

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: **217-219 Hicks St** Owner: **Ralph & Peter DeSarno** Phone: **878-0079**

Owner Address: **7 Castine Ave Ptld 04103** Lessee/Buyer's Name: **7 Castine Ave Ptld 04103** Phone: **878-0079**

Contractor Name: **** Ralph & Peter DeSarno** Address: **7 Castine Ave Ptld 04103** Proposed Use: **Two Unit Duplex**

Past Use: **Vacant** COST OF WORK: **\$ 40,000** PERMIT FEE: **\$ 220.00**

FIRE DEPT. Approved Denied INSPECTION: **Use Group A3 Type: 53**

Signature: **[Signature]** Signature: **[Signature]**

Proposed Project Description: **PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action: Approved Approved with Conditions Denied

Construct **2 Unit Duplex 26 x 40 w/full basement**

Permit Taken By: **MG** Date Applied For: **January 22, 1999**

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.

2. Building permits do not include plumbing, septic or electrical work.

3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

217 - Right Side
219 - Left Side

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Permit No: **990079**

PERMIT ISSUED

Permit Issued: **FEB '2 1999**

CITY OF PORTLAND

Zone: **ASR-5** CBL: **296-B-014**

Zoning Approval: **[Signature]**

Special Zone or Reviews: Shoreland Wetland Flood Zone Subdivision Site Plan major Minor Zmm

Zoning Appeal

- Variance
- Miscellaneous
- Conditional Use
- Interpretation
- Approved
- Denied

- Historic Preservation
- Not in District or Landmark
- Does Not Require Review
- Requires Review

Action: Approved Approved with Conditions Denied

Date: **[Signature]**

CEO DISTRICT

1 AR/DC

Permit No: **990079**

PERMIT ISSUED
 Permit Issued: **FEB 2 1999**
CITY OF PORTLAND

Zone: **CBL** 296-3-014
 Zoning Approval: **Special Zone or Reviews:**
 Shoreland
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 Site Plan maj minor mm

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 Variance
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 Denied

Historic Preservation
 Not in District or Landmark
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Action:
 Approved
 Approved with Conditions
 Denied
 Date: _____

CEO DISTRICT

Location of Construction: **Hicks St** Phone: **878-0079**

Owner Address: **389 Congress Ave Ptd 04103** Phone: _____
 Lessee/Buyer's Name: **Ralph & Peter DeSarno** Business Name: _____

Contractor Name: **Ralph & Peter DeSarno** Phone: **878-0079**

Past Use: **Vacant**
 Proposed Use: **Two Unit Duplex**
COST OF WORK: \$ 40,000
PERMIT FEE: \$ 220.00
INSPECTION: Use Group A-3 Type: 5B
DOC# 96
 Signature: _____
 Date: _____

Proposed Project Description:
Construct 2 Unit Duplex 26 x 40 w/full basement
 Signature: _____
 Date: **January 22, 1999**

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 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____
White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 217-219 Hicks Street CBL# 296-B-014

Date of Issue 12-7-99

Issued to Ralph & Peter DeSarno

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 990079, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Two Unit Duplex
Use Group R-3
Type 5 B
Boca 96

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

12/7/99

(Date)

[Signature]

Inspector

[Signature]

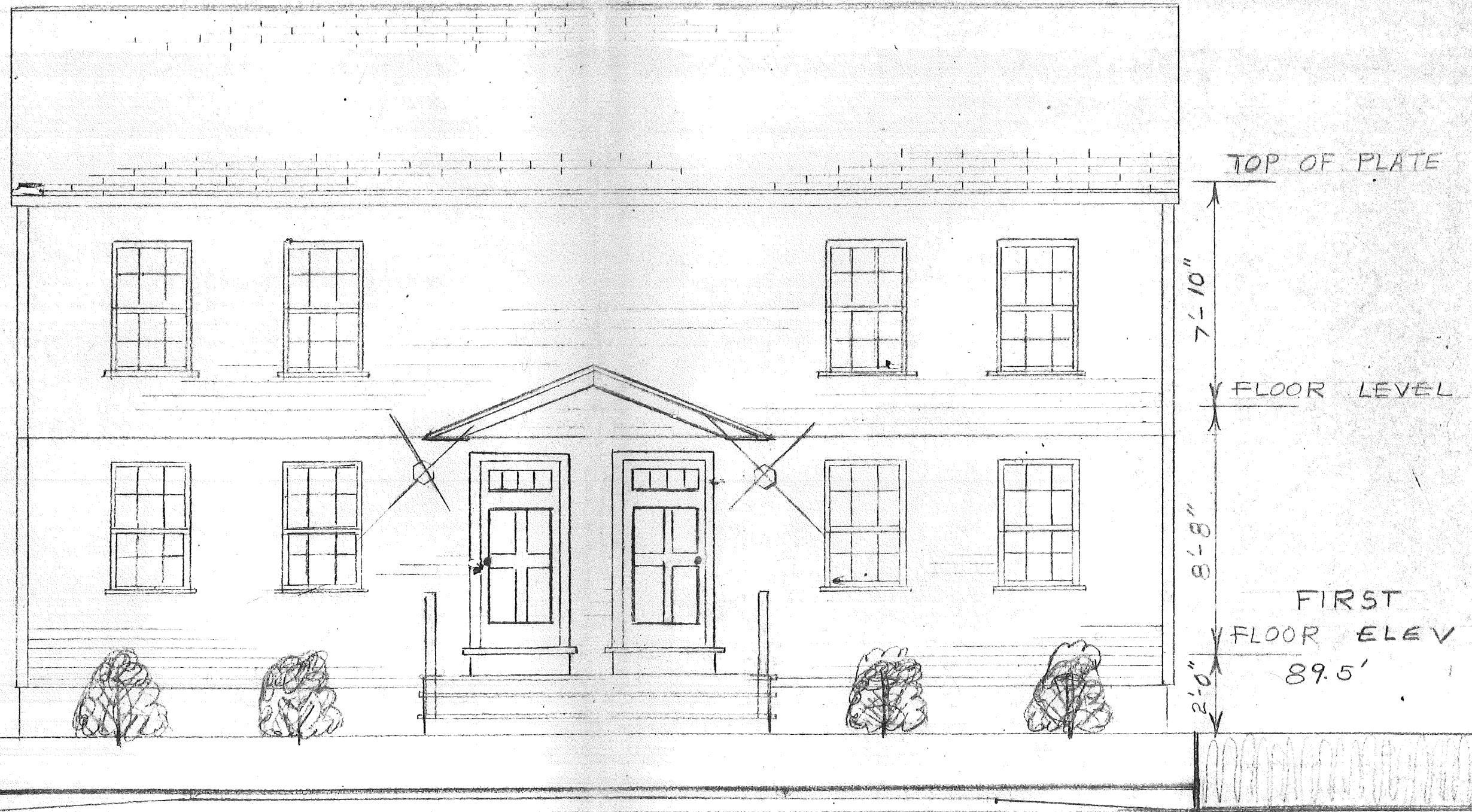
Inspector of Buildings

[Handwritten initials]
12/7/99

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

REVISED

2 MAR. 99

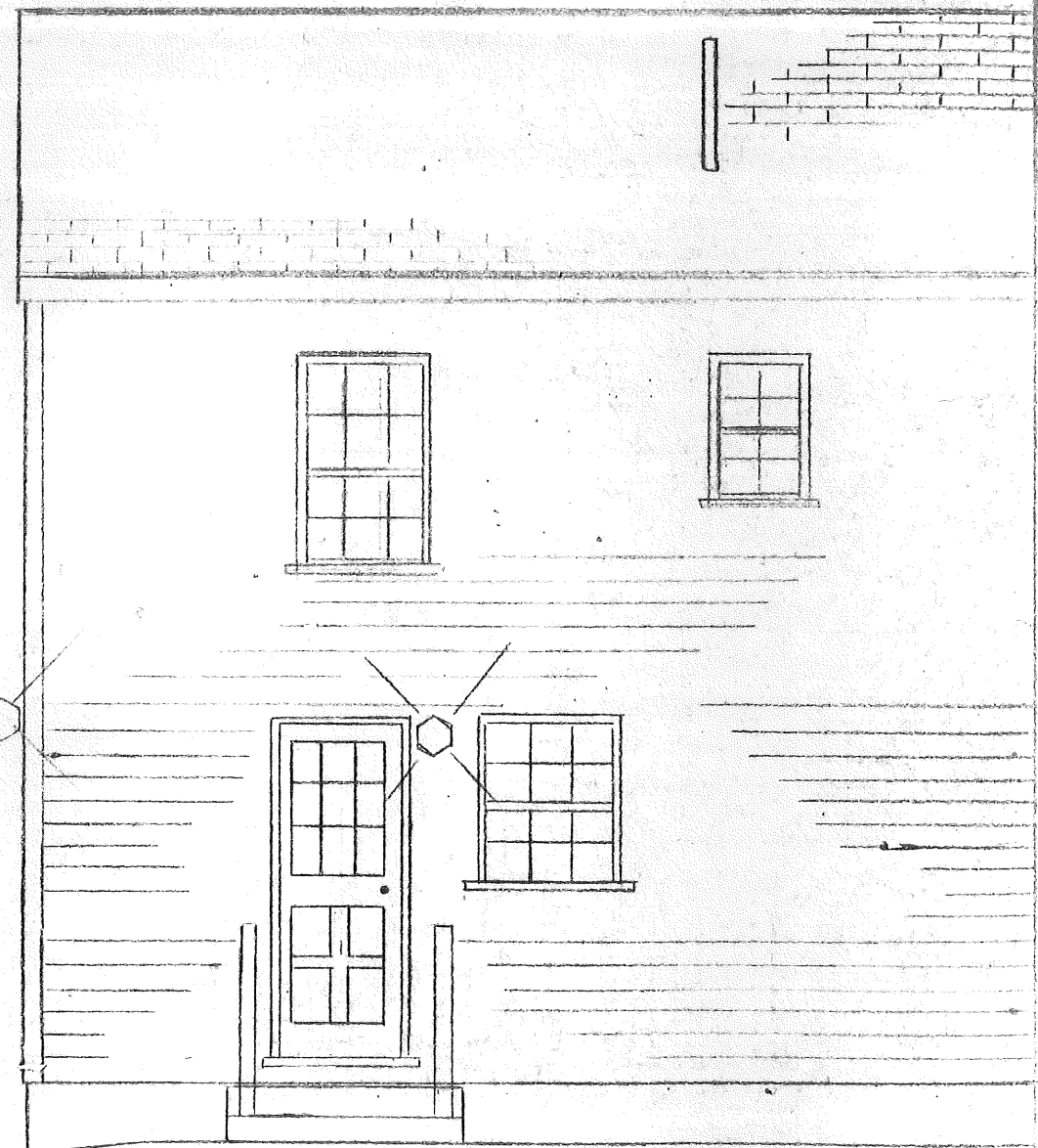
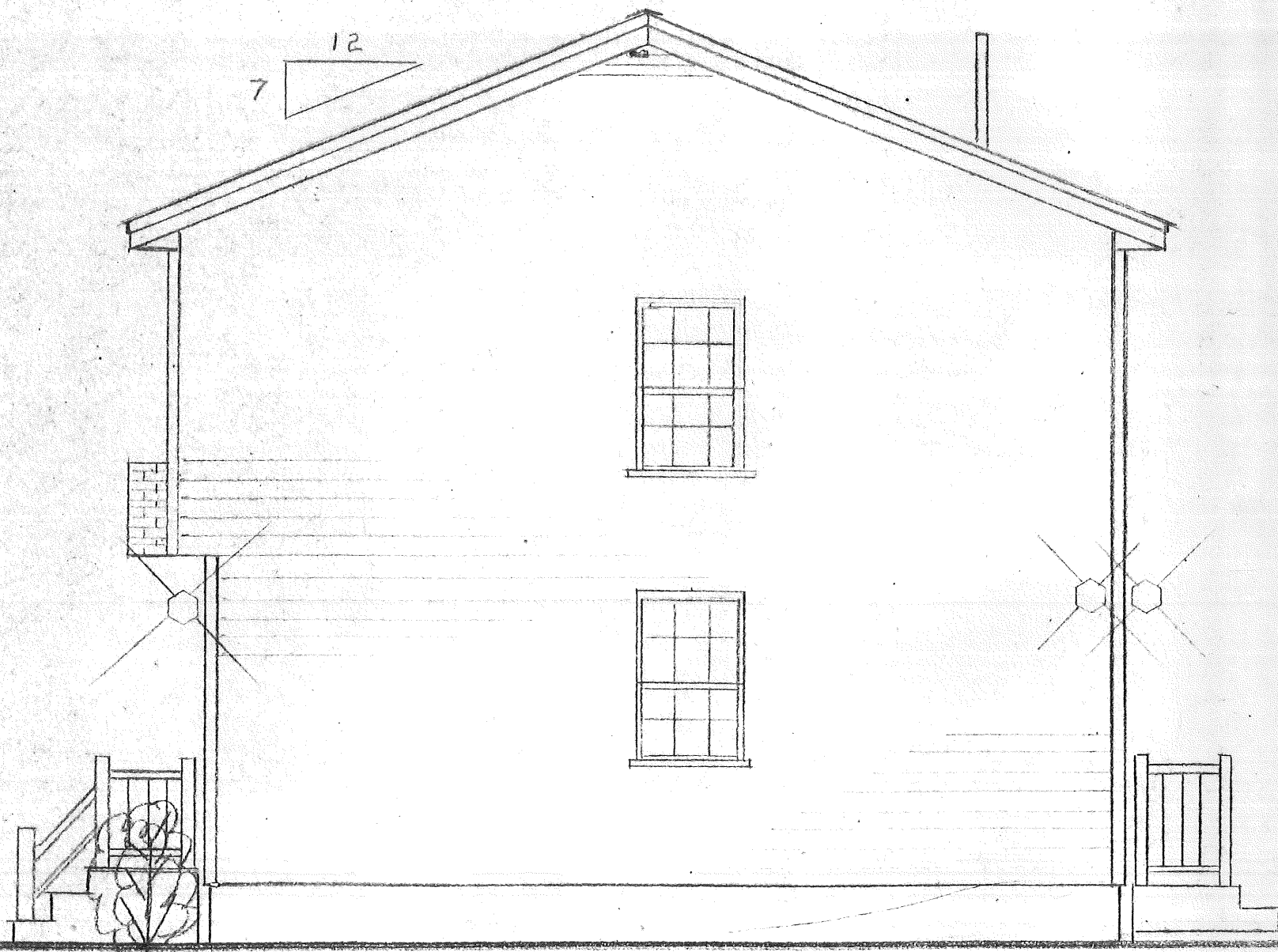
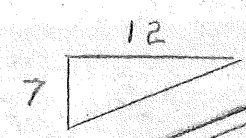


FRONT ELEVATION *apr*

SCALE 1/4" = 1'-0"

PLEX @ 215-221 HICK ST

RIDGE VENT



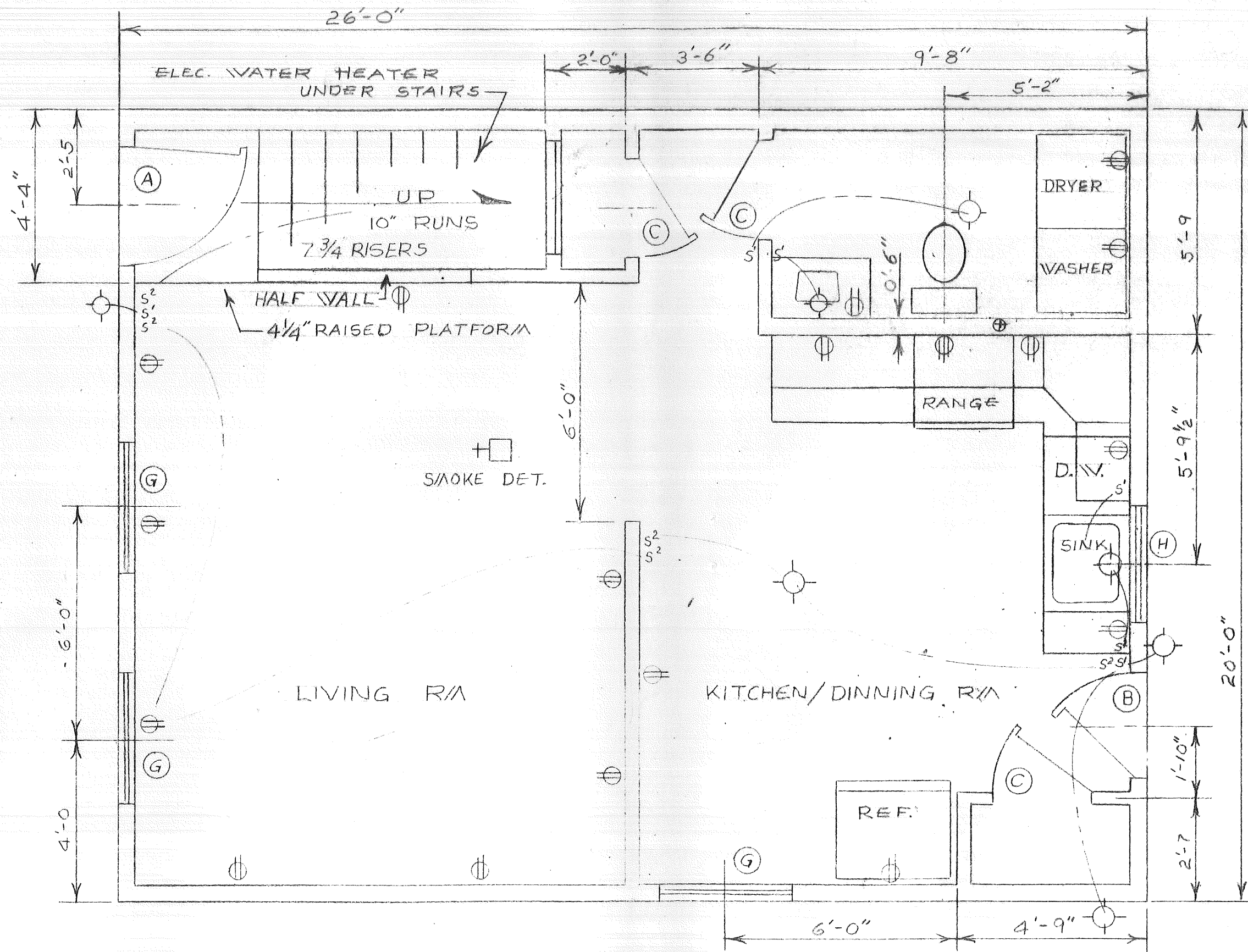
SIDE ELEVATION apr

SCALE 1/4" = 1'-0"

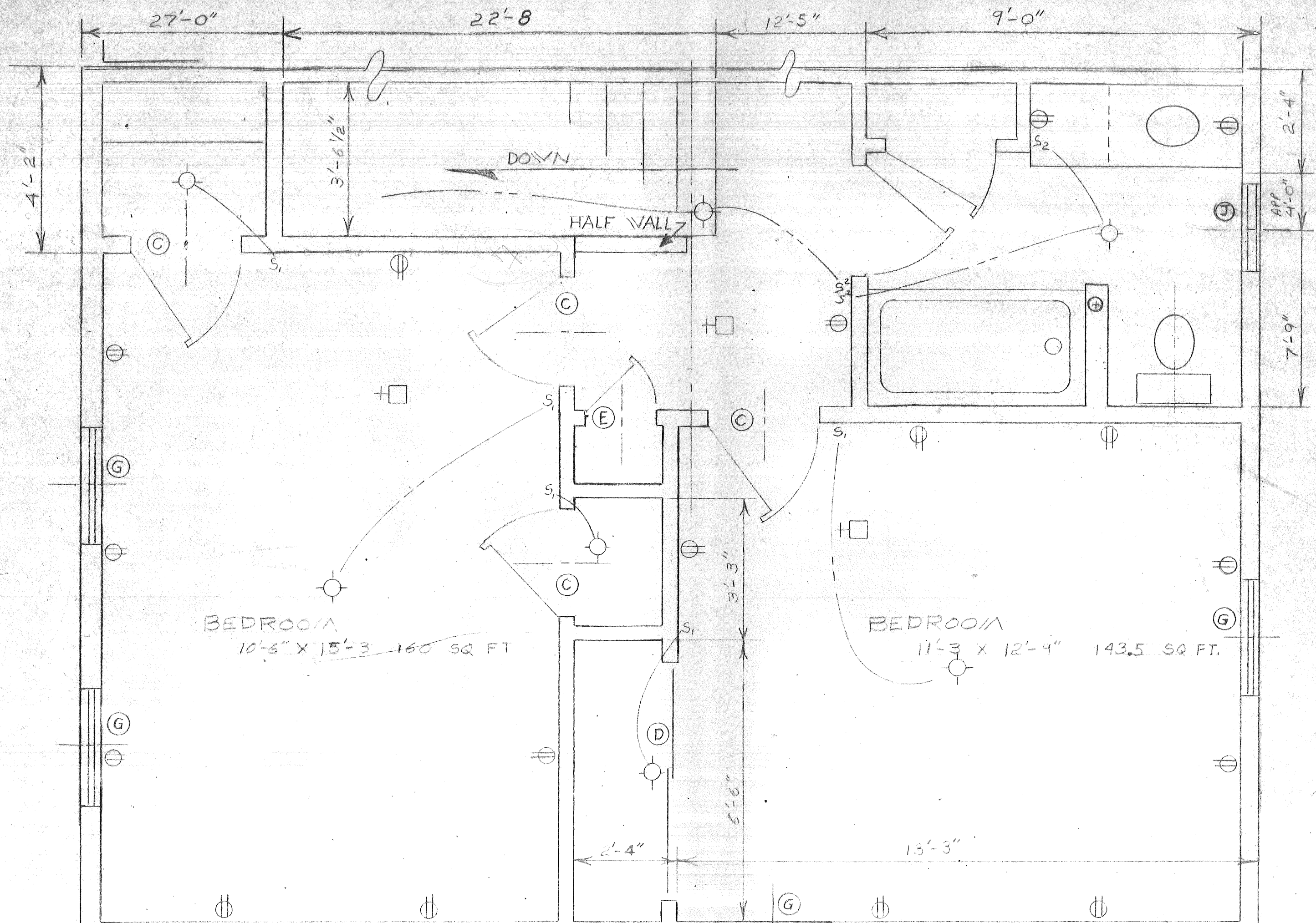
REAR ELEVATION

LEX @ 215-221 HICK ST

HICK ST. SIDE



FIRST FLOOR PLAN SCALE 3/8" = 1'-0"



27'-0"

22'-8"

12'-5"

9'-0"

4'-2"

3'-6 1/2"

2'-4"

APP
4'-0"

7'-9"

DOWN

HALF WALL

BEDROOM
10'-6" X 15'-3" 160 SQ FT

BEDROOM
11'-3" X 12'-9" 143.5 SQ FT.

3'-3"

6'-6"

2'-4"

13'-3"

C

C

S₂

S₁

C

S₁

C

S₁

D

G

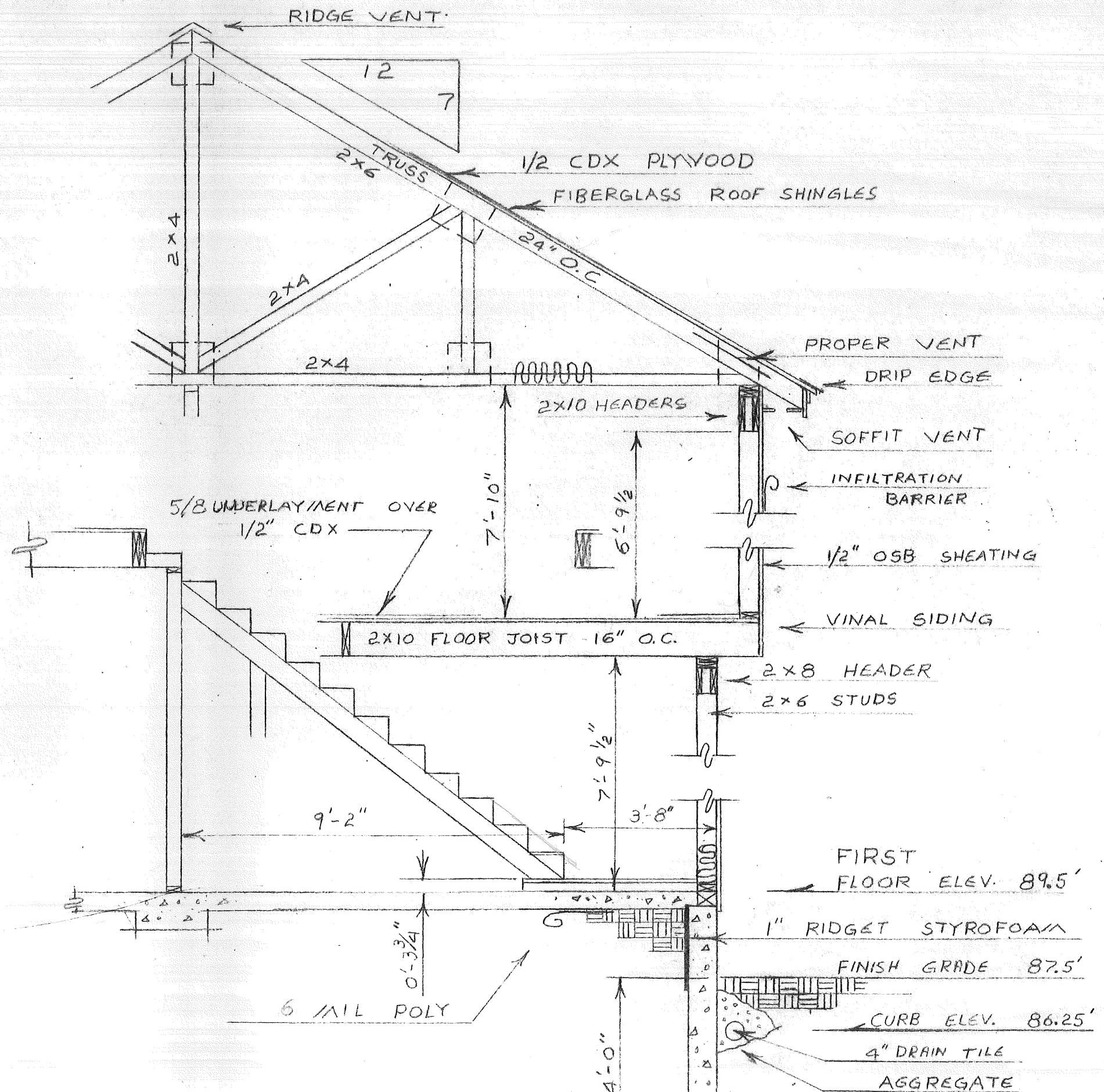
G

G

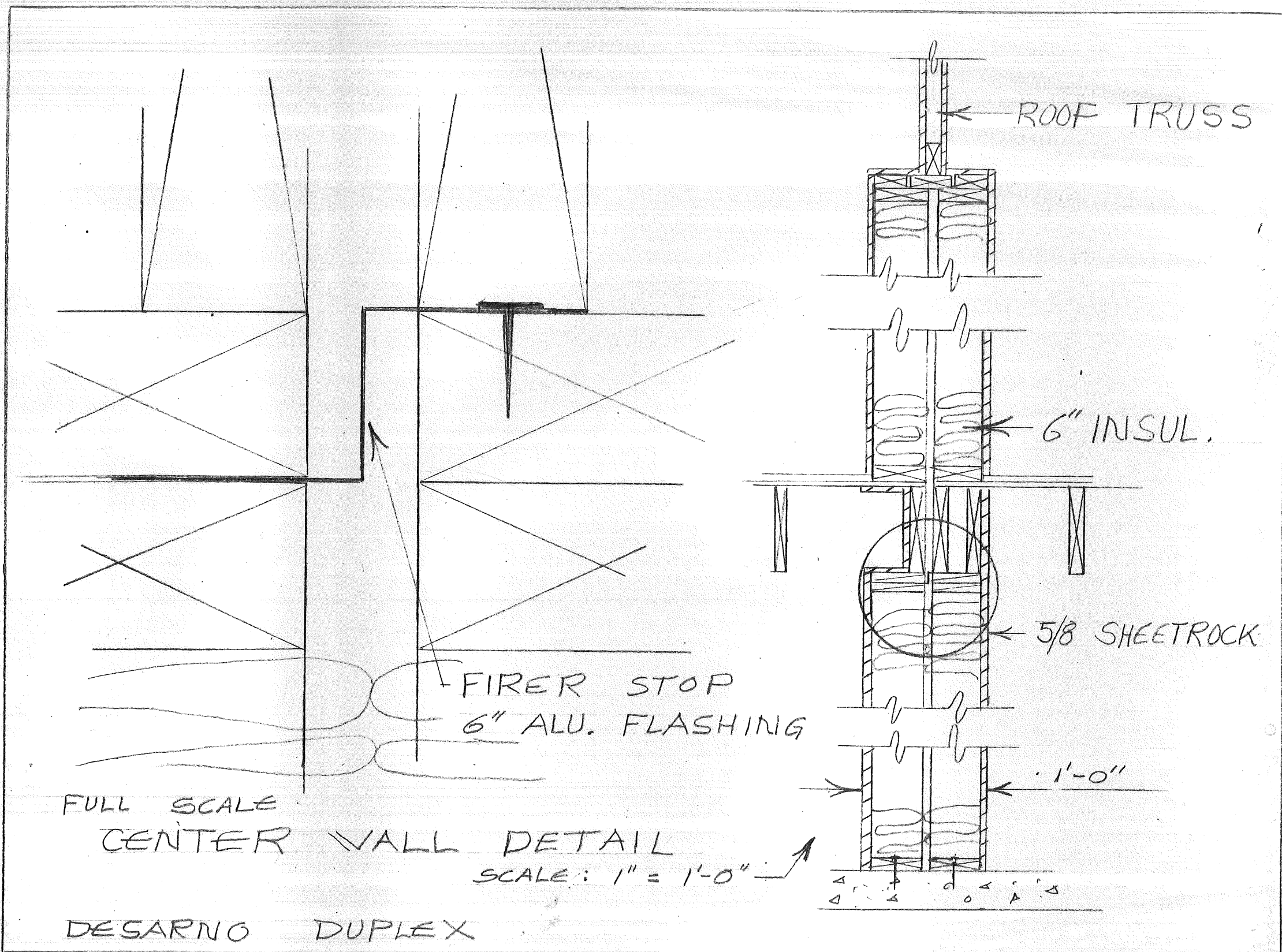
G

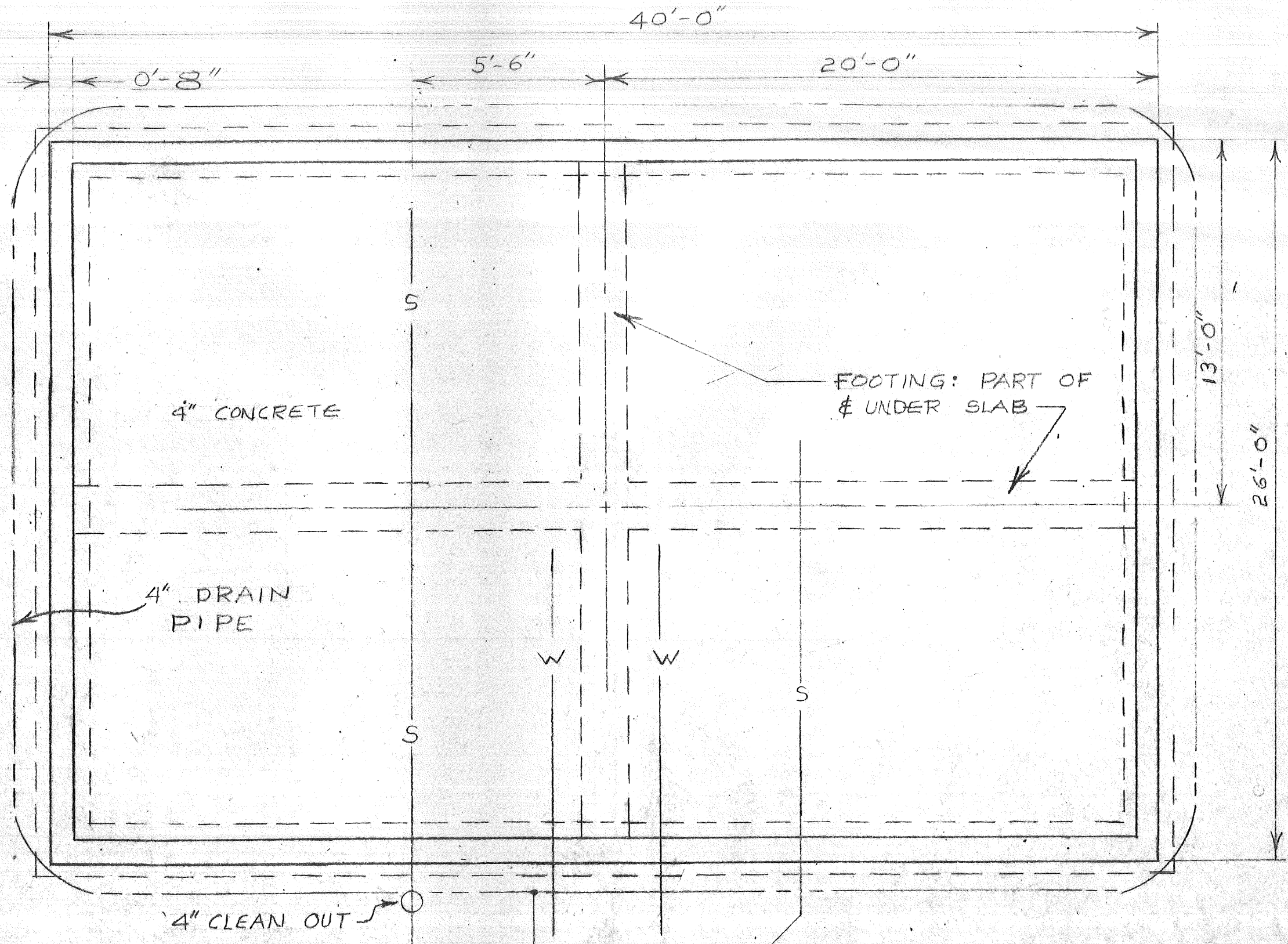
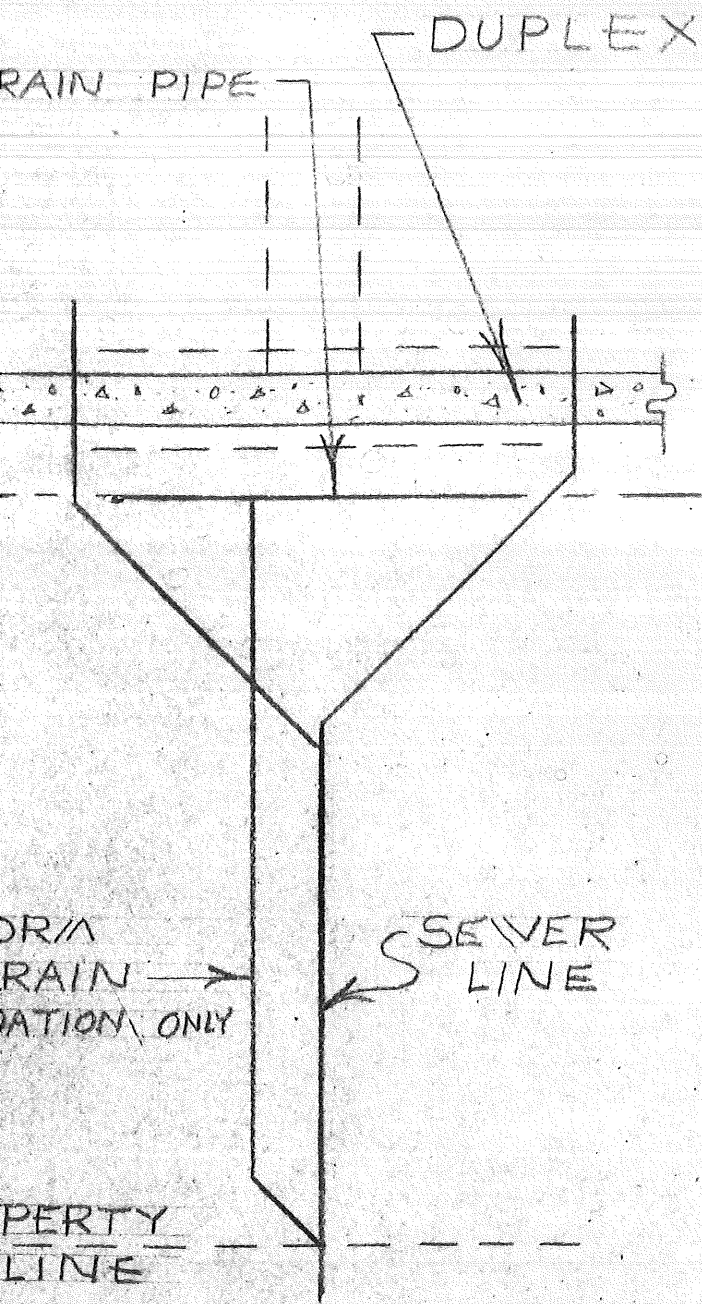
DOOR SCHEDULE		
DESCRIPTION	SIZE	
A 2-LITE 4 PANEL INSULATED	3'-0" X 6'-8" X 1 3/4	
B 9-LITE 2 PANEL INSULATE	2'-8" X 6'-8" X 1 3/4	
C 2668 - 1 3/8" HCL SET UP & BORED	2'-6" X 6'-8" X 1 3/8	
D 2868 - 1 3/8" HCL SLAB	2'-8" X 6'-8" X 1 3/8	
E 1668 - 1 3/8" HCL SET UP & BORED	1'-6" X 6'-8" X 1 3/8	

WINDOW SCHEDULE		
DESCRIPTION	SIZE	
G DOUBLE HUNG	39 1/2 X 59 1/2 †	
H DOUBLE HUNG	27 1/2 X 35 1/2	
J DOUBLE HUNG	23 1/2 X 35 1/2	
† MEETS EGRESS CODES		



DUPLEX @ 215-221 HICK ST
 FOR PETER & RALPH
 DESARNO





DUPLEX @ 215-221 HICK ST
 RALPH DESARNO
 PETER DESARNO
 FOUNDATION PLAN *apr*

SCALE 1/4" = 1'-0" | DATE 1-1-99
 FOUNDATION ANCHORS - 1/2" D. - 7" DEEP
 SPACED - 12" FROM CORNER - 6' APART

- NOTES -

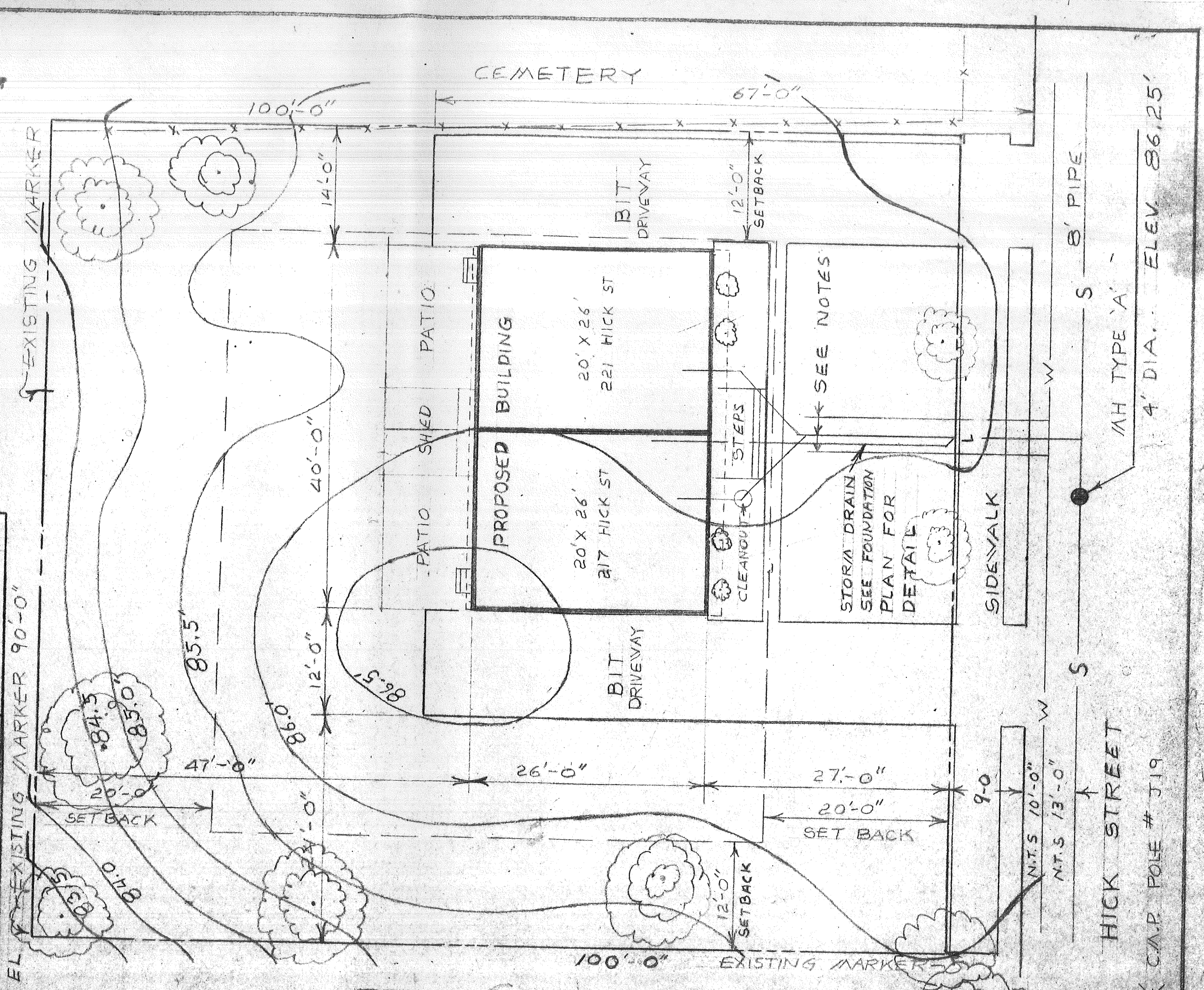
HYDRANT LOCATED 135' ON & SAME SIDE OF HICK ST WATER SERVICE TO BE 1" LINES. (CTS) OVER LATERAL TO BE A LINE CHANGING TO TWO LINES AT Y.

COMPLEX @ 215-221 HICK ST
 PETER DESARNO
 RALPH DESARNO
 PLOT PLAN

SCALE: 1" = 10'-0" DATE 5-3-98

REFERENCES
 REGISTRY OF DEEDS BOOK 2602
 435 & REG. OF DEEDS
 IN BOOK 14 PAGE 25.

BROWN CONST. CO.



HICK STREET

C.A.P. POLE # J19

4" DIA. MH TYPE 'A' ELEV. 86.25'

S 8' PIPE

S

W

S

W

S

W

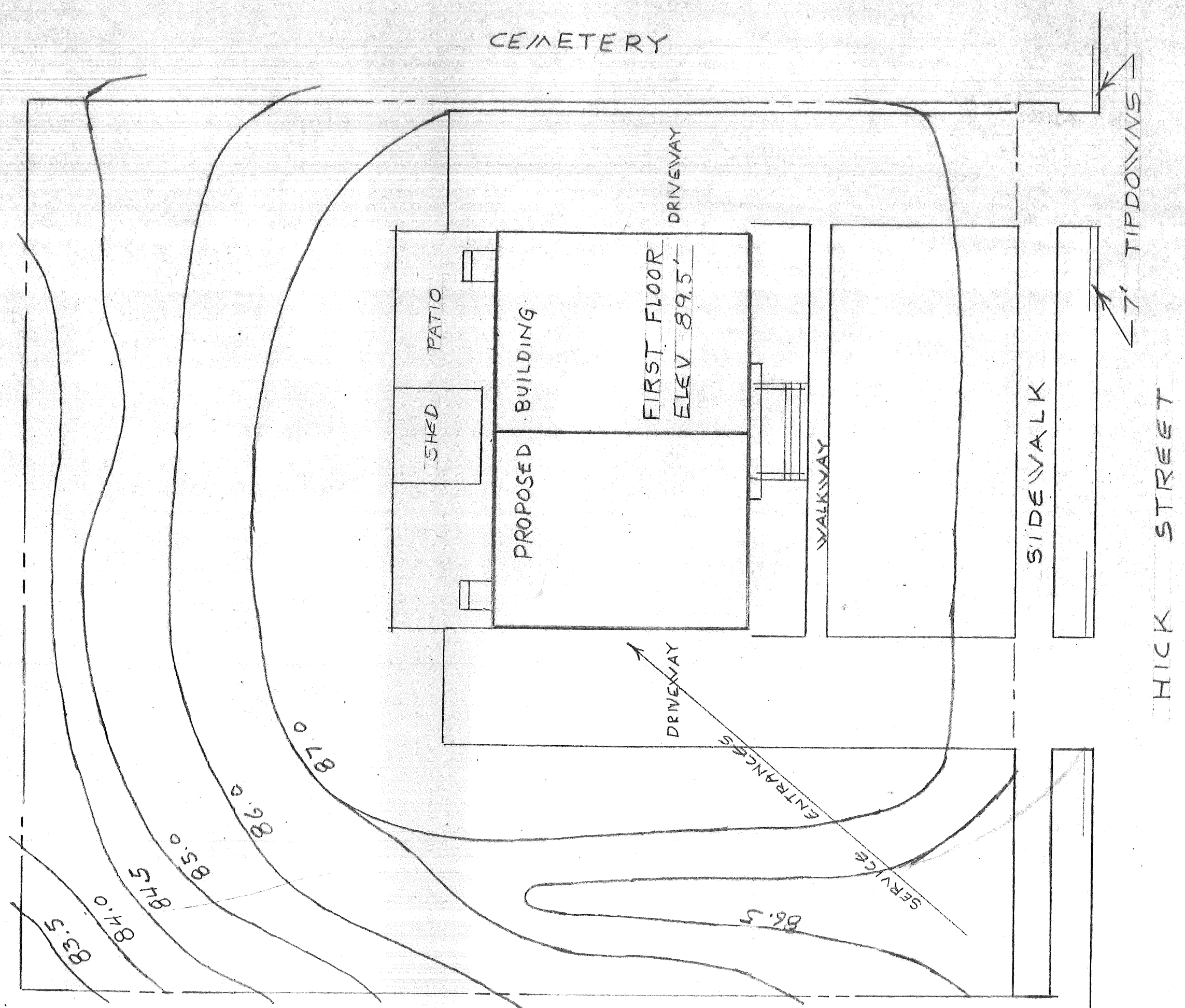
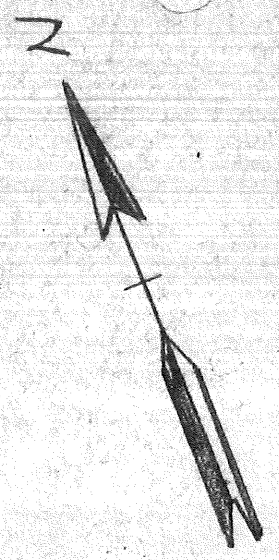
S

W

PROPOSED TOPO
LOT PLAN

PLEX@ 215-221 HICK ST
RALPH DESARNO
PETER DESARNO

BROWN CONST. CO.



CEMETERY

DRIVEWAY

PATIO

SHED

PROPOSED BUILDING

FIRST FLOOR
ELEV 89.5'

WALKWAY

SIDEWALK

7' TIPDOWNS

HICK STREET

DRIVEWAY

ENTRANCES

SERVICE

86.5

83.5

84.0

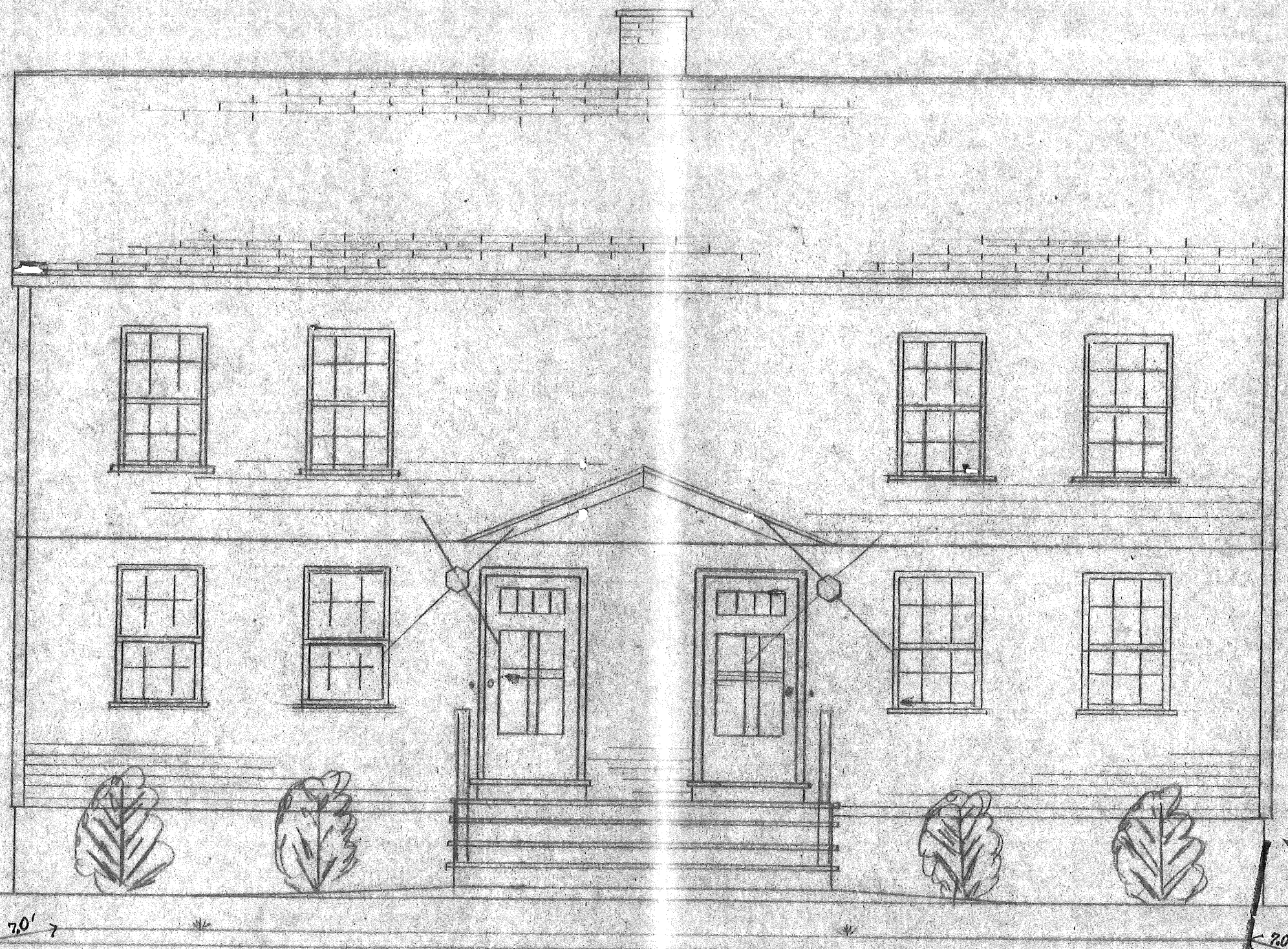
84.5

85.0

86.0

87.0

3



TOP OF PLATE

7'-9"

FLOOR LEVEL

8'-8"

FIRST FLOOR ELEV

91.0'

OLD

PL

CITY OF PORTLAND

APPROVED SITE PLAN

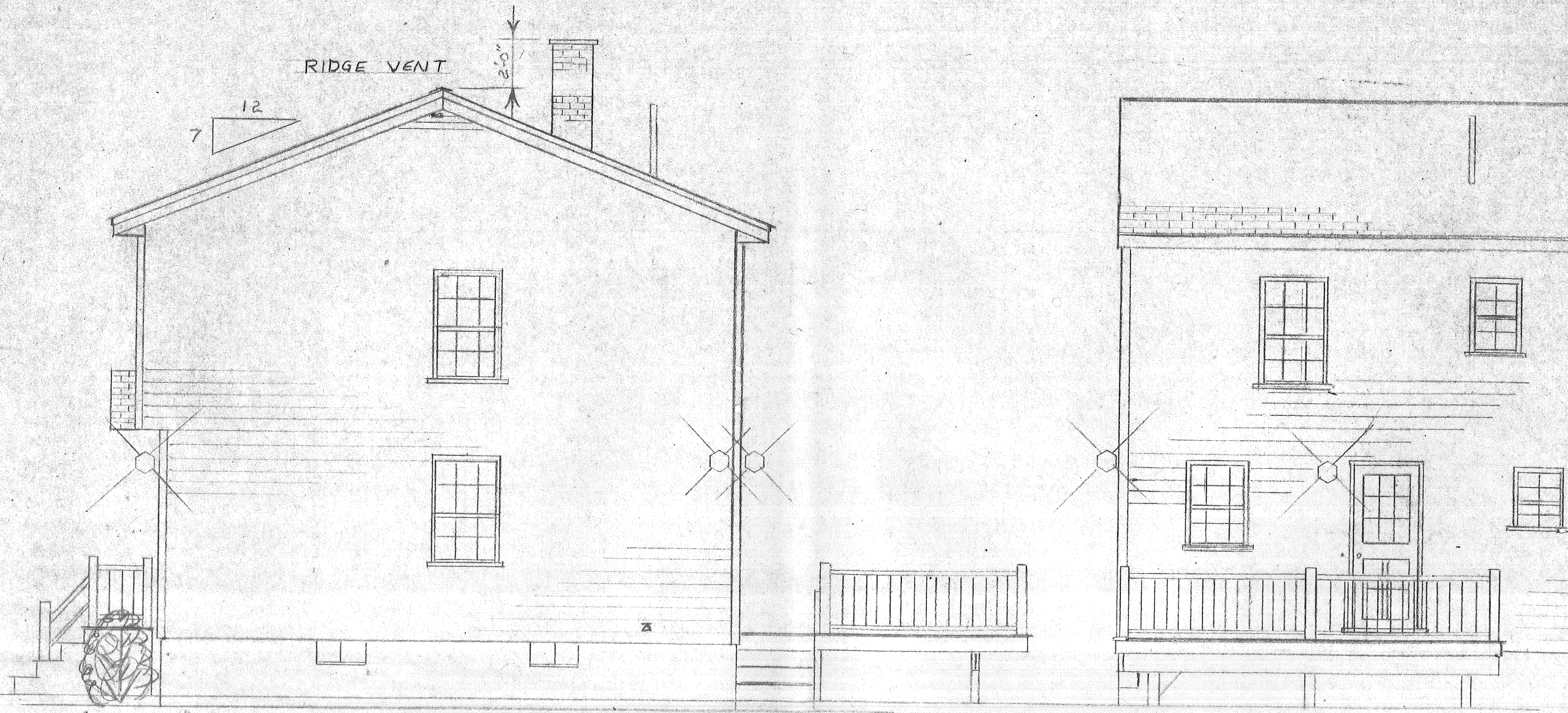
SUBJECT TO DEPARTMENTAL CONDITIONS

7'-0"

FRONT ELEVATION *apl*

SCALE 1/4" = 1'-0"

LEX @ 215-221 HICK ST

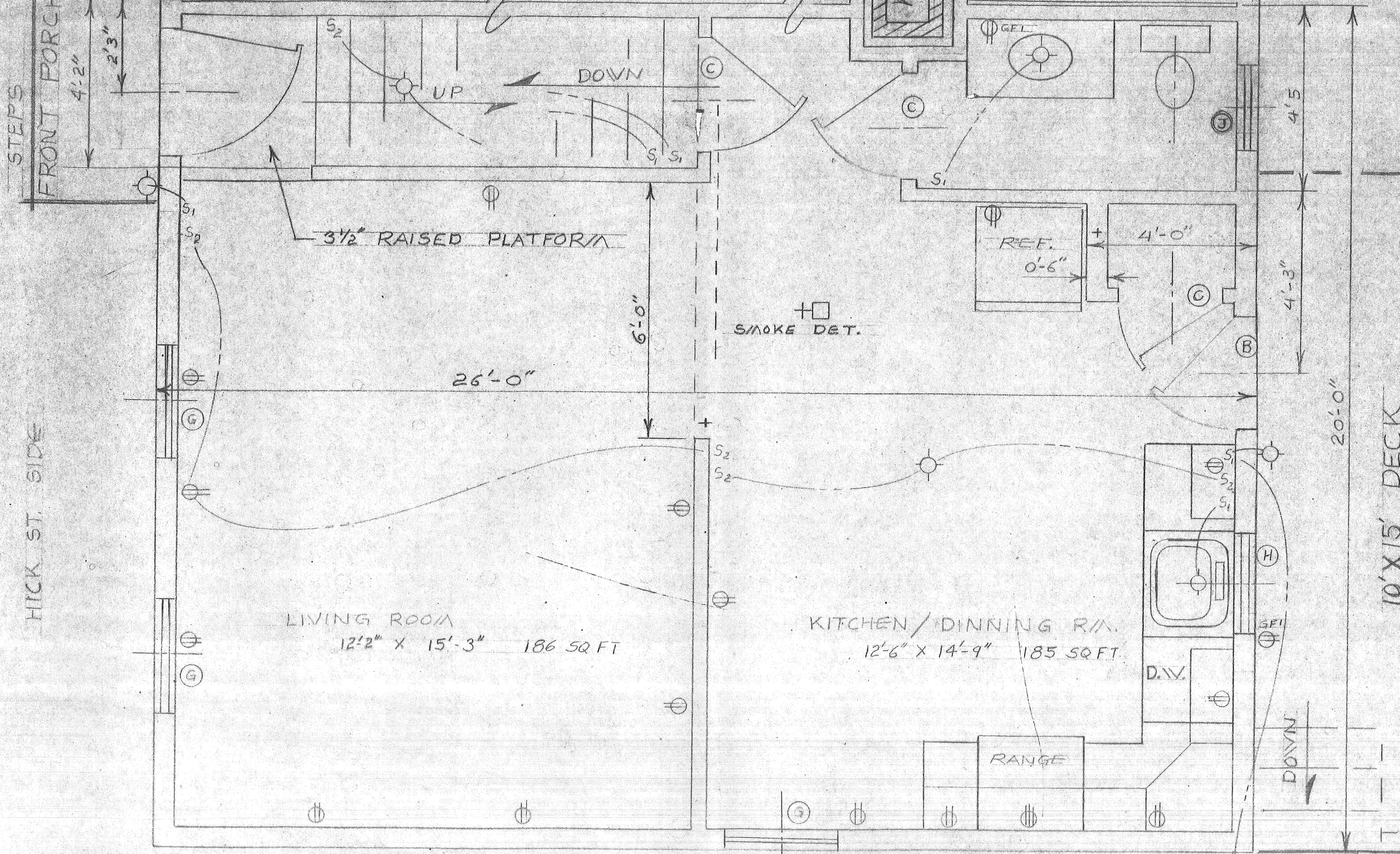


SIDE ELEVATION *apr*

SCALE 1/4" = 1'-0"

REAR ELEVATION

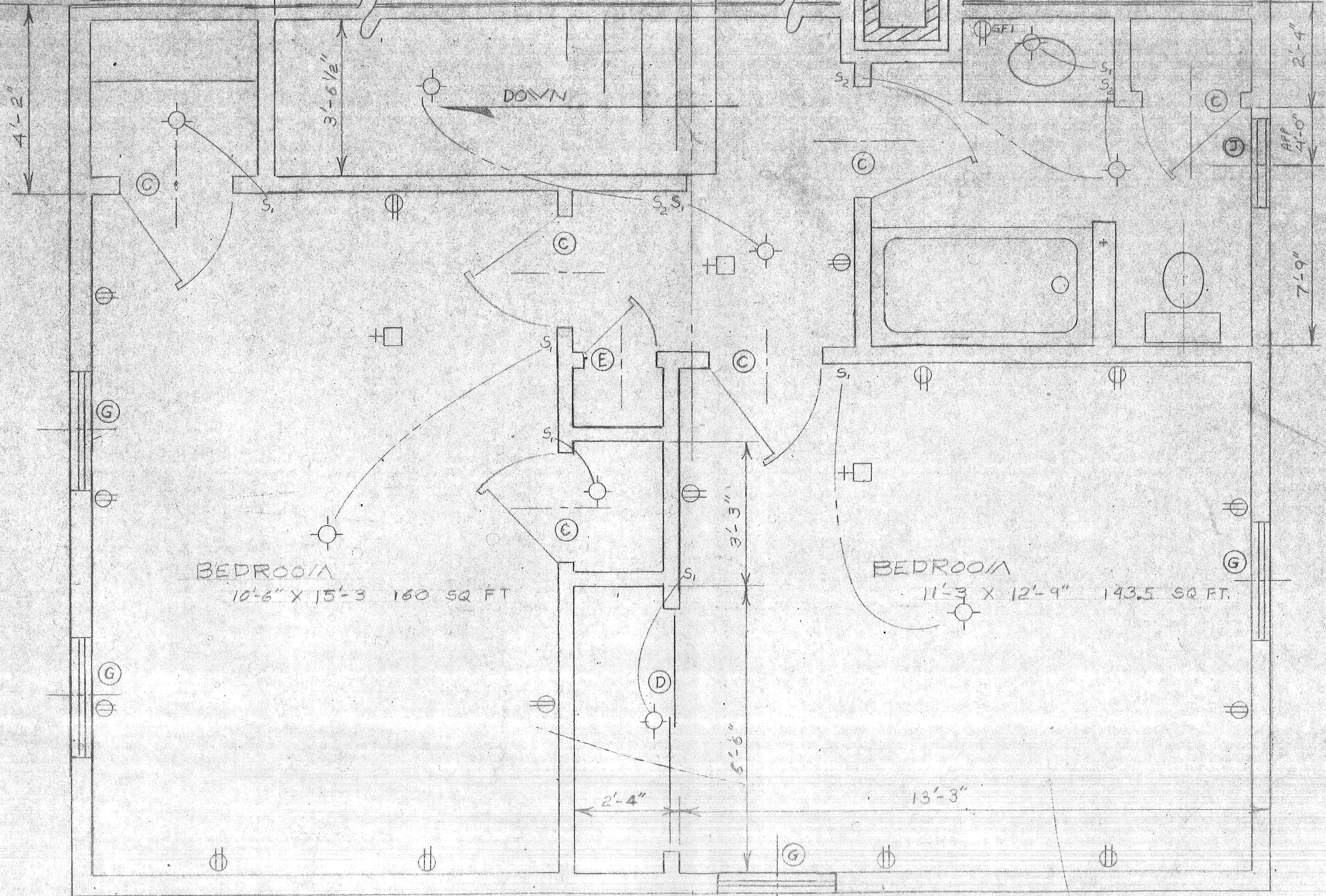
DUPLEX @ 215-221 HICK ST
FOR RALPH & PETER
DE SARNIO



SCALE 1/2" = 1'-0"

FIRST FLOOR PLAN ^{app}

DESARNO DUPLEX @ 215-221 HICK ST.

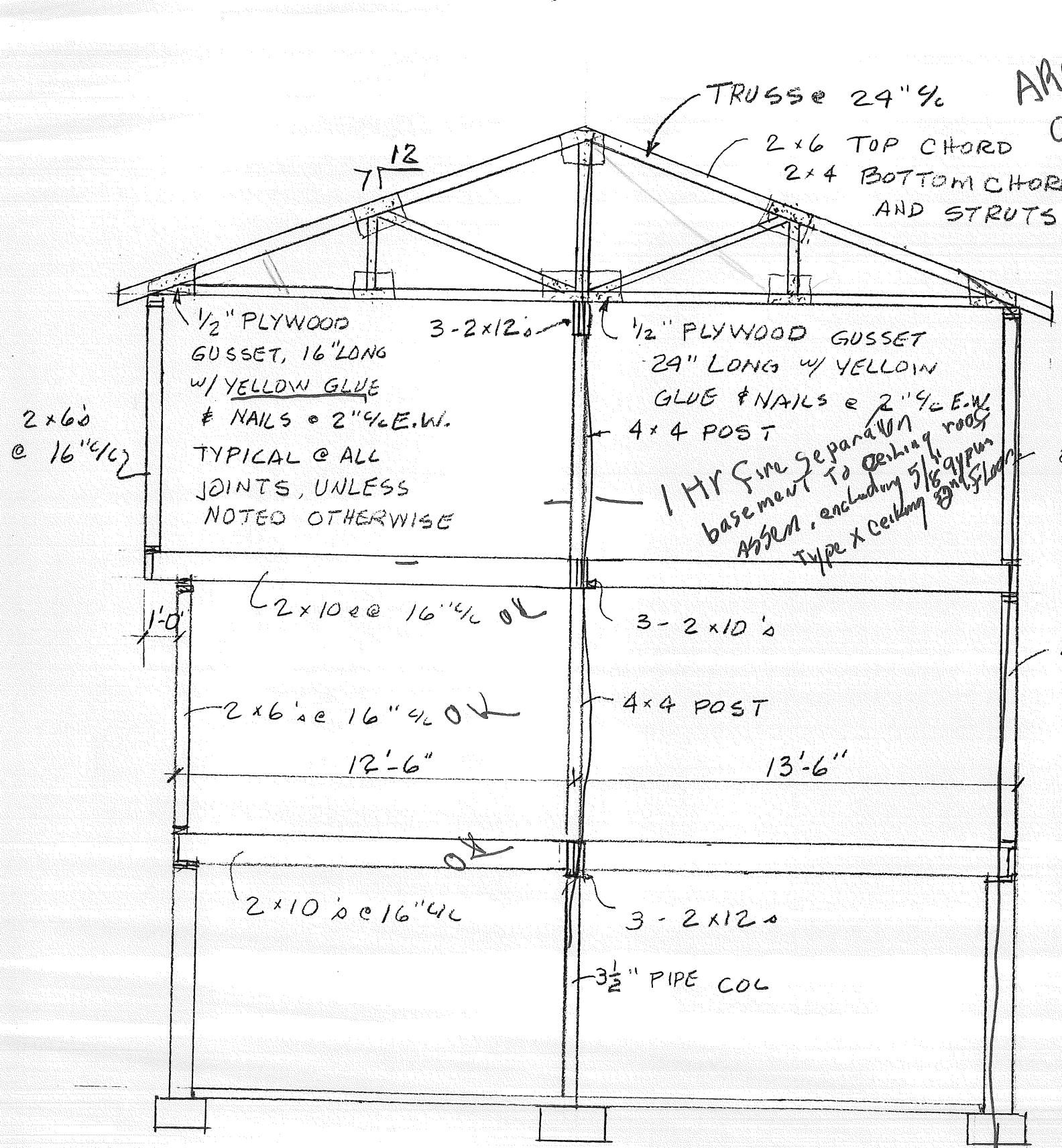


BEDROOM A
 10'-6" X 13'-3" 160 SQ FT

BEDROOM
 11'-3" X 12'-9" 143.5 SQ FT.

DUPLEX @ 215-221 HICK ST.

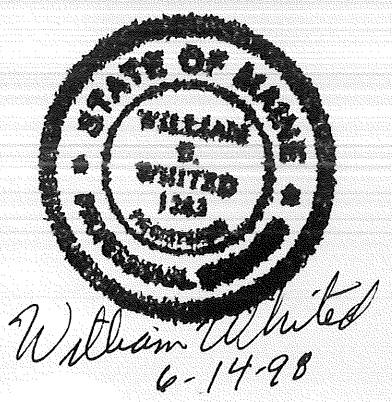
SECOND FLOOR PLAN *apl* SCALE 1/2" = 1'-0" -DESARNO



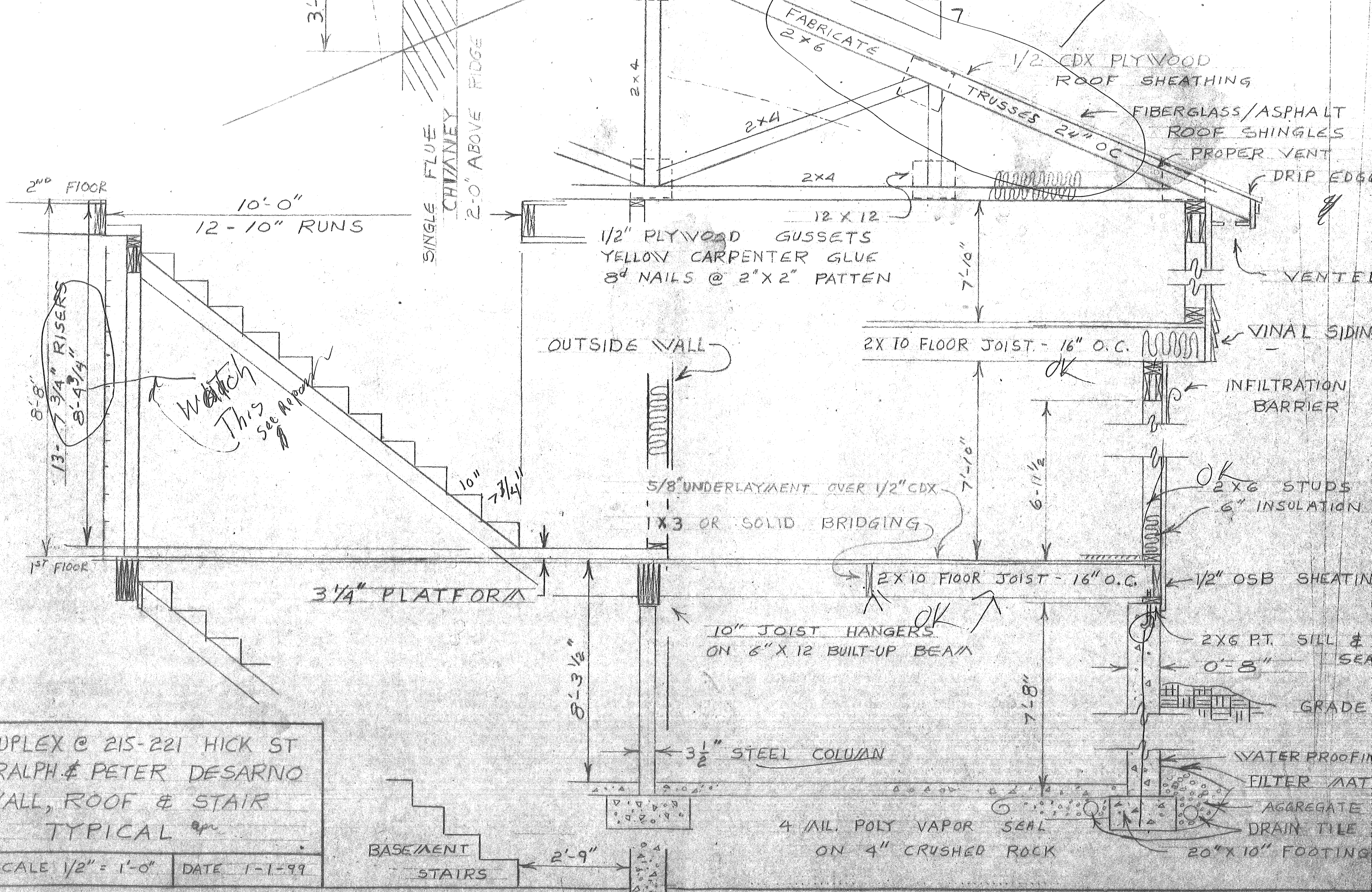
Are these on site built trusses? Check these out. See next pg.

SNOW LOAD: 50 PSF
 FLOOR " : 40 PSF

TYPICAL FRAMING SECTION
 1/4" = 1'-0"



DUPLEX @ 215-221 HICK ST.
 FOR PETE & RALPH
 DESARNO



DUPLEX @ 215-221 HICK ST
 RALPH & PETER DESARNO
 WALL, ROOF & STAIR
 TYPICAL

SCALE 1/2" = 1'-0" DATE 1-1-99

BASEMENT
 STAIRS

2'-9"

4 MIL. POLY VAPOR SEAL
 ON 4" CRUSHED ROCK

20" X 10" FOOTING

WATER PROOFING
 FILTER MAT

AGGREGATE
 DRAIN TILE

GRADE

2X6 PT. SILL &
 SEALED

1/2" OSB SHEATHING

2X6 STUDS
 6" INSULATION

INFILTRATION
 BARRIER

VINYL SIDING

VENTED

FIBERGLASS/ASPHALT
 ROOF SHINGLES

PROPER VENT

DRIP EDGE

1/2" CDX PLYWOOD
 ROOF SHEATHING

FABRICATE
 2X6 TRUSSES 24" O.C.

2X4

2X4

12 X 12

1/2" PLYWOOD GUSSETS
 YELLOW CARPENTER GLUE
 8d NAILS @ 2" X 2" PATTEN

OUTSIDE WALL

2X10 FLOOR JOIST - 16" O.C.

5/8" UNDERLAYMENT OVER 1/2" CDX

1X3 OR SOLID BRIDGING

2X10 FLOOR JOIST - 16" O.C.

10" JOIST HANGERS
 ON 6" X 12 BUILT-UP BEAM

3 1/2" STEEL COLUMN

3 1/4" PLATFORM

8'-3 1/2"

8'-1"

6'-11 1/2"

7'-10"

7'-10"

10'-0"
 12 - 10" RUNS

2ND FLOOR

1ST FLOOR

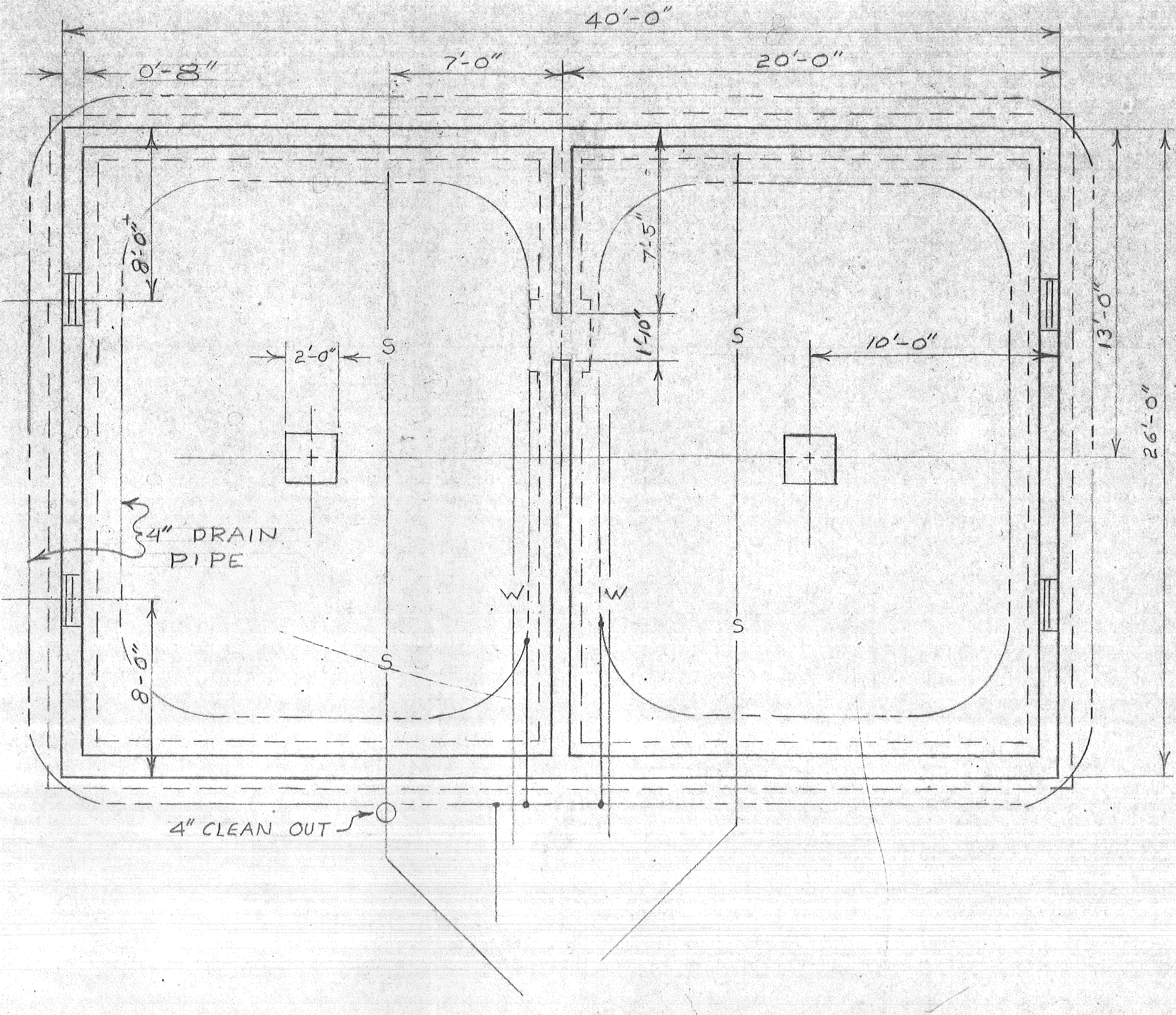
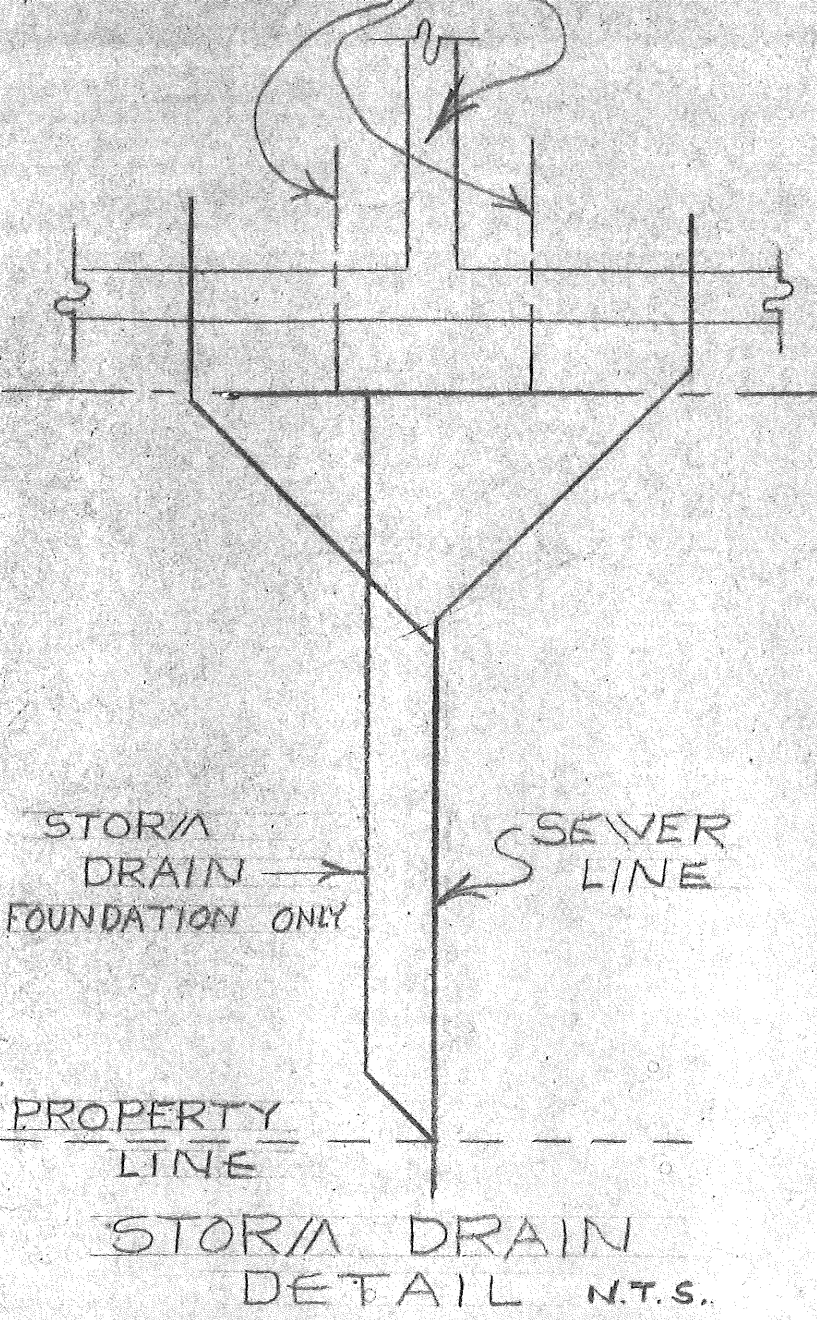
SINGLE FLUE
 CHIMNEY
 2'-0" ABOVE RIDGE

Watch
 This
 See Appendix

8'-8"
 13 - 7 3/4" RISERS
 8'-4 3/4"

10"
 7 3/4"

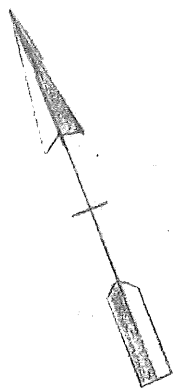
3'



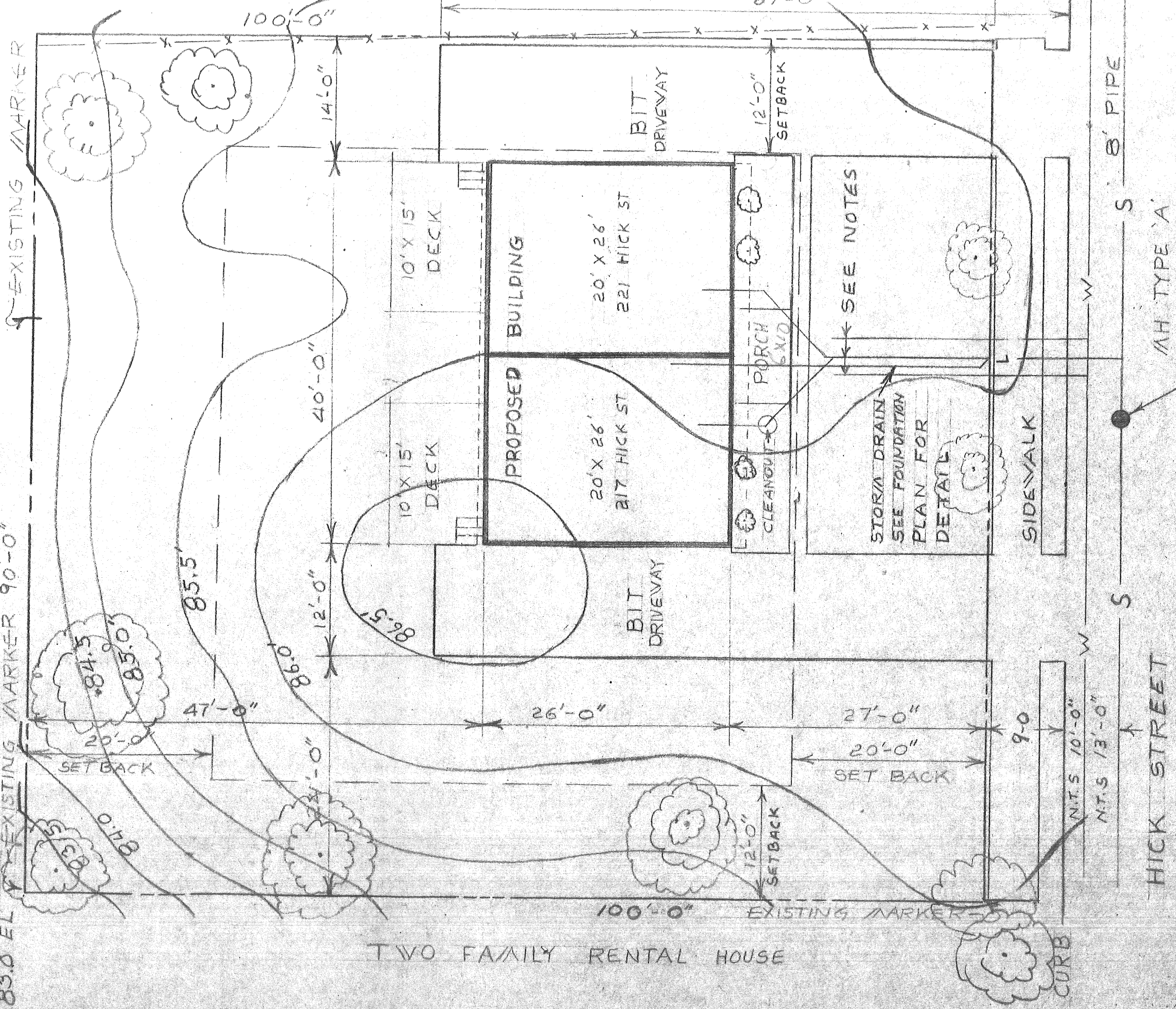
DUPLEX @ 215-221 HICK ST.
 FOR: RALPH DESARNO
 & PETER DESARNO
 FOUNDATION PLAN *copy*

SCALE 1/4" = 1'-0" DATE 1-1-99

- FOUNDATION ANCHORS - 1/2" D. - 7' DEEP
- PLACED - 12" FROM CORNER - 6' APART
- 3'-6" SQ. CHIMNEY FOOTING.
- WATER & SEWER LINES TO ENTER UNDER FOOTING



BROWN CONST. CO.



- NOTES -

- FIRE HYDRANT LOCATED 135' 50. ON & SAME SIDE OF HICK ST
- WATER SERVICE TO BE TWO 1" LINES. (CTS)
- SEWER LATERAL TO BE A 6" LINE CHANGING TO TWO 4" LINES AT Y.

DUPLEX @ 215-221 HICK ST
 FOR: PETER DESARNO & RALPH DESARNO
 PLOT PLAN *epi*

SCALE: 1" = 10'-0" | DATE 5-3-98

- REFERENCES
- 1 - REGISTRY OF DEEDS BOOK 2602 PG 435 & REG. OF DEEDS PLAN BOOK 14 PAGE 25.
 - 2 - CITY OF PORTLAND P.W. D. HICK STREET PLAN PG 3 of 39

TWO FAMILY RENTAL HOUSE

ELEV 86.2

4' DIA.

MH TYPE 'A'

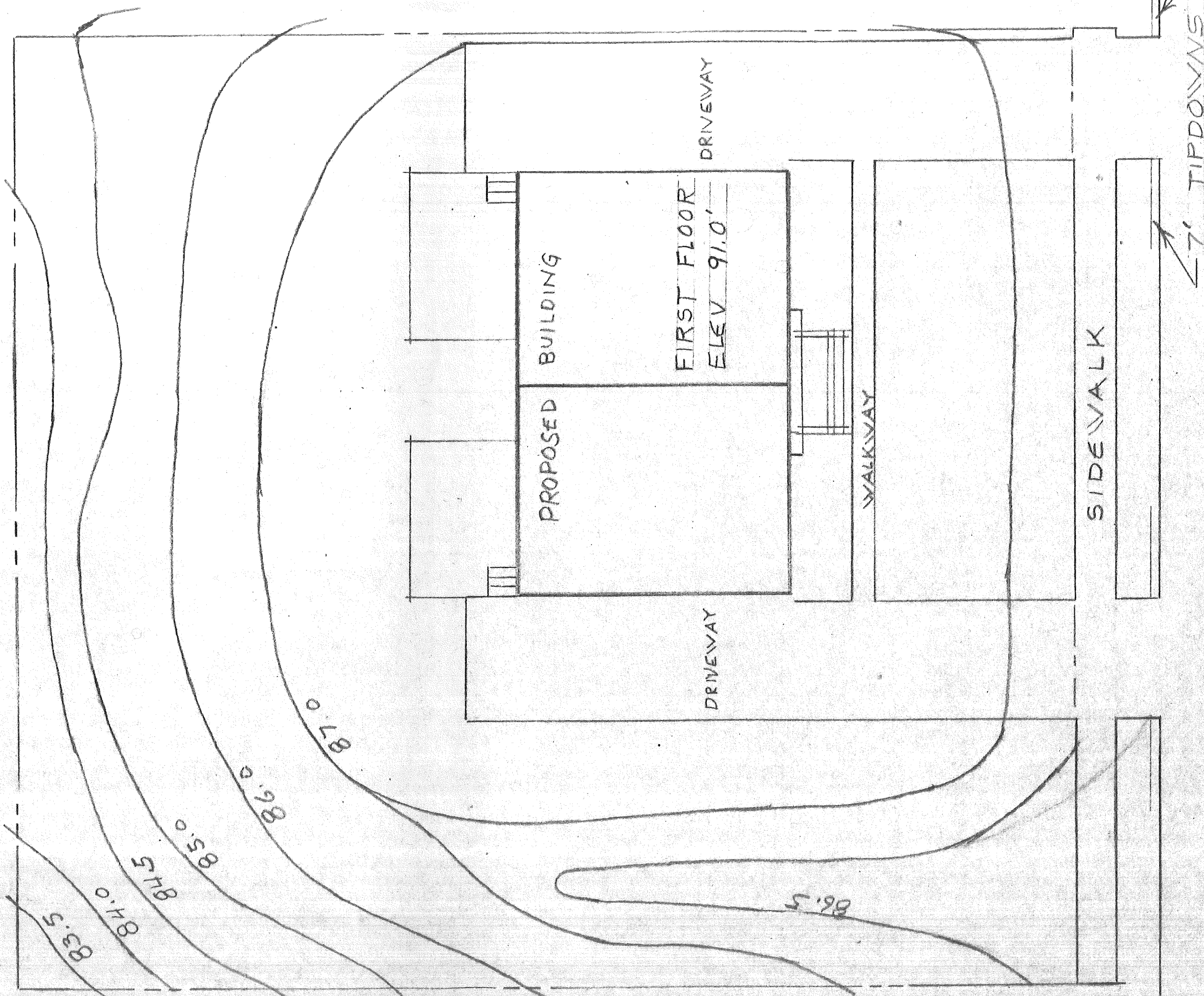
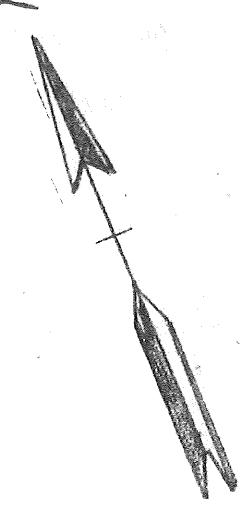
8' PIPE

HICK STREET

N.T.S 10'-0" S.N

N.T.S 13'-0"

BROWN CONST. CO.



HICK STREET

CURB

7' TIPDOWNS

DUPLEX @ 215-221 HICK ST
FOR RALPH DESARNO
& PETER DESARNO
PROPOSED TOPO
PLOT PLAN apr

SCALE: 1" = 10'-0" | DATE 5-3-98

83.5
84.0
84.5
85.0
86.0
87.0

86.5

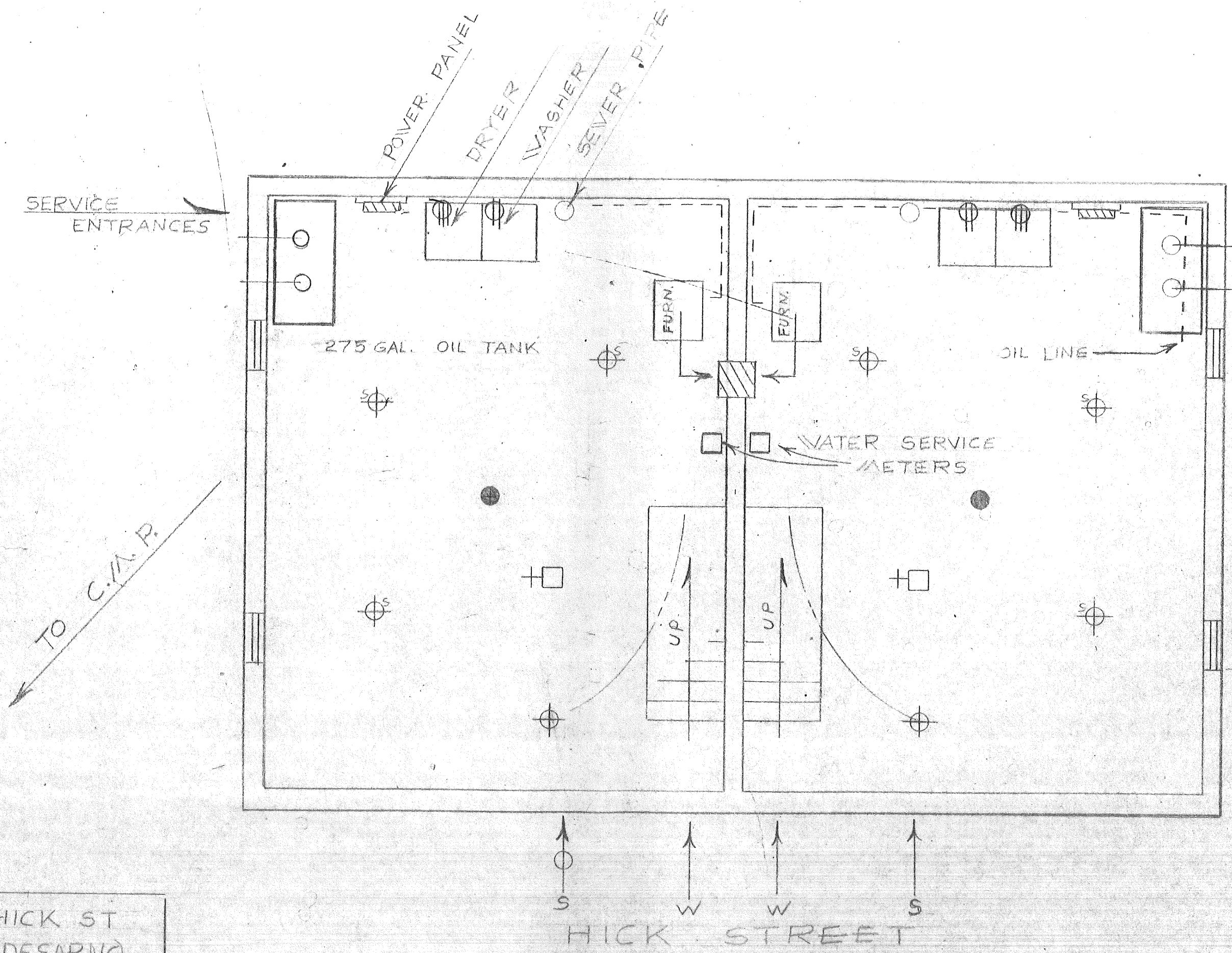
FIRST FLOOR
ELEV 91.0'

PROPOSED BUILDING

DRIVEWAY

WALKWAY

SIDEWALK



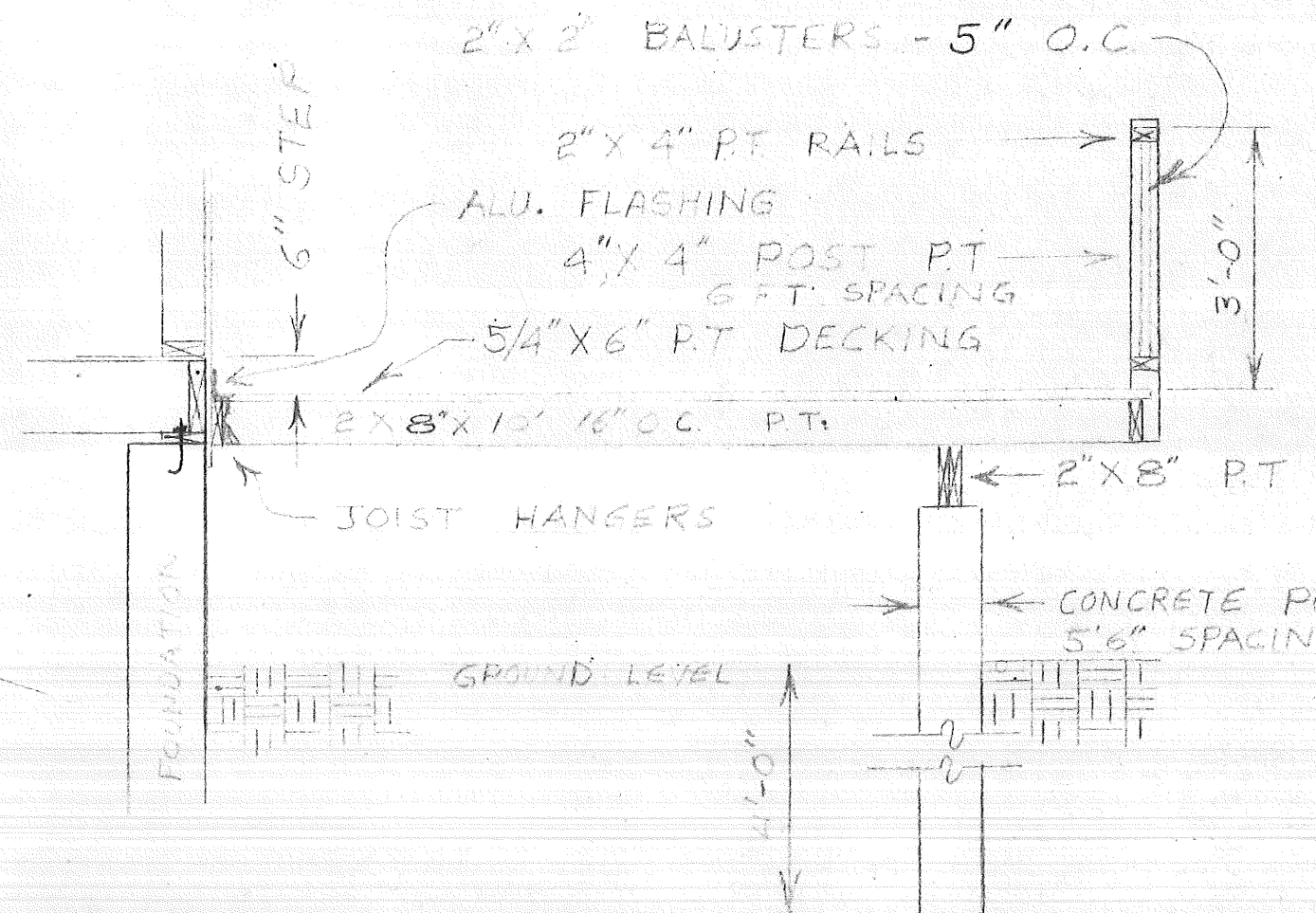
DUPLEX @ 215-221 HICK ST
 RALPH & PETER DESARNO
 CELLAR DETAIL *apl*
 SCALE 1/4" = 1'-0" | DATE 1-1-99

DOOR SCHEDULE		
	DESCRIPTION	SIZE
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WINDOW SCHEDULE		
	DESCRIPTION	SIZE
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J	DOUBLE HUNG	23 1/2 X 35 1/2
† MEETS EGRESS CODES		

DECK DETAIL SCALE 1/2" = 1'-0"

STAIRS: 5-RISERS 7.25"
 4-TREADS 11.0"
 WIDTH - 3'-6"
 HAND RAIL 2'-8" ABOVE TREAD

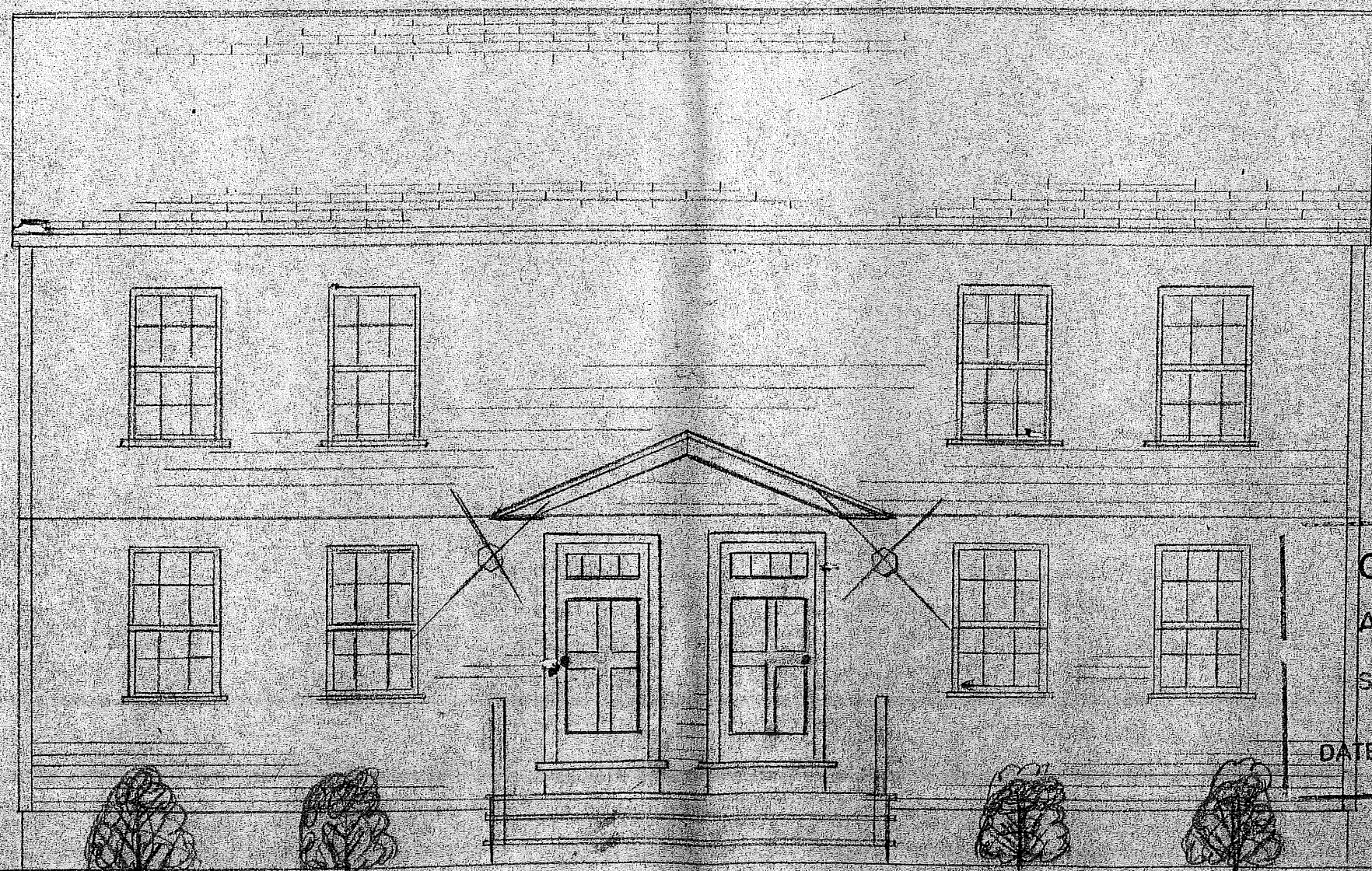


DUPLEX @ 215-221 HICK ST.
 FOR PETER & RALPH
 DESARNO

AMENDED BUILDING PLANS
FOR 215-221 HICKS ST. PTD.

RALPH A. DESARNO
TELE 378-0079

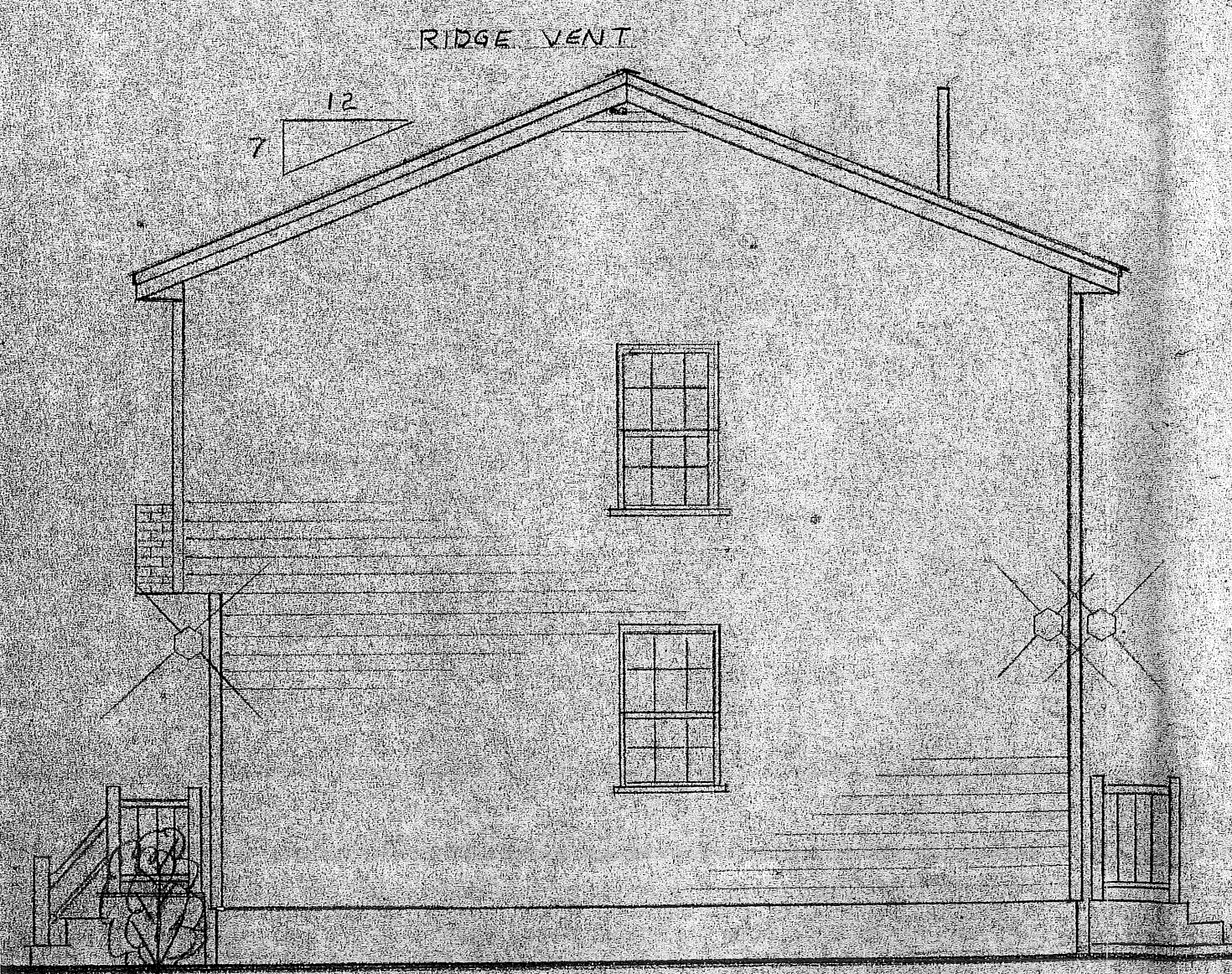
Revised
Plan 27/ Feb/ 99
R/



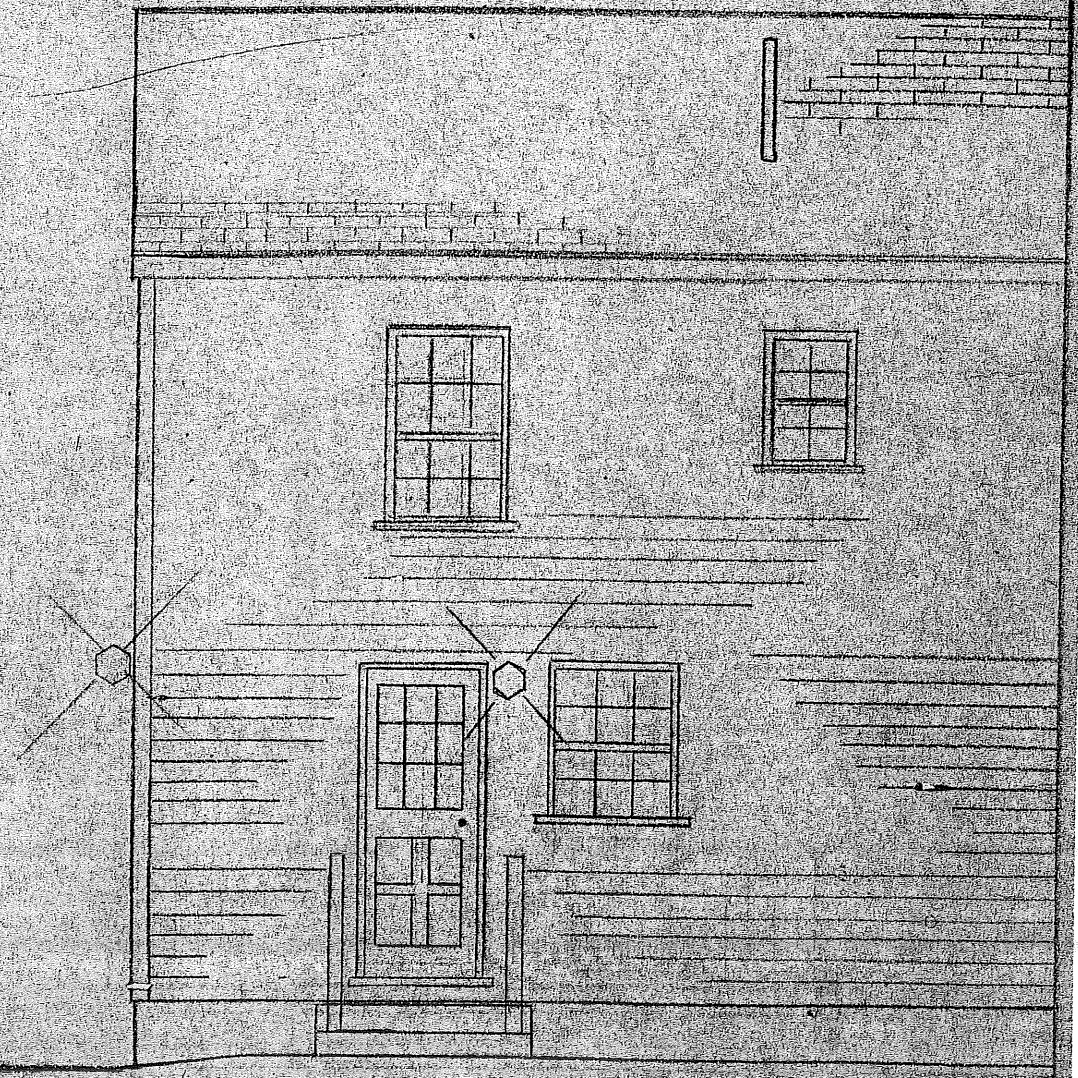
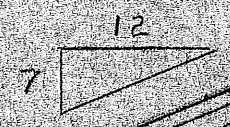
CITY OF PORTLAND
APPROVED SITE PLAN
SUBJECT TO DEPARTMENTAL
CONDITIONS
DATE OF APPROVAL ELEV ✓

EX @ 215-221 HICK ST
PETE & RALPH

FRONT ELEVATION
SCALE 1/4" = 1'-0"



RIDGE VENT

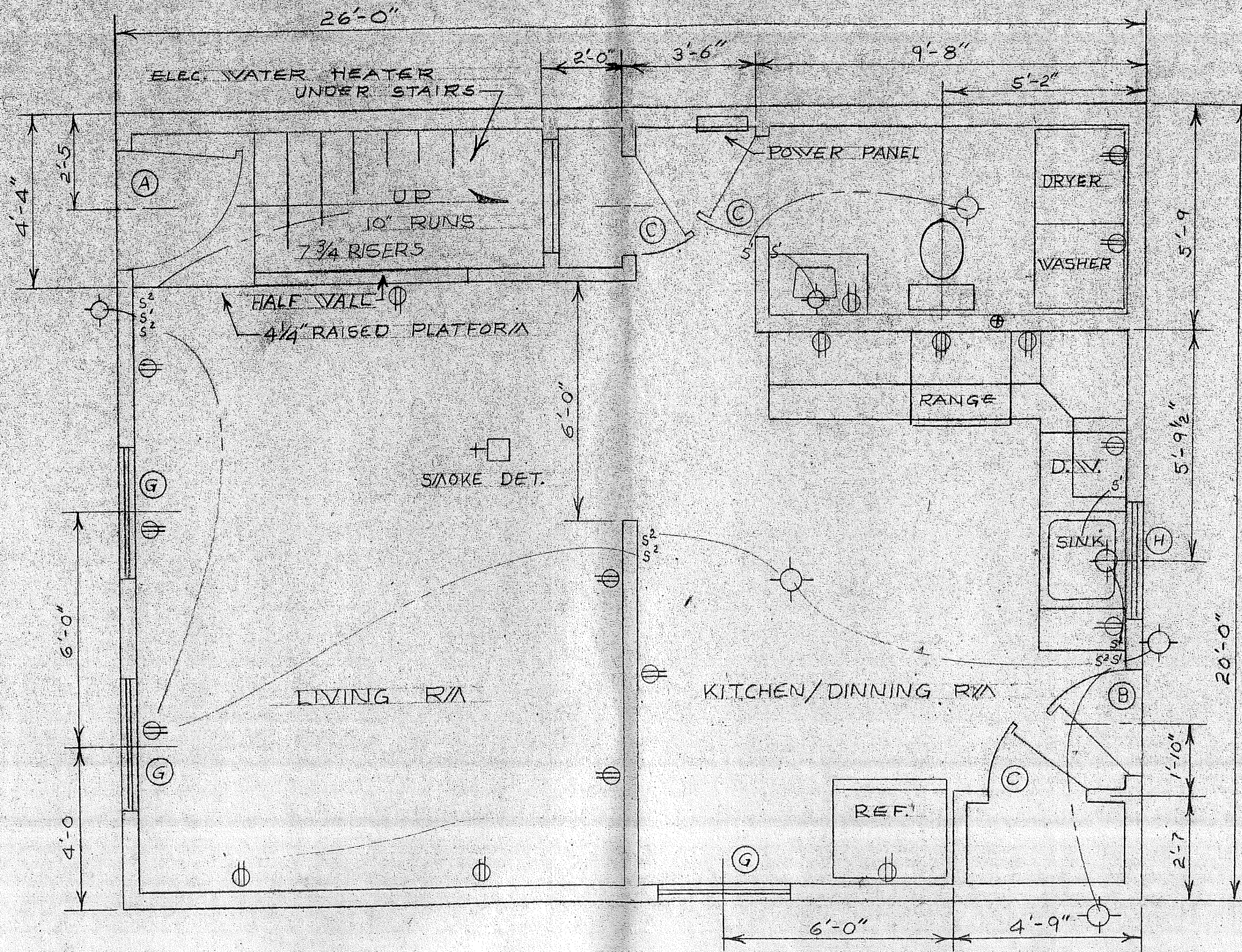


SIDE ELEVATION ^{apr}
 SCALE 1/4" = 1'-0"

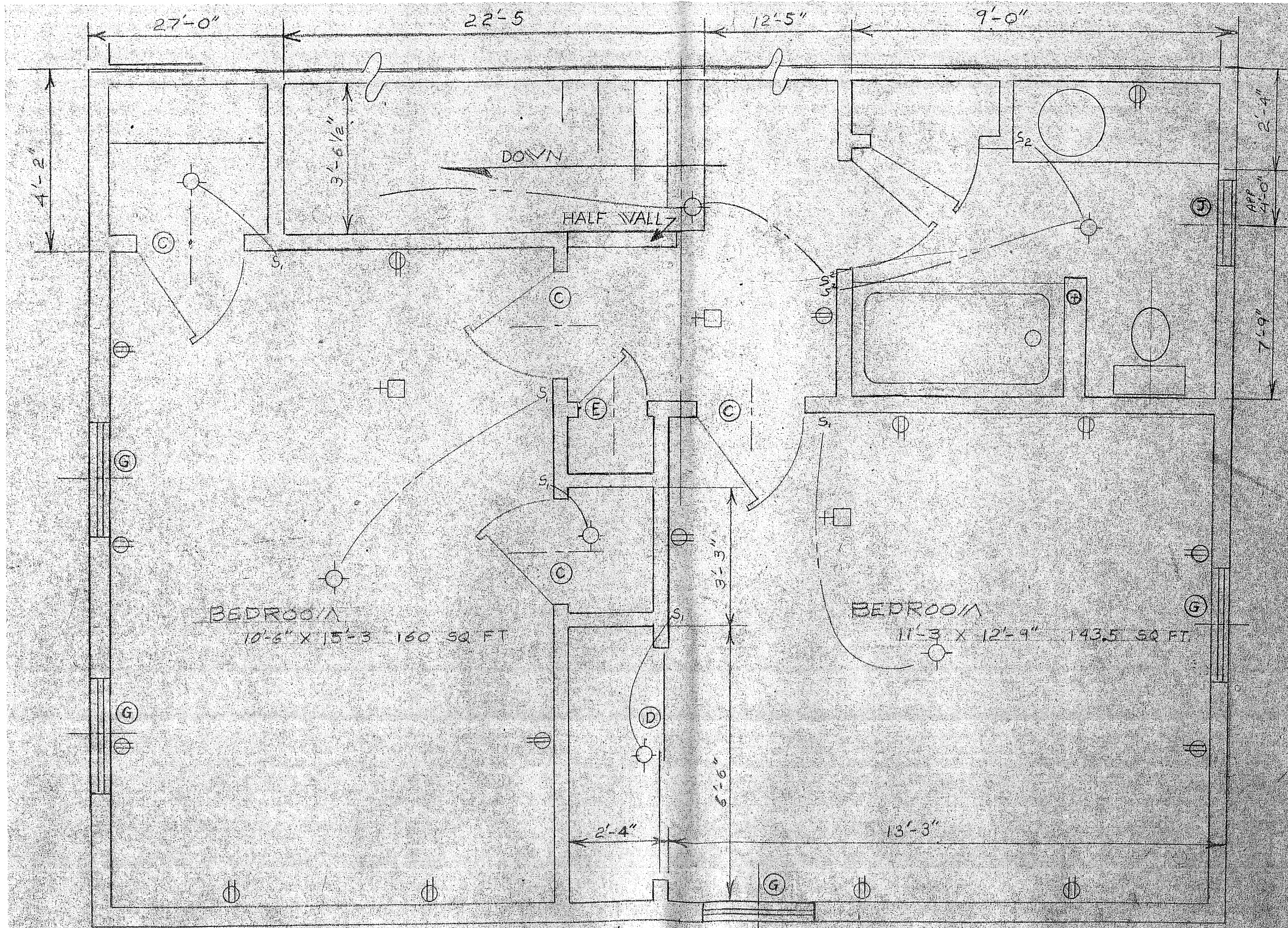
REAR ELEVATION

LEX @ 215-221 HICK ST
 DAVID & DECKER

HICK ST. SIDE



FIRST FLOOR PLAN SCALE 3/8" = 1'-0"



27'-0"

22'-5"

12'-5"

9'-0"

4'-2"

3'-6 1/2"

2'-4"

APP
21'-0"

7'-9"

BEDROOM
10'-6" X 15'-3" 160 SQ FT

BEDROOM
11'-3" X 12'-9" 143.5 SQ FT

DOWN

HALF WALL

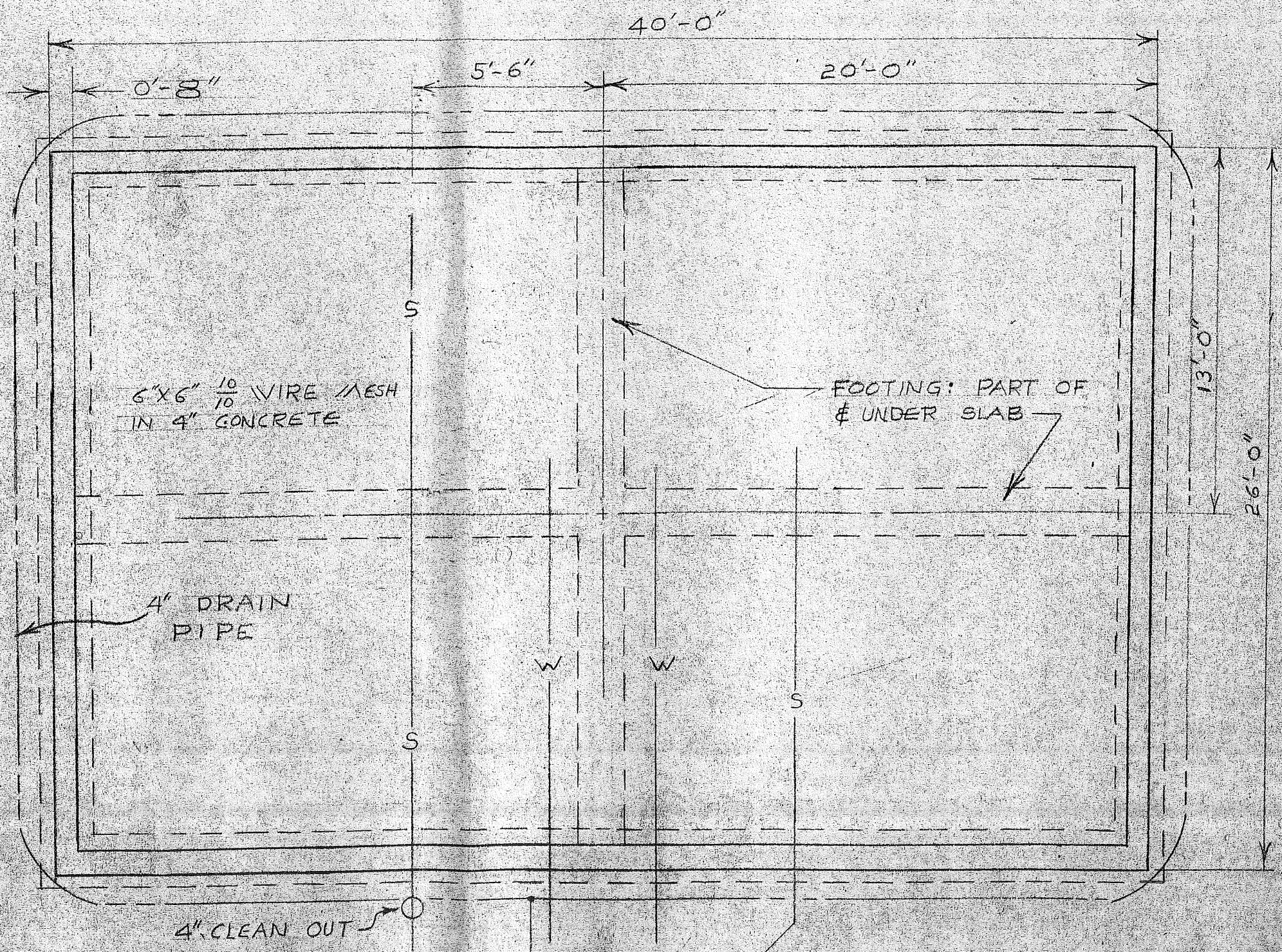
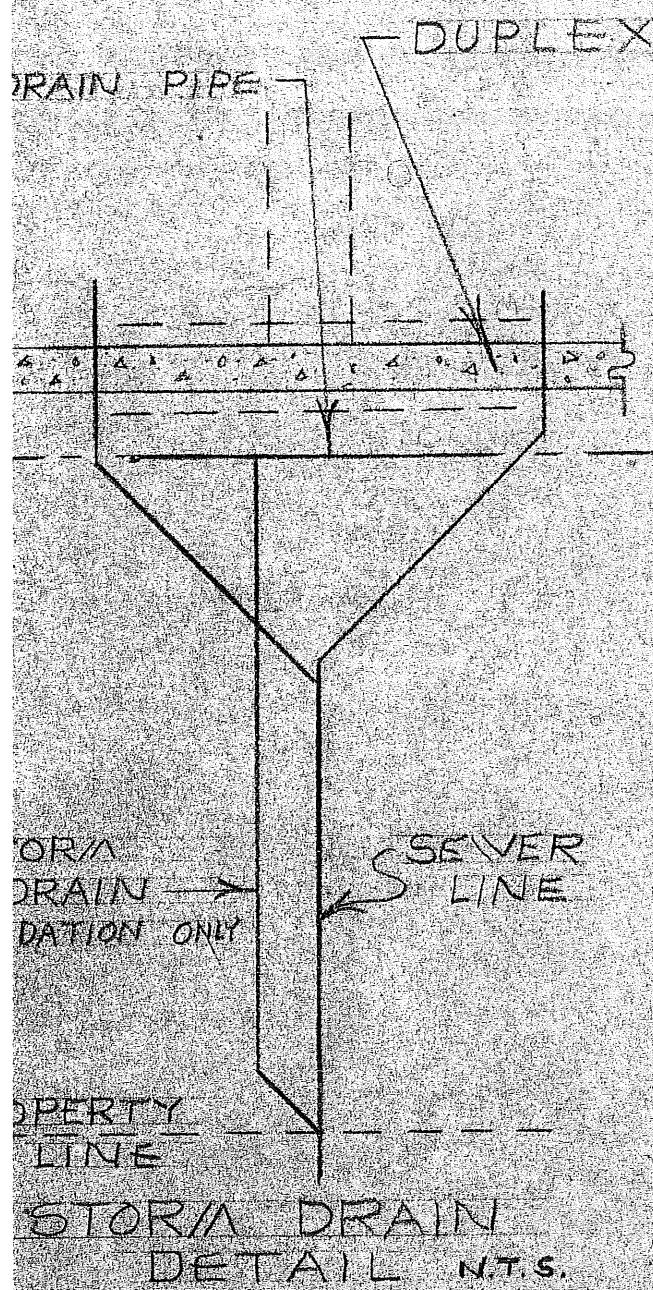
9'-3"

6'-6"

2'-4"

13'-3"

Wider in slab



DUPLEX @ 215-221 HICK ST

RALPH DESARNO

PETER DESARNO

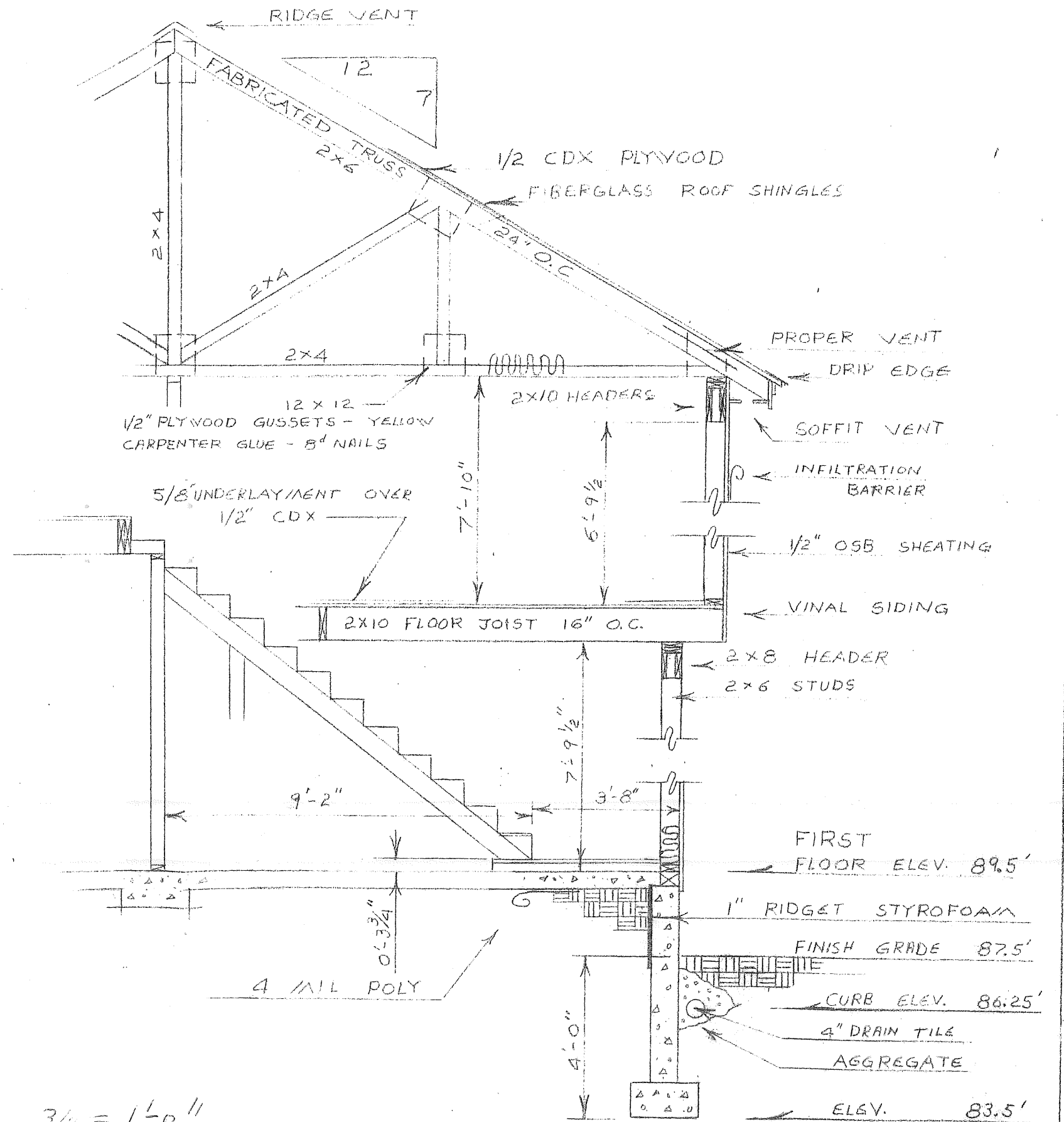
FOUNDATION PLAN *apl*

SCALE 1/4" = 1'-0" DATE 1-1-99

FOUNDATION ANCHORS - 1/2" D. - 7' DEEP
 PLACED - 12" FROM CORNER - 6' APART

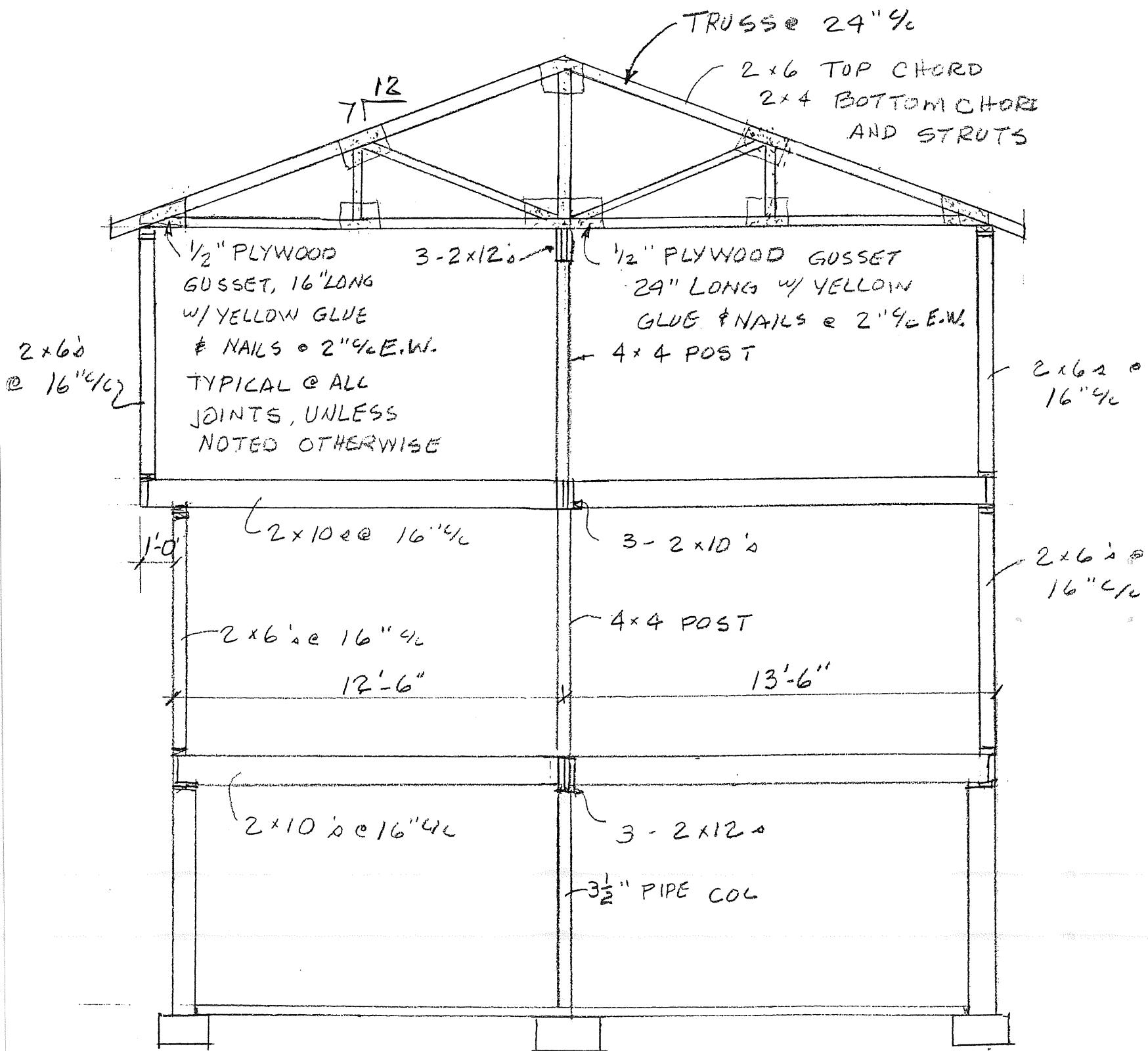
DOOR SCHEDULE		
DESCRIPTION	SIZE	
A 2-LITE 4 PANEL INSULATED	3'-0" X 6'-8" X 1 3/4	
B 9-LITE 2 PANEL INSULATE	2'-8" X 6'-8" X 1 3/4	
C 2668 - 1 3/8" HCL SET UP & BORED	2'-6" X 6'-8" X 1 3/8	
D 2868 - 1 3/8" HCL SLAB	2'-8" X 6'-8" X 1 3/8	
E 1668 - 1 3/8" HCL SET UP & BORED	1'-6" X 6'-8" X 1 3/8	

WINDOW SCHEDULE		
DESCRIPTION	SIZE	
G DOUBLE HUNG	39 1/2 X 59 1/2 †	
H DOUBLE HUNG	27 1/2 X 35 1/2	
J DOUBLE HUNG	23 1/2 X 35 1/2	
† MEETS EGRESS CODES		



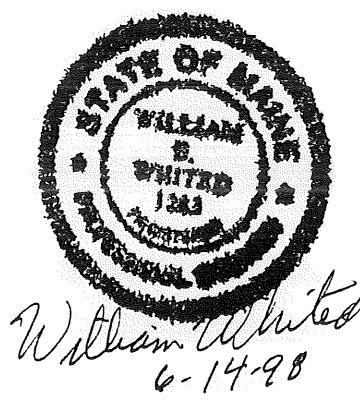
DUPLEX @ 215-221 HICK ST
 FOR PETER & RALPH
 DESARNO

SCALE 3/8" = 1'-0"



SNOW LOAD: 50 PSF
 FLOOR " : 40 PSF

TYPICAL FRAMING SECTION
 1/4" = 1'-0"



DUPLEX @ 215-221 HICK ST.
 FOR PETE & RALPH
 DESARNO

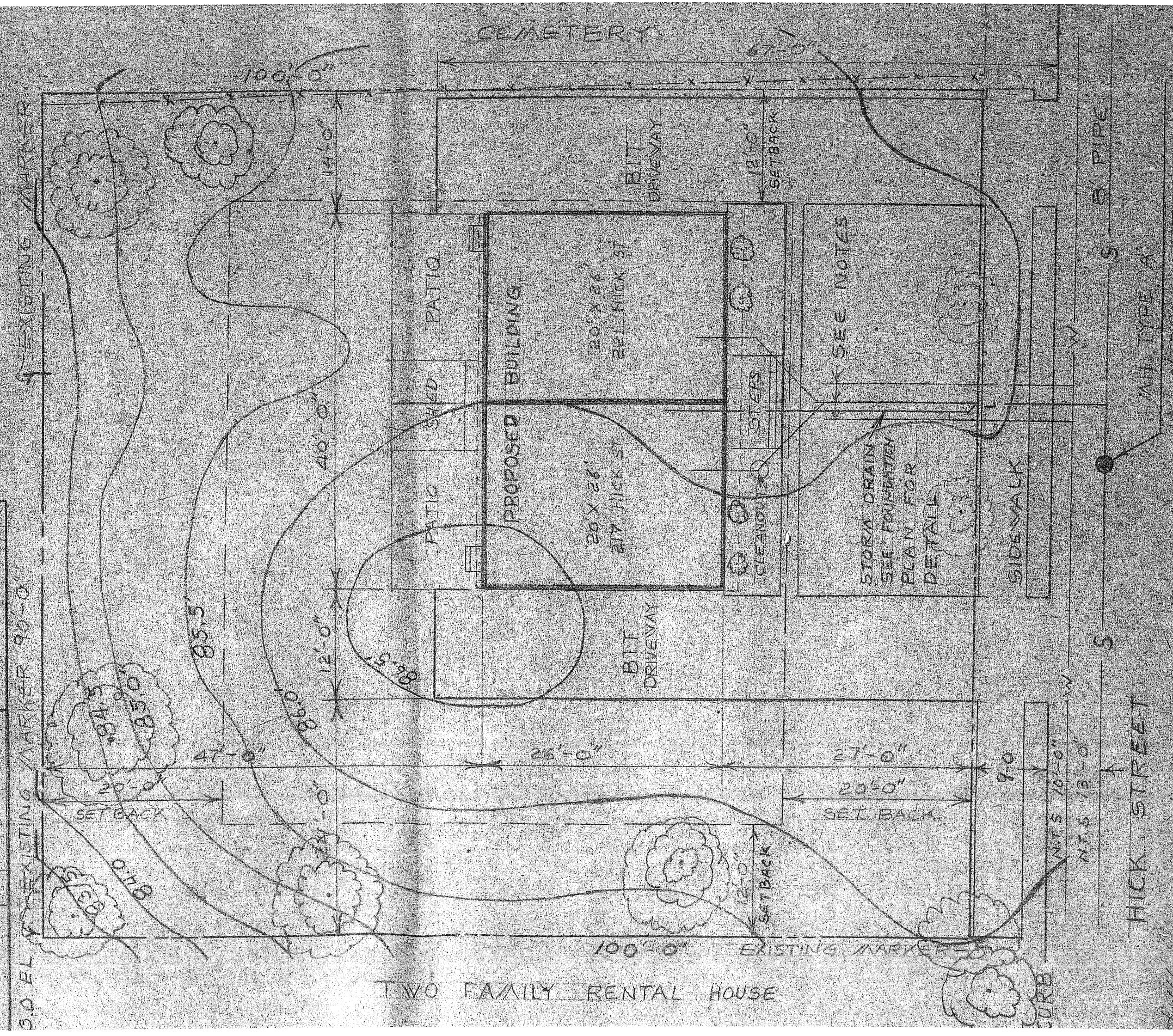
-NOTES-
 THE HYDRANT LOCATED 135' ON & SAME SIDE OF HICK ST WATER SERVICE TO BE 10" 1" LINES. (CTS) OVER LATERAL TO BE A 1" LINE CHANGING TO TWO LINES AT Y.

DUPLEX @ 215-221 HICK ST
 BY PETER DESARNO
 FOR RALPH DESARNO
PLOT PLAN

SCALE: 1" = 10'-0" DATE 5-3-98

REFERENCES
 REGISTRY OF DEEDS BOOK 2602 P 435 & REG. OF DEEDS BOOK 14 PAGE 25.
 CITY OF PORTLAND P.W.D.

BROWN CONST. CO.



TWO FAMILY RENTAL HOUSE

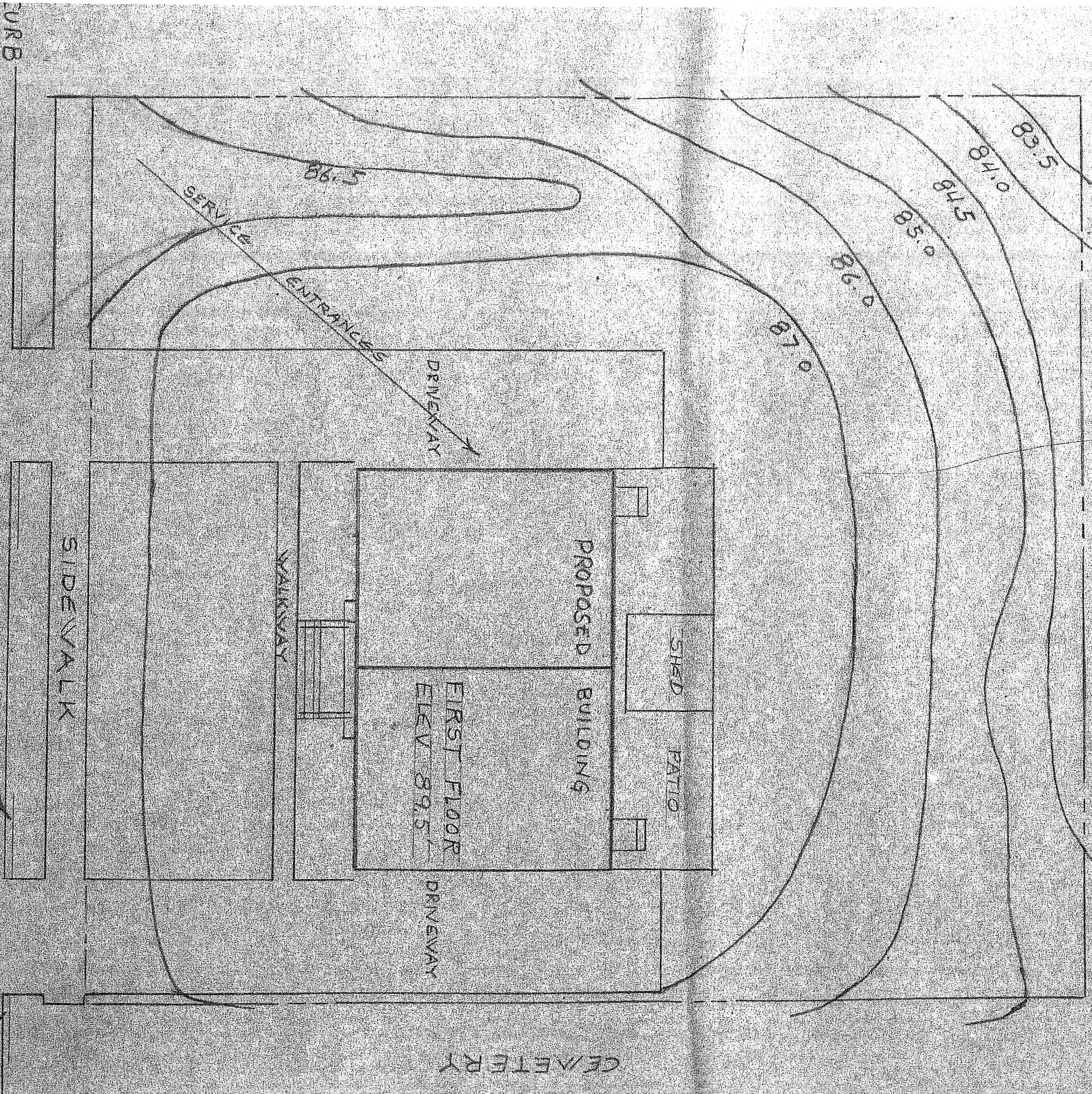
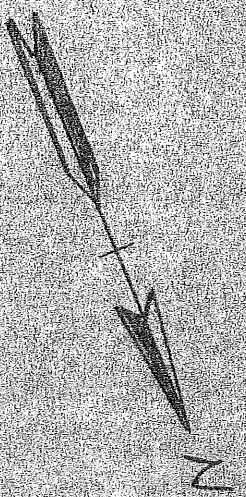
HICK STREET

MANHOLE TYPE 'A' 4' DIA. ELEV. 86.25'

8" PIPE

UPLEY @ 215-221 HICK ST
RALPH DESARNO
PETER DESARNO
PROPOSED TOPO
PLOT PLAN *app*

BROWN CONST. CO.



CEMETERY

HICK STREET

7' TIPDOWNS

SIDEWALK

WALKWAY

DRIVEWAY

FIRST FLOOR
ELEV. 89.5

PROPOSED BUILDING

SHED

PATIO

DRIVEWAY

ENTRANCES

SERVICE

86.5

87.0

86.0

85.0

87.5

89.0

CURB

COMMENTS

2/22/99 ReConstruction ^{Phone} with Ralph DeSarno discuss foundation inspection - precast, lines strung & forms for ceilings in place. Discuss fire partition, stairway specs & cost of work estimate DC

3/4/99 Discussed amended plans OK. Application for amendment 3/5/99 Metal flashing for firestop between firewalls, stair clearances, manufactured trusses all OK DC
3/30/99 Foundation temp. with Peter DeSarno check softbacks OK DC

Framing & Rough Plumbing all OK DC
11/19/99 CG v. a Rove

	Type	Inspection Record	Date
Foundation:	_____	_____	_____
Framing:	_____	_____	_____
Plumbing:	_____	_____	_____
Final:	_____	_____	_____
Other:	_____	_____	_____

**CITY OF PORTLAND, ME
BOCA 1996 Plan Review Record
One and Two Family Dwelling**

Valuation: ~~\$40,000~~ *I have Challenged This* ^{valu.} Plan Review # ~~0089~~ *0089*
 Fee: ~~\$220.00~~ Date: *26 January 1999*

Building Location: *215-221 High St.* CBL: *296-B-014*

Building Description: *Duplex dwelling*

Reviewed by: *S. Jeffrey*

Use or Occupancy: *R-3* Type of Construction: *5 B*

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
<i>1.</i>	<i>All SITE Plan and building Code requirements MUST be completed before a Certificate of occupancy can or will be issued.</i>	<i>111.4</i>
<i>2.</i>	<i>Foundation drain</i>	<i>1813.5.2</i>
<i>3.</i>	<i>Water proofing & damp proofing</i>	<i>1813.0</i>
<i>4.</i>	<i>Foundation anchors</i>	<i>2305.12</i>
<i>5.</i>	<i>Chimneys & Vents</i> <i>93/BOCA mechanical</i>	<i>NFPA 211 Ch. 12</i>
<i>6.</i>	<i>Sound Transmission Control</i>	<i>1214.0</i>
<i>7.</i>	<i>Guardrail & handrails</i>	<i>1021.9 1023.0</i>
<i>8.</i>	<i>STAIR Construction</i>	<i>1014.0</i>
<i>9.</i>	<i>Headroom Stairs</i>	<i>1014.0</i>
<i>10.</i>	<i>Sleeping room egress windows</i>	<i>1018.5</i>
<i>11.</i>	<i>Smoke detectors</i>	<i>920.3.2</i>
<i>12.</i>	<i>Fastening Schedule</i>	<i>Table 2305.2</i>

Correction List		
NO:	Description	Code Section
13	Boring, Cutting & Notching	2305.3
		2305.4.4
		2305.5.1
14	Glass & Glazing	Chapter 24
15	Fire Partition	711.0



CITY OF PORTLAND

July 22, 1998

Ralph DeSarno
7 Castine Ave.
Portland, ME 04103

Re: 215 Hicks Street Duplex

Dear Mr. DeSarno:

On July 22, 1998 the Portland Planning Authority granted minor site plan approval for the duplex building at 215 Hicks Street.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

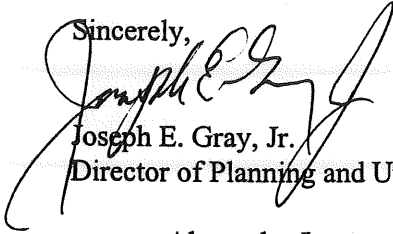
Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 1.7% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Joseph E. Gray, Jr.
Director of Planning and Urban Development

- cc: Alexander Jaegerman, Chief Planner
- Sarah Hopkins, Senior Planner
- P. Samuel Hoffses, Chief of Building Inspections
- Marge Schmuckal, Zoning Administrator
- Kathi Staples, City Engineer
- Development Review Coordinator
- William Bray, Director of Public Works
- Jeff Tarling, City Arborist
- Penny Littell, Associate Corporation Counsel
- Lt. Gaylen McDougall, Fire Prevention
- Mary Gresik, Building Permit Secretary
- Kathleen Brown, Director of Economic Development
- Susan Doughty, Assessor's Office
- Approval Letter File

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

217-219

Location/Address of Construction (include Portion of Building): <i>215-221 HICKS ST. PORTLAND, ME 04103</i>			
Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# <i>296</i> Block# <i>B</i> Lot# <i>14-15-16</i>		Owner: <i>RALPH A. DESARNO</i> <i>PETER A. DESARNO</i>	Telephone#: <i>207-878-0079</i>
Owner's Address: <i>7 CASTINE AVE. PORTLAND, ME. 04103</i>		Lessee/Buyer's Name (If Applicable) <i>N/A</i>	Cost Of Work: <i>\$40,000.00</i> Fee <i>\$220</i>
Proposed Project Description: (Please be as specific as possible) <i>TWO UNIT DUPLEX 26x40 WITH FULL BASEMENT</i>			
Contractor's Name, Address & Telephone <i>RALPH & PETER DESARNO, 7 CASTINE AVE. PORTLAND, ME 04103</i> TEL # <i>207-878-0079</i> Rec'd By <i>MW</i>			
Current Use: <i>NONE - SLIGHTLY WOODED LOT</i>		Proposed Use: <i>TWO UNIT DUPLEX</i>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

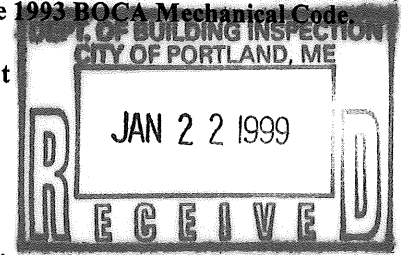
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Ralph A. Desarno & Peter A. Desarno</i>	Date: <i>01-22-99</i>
--	-----------------------

Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum





Inspection Services
Michael J. Nugent
Manager

Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

congratulations!!!!!!

Building or Use Permit Application Attached Single Family Dwellings/Two-Family Dwelling Multi-Family or Commercial Structures and Additions Thereto

As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read **ALL** of the information and if you need any further assistance please call 874-8703 or 874-8693.

Minor or Major site plan review will be required for the most of the above proposed projects.



BUILDING PERMIT REPORT

DATE: 26 January 1999 ADDRESS: 21521 HICK ST. CBL 296-B-014
REASON FOR PERMIT: To Construct a Duplex Dwelling
BUILDING OWNER: Ralph & Peter DeSarno
CONTRACTOR: _____
PERMIT APPLICANT: _____
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *2.5, *2.6, *3, *6, *7, *8, *10, *11, *12, *16, *24, *26, *27, *28, *29, *31, *32

- ~~X~~ 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- ~~X~~ 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- ~~X~~ 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- ~~X~~ 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
- ~~X~~ 3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- ~~X~~ 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- ~~X~~ 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- ~~X~~ 8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- ~~X~~ 10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- ~~X~~ 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4

12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special

knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1

14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0

15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1

16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0

18. The Fire Alarm System shall be maintained to NFPA #72 Standard.

19. The Sprinkler System shall maintained to NFPA #13 Standard.

20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)

21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)

24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

25. All requirements must be met before a final Certificate of Occupancy is issued.

26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)

28. Please read and implement the attached Land Use-Zoning report requirements.

29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.

30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.

31. Before any work begins, your estimated cost of construction is very low, please revise (40,000) to a more realistic cost of construction.

32. A ONE (1) Hour Fire Partitions must be constructed of the types of material and have the one hour minimum fire resistance rating. This partition must run from the basement slab to the underside of the second floor ceiling or

Roof deck - See Section 711.0 of the building code.

P. Samuel Hennes, Building Inspector

cc: Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator

BUILDING PERMIT REPORT

DATE: 19 February 1999 ADDRESS: 217-219 Hicks St. CBL _____
REASON FOR PERMIT: Amend Permit 990079
BUILDING OWNER: DeSarno
CONTRACTOR: SAA
PERMIT APPLICANT: ↑
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1/*3/

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.(Section 1014.0)
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or

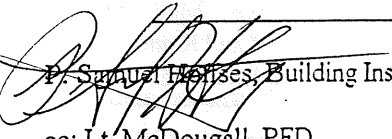
knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)

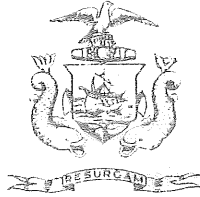
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2
17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
25. All requirements must be met before a final Certificate of Occupancy is issued.
26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
28. Please read and implement the attached Land Use-Zoning report requirements.
29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.
30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.

* 31. All requirements of permit # 999079 shall be met.

32. _____

33. _____


P. Samuel Bessis, Building Inspector
cc: Lt. McDougall, PFD
Marge Schmuckal, Zoning Administrator



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

February 22, 1999

Ralph DeSarno
7 Castine Ave.
Portland, ME 04103

Re: 215 Hicks Street Duplex

Dear Mr. DeSarno:

On February 22, 1999, the Portland Planning Authority approved revisions to the site plan approval for the duplex building at 215 Hicks Street. Revisions include the change in finished floor elevation due to a slab foundation instead of a full basement.

The approval is based on the submitted site plan. If you need to make any additional modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,

Joseph E. Gray, Jr.
Director of Planning and Urban Development

296-B-014

cc: Alexander Jaegerman, Chief Planner
Sarah Hopkins, Senior Planner
P. Samuel Hoffses, Chief of Building Inspections
Marge Schmuckal, Zoning Administrator
Kathi Staples, City Engineer
Development Review Coordinator
William Bray, Director of Public Works
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Kathleen Brown, Director of Economic Development
Susan Doughty, Assessor's Office
Approval Letter File

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

February 22, 1999

Ralph DeSarno
7 Castine Ave.
Portland, ME 04103

Re: 215 Hicks Street Duplex

Dear Mr. DeSarno:

On February 22, 1999, the Portland Planning Authority approved revisions to the site plan approval for the duplex building at 215 Hicks Street. Revisions include the change in finished floor elevation due to a slab foundation instead of a full basement.

The approval is based on the submitted site plan. If you need to make any additional modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,

Joseph E. Gray, Jr.
Director of Planning and Urban Development

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cc: Alexander Jaegerman, Chief Planner
Sarah Hopkins, Senior Planner
P. Samuel Hoffses, Chief of Building Inspections
Marge Schmuckal, Zoning Administrator
Kathi Staples, City Engineer
Development Review Coordinator
William Bray, Director of Public Works
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Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Kathleen Brown, Director of Economic Development
Susan Doughty, Assessor's Office
Approval Letter File

CITY OF PORTLAND

Portland, ME 04101
700 State Ave
Portland, ME 04101

Ms. 215 Hicks Street, Duplex

Don M. DeBruin

The Portland Planning Authority approved the site plan application for the duplex building at 215 Hicks Street, Portland, ME 04101, on 10/15/2013.

The approval is based on the information and plan sheets submitted and the findings of the staff and the Planning Authority.

The Development Review Committee (DRC) has reviewed the site plan application and has determined that the information provided is sufficient to allow the Planning Authority to make a decision on the application. The DRC has recommended that the Planning Authority approve the application.

The Planning Authority has approved the application.

Don M. DeBruin

10/15/2013

Portland, ME 04101

296-13-014

Planning & Urban Development



Joseph E. Gray Jr.
Director

CITY OF PORTLAND

July 22, 1998

Ralph DeSarno
7 Castine Ave.
Portland, ME 04103

Re: 215 Hicks Street Duplex

Dear Mr. DeSarno:

On July 22, 1998 the Portland Planning Authority granted minor site plan approval for the duplex building at 215 Hicks Street.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

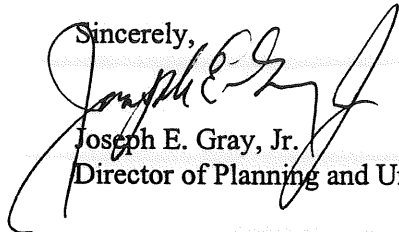
Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 1.7% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Joseph E. Gray, Jr.
Director of Planning and Urban Development

- cc: Alexander Jaegerman, Chief Planner
- Sarah Hopkins, Senior Planner
- P. Samuel Hoffses, Chief of Building Inspections
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