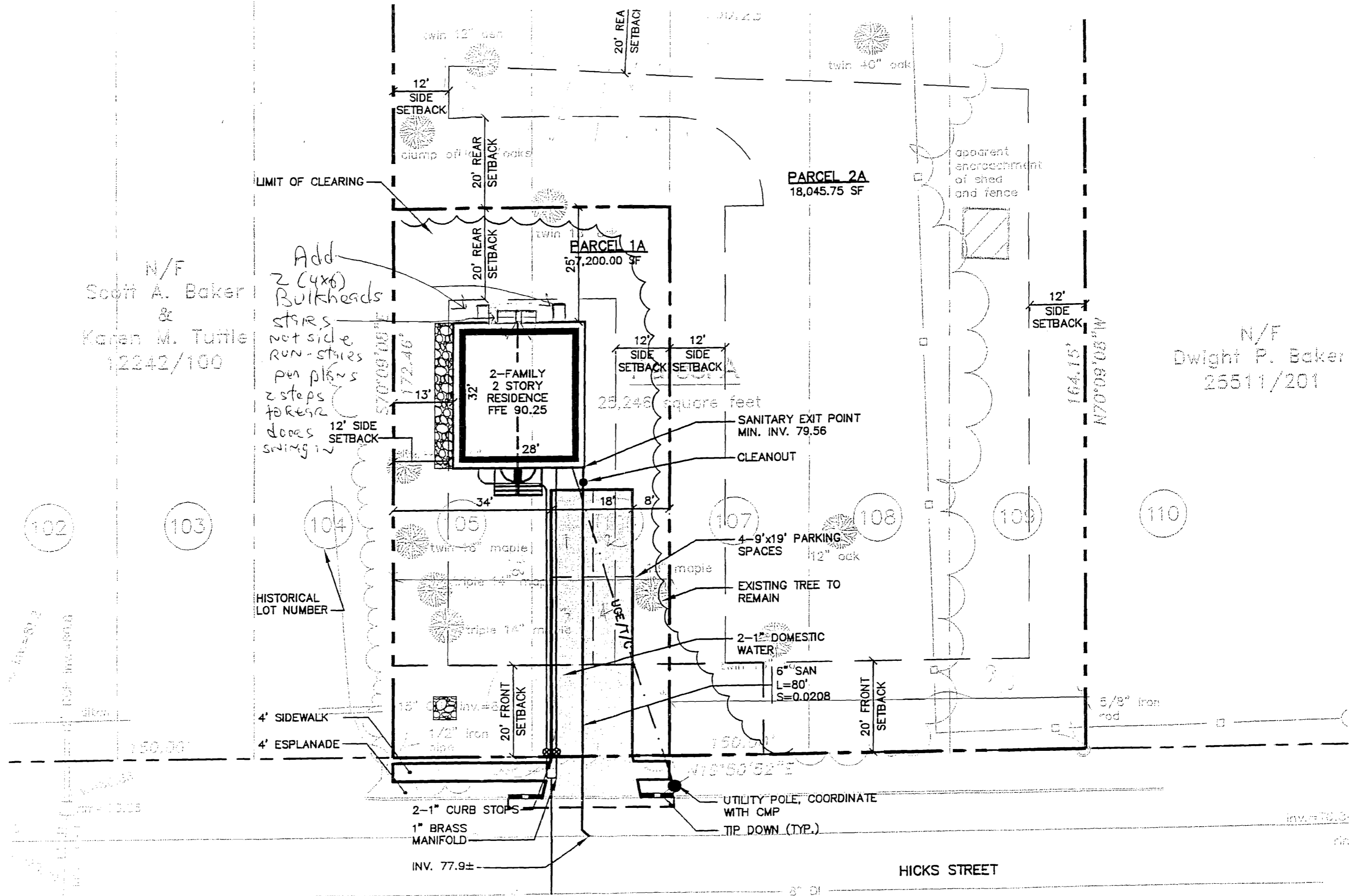
DRAWINGS THIS SHEET
 ELEVATIONS
 SECTION
 GENERAL NOTES

DATE
 12/18/09

A2

N/F
Scott A. Baker
&
Karen M. Tuttle
12242/100

N/F
Dwight P. Baker
25511/201



Handwritten notes:
Add
2 (4x6)
Bulkheads
stairs
not side
run-stairs
per plans
2 steps
to Res
doors
swing in

HISTORICAL
LOT NUMBER

HICKS STREET

102

103

104

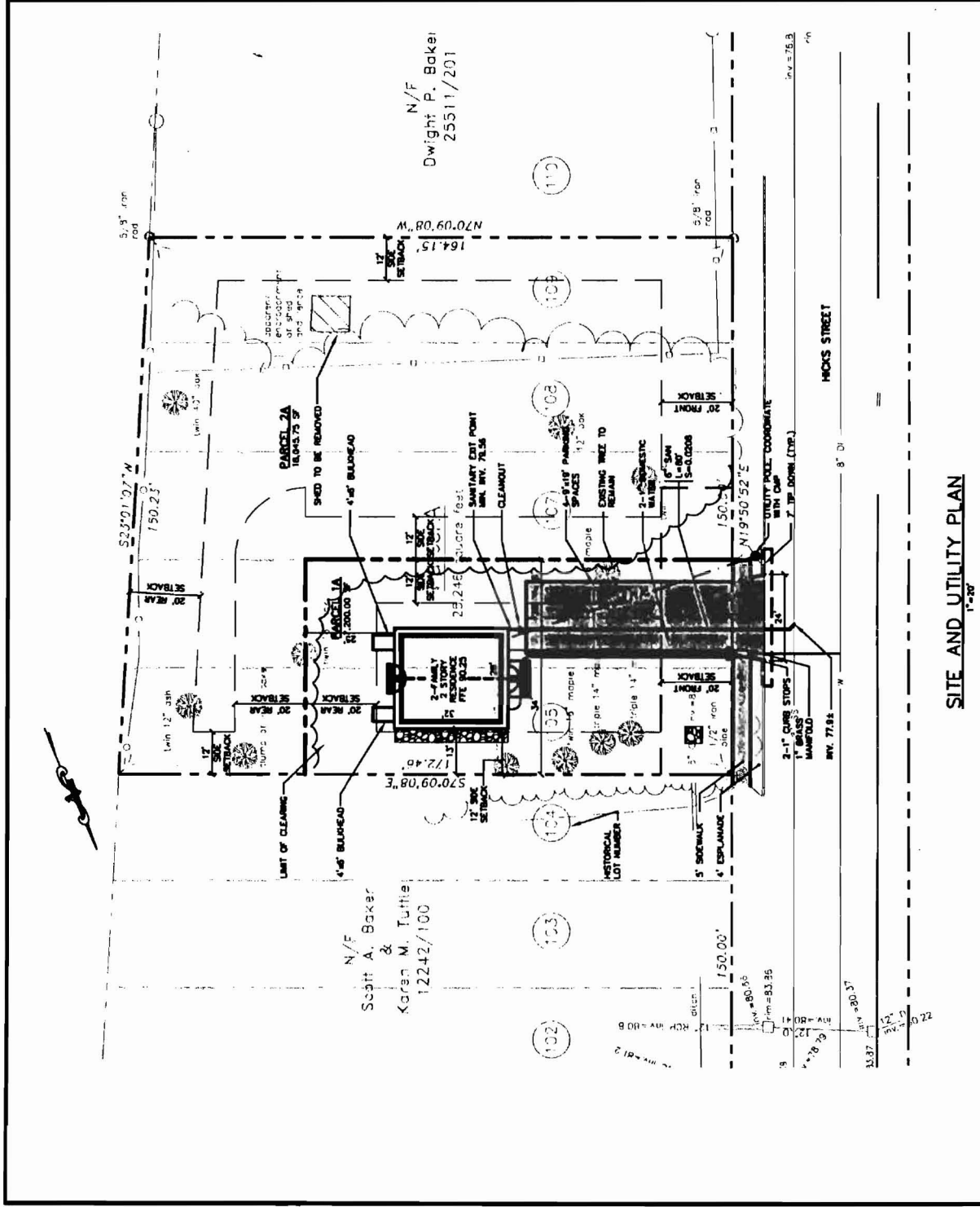
105

107

108

109

110



SITE AND UTILITY PLAN
1"=30'

GRADING AND DRAINAGE NOTES:

1. ALL DRAINAGE AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED.
2. CONCRETE SHALL MEET SPECIFICATION 701.18.
3. FOUNDATION DRAIN SHALL BE DIRECTED TO SLUMP LOCATED WITHIN BUILDING.
4. THE GRADING AND DRAINAGE SYSTEM ON THE PROPERTY SHALL BE CONTROLLED AND LOCATED AS DEPICTED ON THE APPROVED SITE PLAN AND SAID GRADING AND DRAINAGE SYSTEM SHALL NOT BE MODIFIED WITHOUT FURTHER APPROVAL FROM THE PLANNING AUTHORITY.

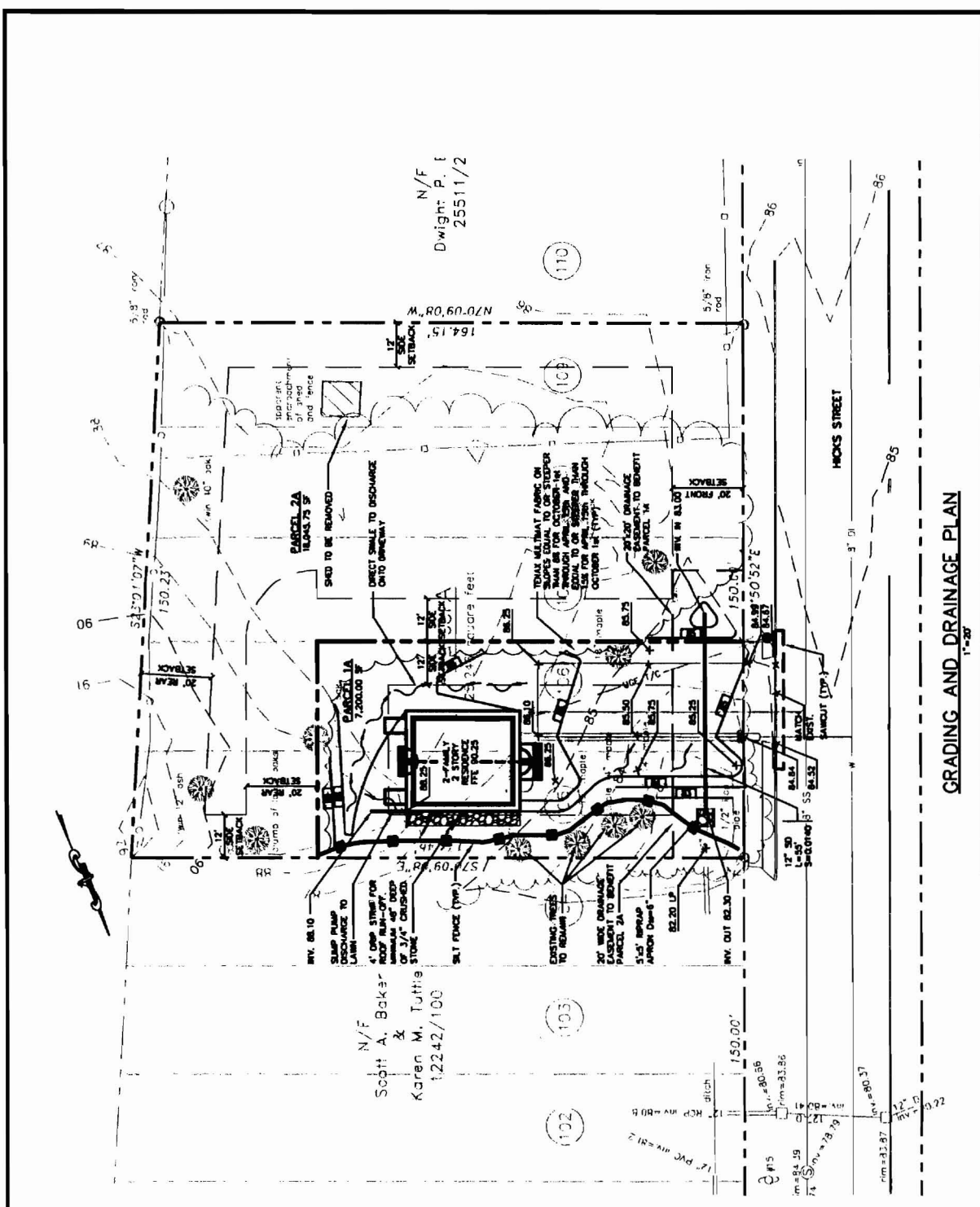
SPACE AND BULK REQUIREMENTS - R-5 ZONE

MINIMUM LOT SIZE:	6,000 S.F. (SINGLE UNIT) 9,000 S.F. (MULTIFLEX UNIT)
MINIMUM SETBACK:	50 FT.
MINIMUM FRONT YARD SETBACK:	20 FT.
MINIMUM REAR YARD SETBACK:	8 FT.
MINIMUM SIDE YARD SETBACK:	8 FT.
MINIMUM LOT WIDTH:	12 FT.
MINIMUM LOT DEPTH:	14 FT.
MINIMUM LOT AREA:	80 FT. (SINGLE UNIT) 90 FT. (MULTIFLEX UNIT)

THE AREA OF ONE (1) FOOT AND MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER DIMENSION IS INCREASED, BUT NO SETBACK SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

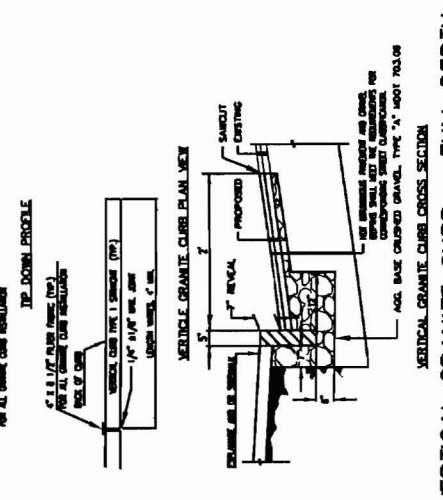
GENERAL NOTES:

1. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY INTCOR ASSOCIATES IN JUNE 2008.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE PORTLAND UTILITY COMMISSION AND THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DO SO AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO ACQUIRE EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS.
3. MAINTENANCE OF EXISTING CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING ALL EXISTING CONTROL MEASURES SHOWN ON THESE PLANS. ADDITIONAL EXISTING CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. INSPECTION OF WATER LINES SHALL CONFORM TO ARIWA STANDARD C601, LATEST REVISION. DESIGN STANDARDS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAKE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. LOT OWNER IS RESPONSIBLE FOR LAYOUT AND EXTENSION OF ELECTRIC SERVICE, COORDINATE WITH OUP.
8. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES PER UNIT MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO USUALLY WITHIN THE NARROW DIVISION OR PROPORTION OF THE LOT.
9. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER'S INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
10. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.
11. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL STANDARDS SECTION ON DESIGN AND SUBMITTAL CONTROL STANDARDS FOR SINGLE AND TWO FAMILY HOUSES.
12. ANY WORK BEING DONE WITHIN THE RIGHT-OF-WAY IS THE PROPERTY OF THE CITY OF PORTLAND AND SHALL BE SUBJECT TO THE PUBLIC WORKS FACILITY OR OTHER COMPRESS STREET.



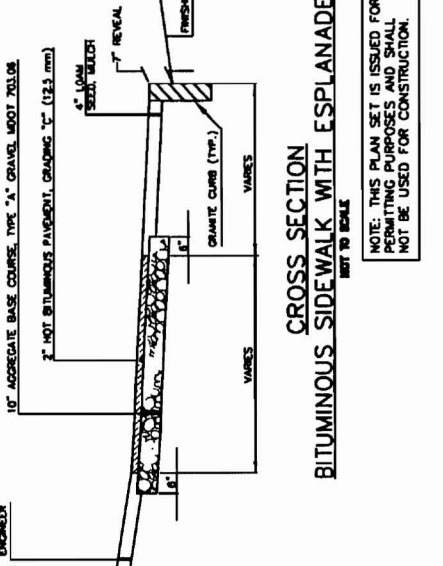
GRADING AND DRAINAGE PLAN
1"=30'

VERTICAL GRANITE CURB - FULL DEPTH STREET CONSTRUCTION
NOT TO SCALE



VERTICAL GRANITE CURB CROSS SECTION
NOT TO SCALE

CROSS SECTION
BITUMINOUS SIDEWALK WITH ESPLANADE
NOT TO SCALE



NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES AND SHALL NOT BE USED FOR CONSTRUCTION.

<p>12/09/09</p> <p>1</p>	<p>ADDED BULKHEADS</p> <p>Revision</p>	<p>Date</p> <p>By</p>	<p>Issued For</p>
<p>GP Gorrill-Palmer Consulting Engineers, Inc.</p> <p>15 Shaker Road Gray, ME 04039</p> <p>207-657-6910 FAX: 207-657-6912 E-Mail: mailbox@gorrillpalmer.com</p>			
<p>Site, Utility, Grading and Drainage Plans</p> <p>Hicks Street Duplex</p> <p>Hicks Street, Portland, Maine</p> <p>WA One</p> <p>P.O. Box 10127, Portland, Maine 04101</p>			
<p>Drawing No. 1</p>			