

Listed below are key characters (in bold) for searching within this file.

Hold down the control key and select the “f” key. Enter either a key character from the list below or document name and hit enter for a list of documents containing the search word you entered.

APL – all documents behind this target sheet pertain to the original application submitted by the applicant.

PBM – all documents behind this target sheet are any Planning Board memos with attachments that went to the Board.

PBR – all documents behind this target sheet are any Planning Board reports with attachments that went to the Board.

CC1 – all documents behind this target sheet are any City Council Memos/Reports that went to the City Council.

Misc – all documents behind this target sheet are any that do not pertain to a subject listed above.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

January 18, 2011

Thomas Emery
Stantec Consulting Services
22 Free Street, Suite 205
Portland, ME 04101-3900

RE: 180-200 Warren Avenue, Morin Commercial Building
CBL: ID #2005-0275, CBL #295-G-006

Dear Mr. Morin:

Thank you for your recent letter requesting an extension to the Morin Commercial Building project located at 180-200 Warren Avenue on behalf of Stephen and Dale Morin. I understand that the request is based on the fact that the applicant is continuing to seek an anchor tenant.

In my capacity as Planning Division Director for the City of Portland, I am granting your request to extend your approval to February 1, 2013. If you have any questions, please contact me at 874-8724.

Sincerely,

Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Shukria Wiar, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Gayle Guertin, Inspections Division
Lisa Danforth, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Kathi Earley, Public Services
Bill Clark, Public Services

David Margolis-Pineo, Deputy City Engineer
Todd Merkle, Public Services
Greg Vining, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Hard Copy: Project File
Stephen Morin, 332 B Gray Road, Falmouth, ME 04105



Stantec Consulting Services Inc.
22 Free Street Suite 205
Portland ME 04101-3900
Tel: (207) 775-3211
Fax: (207) 775-6434

Stantec

Via email and USPS

January 06, 2011
File: 210800560

Alex Jaegerman, Division Director
Planning and Development Department
4th Floor, City Hall, 389 Congress Street
Portland, Maine 04101

MORIN COMMERCIAL BUILDING MINOR SITE PLAN APPROVAL EXTENSION

Project Name: Warren Avenue – 180-200; Morin Commercial Building; Stephen Morin
Project ID: 09-79900014 (City's reference)
Project: 180-200 Warren Avenue
Planner: Shukria Wiar/ Barbara Barhydt

Dear Alex:

Barbara Barhydt asked that we direct this correspondence to you in Shukria Wiar's absence.

Stephen L. & Dale S. Morin are requesting, by copy of this letter, an extension of their Minor Site Plan Approval dated February 01, 2010 for a 2,800 sq. ft. commercial building as provided under Chapter 14, Sec 14-532 (c) (1) b. It is our understanding that this ordinance provision allows a permit to be extended for up to three (3) years from the date of approval.

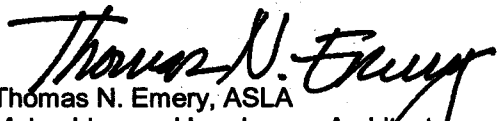
The applicant continues to actively seek an anchor tenant for the proposed commercial space and is therefore requesting that the extension be granted for the maximum time allowed - 3 years; i.e., until February 01, 2013 based on the February 01, 2010 approval date..

We are attaching a copy of the February 01, 2010 Approval Letter and page 14-774-14-775 from the Site Plan Ordinance Sect. 14-532 (c) (1) b. for easy reference.

Thank you; please call me with any questions or requests for additional information.

Sincerely,

STANTEC CONSULTING SERVICES INC.


Thomas N. Emery, ASLA
Maine Licensed Landscape Architect
Senior Associate tom.emery@stantec.com

CC. B Barhydt, Development Review Services Manager; S. Morin; M Burnes, AIA

Encl. as noted



PORTLAND MAINE

COPY

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Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

FEBRUARY 1, 2010

Project Name: Warren Avenue - 180-200; Morin Commercial Building; Stephen Morin
Project ID: 09-79900014
Project Address: 180-200 WARREN AVENUE
Planner: Shukria Wiar

Dear Applicant:

On February 1, 2010, the Portland Planning Authority approved a minor site plan application for a lot subdivision of which one lot will have a new 2,800 square feet commercial building located at 180-200 Warren Avenue as submitted by Stantec Consulting Services, Inc. and shown on the approved plan prepared by Stantec Consulting Services, Inc. with a revision date of 01.22.2010 with the following conditions:

1. The applicant shall make a contribution of \$2,750.00 to the Planning Division, in lieu of a traffic impact analysis, prior to the issuance of a building permit.
2. The proposed utilities improvements at the existing building shall be included as part of the performance guarantee and shall be installed prior to the Certificate of Occupancy of the new commercial building.
3. The applicant has agreed to put boundary pins at the two new property corner, where the lot is proposed to be subdivided into two lots, prior to the issuance of Certificate of Occupancy.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

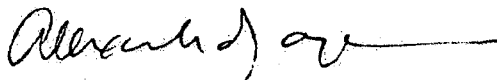
1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of Chapter 14 of the Portland City Code.

2. This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Shukria Wiar at 756-8083 or shukriaw@portlandmaine.gov

Sincerely,



Alexander Q. Jaegerman
Planning Division Director

Attachments:

1. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development

Alexander Jaegerman, Planning Division Director

Barbara Barhydt, Development Review Services Manager

Shukria Wiar, Planner

Philip DiPierro, Development Review Coordinator

Marge Schmuckal, Zoning Administrator

Tammy Munson, Inspections Division

Gayle Guertin, Inspections Division

Lannie Dobson, Inspections Division

Michael Bobinsky, Public Services Director

Kathii Earley, Public Services

Bill Clark, Public Services

David Margolis-Pineo, Deputy City Engineer

Greg Vining, Public Services

John Low, Public Services

Jane Ward, Public Services

Keith Gautreau, Fire

Jeff Tarling, City Arborist

Tom Errico, Wilbur Smith Consulting Engineers

Dan Goyette, Woodard & Curran

Assessor's Office

Approval Letter File

Hard Copy: Project File

City of Portland
Code of Ordinances
Sec. 14-532

Land Use
Chapter 14
Rev. 12-15-10

approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of this article. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation and impervious surfaces shown on the site plan.

- (b) *Revisions and amendments to approved site plans.*
- (1) If at any time before or during development the applicant requests minor amendments to an approved plan for Level III development, the Planning Authority may approve such minor amendments under the procedures for minor development, provided that they do not amount to a waiver or substantial alteration of the site plan, and do not affect any condition or requirement of the Planning Board. The applicant shall supply an application and written statement of the proposed amendment(s) and proposed amended plans to the Planning Authority, whose decision as to whether the amendment is minor shall be final. The Planning Authority shall determine if a notice of amendment shall be required and the extent of such notice based on the extent and nature of the proposed amendment to plan and the demonstrated public interest related thereto.
 - (2) Limited in-field changes approved by the Public Services Authority must be in writing and submitted to the Planning Authority and are specifically limited to minor variation necessary to deal with unforeseen difficulties that arise during the course of construction involving such technical detail as utility location and substitution of equivalent plantings and shall not include any substantial alteration of the approved plan or change any condition imposed by the Planning Board or Planning Authority.

~~(c) *Expiration of site plan approval.*~~

(1) A site plan approved under this article shall expire twelve (12) months from the date of approval unless:

a. Development has been undertaken in accordance with the approved plan and site work or building construction is ongoing. Any lapse in construction for a period in excess of twelve (12) months shall result in an expiration of the site plan; or

b. Prior to the expiration of the site plan, such other time period is agreed upon, in writing, by the Planning Authority and the applicant, not to exceed three (3) years from the date of approval,

Provided that such extensions may not be granted if changes to the City's zoning ordinance would render the development nonconforming in any respect or if changes in the subdivision or site plan ordinance or in the Public Services Technical Standards Manual or Planning and Development Design Standards would otherwise significantly impact the approved site plan as determined by the Director of Planning and Urban Development.

(2) Where the approval or any related land use approval granted to the same applicant by any agency of the City with respect to the same development is appealed to any court by an opponent of the development, the applicant shall be granted further extensions, beyond the expiration of said period, where the applicant has exercised due diligence with respect to defending such appeal, which extensions shall not last beyond one (1) year from entry of final judgment.

(d) **Enforcement.**

(1) All construction or alterations to the site performed under authorization of building permits or certificates of occupancy issued for development within the scope of the article shall be in conformance with the approved final site plan or an amendment thereto under section 14-532. The Department of Planning and Urban Development shall institute or cause to be instituted any and all actions, legal or equitable, that may be appropriate or necessary for the enforcement of this article. Where

Emery, Tom

From: Emery, Tom
Sent: Thursday, January 06, 2011 2:32 PM
To: Alex Jaegerman
Cc: 'Barbara Barhydt'; smorin15@maine.rr.com; mburnes@foresidearchitects.com; Clark, Pat
Subject: Morin Commercial Building Minor Site Plan extension
Attachments: apprvl ltr_020110_ord prov_copies_010610.pdf; 210800560_morin_cvr ltr_010611.pdf

Hi Alex,

As requested by Barbara, I am sending you a letter and enclosures regarding Steve Morin's request for a 3-year extension of his Minor Site Plan Approval granted Feb. 01, 2010. He is requesting that the approval be extended to Feb 01, 2013 (3-years from the date of approval as provided under Ch 14 section 14-532 (c) (1) b.

(Unless otherwise requested, only Alex will receive a hard copy via USPS as indicated on the attached letter).

Thank you.

Tom

Thomas N. Emery, RLA ASLA
Senior Associate
Stantec
22 Free Street Suite 205
Portland ME 04101-3900
Ph: (207) 775-3211 Ext. 172
Fx: (207) 775-6434
Cell: (207) 749-4557
tom.emery@stantec.com
stantec.com

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 Please consider the environment before printing this email.



PORTLAND MAINE

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www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

FEBRUARY 1, 2010

Project Name: Warren Avenue - 180-200; Morin Commercial Building; Stephen Morin
Project ID: 09-79900014
Project Address: 180-200 WARREN AVENUE
Planner: Shukria Wiar

Dear Applicant:

On February 1, 2010, the Portland Planning Authority approved a minor site plan application for a lot subdivision of which one lot will have a new 2,800 square feet commercial building located at 180-200 Warren Avenue as submitted by Stantec Consulting Services, Inc. and shown on the approved plan prepared by Stantec Consulting Services, Inc. with a revision date of 01.22.2010 with the following conditions:

1. The applicant shall make a contribution of \$2,750.00 to the Planning Division, in lieu of a traffic impact analysis, prior to the issuance of a building permit.
2. The proposed utilities improvements at the existing building shall be included as part of the performance guarantee and shall be installed prior to the Certificate of Occupancy of the new commercial building.
3. The applicant has agreed to put boundary pins at the two new property corners, where the lot is proposed to be subdivided into two lots, prior to the issuance of Certificate of Occupancy.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

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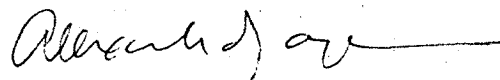
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4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
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If you have any questions, please contact Shukria Wiar at 756-8083 or shukriaw@portlandmaine.gov

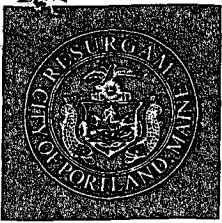
Sincerely,



Alexander Q. Jaegerman
Planning Division Director

Attachments:

1. Performance Guarantee Packet



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

October 16, 2009

Tom Emery
c/o Stantec
22 Free Street
Portland, ME 04101

Stephen Morin
332B Gray Road
Falmouth, ME 04105

Re: MORIN COMMERCIAL BUILDING
Address: 188-200 WARREN AVENUE CBL: 295-G-006-001
Project ID: 09-79900014
Applicant: STEPHAN L. MORIN

Dear Applicants:

Thank you for submitting an application for a proposed lot split and building construction for the property at 188-200 Warren Avenue. Your application is being reviewed for conformance with applicable zoning requirements and the standards for Site Plan (Article V) of the Portland City Code. The City review staff has reviewed your application materials and site plans and has the following requests and preliminary comments:

A. Planning Shukria Wiar

October 16, 2009

1. Submit copies of all proposed easements (for utilities and fire service). There is an existing easement for the cell tower, please submit a copy of this as well.
2. The dumpster will need to be enclosed by a fence. Please submit a typical for the proposed enclosure.
3. There needs to be more landscaping for the building.
4. The aisle widths does not meet city standards on the north and west side. The standard for a two-way traffic is 24 feet; the applicant will either meet this standard or ask for a waiver off eh standard.
5. A lighting plan needs to be submitted with the location of all the proposed lighting as well as the photometric. Are there any lighting being proposed for the parking lot?

B. Zoning Administrator Marge Schmuckal

October 15, 2009

1. Both lots are meeting all the dimensional requirements for setbacks, height of bldg etc.
2. The existing lot is not showing parking or impervious surface. I will need that.
3. The new lot meets the impervious surface requirements and parking requirements.
4. Separate permits are required for new signage. Any hoods or new HVAC will need to meet the maximum noise requirements of the B-4 Zone.

C. Deputy City Engineer David Margolis-Pineo

October 5, 2009

1. There is a note on the plans which references blasting. Be aware the City of Portland have specific rules on blasting and should be also referenced in this note.
2. A Wastewater Capacity Application needs to be submitted.
3. A fence should be shown around the dumpster.
4. If the applicant is proposing a kitchen facility, an external grease trap will need to be installed. Contact Steve Harris (874-8843) for proper sizing.
5. City code prohibits two building being served by the same sewer lateral. Although the existing building's sewer lateral is not shown, it is believed to be using the existing shown 10" lateral. Therefore a separate sewer lateral will need to be installed from the proposed building to the sewer main in the street.
6. If the existing build does in fact us the existing 10" sewer lateral, an easement will also be needed for this lateral.

D. Traffic Engineer Tom Errico

October 15, 2009

1. The parking circulation aisle along the frontage of the site is 22 feet and does not meet City standards. I would suggest that the applicant provide 18 foot deep parking stalls in this area and move the curb line 1 foot to attain a 24-foot wide aisle. This change would create a non-conforming parking stall depth, but I support a waiver from the technical standard.
2. On the west side of the site the parking aisle is only 18 feet wide and does not meet City standards for two-way flow. If it is intended to be one-way, appropriate signage and pavement markings should be provided.
3. On the east side of the site, where parallel parking spaces are proposed, I would suggest that the curb area be extended to the first full parking space.
4. The applicant has made a request for a 30-foot wide driveway with 10-foot radii. It is my professional opinion that the low volume of single-unit truck activity will not compromise safety and therefore recommend that a 24-foot wide driveway be incorporated, with 10-foot radii. I would also request that the applicant conduct a review of the City's driveway spacing standard and provide documentation that acceptable separation will be provided along Warren Avenue.
5. The applicant shall conduct a traffic generation and assignment analysis that details the number of new trips expected at the Riverside Street/Warren Avenue intersection such that an estimate of contribution costs can determined for future improvements.

E. Waste Water Coordinator John Emerson

October 16, 2009

1. A Wastewater Capacity Application needs to be submitted.

City of Portland
Development Review Application
Planning Division Transmittal form

Application Number: 09-79900014 **Application Date:** 9/22/09
Project Name: MORIN COMMERCIAL BUILDING
Address: 188 Warren Ave **CBL:** 295 - G-006-001
Project Description: Warren Avenue - 180-200; Morin Commercial Building; Stephen Morin
Zoning: B4

Other Reviews Required:

Review Type: MINOR SITE PLAN

Stephen Morin
332B Gray Road

Falmouth Me 04105
Stantec
Thomas N. Emery

Portland Me 04101

City at Dev Rev 9.24.09

*qwen to ↓
Jeff
Dan
Tom
Marge*

Distribution List:

<input checked="" type="checkbox"/> Planner	Barbara Barhydt	<input checked="" type="checkbox"/> City Arborist	Jeff Tarling
<input checked="" type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input checked="" type="checkbox"/> Design Review	Alex Jaegerman
<input checked="" type="checkbox"/> Traffic	Tom Errico	<input checked="" type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input checked="" type="checkbox"/> Inspections	Tammy Munson	<input checked="" type="checkbox"/> Sanitary Sewer	John Emerson
<input checked="" type="checkbox"/> Fire Department	Keith Gautreau	<input checked="" type="checkbox"/> Stormwater	Dan Goyette
<input checked="" type="checkbox"/> Parking	John Peverada	<input checked="" type="checkbox"/> Historic Preservation	Deb Andrews
<input checked="" type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
<input checked="" type="checkbox"/> DRC Coordinator	Phil DiPierro		

Preliminary Comments needed by:

Final Comments needed by:

*+ sent DM - P thru
inter-office mail.
9.24.09.*



**Development Review Application
PORTLAND, MAINE**

Department of Planning and Urban Development,
Planning Division and Planning Board

PROJECT NAME: Morin Commercial Building

PROPOSED DEVELOPMENT ADDRESS:
180-200 Warren Ave

PROJECT DESCRIPTION:
2,800 sq. ft. commercial building with associated parking. See attached cover letter.

CHART/BLOCK/LOT: 295/G/7&6

CONTACT INFORMATION:

APPLICANT

Name: Stephen L. Morin
Address: 332B Gray Road
Falmouth, ME
Zip Code: 04105
Work #: (207) 233-9091
Cell #: _____
Fax #: _____
Home: _____
E-mail: smorin15@maine.rr.com

PROPERTY OWNER

Name: Same
Address: _____
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

BILLING ADDRESS

Name: Same
Address: _____
Zip: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

RECEIVED

SEP 22 2009

**City of Portland
Planning Division**

~As applicable, please include additional contact information on the next page~

AGENT/REPRESENTATIVE

Name: Stantec /Thomas N. Emery
Maine Licensed Landscape Architect
Address: 22 Free Street
Portland, Maine
Zip Code: 04101
Work #: 207.775.3211
Cell #: 207.749.4557
Fax #: 207.775.6434
Home: _____
E-mail: tom.emery@stantec.com

ENGINEER Stantec

Name: Frederic (Rick) Licht, PE
Address: 22 Free Street
Portland, ME
Zip Code: 04101
Work #: 207.775.3211
Cell #: 207.749.4924
Fax #: 207.775.6434
Home: _____
E-mail: rick.licht@stantec.com

ARCHITECT Foreside Architects

Name: Mark Burnes, AIA
Address: 281 Veranda Street
Portland, Maine
Zip Code: 04103
Work #: (207) 781.3344
Cell #: _____
Fax #: 207.781.5564
Home: _____
E-mail: mburnes@foresidearchitects.com

CONSULTANT

Name: _____
Address: _____
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

SURVEYOR

Name: TKM Land Surveyors, Inc
Address: 29 Rosewood Drive
Westbrook, Maine
Zip Code: 04092
Work #: 207.854.4205
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

ATTORNEY

Name: _____
Address: _____
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area 38,447.9 sq. ft.
 Proposed Total Disturbed Area of the Site 30,685 +/-sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland.)

IMPERVIOUS SURFACE AREA

Proposed Total Paved Area 13,750 sq. ft.
 Existing Total Impervious Area 35,700 sq. ft.
 Proposed Total Impervious Area 18,057 sq. ft.
 Proposed Impervious Net Change -17,643 sq. ft.

BUILDING AREA

Existing Building Footprint NA sq. ft.
 Proposed Building Footprint 2,800 sq. ft.
 Proposed Building Footprint Net change 2,800 sq. ft.
 Existing Total Building Floor Area sq. ft.
 Proposed Total Building Floor Area 2,800 sq. ft.
 Proposed Building Floor Area Net Change sq. ft.
 New Building YES (yes or no)

ZONING

Existing B4
 Proposed, if applicable _____

LAND USE

Existing Commercial
 Proposed Commercial

RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units _____
 Proposed Number of Residential Units to be Demolished _____
 Existing Number of Residential Units _____
 Proposed Number of Residential Units _____
 Subdivision, Proposed Number of Lots _____

PARKING SPACES

Existing Number of Parking Spaces NA
 Proposed Number of Parking Spaces 16
 Number of Handicapped Parking Spaces 2
 Proposed Total Parking Spaces 16

BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces NA
 Proposed Number of Bicycle Parking Spaces 1
 Total Bicycle Parking Spaces 1 (on premises)

ESTIMATED COST OF PROJECT

\$308,000 (estimated)

Please check all reviews that apply to the proposed development

Design Review _____	Stormwater Quality _____
Flood Plain Review _____	Traffic Movement _____
Historic Preservation _____	Zoning Variance _____
Housing Replacement _____	Historic District/Landmark _____
14-403 Street Review _____	Off Site Parking _____
Shoreland _____	Multi-Family Dwelling _____
Site Location Act Local Review _____	B-3 Pedestrian Activity Review _____
Single Family Dwelling _____	Change of Use _____
2 Family Dwelling _____	

APPLICATION FEE:

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p>Major Development (more than 10,000 sq. ft.)</p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p>Plan Amendments</p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p> <p>Subdivision</p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + (applicable Major site plan fee)</p>
<p>Minor Site Plan Review</p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p>Other Reviews</p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00)</p> <p><input type="checkbox"/> Storm water Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p>

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submissions shall include seven (7) packets with folded plans containing the following materials:

1. Seven (7) full size site plans that must be folded.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist (page 9) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

<p>Signature of Applicant:</p> 	<p>Date:</p> <p>September 22, 2009</p>
--	--

Site Plan Checklist

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

Morin Commercial Building 180-200 Warren Ave

Project Name, Address of Project

Application Number

(The form is to be completed by the Applicant or Designated Representative)

Check Submitted		Required Information	Section 14-525 (b,c)
Applicant	Staff		
<u>X</u>	_____	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
<u>X</u>	_____	Name and address of applicant and name of proposed development:	a
<u>X</u>	_____	* Scale and north points	b
<u>X</u>	_____	* Boundaries of the site	c
<u>X</u>	_____	* Total land area of site	d
<u>X</u>	_____	* Topography - existing and proposed (2 feet intervals or less)	e
<u>X</u>	_____	Plans based on the boundary survey including:	2
<u>X</u>	_____	* Existing soil conditions	a
<u>NA</u>	_____	* Location of water courses, wetlands, marshes, rock outcroppings and wooded areas:	b
<u>X</u>	_____	* Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
<u>X</u>	_____	* Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 11 of packet)	d
<u>NA</u>	_____	* Location of on-site waste receptacles	e
<u>X</u>	_____	* Public utilities	e
<u>X</u>	_____	* Water and sewer mains	e
<u>NA</u>	_____	* Culverts, drains, existing and proposed, showing size and directions of flows	e
<u>X</u>	_____	* Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
<u>X</u>	_____	* Location and dimensions of on-site pedestrian and vehicular access ways	g
<u>X</u>	_____	* Parking areas	g
<u>NA</u>	_____	* Loading facilities:	g
<u>X</u>	_____	* Design of ingress and egress of vehicles to and from the site onto public streets	g
<u>X</u>	_____	* Curb and sidewalks:	g
<u>X</u>	_____	Landscape plan showing:	h
<u>X</u>	_____	* Location of existing vegetation and proposed vegetation	h
<u>X</u>	_____	* Type of vegetation	h
<u>X</u>	_____	* Quantity of plantings	h
<u>X</u>	_____	* Size of proposed landscaping	h
<u>NA</u>	_____	* Existing areas to be preserved	h
<u>NA</u>	_____	* Preservation measures to be employed	h
<u>X</u>	_____	* Details of planting and preservation specifications	h
<u>X</u>	_____	* Location and dimensions of all fencing and screening	i
<u>BLDG</u>	_____	Location and intensity of outdoor lighting system	j
<u>NA</u>	_____	Location of fire hydrants, existing and proposed (refer to Fire Department checklist - page 11)	k
<u>X</u>	_____	Written statements to include:	c
<u>X</u>	_____	* Description of proposed uses to be located on site	cl
<u>X</u>	_____	* Quantity and type of residential, if any	cl
<u>X</u>	_____	* Total land area of the site	c2
<u>X</u>	_____	* Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
<u>X</u>	_____	* General summary of existing and proposed easements or other burdens	c3
<u>X</u>	_____	* Type, quantity and method of handling solid waste disposal	c4
<u>NA</u>	_____	* Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets (refer to the wastewater capacity application - page 12)	c5
<u>X</u>	_____	* Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

<u>X</u>	_____	* An estimate of the time period required for completion of the development	7
<u>NA</u>	_____	* A list of all state and federal regulatory approvals to which the development may be subject to, the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction.	8
<u>X</u>	_____	* Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.	
<u>X</u>	_____	* Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.	
<u>NA</u>	_____	* A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.	
<u>X</u>	_____	A jpeg or pdf of the proposed site plan, if available.	
<u>TO</u>	_____	Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- | | |
|--|---|
| <ul style="list-style-type: none"> - drainage patterns and facilities - erosion and sedimentation controls to be used during construction - a parking and/or traffic study - emissions - a wind impact analysis | <ul style="list-style-type: none"> - an environmental impact study - a sun shadow study - a study of particulates and any other noxious - a noise study |
|--|---|


Transmittal



Stantec

Stantec Consulting Services Inc.
22 Free Street Suite 205
Portland ME 04101-3900
Tel: (207) 775-3211
Fax: (207) 775-6434

To: Shukria Wiar, Planner
Address: Planning & Development
Department
Portland City Hall
389 Congress Street
Portland, ME 04101

From: Thomas N. Emery 
 For Your Information
 For Your Approval
 For Your Review
 As Requested

Date: September 22, 2009
File: 210800560
Delivery: Hand

Reference: Morin Commercial Building – Minor Site Plan

Attachment:

Copies	Doc Date	Pages	Description
1	Sept. 22, 2009	5	Cover Letter
1	Sept 22, 2009	2	Exhibits A-1, A-2
1	Sept 22, 2009	6	Minor Site Plan application
1	Sept 8, 2009	4	Deeds (lot 188-200 & 180-186)
1	Sept 21, 2009	1	Financial Letter Gorham Savings Bank
1	Sept 21, 2009	13	Reduced Plan Set
7	Sept 21, 2009	10	Site Plans
7	Sept 16, 2009	1	A-1.0 Architectural Floor Plan and Elevations
7	Sept 16, 2009	2	A-4.0, A-4.1 Elevations
1	Sept 22, 2009	check	Application fee \$400 check # 155

For review and approval; please call with any questions. (Project previously approved 2006).

Thank you.

STANTEC CONSULTING SERVICES INC.

Thomas N. Emery, RLA ASLA

One Team. Infinite Solutions.



Stantec Consulting Services Inc.
22 Free Street Suite 205
Portland ME 04101-3900
Tel: (207) 775-3211
Fax: (207) 775-6434

Stantec

September 22, 2009
File: 210800560

Shukria Wiar, Planner
Planning and Development Department
City Hall, 389 Congress Street
Portland, Maine 04101

MORIN COMMERCIAL BUILDING MINOR SITE PLAN APPLICATION

Dear Shukria:

On behalf of Stephen L. & Dale S. Morin, Stantec Consulting Services, Inc. (Stantec), Inc. is submitting the attached Minor Site Plan Application for a 2,800 sq. ft. Commercial Building located off Warren Avenue. The project site is located on the south side of Warren Avenue approximately 0.4 miles west of the intersection of Forest Avenue and Warren Avenue. This project received Minor Site Plan approval in 2006. The plan is unchanged except for the following:

- The building has been reduced in area from 4,000 sq. ft. (40' x 100') to 2,800 sq. ft. (40' x 70')
- The parking has been reduced to 16 spaces because of the smaller building. .

The following narrative describes the site and the proposed development in relation to the ordinance requirements:

Existing Site:

The 38,447.9 sq. ft. parcel is bounded to the north by Warren Avenue and to the south by Portland Terminal Company. The KTK Corporation is located at the eastern property line and a one-story concrete block building presently housing a bar is located at the western property line. The project site is located in an area of commercial businesses similar to that proposed.

The site is presently vacant with the ground cover consisting of paved areas and gravel areas. Slopes are generally quite flat range from 1 to 2 % in the center of the lot to 18% at the southeast corner of the lot. The site slopes overland from the northeast to the southwest to the Portland Terminal Company R.O.W. Soils are generally shallow to bedrock and will require blasting for site grading and utility installation.

TKM Land Surveyors, Inc. of 29 Rosewood Drive Westbrook, ME 04092, has completed a boundary and topographic survey. Plan included in plan set.

Zoning:

The site is zoned B4 Commercial Corridor Zone, with a minimum lot size of 10,000 sq. ft. and a minimum street frontage of 60 ft.

Reference: Morin Commercial Building Minor Site Plan

Project Layout, Access and Parking:

The project is a reflection of the surrounding Zoning and is consistent with existing development in the surrounding area in regards to type, parking, landscaping, scale, and character of the building. The 2,800 sq. ft. building is proposed to be divided into two separate businesses consisting of a two 1600 sq. ft. business and an 800 sq. ft. business. Tentatively, the businesses are anticipated to be a sandwich shop (2,000 sf), a beauty shop (800 sf). See attached floor plan and elevations.

The property frontage is presently one continuous access to Warren Avenue. The project proposes to limit access to the site to a single driveway located at the northeast corner of the property. Ten parking spaces are proposed at the front of the building bordering Warren Avenue with four parallel parking spaces being provided along the eastern property line. Additionally, two parking spaces are proposed at the rear of the building. These total 16 parking spaces (previously approved for 21 spaces).

Pedestrian circulation consists of sidewalks along the front of the building and along the eastern side of the building. Presently, there are no sidewalks along this section of Warren Avenue and further west of the site. The owner is proposing a sidewalk along the entire frontage from the property line to property line.

Easements:

There is presently a 25 ft access easement and a 1,757.3 sq. ft. cell tower easement on the property. These easements are shown on the Property Plan. There is also a utility easement for utilities crossing the site serving the existing property to the west.

Solid Waste:

Two 5 cu. yd. trash receptacles are proposed to be located at the rear of the building. One receptacle will be use for recyclables and the other for commercial solid waste. The proposed uses are anticipated to generate minimal solid waste and the dumpsters will be emptied bi-weekly. The total solid waste anticipated to be generated is less than 3 cu. yd. per week. Private contractor will empty the dumpsters.

Mixed construction debris consisting of scrap wood, insulation, sheetrock, asphalt, scrap metal, and masonry will be generated during construction. A private hauler will remove construction debris from the site.

Construction Schedule:

Upon obtaining approvals from the City of Portland, The owner anticipates construction to begin in the fall 2009 or spring of 2010 and be completed summer of 2010.

Other Approvals:

No state and federal approvals are required for this project.

Financial Capacity:

See the attached letter of financial capacity.

Reference: Morin Commercial Building Minor Site Plan

Title, Right, or Interest:

See the attached property deeds.

Buffers and Open Space & Natural Areas

The site is located in a commercial zone with like the business on either side or the rear of the site borders the Portland Terminal Company. Presently, there is a line of trees along the eastern boundary line; this buffer will be maintained. Additionally, there is a line of trees along the southern boundary line with the Portland Terminal Company. There are no usual natural areas on this site. The site has been previously developed and is presently pavement and gravel.

Building Design:

The building is being designed by Mark Burnes the Project Architect of Foreside Architects, LLC. 281 Veranda Street, Portland, Falmouth, ME 04103. A floor plan and elevation drawings of the building are included in the plan set. The building is a single story, masonry structure with gable roof. It is a slab on grade with frost walls.

Utilities:

The project site is served by public water, sanitary sewer, natural gas and underground power, telephone and cable television service.

Previously, the owner extended water and sewer service into the project site from Warren Avenue. Presently the site is serviced by a 10" sanitary sewer, a 6" fire service and a 1" domestic service. These services were installed with the anticipation that the site would eventually be developed.

Electric, telephone and cable television service will be extended underground from CMP pole #17 located at the northeast corner of the property.

Natural gas is available from Warren Avenue. The gas main is located on the south side of Warren Avenue. This location facilitates easy hookup to the proposed building.

SOILS AND WETLANDS:

Wetlands have not been mapped on the site. The site is presently impervious made up of gravel and pavement. USDA has mapped the soils as HrB- Hollis fine sandy loam shallow to bedrock. This soil is in the Hydrologic Soils Group C/D.

Storm Drainage:

Presently, the site is impervious consisting of pavement and gravel surface. Existing drainage is overland to Warren Avenue and to the Portland Terminal Company at the south side of the property. There are no existing storm drains in Warren Avenue. The project will not increase the impervious area of the site therefore; the owner is not proposing stormwater detention. The project does not require a stormwater permit, as there will be less than one acre of disturbed area. Additionally, there are less than 25 parking spaces proposed for the development therefore, Section V Stormwater Management Standards Subsection 3H does not apply.

Pre and post-development calculations as well as pre and post-development drawings are attached for the 25-year storm event. The calculations indicate that the development is not causing increased flows in the post-development condition to the Portland Terminal Company Right of Way.

Reference: Morin Commercial Building Minor Site Plan

Additionally, the calculations indicate that there is an insignificant increase in runoff to Warren Avenue due to the development. See the table below, calculations attached.

Peak Runoff Rates cfs

Point of Interest	<i>Pre-development 25 yr storm</i>	<i>Post-development 25 yr storm</i>	<i>Difference</i>
Warren Avenue	0.22	0.61	+0.39
Portland Terminal	1.97	1.92	-0.05

Erosion Controls:

Erosion controls are minimal for this site. Silt fence will be installed along the southern property line, the low point of the site.

Recyclable Materials:

A 5 cu. yd. dumpster will be provided for recyclable materials. This material will consist of cardboard generated by the businesses. It is anticipated that the dumpster will be emptied once every two weeks.

Plans & Documents:

This submission includes the following documents (7copies):

- City of Portland Site Plan Application & Checklist
- Application fee of \$400.00
- Letter of Financial Capability
- Deeds
- Figure A-1 USGS Map
- Figure A-2 USDA Soils Map
- Lighting Cuts

This submission also includes the following plans prepared by Stantec unless noted otherwise (7 copies) of full size plans and (1 copy) of 11x17 plans.

0. Cover sheet.
 - 1of 1 Standard Boundary Survey (TKM Land Surveyors, Inc.)
 1. Existing Conditions & Removals
 2. Layout, Materials & Utilities
 3. Grading, Drainage, Erosion Controls, & Landscaping
 4. Site Details
 5. Site Details
 6. Pre-development Drainage
 7. Post-development drainage
- A1-A4 Typical Building Plans and Elevations

Stantec

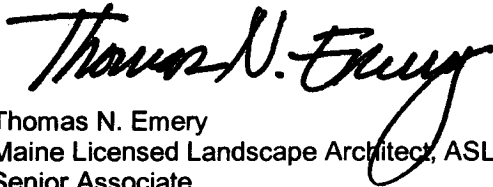
September 22, 2009
Shukria Wiar
Page 5 of 5

Reference: Morin Commercial Building Minor Site Plan

Thank you for meeting with us at our preapplication meeting. I trust you will find this Minor Site Plan Application complete, please call me with any questions or requests for additional information.

Sincerely,

STANTEC CONSULTING SERVICES INC.

A handwritten signature in black ink that reads "Thomas N. Emery". The signature is written in a cursive, flowing style.

Thomas N. Emery
Maine Licensed Landscape Architect, ASLA
Senior Associate
Tel: (207) 775-3211
Fax: (207) 775-6434
tom.emery@stantec.com

cc. S. Morin; M Burnes, AIA

Encl. as noted

CUMBERLAND COUNTY, MAINE - SHEET NUMBER 81

81



Stantec

▪ PREPARED FOR:

Morin Commercial Building
180-200 Warren Avenue
Portland, Maine

▪ DATE: 09/2009

▪ SCALE: 1"=1667'

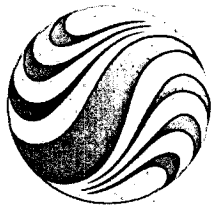
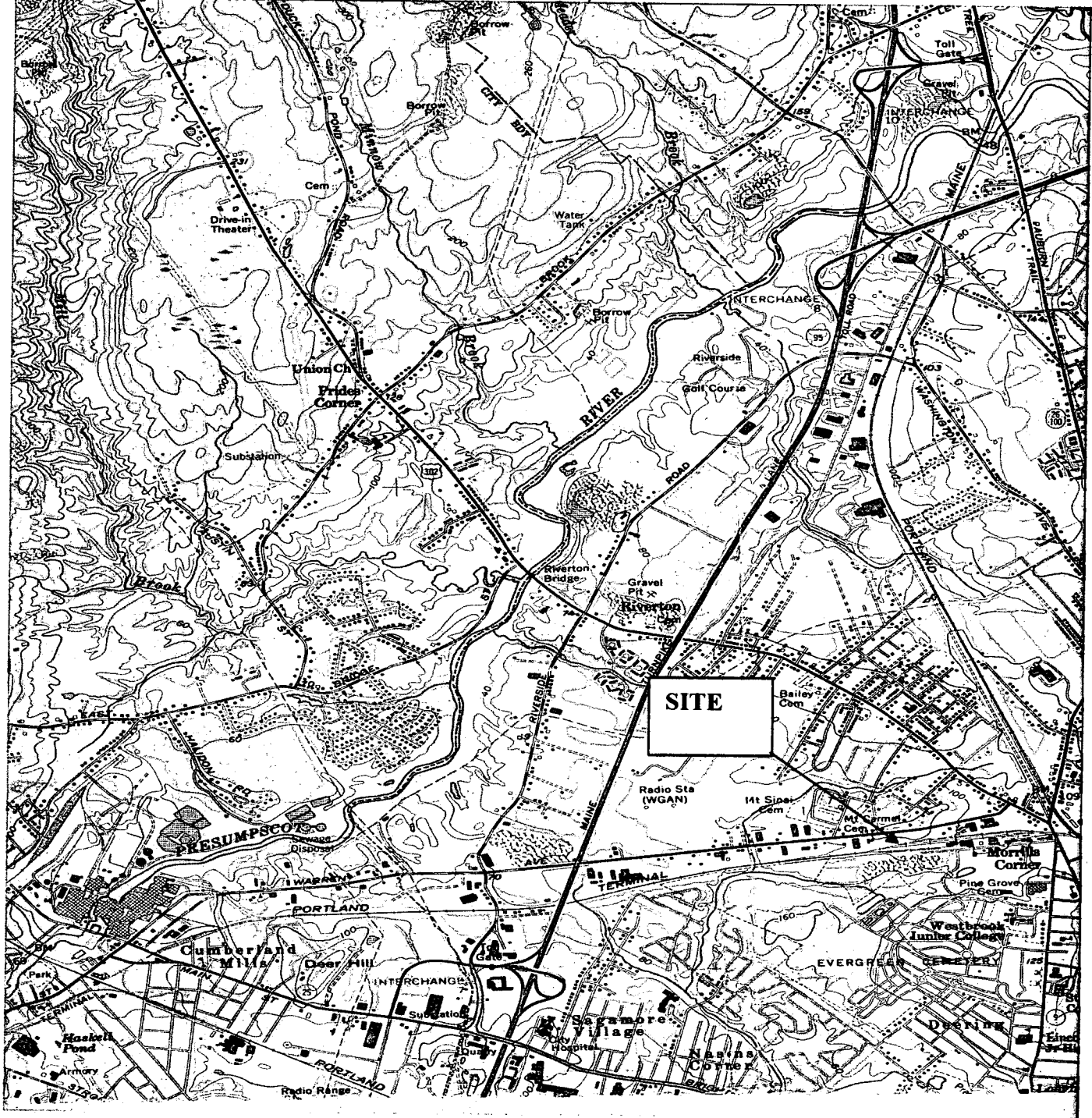
▪ TITLE:

Soils Map

▪ JOB NO:
210800560

Figure
A-2

REFERENCE : USGS, Portland West, Maine, 7.5 Minute Series, 1978



Stantec

▪ PREPARED FOR:

**Morin Commercial Building
180-200 Warren Avenue
Portland, Maine**

▪ TITLE:

USGS Locus Map

▪ DATE: 09/2009

▪ SCALE: 1"=1000'

▪ JOB NO: 210800560

**Figure
A-1**

180 TO 186 WARREN AVE
To be build^{Lot} on

Doc#: 57387 Bk:27256 Pg: 260

WARRANTY DEED
(Maine Statutory Short Form)

ALL PERSONS BY THESE PRESENTS, that we, **STEPHEN L. MORIN** and **DALE S. MORIN**, of Falmouth, Cumberland County, State of Maine, grant to **STEPHEN L. MORIN** and **DALE S. MORIN**, whose mailing address is 332B Gray Road, Falmouth, Maine 04105, as joint tenants, with **WARRANTY COVENANTS**, the following described real property:

A certain lot or parcel of land with any buildings thereon situated on the southerly sideline of Warren Avenue in the City of Portland, County of Cumberland and State of Maine and being more particularly described as follows:

Beginning at an iron pipe found on the southerly sideline of Warren Avenue, said iron pipe found marking the northwesterly corner of land conveyed by OMW III, Inc. to KTK Corporation by Warranty Deed dated June 3, 1991 and recorded in Cumberland County Registry Book 9578 Page 301, said iron pipe found being the northeasterly corner of the lot or parcel herein described;

Thence North $73^{\circ}26'40''$ West along the southerly sideline of said Warren Avenue one hundred sixty-six and twenty-seven hundredths (166.27) feet to remaining land of the Grantor herein and a magnetic nail set, said nail set being one hundred six and twenty-three hundredths (106.23) feet from the northeasterly corner of land conveyed by Charles E. Miller, Richard P. LeBlanc, et al to Peter F. Holmes by Short Form Trustee's Deed dated September 30, 1994 and recorded in Cumberland County Registry Book 11675 Page 1;

Thence turning South $16^{\circ}33'20''$ West along remaining land of the Grantor herein two hundred thirty-three (233.00) feet to land now or formerly of Portland Terminal Company as described in said Registry Book 11360 Page 230 and a #5 rebar set with a yellow cap, PLS #2246;

Thence turning South $74^{\circ}38'50''$ East along said Portland Terminal Company one hundred sixty-six and twenty-nine hundredths (166.29) feet to the southwesterly corner of land of said KTK Corporation, said corner is South $16-33-20$ West three and five tenths (3.5) feet from an iron pipe found;

Thence turning North $16^{\circ}33'20''$ East along the land of said KTK Corporation two hundred twenty-nine and five tenths (229.50) feet to the southerly sideline of said Warren Avenue and the point of beginning.

The above describe lot or parcel of land with the buildings thereon contains thirty-six thousand six hundred ninety and six tenths (36,690.6) square feet.

Bearings are magnetic to the year 2005.

186 To 200 WARREN AVE

Doc#: 57388 Bk:27256 Pg: 262

WARRANTY DEED
(Maine Statutory Short Form)

KNOW ALL PERSONS BY THESE PRESENTS, that we, **STEPHEN L. MORIN** and **DALE S. MORIN**, of Falmouth, Cumberland County, State of Maine, grant to **STEPHEN L. MORIN** and **DALE S. MORIN**, whose mailing address is 332B Gray Road, Falmouth, Maine 04105, as joint tenants, with **WARRANTY COVENANTS**, the following described real property:

A certain lot or parcel of land with any buildings thereon situated on the southerly sideline of Warren Avenue in the City of Portland, County of Cumberland and State of Maine and being more particularly described as follows:

Beginning at a magnetic nail set on the southerly sideline of Warren Avenue, said nail set marking the northeasterly corner of land conveyed by Charles E. Miller, Richard P. LeBlanc, et al to Peter F. Holmes by Short Form Trustee's Deed dated September 30, 1994 and recorded in Cumberland County Registry Book 11675 Page 1, said nail set being the northwesterly corner of the lot or parcel herein described;

Thence South $16^{\circ} 33' 20''$ West along the easterly line of said Holmes two hundred twenty-seven and seventy-two hundredths (227.72) feet to land of Portland Terminal Company as described in said Registry Book 1011 Page 259 and a #5 rebar set with a yellow cap, PLS #2246;

Thence turning South $74^{\circ} 38' 52''$ East along said Portland Terminal Company thirty-one and eighty-nine hundredths (31.89) feet to the dividing line between Lots six (6) and seven (7) as shown on the City of Portland Tax Map 295, Block G and a point;

Thence turning South $61^{\circ} 27' 39''$ West along said dividing line ten and eighty-two hundredths (10.82) feet to the northwesterly corner of other land now or formerly Portland Terminal Company as described in said Registry Book 11360 Page 230 and a point;

Thence turning South $74^{\circ} 38' 50''$ East along said Portland Terminal Company eighty-two (82.00) feet to remaining lands of the Grantor herein and a #5 rebar set with a yellow cap, PLS #2246, said rebar set being North $74^{\circ} 38' 50''$ West one hundred sixty-six and twenty-nine hundredths (166.29) feet from the southwesterly corner of land conveyed by OMW III, Inc. to KTK Corporation by Warranty Deed dated June 3, 1991 and recorded in said Registry Book 9578 Page 301, said corner is South $16^{\circ} 33' 20''$ West three and five tenths (3.5) feet from an iron pipe found;

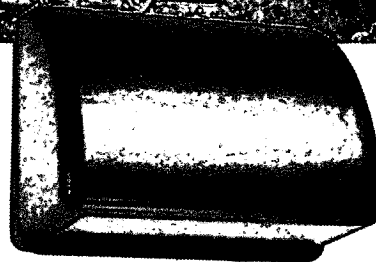
Thence turning North $16^{\circ} 33' 20''$ East along remaining lands of the Grantor herein two hundred thirty-three (233.00) feet to the southerly sideline of said Warren Avenue and magnetic nail set, said nail being North $73^{\circ} 26' 40''$ West one hundred sixty-six and twenty-seven hundredths (166.27) feet from the northwesterly corner of said KTK Corporation;



Outdoor Lighting

NRG[®]-1100

Compact Full Cutoff Wallpack



October 2007

New Product Introduction

Hubbell Outdoor Lighting Introduces NRG[®]-1100 Compact Full Cutoff Wallpack StarView Compliant

Neighbor-friendly distribution – no uplight or face brightness

The NRG-1100 wallpacks are shipped standard with a Full Cutoff, StarView compliant distribution that meets the strictest lighting codes.

Stylish and suitable for many architectural applications

The stylish soft corners provide a minimalistic appearance, allowing the unit to blend into many architectural building facades. Units are offered in dark bronze or white finishes and lamps are included for installer convenience. (Typical mounting height is eight to twelve feet.)

Comes loaded with standard features:

- Durable polycarbonate front housing, painted inside, for vandal resistance
- Die cast aluminum back housing with Lektrocote[®] protective paint finish, which provides rigid mounting and excellent heat dissipation for long electrical component life
- Tapped ½" hubs on all sides allow for surface conduit installation or field installation of button photocontrols
- Plated, heavy-gauge steel mounting bracket with bubble level provides simple and secure mounting to recessed wiring boxes
- Wattage ranges include 50/70/100 pulse start, 70/100 HPS and 42 CFL
- NRG-1100 is CSA certified to UL1598 for wet location applications

Please Note: 100-watt pulse start and 42-watt CFL units are sold in self-sell "ExpressLine" cartons for high visibility qualify for the extra benefits awarded to ExpressLine program members.

Reverse side of this flyer for detailed specification sheet.

Hubbell Outdoor Lighting

FULL CUTOFF WALLPACK

NRG®1100 SERIES

Cat. #		Approvals
Job	Type	



APPLICATIONS

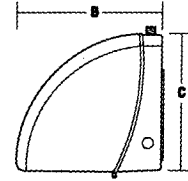
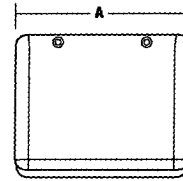
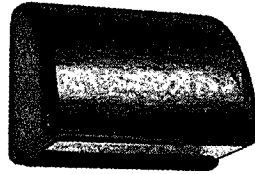
- Use for wall perimeter or entry at mounting heights of 8-15 feet. The StarView compliant optics allow no up light, saving energy and keeping the neighbors happy!

SPECIFICATIONS

- The decorative styling is also rugged with one piece polycarbonate front, painted bronze or white on the inside, that resists rocks and other small projectiles.
- The die cast housing provides rigid mounting, conduit and photo-control hubs, easy mount design and heat dissipation.

LISTINGS

- CSA certified to UL 1598 for use in wet locations.



A	B	C
11 ³ / ₄ "	9 ¹ / ₂ "	9 ¹ / ₂ "
298 mm	241 mm	241 mm



ORDERING INFORMATION

Catalog Number ¹	Wattage/Voltage	Finish	Weight lbs. kg
PULSE START METAL HALIDE			
NRG-1111B	100 PS 120, 277, 347	bronze	12 5.4
NRG-1111W	100 PS 120, 277, 347	white	12 5.4
NRG-1171B	70 PS 120, 277, 347	bronze	11 5.0
NRG-1171W	70 PS 120, 277, 347	white	11 5.0
NRG-1151B	50 PS 120, 277	bronze	9 4.1
NRG-1151W	50 PS 120, 277	white	9 4.1
HIGH PRESSURE SODIUM			
NRG-1112B	100 HPS 120, 277, 347	bronze	10 4.5
NRG-1112W	100 HPS 120, 277, 347	white	10 4.5
NRG-1172B	70 HPS 120, 277, 347	bronze	9 4.1
NRG-1172W	70 HPS 120, 277, 347	white	9 4.1
ELECTRONIC FLUORESCENT			
NRG-1143B	42 CFL 120-277 60/50Hz	bronze	7 3.0
NRG-1143W	42 CFL 120-277 60/50Hz	white	7 3.0

¹ All fixtures include medium base or compact fluorescent lamps. Fluorescent units use universal socket and are capable of operating 26 or 32-watt PLT lamps if substituted in the field.

ACCESSORIES

(order as separate part #)

Catalog Number	Description
PBT-1	Photocontrol, button type, 120 volt
PBT-234	Photocontrol, button type, 208, 240, 277 volt

to our continued efforts to improve our products, product specifications are subject to change without notice.

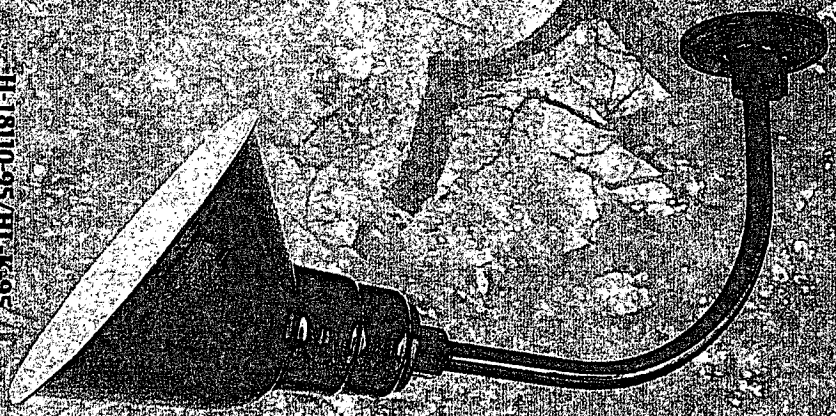


Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • PHONE: 864-678-1000
For more information visit our web site: www.hubbell-llg.com

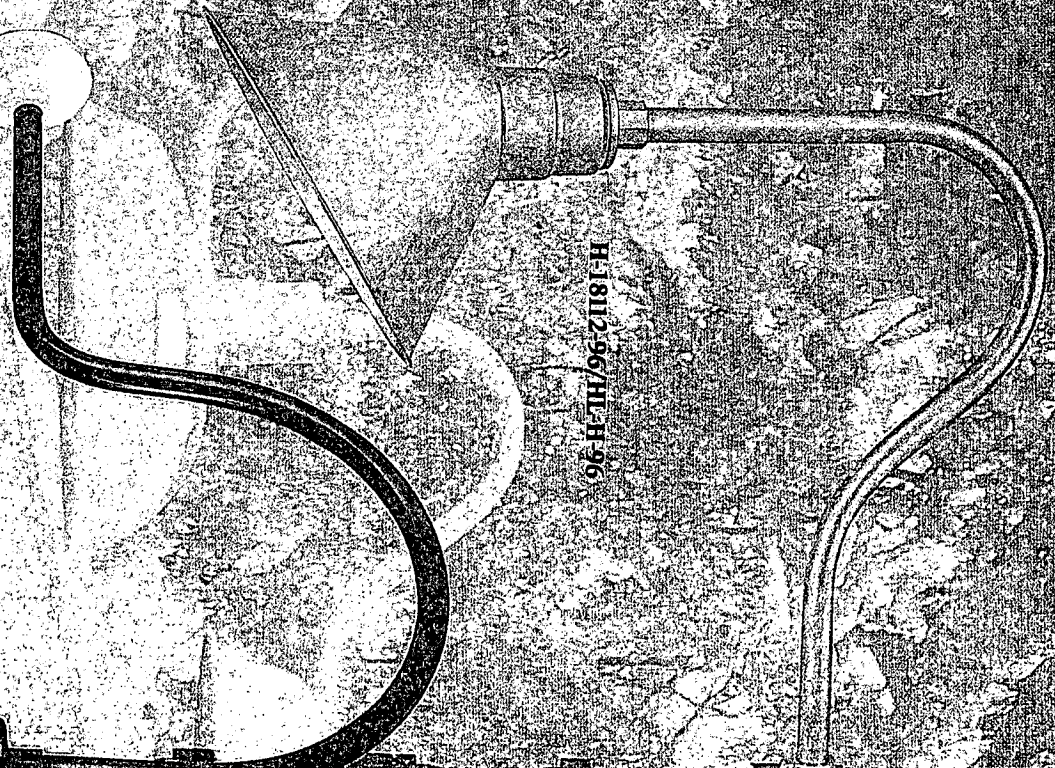
SLAVE ANTI-RAVENS

Angle Shade Collection

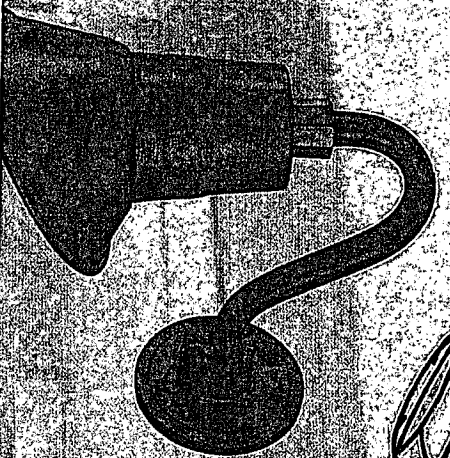
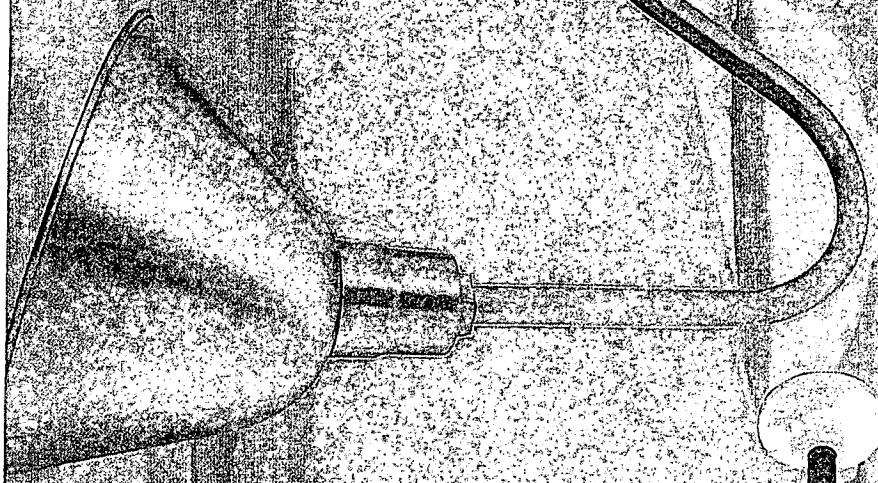
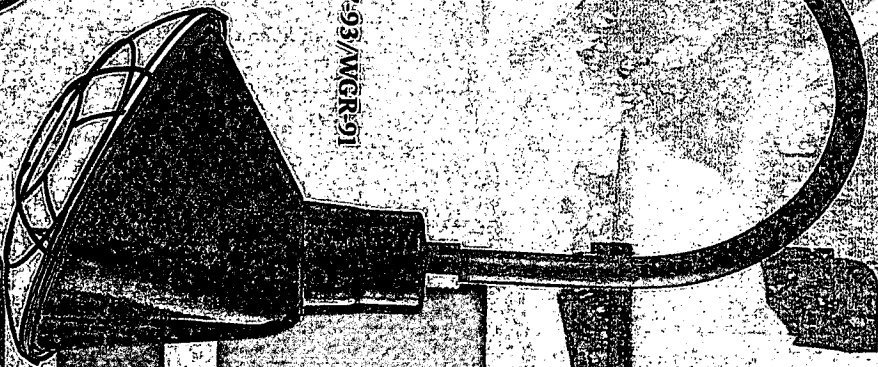
H-18110-95/HL-K-95




H-18112-56/HL-H-96



H-18112-103/HL-C-97-93/WGR-91

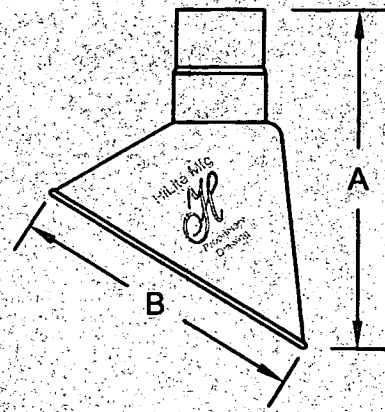




**HI-LITE MFG.
CO., INC.**
13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Fax: (909) 465-0907

Job Name: **SLING ENTRANCES**
Quantity: _____

Angle Shade Collection



Item Number	Height (A)	Width (B)
18107	8"	7"
18110	10-1/2"	10"
18112	12"	12"
18114	14-1/2"	14"

Fixture No.	Fixture Color	Mounting	Mounting Color	Optional Accessories	Accessory Color	Wattage/Lamp options	Ballast	Voltage
8107⁽¹⁾	Standard ⁽²⁾	Mounting	Standard	CGU	Standard	Incandescent	Ballast option	Incandescent
8110⁽¹⁾	91 (Black)	Options	91 (Black)	(Cast guard & glass)	91 (Black)	(Fixture is standard 200W. Do not specify)	not available for INC.	(Fixture is standard 120V. Do not specify.)
8112	93 (White)	1/2"	93 (White)		93 (White)			
8114	95 (Dk. Grn)	3/4"	95 (Dk. Grn)	LCGU	95 (Dk. Grn)	CFL ⁽³⁾	RB⁽⁴⁾	CFL
	96 (Galv.)	Stem Options	96 (Galv.)	(Large cast guard & glass)	96 (Galv.)	(Compact Fluorescent)	(Remote)	M
	BR47 (Rust)	(Stem: 1/2")	BR47 (Rust)		BR47 (Rust)	13/CFL	(Canopy Mount)	(Multi 120/277V)
	For all finishes see pages 344-348.	ST	For all finishes see pages 344-348.	WGU	For all finishes see pages 344-348.	18/CFL	BCM	HID
		Specify length and canopy.		(Wire guard & glass)		26/CFL	(Postline)	RB and BCM
		HSC (Canopy)		LWGU		26/32/42/CFL	For specs see pages 341-343.	M (Multi 120/208/240/277V)
		SMC (Canopy)		(Large wire guard & glass)		32/CFL		PLB
		Flush Mount Options		ARN		42/CFL		1 (120V)
		FHSC		(Acom globe)		57/CFL		2 (277V)
		FSMC		LARN		DMB		
		Arm Options		(Large acom globe)		(Dimmable Ballast for CFL. Add to Part No.)		
		B-1 HL-K		WGR		HID ⁽³⁾		
		HL-A HL-U		(Wire guard)		(High Intensity Discharge)		
		HL-H P-1		SK		MH ⁽³⁾		
		HL-C P-3		(Swivel knuckle)		(Metal Halide)		
		HL-D		For specs and glass color see pages 321-344.		35/MH		
		For all arms and specs see pages 321-344.				50/MH		
						70/MH		
						100/MH		
						150/MH		
						175/MH		
						HPS ⁽³⁾		
						(High Pressure Sodium)		
						50/HPS		
						70/HPS		
						100/HPS		
						150/HPS		

H-18110 - 91 / 1/2" - 91 / CGU-CLR - 91 / 13/CFL - BCM - M

ORDER EXAMPLE
(USE THIS FORMAT TO PLACE ORDER)

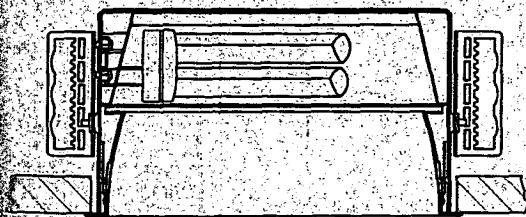
Notes:

H-18107 not available with glass enclosures.
H-18107 available for 200W Max INC, 32W Max CFL and 100W Max HID.
H-18110 not available with LWGU, LCGU, ARN or LARN.

For interior finish of fixture refer to color chart on pages 344-348.
Requires Globe Option: (See pages 339-341 for Globe Options)

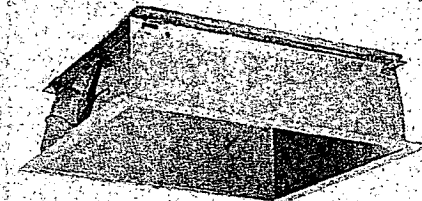
(4) (RB) Remote Ballast not available for Fluorescent Lamping.
(5) (PLB) Post Line Ballast must specify 120V or 277V.
(PLB) 50W MH requires a 3" dia. pole.
(PLB) 70W and 100W MH require a 4" dia. pole.
(PLB) 50W, 70W, 100W and 150W HPS require a 3" dia. pole.

Matrix 9" x 9" Aperture Lensed Downlight



Canopy Cutout: 9 3/4" x 9 3/4"
Canopy Thickness: 1 1/4" Max.

Reflector Finish	White Flange	Polished Flange
Prismatic	CLW	CLP
Prismatic Clear	CCLW	CCLP
Prismatic Clear Diffuse	CCDW	CCDP
Prismatic Clear	WHW	N/A



- UL listed for use in wet locations
- Prismatic lens softens lamp image
- Parabolic louvers ensure symmetrical brightness

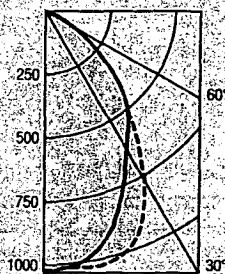
How to Specify:

Trim Kit	Frame-In Kit
9X9PL CLW	9X9242HU

9" x 9" Aperture 26W Quad Reflector Trim: **9X9PL CLW**



Report No.: 1657FR
Lamp: 26W Quad
Initial Lumens: 3,600
Efficiency: 47.1%
Spacing: 1.1 X 1.0



Multiple Unit Data - RCR 1

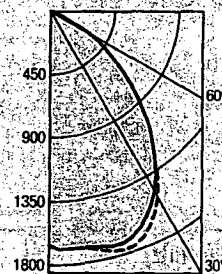
Spacing on Ctr	Initial Footcandles	Watts/Sq Ft
5'	73	2.24
6'	51	1.56
8'	29	0.88
10'	18	0.56
12'	13	0.39

75'x75'x10' Room, Workplane 2 1/2' above floor, 80/50/20% Reflectances

9" x 9" Aperture 32W Triple Tube Reflector Trim: **9X9PL CLW**



Report No.: 1956FR
Lamp: 32W Triple
Initial Lumens: 4,800
Efficiency: 72.1%
Spacing: 1.3 X 1.3

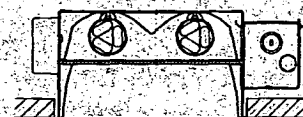


Multiple Unit Data - RCR 1

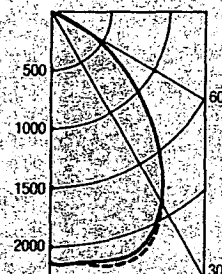
Spacing on Ctr	Initial Footcandles	Watts/Sq Ft
5'	150	2.76
6'	104	1.92
8'	59	1.08
10'	37	0.69
12'	26	0.48

75'x75'x10' Room, Workplane 2 1/2' above floor, 80/50/20% Reflectances

9" x 9" Aperture 42W Triple Tube Reflector Trim: **9X9PL CLW**



Report No.: 1953FR
Lamp: 42W Triple
Initial Lumens: 6,400
Efficiency: 68.7%
Spacing: 1.3 X 1.3



Multiple Unit Data - RCR 1

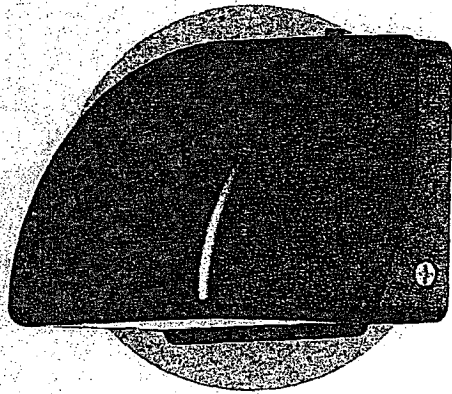
Spacing on Ctr	Initial Footcandles	Watts/Sq Ft
5'	189	3.64
6'	132	2.53
8'	74	1.42
10'	47	0.91
12'	33	0.63

75'x75'x10' Room, Workplane 2 1/2' above floor, 80/50/20% Reflectances

NRG® 1100

FULL CUTOFF COMPACT WALLPACK

WALL MOUNT



Star View compliant 

Features

Hubbell Outdoor Lighting's newest NRG® family to be introduced late in second quarter 2007 is packed with owner benefits. The StarView compl optics allow no up light, saving energy and keeping the neighbors happ

Use for wall perimeter or entry at mounting heights of 8-15 feet. The decorative styling is also rugged with one piece polycarbonate front, painted bronze or white on the inside, that resists rocks and other sr projectiles. The die cast housing provides rigid mounting, conduit and photocontrol hubs, easy mount design and heat dissipation.

Ordering Information

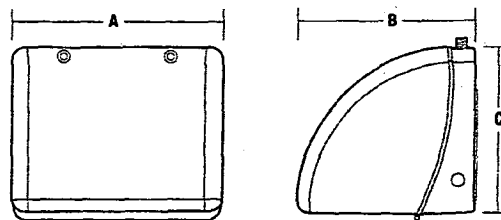
Catalog Number	Wattage/Volts	Finish	Weight (lbs.)
Pulse Start Metal Halide			
NRG-1111B	100 PS 120, 277, 347	bronze	12 (
NRG-1111W	100 PS 120, 277, 347	white	12 (
NRG-1171B	70 PS 120, 277, 347	bronze	11 (
NRG-1171W	70 PS 120, 277, 347	white	11 (
NRG-1151B	50 PS 120, 277	bronze	9 (
NRG-1151W	50 PS 120, 277	white	9 (
High Pressure Sodium			
NRG-1112B	100 PS 120, 277, 347	bronze	10 (
NRG-1112W	100 PS 120, 277, 347	white	10 (
NRG-1172B	70 PS 120, 277, 347	bronze	9 (
NRG-1172W	70 PS 120, 277, 347	white	9 (
Electronic Fluorescent			
NRG-1143B	42 CFL 120-277 60/50hz	bronze	7 (
NRG-1143W	42 CFL 120-277 60/50hz	white	7 (

1 All fixtures include medium base or compact fluorescent lamps. Fluorescent units use universal socket and are capable of operating 26 or 32-watt PLT lamps if substituted in the field.

Accessories - Order Separately

Catalog Number	Description
PBT-1	Photocontrol, button type, 120V
PBT-234	Photocontrol, button type, 277V

Dimensions



A	B	C	D
7 1/4"	7"	5 1/2"	2 3/8"
184 mm	178 mm	140 mm	60 mm



Outdoor Lighting

WALLPACKS



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

September 22, 2009

GENERAL RECEIPT

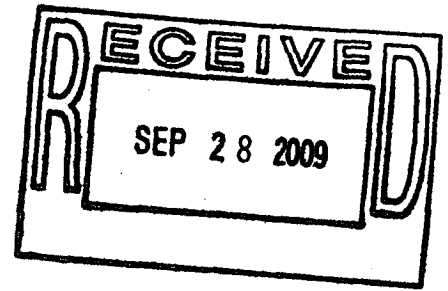
Received from: Dale Morin
Minor Site Plan Application Fee \$400.00

108-200 Warren Avenue
Check #155

RECEIVED

SEP 22 2009

City of Portland
Planning Division



September 21, 2009

City of Portland
389 Congress Street
Portland, Maine 04101

To Whom It May Concern:

I'm writing to inform you that I presently provide financing to Stephen Morin relative to his commercial property on Warren Avenue and that we are working on an extension of additional credit relative to his expansion and development of the Morin Commercial Building on Warren Avenue, Portland. Mr. Morin has handled his business and banking obligations completely as agreed.

Sincerely

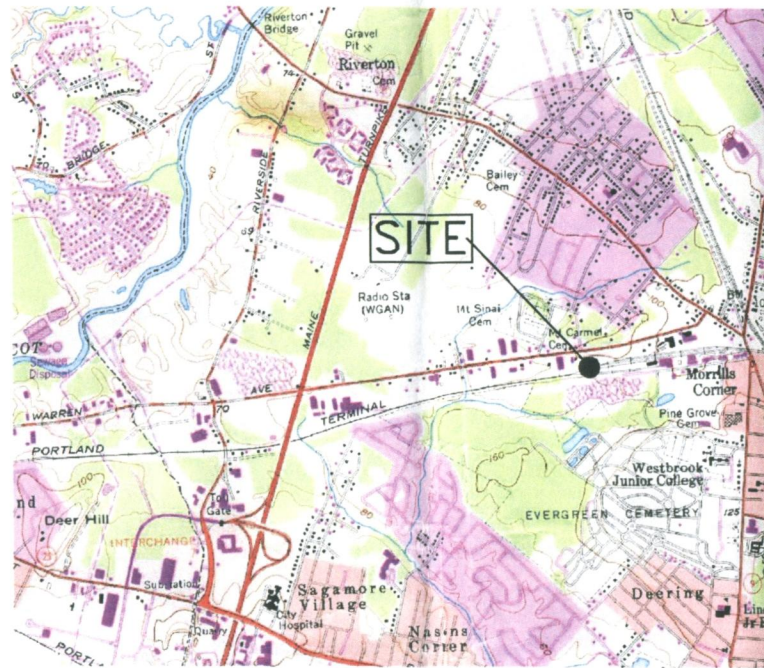
A handwritten signature in black ink, appearing to read "Matthew W. Early". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Matthew W. Early
Senior Vice President

General Notes:

- PROJECT IS LOCATED WITHIN THE CITY OF PORTLAND.
- TOPOGRAPHIC INFORMATION FROM A GROUND SURVEY BY TKM LAND SURVEY INC. DATED OCT. 2005.
- THE PROJECT IS SUBJECT TO SITE PLAN REVIEW APPROVAL FROM THE CITY OF PORTLAND.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, OR AS OTHERWISE REQUIRED BY MAINE STATE LAW.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
- ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND ALL UTILITY COMPANIES STANDARDS.
- CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY CONSTRUCTION ACTIVITY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- NO BLASTING WILL BE ALLOWED WITHIN 500 FT OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN. BLASTING OPERATIONS SHALL BE IN ACCORDANCE WITH MAINE DEPT OF ENVIRONMENTAL PROTECTION BLASTING REQUIREMENTS AND SITE LOCATION OF DEVELOPMENT APPROVAL ORDER.
- ALL PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF ALL REMOVED BITUMINOUS MATERIALS.
- CONDUIT SHALL BE USED FOR ELECTRIC, TELEPHONE AND TV IN ACCORDANCE WITH THE RESPECTIVE COMPANIES REQUIREMENTS.
- ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE INSTALLED & MAINTAINED IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES, 2006 VERSION, AND AS OTHERWISE SPECIFIED OR INDICATED ON DRAWINGS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL SIDEWALKS SHALL INCLUDE HC ACCESSIBLE RAMPS AT ALL INTERSECTIONS & DRIVEWAYS.

Minor Site Plan Review Application



Locus

Legend

EXISTING		PROPOSED
--- 367.0 ---	CONTOUR	--- 125 ---
---	SPOT GRADE	--- 367.0 ---
---	PROPERTY LINE	---
---	ROADWAY CENTERLINE	---
---	BUILDING SETBACK	---
---	EDGE OF PAVEMENT	---
---	BIT CURB	---
---	BUILDING	---
--- SS ---	SANITARY SEWER	--- SS ---
--- SD ---	STORM DRAIN	--- SD ---
---	GAS	---
--- W ---	WATER MAIN	--- W ---
--- OHW ---	OVERHEAD WIRE	---
---	UNDERGRND ELEC. TELEPHONE & CATV	--- UGET ---
○	UTILITY POLE	●
□	CATCH BASIN	■
○	MANHOLE	●
○	HYDRANT	●
✱	GATE VALVE	✱

Approvals:

- * CITY OF PORTLAND (MINOR SITE PLAN REVIEW) REVISED 2006 EXPIRED 2009
- * RE-APPLY 09.21.2009
- * (DEP STORMWATER NOT REQ. < 1AC. DISTURBANCE)

Morin Commercial Building

180-200 Warren Ave
Portland, Maine 04103

Prepared For:
Stephen L. Morin
332 B Gray Road, Falmouth, Maine 04105

Index Of Sheets

SHEET #	
0	COVER SHEET
(1 of 1)	STANDARD BOUNDARY PLAN
1	EXISTING CONDITIONS & REMOVALS
2	LAYOUT, MATERIALS & UTILITIES
3	GRADING, DRAINAGE, EROSION CONTROLS & LANDSCAPING
4	DETAILS
5	DETAILS
6	PREDEVELOPMENT DRAINAGE
7	POSTDEVELOPMENT DRAINAGE
ARCHITECTURAL DRAWINGS	
A-1.0	FLOOR PLAN
A-4.0	BLD'G ELEVATIONS
A-4.1	BLD'G ELEVATIONS

Utilities:

- * WATER: PORTLAND WATER DISTRICT
- * SEWER: CITY OF PORTLAND DPS
- * ELECTRIC: CMP - TERRY S. BRADISH
- * TELEPHONE: FAIRPOINT
- * GAS - UNUTIL

Project Team

Engineering, Permitting & Landscape Architecture:

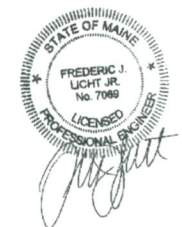
STANTEC, INC.
22 Free Street
Portland, ME 04101
(207) 775-3211

Architect

FORSIDE ARCHITECT, LLC
PO. Box 66736
Falmouth, ME 04105

Survey:

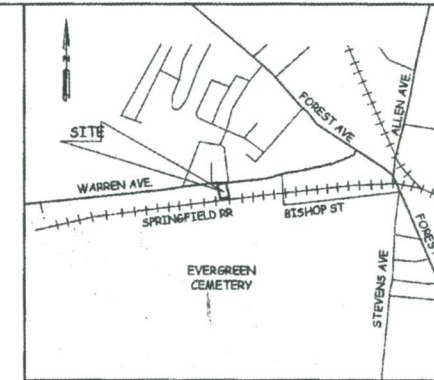
TKM LAND SURVEYORS, INC.
29 Rosewood Drive
Westbrook, ME 04092



Stantec Consulting Services Inc.
22 Free Street, Suite 205
Portland, ME U.S.A.
04101-3900
Tel. 207.775.3211
Fax. 207.775.6434



9/21/09 Minor Site Plan Review
5/3/06 Revised Per Engineering/Staff Review Comments
4/10/06 Revised Per Staff Review Comments
3/6/06 Revised Per Engineering/Staff Review Comments
Issue: 12/23/05 Minor Site Plan Review - City of Portland



LOCATION MAP
(N.T.S.)

REFERENCES:

- 1.) State of Maine, County of Cumberland and City of Portland
- 2.) Tax Map 295 Block 6 Lots 6 & 7
- 3.) Right-of-Way and Track Map
Portland Terminal, station 135+04.0 to 187+84.0
Dated June 30, 1916 and revises March 1919.
- 4.) Portland Terminal Co.
Portland, Maine, Take Plan for Highway Purposes.
Map 1, Portland Engineering 943/7A.
Dated 1/10/1994
- 5.) City of Portland street line
Warren Avenue, plates 1, 2 & 3.
- 6.) Plan of Pine Hurst
Prepared for Fidelity Bond and Realty Trust
Prepared by E.C. Jordan & Co.
Recorded in Plan Book 13 Page 91.
Dated July 1917.
- 7.) Plan of Land of Leonard J. Morin.
Morin to Bristol Terminal Corporation
Recorded in Book 1973 Page 107.
Survey by Edw. Norris C.E. #228
Dated September 8, 1949.
- 8.) Plan of Land in Portland, Maine - Warren Avenue
Prepared for David C. Nilson
Prepared by Owen Haskell, Inc.
Dated Jan. 27, 1986
- 9.) Plan of Property
178 Warren Avenue, Portland, Maine.
Prepared for Gendron Commercial Brokers.
Prepared by Titcomb, Associates, Inc.
Dated August 4, 1987.
- 10.) Plan of Property
178 Warren Avenue, Portland, Maine
Prepared for Kaeley Banquet Center
Prepared by Titcomb Associates
Recorded in Plan Book 191 Page 2
Dated August 4, 1987
- 11.) Standard Boundary and Topographic Survey on
Warren Avenue, Portland, Maine
Prepared for Harbour Auto Body
Prepared by Owen Haskell, Inc.
Dated May 10, 1995
- 12.) Exhibit A*, Site Description
Warren Avenue, Portland, Maine.
Prepared for Owner and Sprint Spectrum
Dated 1/1/97

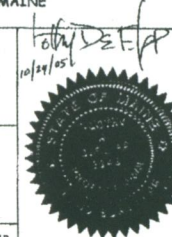
NOTES:

- 1.) Source Deed: Book 20915 Page 101
- 2.) Owners of Record: Stephen L. Morin & Dale S. Morin JTS
- 3.) Area of surveyed parcel: 63,105 S.F.
- 4.) Bearing are magnetic to the year 2005
- 5.) Elevation are based on plan reference 10.

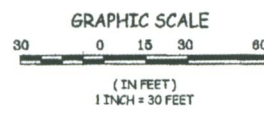
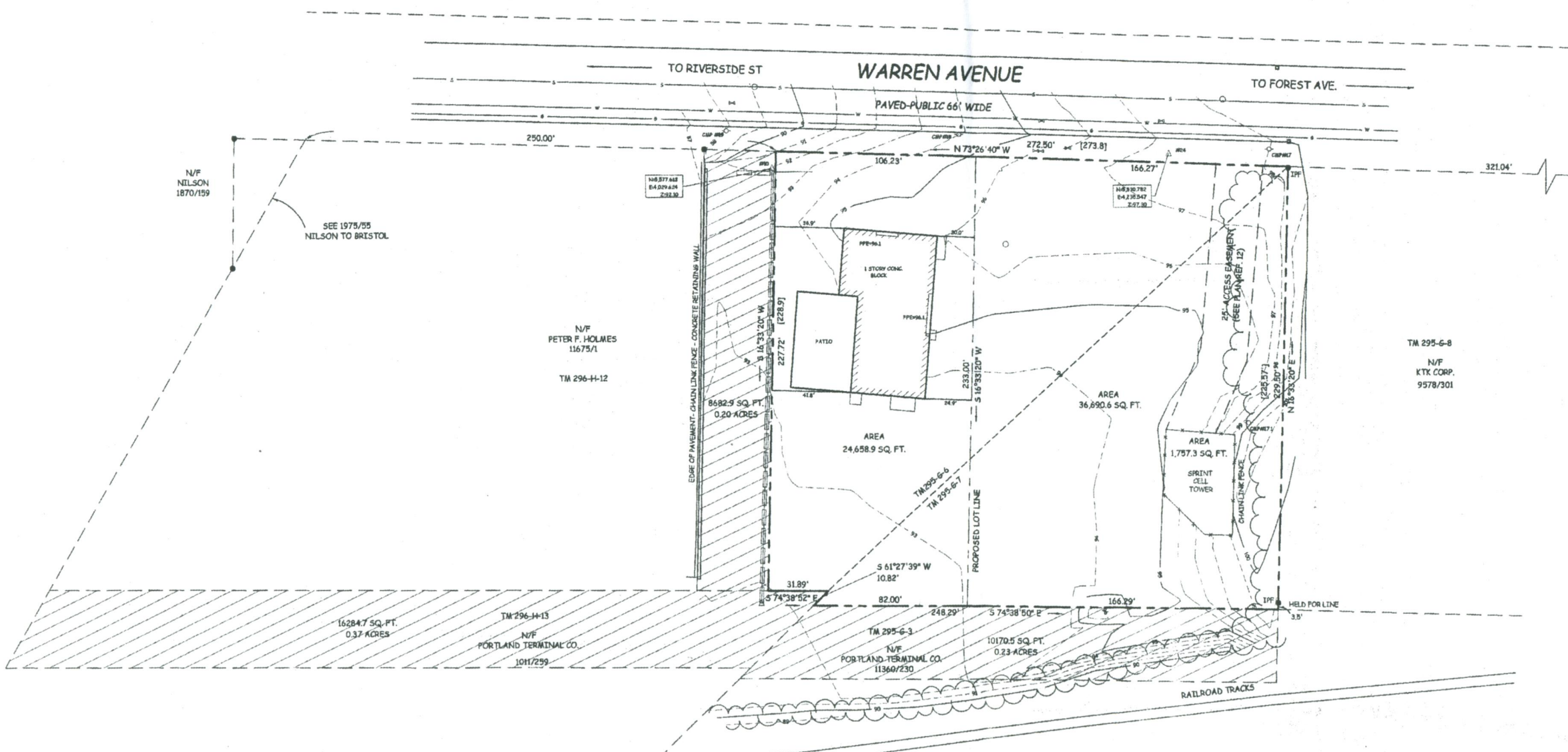
PROJECT: **PLAN OF PROPERTY**
180-200 WARREN AVENUE
PORTLAND, MAINE

PREPARED FOR:
STEPHEN L. MORIN
332 B GRAY ROAD
PALMOUTH, MAINE 04105

PREPARED BY:
TKM
LAND SURVEYORS, INC.
25 ROSEWOOD DRIVE
WESTBROOK, MAINE 04090-2545
TEL. (207) 854-4205



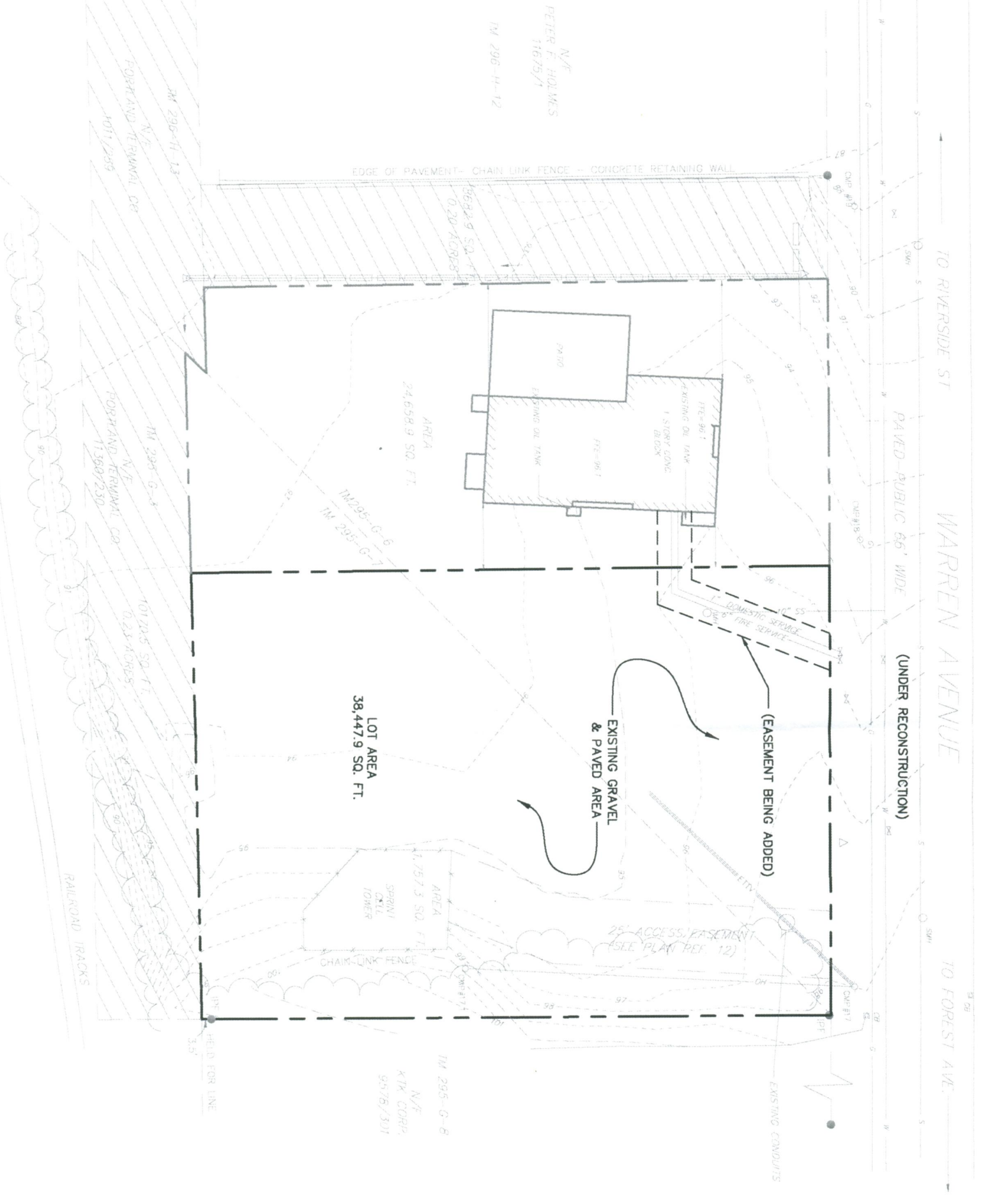
DESIGNED: C.W.R.	JOB NUMBER: 05-013
DRAWN: C.W.R.	DATE: OCT. 2005
CHECKED: T.D.	SCALE: 1" = 30'



LEGEND:

- SURVEY MARKER FOUND
- NO. 5 REBAR SET, PLS #2246
- ◇ UTILITY POLE
- MANHOLE
- ⊗ WATER VALVE
- ⊠ CATCH BASIN
- ▭ STONE WALL
- N/F NOW OR FORMERLY
- ▨ EXISTING STRUCTURE
- R/W APPARENT RIGHT OF WAY
- [70.7] RECORDED DISTANCE/DIRECTION
- X—X— WIRE FENCE
- W— WATER LINE
- G— GAS LINE
- S— SEWER LINE

REV. 2	10-24-05	MISC CHANGES
REV. 1	10-13-05	ADJUSTED PROPOSED LOT LINE



TO RIVERSIDE ST
 WARREN AVENUE
 TO FOREST AVE

PAVED - PUBLIC 66' WIDE
 (UNDER RECONSTRUCTION)

EDGE OF PAVEMENT - CHAIN LINK FENCE - CONCRETE RETAINING WALL

EXISTING 16\"/>

EXISTING GRAVEL & PAVED AREA
 (EASEMENT BEING ADDED)

25' ACCESS/EASEMENT (SEE PLAN REF. 12)

EXISTING CONDUITS

HELD FOR LINE

RAILROAD TRACKS

PORTLAND TERMINAL CO
 113697230

N/E
 PETER F. HOLMES
 11675/1

IM 296-H-12

IM 296-H-13

IM 295-G-3

IM 295-G-6

IM 295-G-7

IM 295-G-8

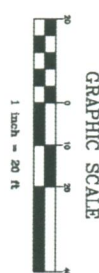
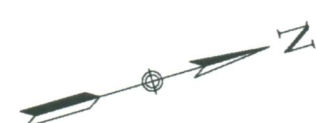
N/E
 KTK CORP.
 9576/301

AREA
 4,757.3 SQ. FT.

AREA
 24,658.9 SQ. FT.

AREA
 56,829 SQ. FT.
 0.20 ACRES

LOT AREA
 38,447.9 SQ. FT.



GRAPHIC SCALE

EXISTING CONDITIONS & REMOVALS

Designed	LM	Revision	Date
Drawn	DG	REVISED PER ENG/STAFF REVIEW COMMENTS	3/6/06
Checked	LM	REVISED PER STAFF REVIEW COMMENTS	4/10/06
Scale	1" = 20'	REVISED PER ENG/STAFF REVIEW COMMENTS	5/3/06
Date	12-23-05	MINOR SITE PLAN APP	9/21/09

MORIN COMMERCIAL BUILDING
 180-200 WARREN AVE, PORTLAND, ME. 04103

PREPARED FOR:
 STEPHEN L. MORIN
 332 B GRAY ROAD
 FALMOUTH, MAINE 04105



Stantec Consulting Services Inc.
 22 Free Street, Suite 205
 Portland, ME U.S.A.
 04101-3900
 Tel. 207.775.3211
 Fax. 207.775.6434

Stantec

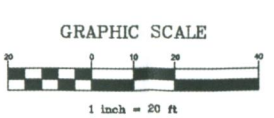
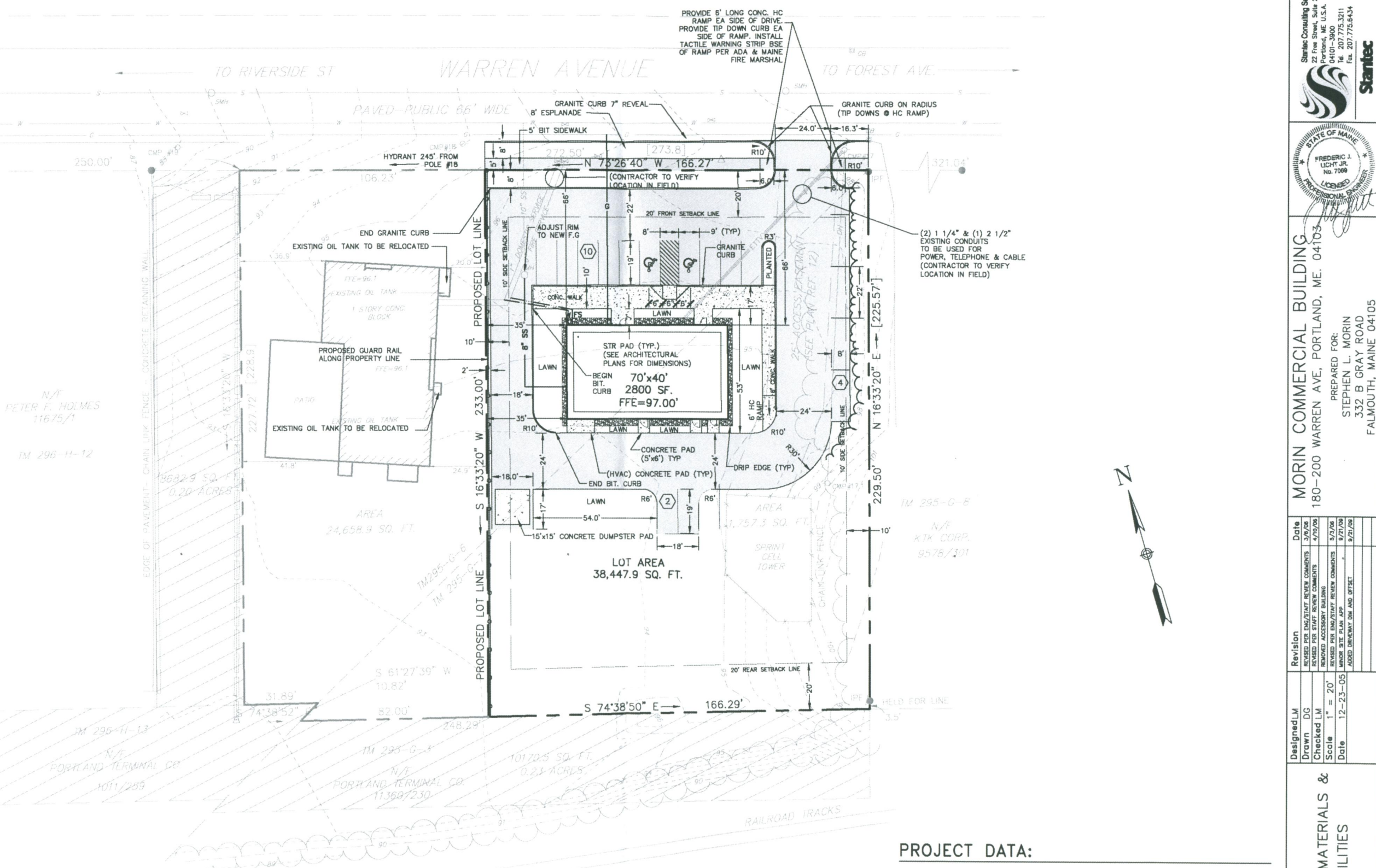
Job No. 210800560
 Drawing

N/A
PETER F. HOLMES
11675/1
IM 296-H-12

IM 295-H-13
N/A
PORTLAND TERMINAL CO.
1011/259

IM 295-G-5
N/A
PORTLAND TERMINAL CO.
11368/230

IM 295-G-8
N/A
KTK CORP.
9578/301



PROJECT DATA:

- PROPERTY IS LOCATED IN THE B4 COMMERCIAL CORRIDOR ZONE.
- PARCEL ACREAGE: 0.88AC (38,474.90 SF)
- SPACE & BULK REGULATIONS:

	REQUIRED/ALLOWED	PROVIDED
MIN LOT AREA	10,000 SF	38,474.9 SF
MIN STREET FRONTAGE	60'	166.27'
MIN FRONT YARD SETBACK	20'	66'
MIN REAR YARD SETBACK	20'	127' PRIMARY 21' ACCESSORY
MIN SIDE YARD SETBACK	10'	20' PRIMARY 12' ACCESSORY
- PARKING - RETAIL:
RETAIL - 1SP/200SF IN EXCESS OF 2000SF NOT USED FOR STORAGE.
2,800/ 200 = 14 SPACES
PROPOSED 16 SPACES.

Starlec Consulting Services Inc.
22 Free Street, Suite 205
Portland, ME U.S.A.
04101-3900
Tel. 207.775.3211
Fax. 207.775.6434

STATE OF MAINE
FREDERIC J. LICHT, JR.
No. 7068
LICENSED PROFESSIONAL ENGINEER

MORIN COMMERCIAL BUILDING
180-200 WARREN AVE, PORTLAND, ME. 04103
PREPARED FOR:
STEPHEN L. MORIN
332 B GRAY ROAD
FALMOUTH, MAINE 04105

Revision	Date
REVISION PER ENG/STAFF REVIEW COMMENTS	3/29/08
REVISION PER STAFF REVIEW COMMENTS	4/10/08
REMOVED ACCESSORY BUILDING	
REVISION PER ENG/STAFF REVIEW COMMENTS	5/13/08
MADE SITE PLAN APP	9/21/08
ADDED DRIVEWAY DIM AND OFFSET	9/21/08

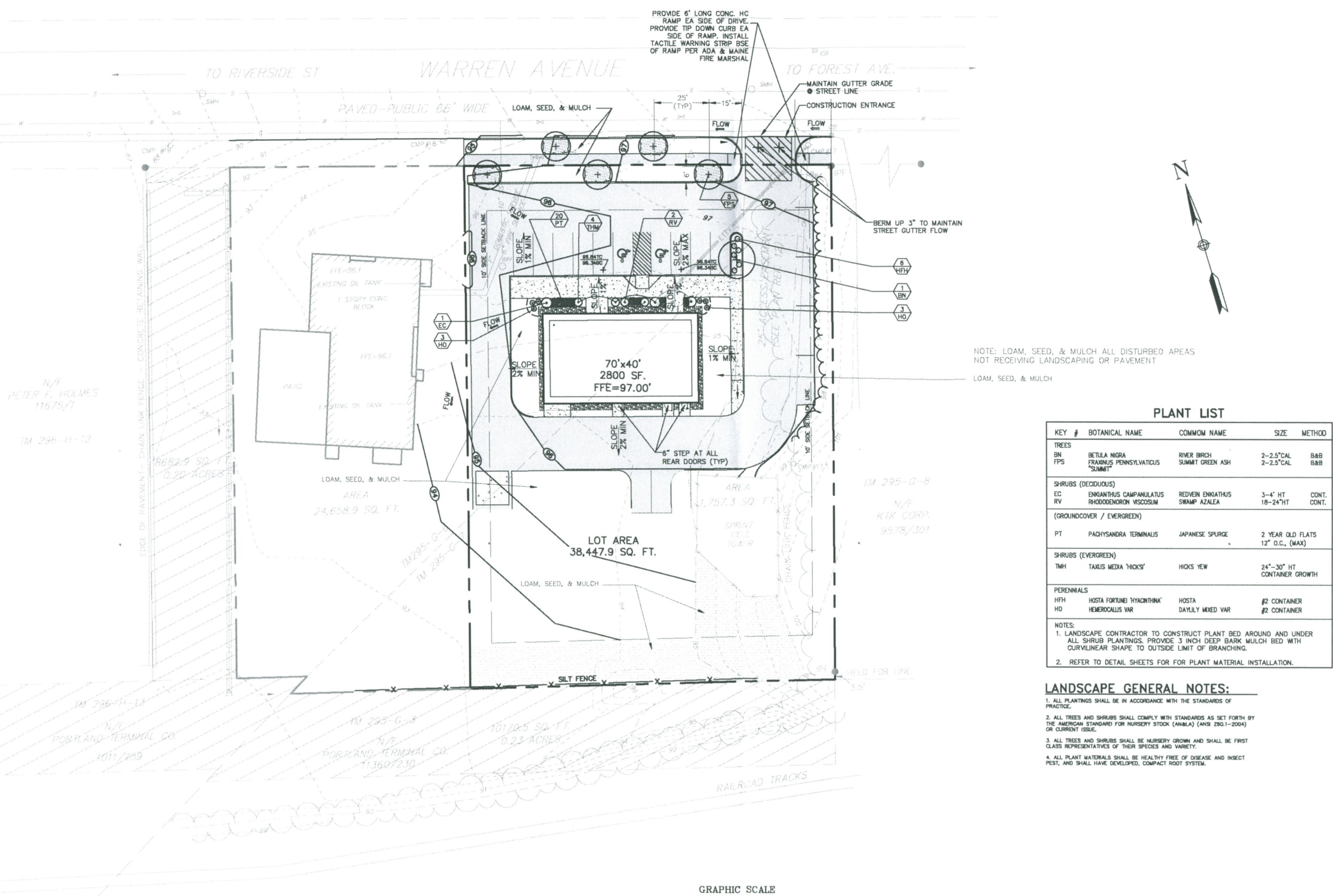
LAYOUT, MATERIALS & UTILITIES

Job No. 210800560
Drawing

Revision	Date
DESIGNED PER ENG/STAFF	3/9/08
REVIEWED PER STAFF	4/10/08
REMOVED ACCESSORY BUILDING	5/2/08
REMOVED PER ENG/STAFF	5/2/08
MAJOR SITE PLAN APP	9/21/09

Designed LM	
Drawn DC	
Checked LM	
Scale	1" = 20'
Date	12-23-05

GRADING, DRAINAGE,
 EROSION CONTROLS
 & LANDSCAPING

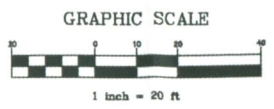


PLANT LIST

KEY #	BOTANICAL NAME	COMMON NAME	SIZE	METHOD
TREES				
BN	BETULA NIGRA	RIVER BIRCH	2-2.5'CAL	B&B
FPS	FRAXINUS PENNSYLVANICUS "SUMMIT"	SUMMIT GREEN ASH	2-2.5'CAL	B&B
SHRUBS (DECIDUOUS)				
EC	ENKIANTHUS CAMPANULATUS	REDVEIN ENKIANTHUS	3-4' HT	CONT.
RV	RHODODENDRON VISCOSUM	SWAMP AZALEA	18-24'HT	CONT.
(GROUNDCOVER / EVERGREEN)				
PT	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	2 YEAR OLD FLATS 12" O.C., (MAX)	
SHRUBS (EVERGREEN)				
TMH	TAXUS MEDIA "HICKS"	HICKS YEW	24"-30" HT CONTAINER GROWTH	
PERENNIALS				
HFH	HOSTA FORTUNEI 'HYACINTHINA'	HOSTA	#2 CONTAINER	
HO	HEMEROCALLIS VAR	DAYLILY MIXED VAR	#2 CONTAINER	
NOTES:				
1. LANDSCAPE CONTRACTOR TO CONSTRUCT PLANT BED AROUND AND UNDER ALL SHRUB PLANTINGS. PROVIDE 3 INCH DEEP BARK MULCH BED WITH CURVILINEAR SHAPE TO OUTSIDE LIMIT OF BRANCHING.				
2. REFER TO DETAIL SHEETS FOR FOR PLANT MATERIAL INSTALLATION.				

LANDSCAPE GENERAL NOTES:

- ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE.
- ALL TREES AND SHRUBS SHALL COMPLY WITH STANDARDS AS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR CURRENT ISSUE.
- ALL TREES AND SHRUBS SHALL BE NURSERY GROWN AND SHALL BE FIRST CLASS REPRESENTATIVES OF THEIR SPECIES AND VARIETY.
- ALL PLANT MATERIALS SHALL BE HEALTHY FREE OF DISEASE AND INSECT PEST, AND SHALL HAVE DEVELOPED, COMPACT ROOT SYSTEM.



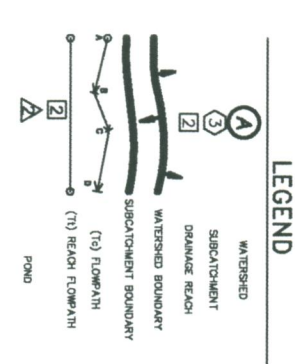
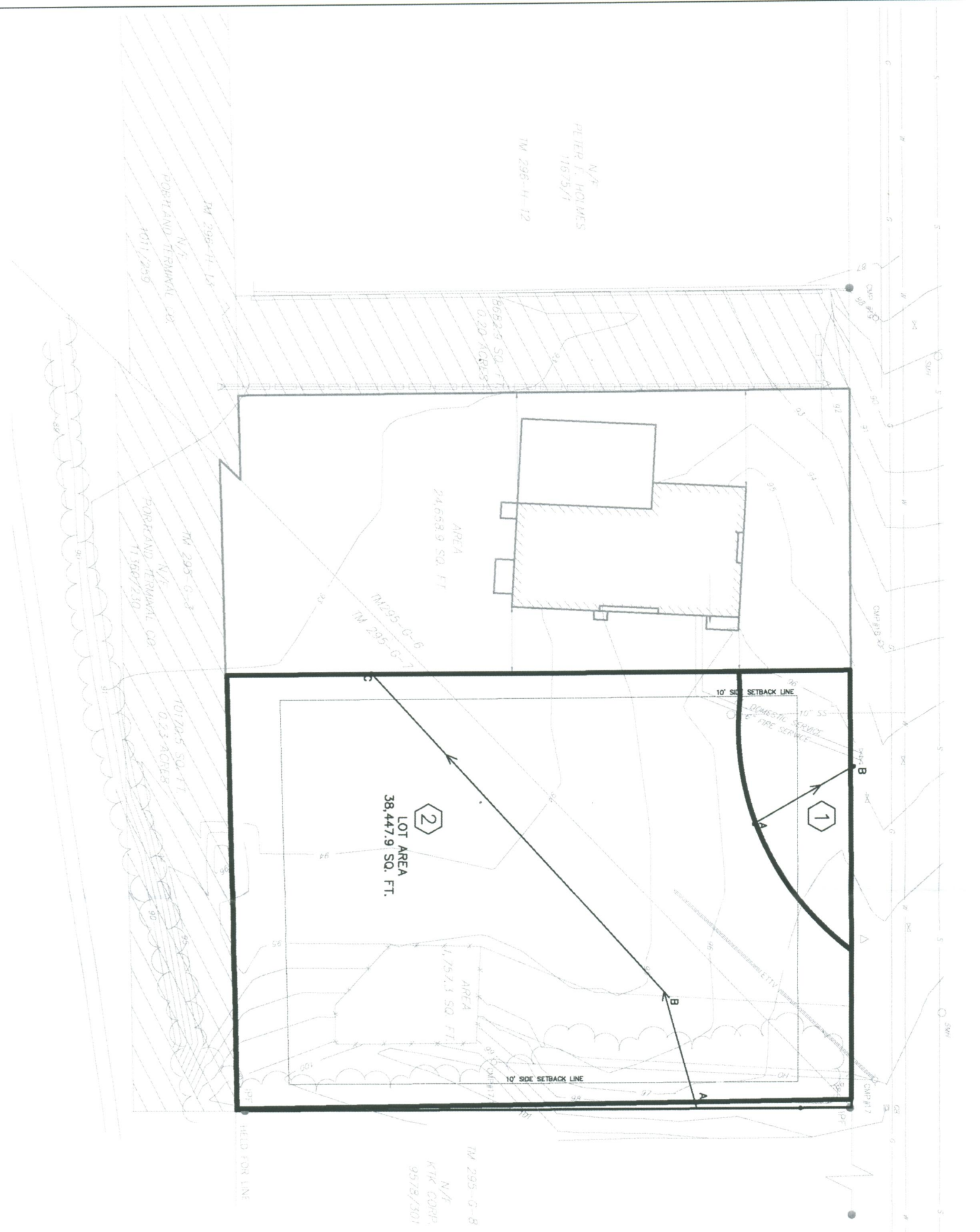
NOTE:
 SEE ARCHITECTURE PLANS FOR BUILDING LIGHTING LOCATIONS.

N/A
 PETER F. HOLMES
 11675/1
 TM 296-H-12

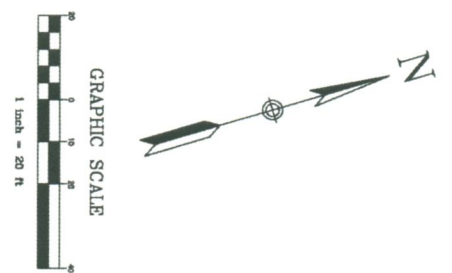
TM 296-H-13
 N/A
 PORTLAND TERMINAL CO.
 1011/259

TM 295-G-3
 N/A
 PORTLAND TERMINAL CO.
 11360/230

TM 295-G-8
 N/A
 KTK CORP.
 9578/301



LEGEND



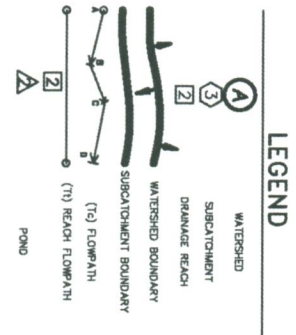
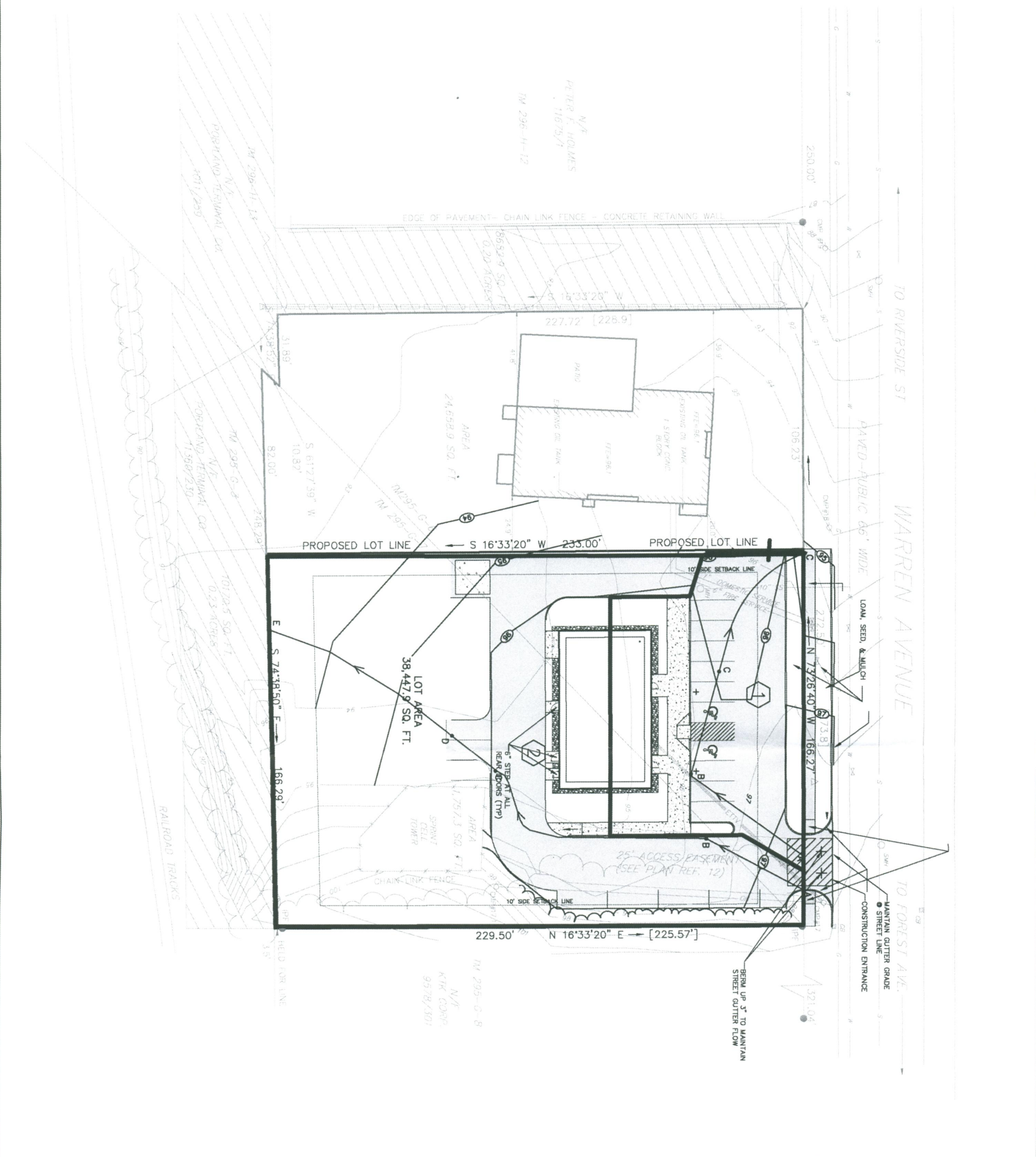
Designed	LM	Revision	Date
Drawn	PJP	THIS SHEET ADDED	4/10/06
Checked	LM	NO REVISIONS THIS SHEET	5/3/06
Scale	1" = 40'	MINOR SITE PLAN APPLICATION	9/21/06
Date	03-30-06		

MORIN COMMERCIAL BUILDING
 180-200 WARREN AVE, PORTLAND, ME. 04103
 PREPARED FOR:
 STEPHEN L. MORIN
 332 B GRAY ROAD
 FALMOUTH, MAINE 04105

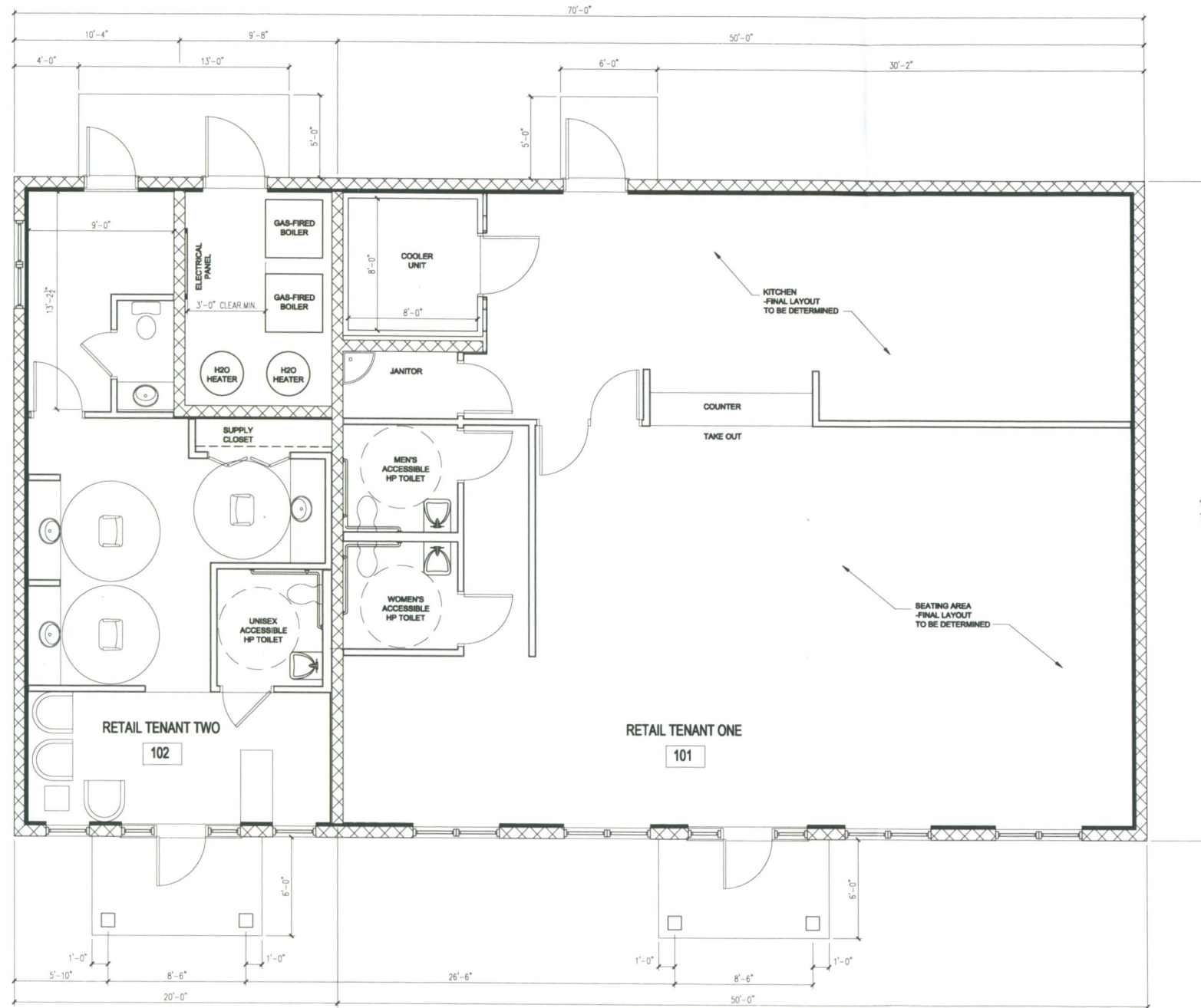


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 04101-3900
 Tel. 207.775.3211
 Fax. 207.775.6434

PRE-DEVELOPMENT DRAINAGE
 Job No. 210800560
 Drawing



Job No. 210800560 Drawing	POST-DEVELOPMENT DRAINAGE		Designed LM Drawn PJP Checked LM Scale 1" = 20' Date 03-30-06	Revision THIS SHEET ADDED NO REVISIONS THIS SHEET MINOR SITE PLAN APPLICATION	Date 4/10/06 3/3/06 9/21/09	MORIN COMMERCIAL BUILDING 180-200 WARREN AVE, PORTLAND, ME. 04103 PREPARED FOR: STEPHEN L. MORIN 332 B GRAY ROAD FALMOUTH, MAINE 04105		
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1 BUILDING FLOOR PLAN
1/4" = 1'-0"

2006 NFPA: CODE DATA	
OCCUPANT LOAD - FLOOR AREA (TOTAL BUILDING AREA LESS STORAGE AREAS)	2,800 SF total
OCCUPANT LOAD - MERCHANTILE "C"	MERCHANTILE = 30 SF PER OCCUPANT / 2,330 SF = 78 OCCUPANTS
USE GROUP CLASSIFICATION	CLASS "M" - MERCHANTILE
TYPE OF CONSTRUCTION	UNPROTECTED WOOD FRAME TYPE V (000)
ACTUAL BUILDING AREA	2800 SF TOTAL
BUILDING HEIGHT	SINGLE STORY
FIRE SUPPRESSION	SUPERVISED FIRE SUPPRESSION PROVIDED
FIRE WALL AND PARTY WALLS	1 HOUR
STAIR ENCLOSURES	N/A
SHAFTS	N/A
ACCESS CORRIDORS	N/A
INTERIOR LOAD BEARING WALLS	N/A
STRUCTURAL MEMBER SUPPORTING WALLS	N/A
FLOOR CONSTRUCTION	N/A
ROOF CONSTRUCTION	N/A
FIRE EXTINGUISHERS	LOCATIONS TO BE VERIFIED IN FIELD BY FIRE CHIEF PRIOR TO INSTALLATION
ARRANGEMENT OF MEANS OF EGRESS:	
DEAD END CORRIDORS	NOT TO EXCEED 50 FT
COMMON PATH OF TRAVEL	NOT TO EXCEED 100 FT
CORRIDOR WIDTH	44 INCHES MIN
FLAME SPREAD RATINGS:	
INTERIOR FINISH REQUIREMENTS	
REQUIRED VERTICAL EXITS	CLASS A OR CLASS B
CORRIDORS PROVIDING EXIT ACCESS	CLASS A OR CLASS B
ROOMS OR ENCLOSED SPACES	CLASS A OR CLASS B
INTERIOR FLOOR FINISH REQUIREMENTS	
REQUIRED VERTICAL EXITS	CLASS 1 OR CLASS 11
CORRIDORS PROVIDING EXIT ACCESS	CLASS 1 OR CLASS 11
ROOMS OR ENCLOSED SPACES	CLASS 1 OR CLASS 11
GENERAL NOTES:	1. ALL PENETRATIONS OF FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH PROPER APPROVED MATERIALS AND FIRE DAMPERS. 2. ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES, ORDINANCES AND REQUIREMENTS, ACCESSIBILITY PER A.D.A.A.C.

IBC 2006: CODE DATA	
USE GROUP CLASSIFICATION	MERCHANTILE
TYPE OF CONSTRUCTION	VB
FIRST FLOOR AREA	2,800 SF
SECOND FLOOR AREA	N/A
TABLE 503 BUILDING AREA LIMITATION-SF	8,000 SF
506.2 STREET FRONTAGE INCREASE - (75%)	6,750 SF
506.3 AUTOMATIC SPRINKLER SYSTEM (INCREASE 300%)	47,250 SF
ALLOWABLE BUILDING AREA-SF	47,250 SF
BUILDING HEIGHT	SINGLE STORY
FIRE SUPPRESSION	FULLY SUPERVISED FIRE SUPPRESSION
FIRE WALL AND PARTY WALLS	N/A
STAIR ENCLOSURES	N/A
SHAFTS	N/A
EXIST ACCESS CORRIDORS	N/A
INTERIOR LOAD BEARING WALLS	N/A
STRUCTURAL MEMBER SUPPORTING WALLS	N/A
FLOOR CONSTRUCTION	N/A
ROOF CONSTRUCTION	N/A
FIRE EXTINGUISHERS	LOCATIONS TO BE VERIFIED IN FIELD BY FIRE CHIEF PRIOR TO INSTALLATION
FLAME SPREAD RATINGS:	N/A
REQUIRED VERTICAL EXITS	NA
CORRIDORS PROVIDING EXIT ACCESS	CLASS A OR CLASS B
ROOMS OR ENCLOSED SPACES	CLASS A OR CLASS B
INTERIOR FLOOR FINISH REQUIREMENTS	N/A
REQUIRED VERTICAL EXITS	NA
CORRIDORS PROVIDING EXIT ACCESS	CLASS 1 OR CLASS 11
ROOMS OR ENCLOSED SPACES	CLASS 1 OR CLASS 11
GENERAL NOTES:	1. ALL PENETRATIONS OF FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH PROPER APPROVED MATERIALS AND FIRE DAMPERS. 2. ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES, ORDINANCES AND REQUIREMENTS, ACCESSIBILITY PER A.D.A.A.C.

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GENERAL NOTES:

REVISIONS:

FORESIDE ARCHITECTS
LLC
281 VERANDA ST. Phone: 207-781-3344
PORTLAND, MAINE 04103 Fax: 207-699-5564
Online @ foresidearchitects.com

Project Status:
PRELIMINARY DESIGN / REVIEW

Project Number:
MCB 1609

Project Title:
MORIN COMMERCIAL BUILDING
Warren Avenue
Portland, Maine

Drawing Name:
Building Plan

Scale:
1/4"=1'-0"

Sheet:
A-1.0

Date:
09/16/09

NOT FOR CONSTRUCTION

GENERAL NOTES:

- REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
- EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK OR DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR, SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
- THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO, THE LATEST EDITIONS OF THE 2000 IRC, NFPA AND ANS.
- ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THIS INCLUDES DELIVERY PROCEDURES, DIMENSIONS AND MATERIALS.
- DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS REQUIRING CLARIFICATION.
- DEMOLITION REQUIRES SELECTIVE REMOVAL AND SUBSEQUENT OFF-SITE DISPOSAL OF THE FOLLOWING: REMOVAL OF ALL MATERIALS DISMANTLED NOT INTENDED FOR RE-USE, AND REMOVAL AND RECONNECTION, CAPPING, TERMINATION OR DISCONNECTION OF ALL HEATING AND PLUMBING NOT USED IN THE NEW WORK.
- THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY OF PRODUCTS, E. ASBESTOS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE OFFICIALS PRIOR TO COMMENCING THE WORK.
- WHERE ONLY A SINGLE PRODUCT OR MANUFACTURER IS NAMED, PROVIDE THE PRODUCT INDICATED. SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED BY THE OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE THROUGH WRITTEN DIRECTIVE.
- AT PROJECT CLOSEOUT, SUBMIT SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE AGREEMENTS, FINAL CERTIFICATIONS AND SHALL DOCUMENTS.
- COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. TOUCH-UP, REPAIR AND RESTORE MARKED EXPOSED FINISHES.
- THE LOCATION OF ALL DOORFRAMES NOT DIMENSIONED SHALL BE 4" FROM ADJACENT WALLS UNLESS OTHERWISE INDICATED.
- ALL PARTITIONS SHALL EXTEND FROM FLOOR TO UNDERSIDE OF SUPPORTING STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
- INSTALL BLOTTING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, SHELVES, CHAIR RAILS, PICTURE RAILS AND BASE MOLDINGS.

REVISIONS:



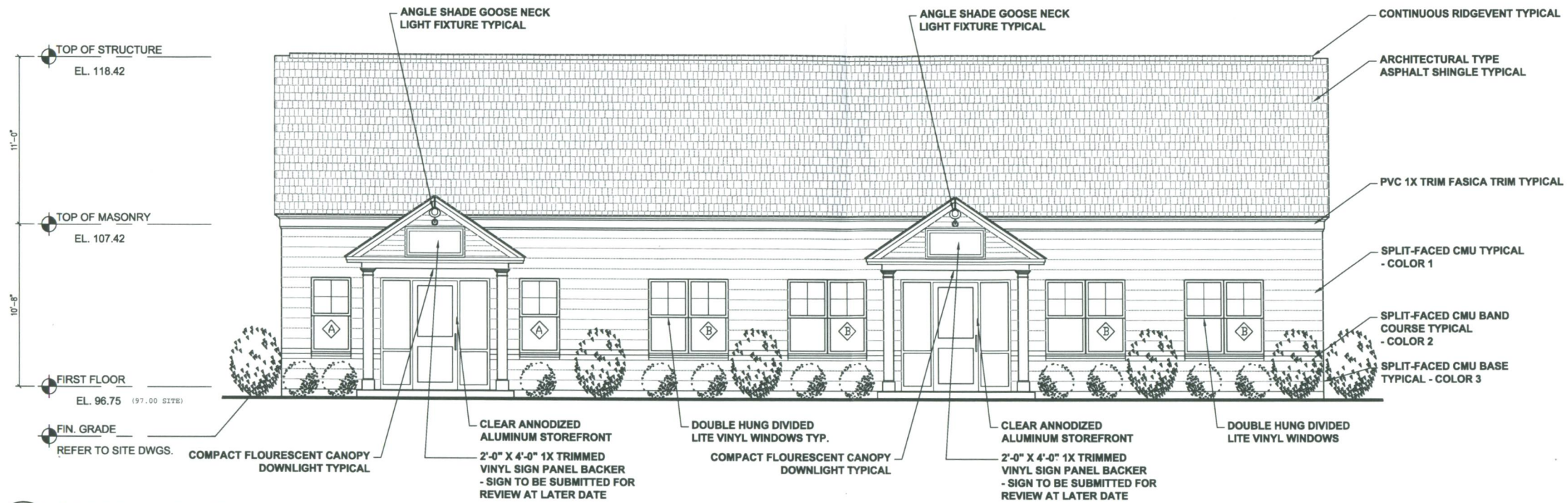
281 VERANDA ST. Phone: 207-781-3344
 PORTLAND, MAINE 04103 Fax: 207-699-5564
 Online @ foresidearchitects.com

Project Status:	PRELIMINARY DESIGN / REVIEW
Project Number:	MCB 1609

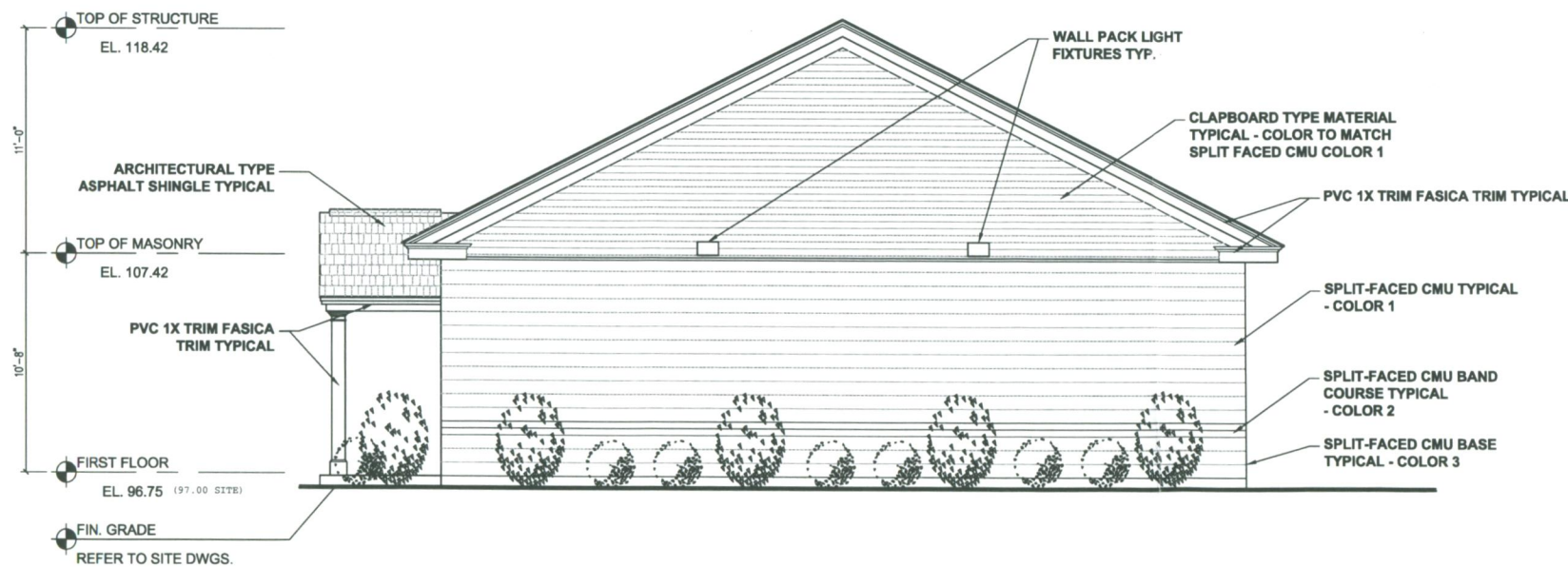
Project Title:
 MORIN COMMERCIAL BUILDING
 Warren Avenue
 Portland, Maine

Drawing Name:
 EXTERIOR BUILDING ELEVATIONS

Scale: 1/4"=1'-0"	SHEET
Date: 09/16/09	A-4.0



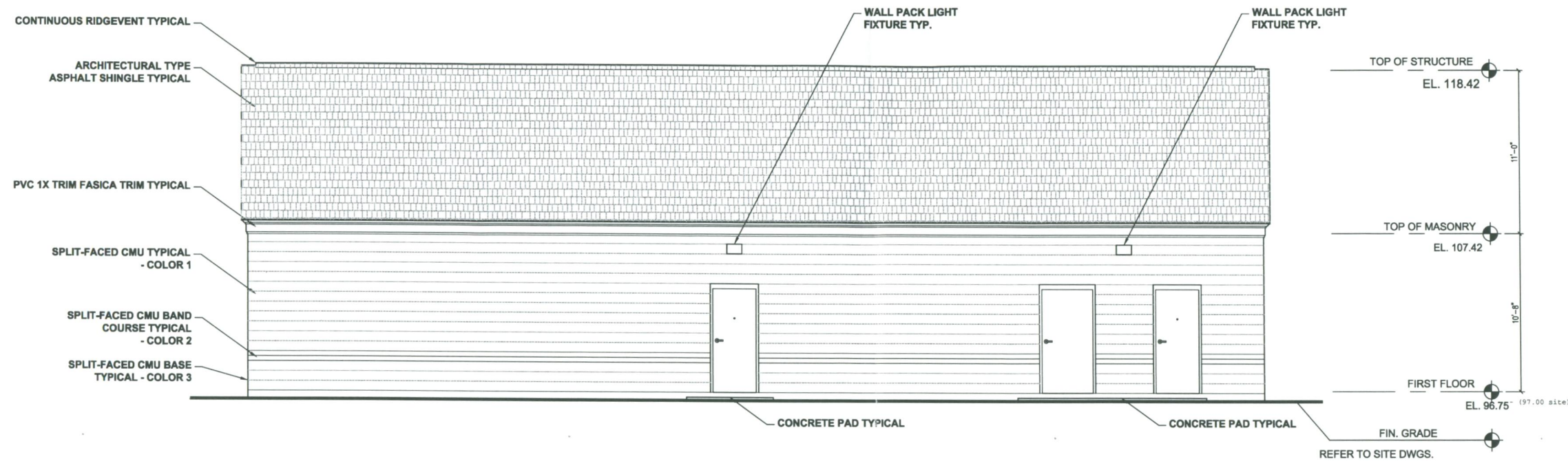
1 WARREN AVENUE ELEVATION - NORTH
 1/4" = 1'-0"



2 SIDE ELEVATION - WEST
 1/4" = 1'-0"

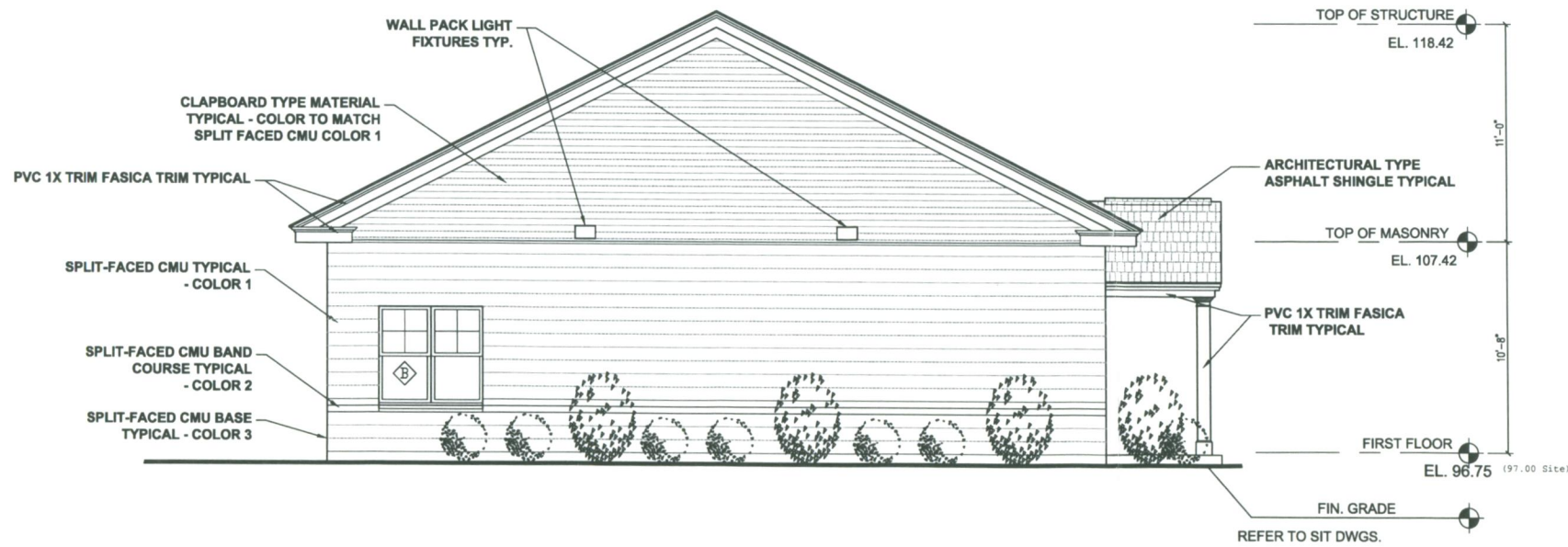
NOT FOR CONSTRUCTION

GENERAL NOTES:



1 REAR ELEVATION - SOUTH

1/4" = 1'-0"



2 SIDE ELEVATION - EAST

1/4" = 1'-0"

REVISIONS:



FORESIDE ARCHITECTS
 LLC

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 PORTLAND, Maine 04103 Fax: 207-699-5564
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Project Status: PRELIMINARY DESIGN / REVIEW	
Project Number: MCB 1609	

Project Title:
MORIN COMMERCIAL BUILDING
 Warren Avenue
 Portland, Maine

Drawing Name:
 EXTERIOR BUILDING ELEVATIONS

Scale: 1/4"=1'-0"	SHEET A-4.1
Date: 09/16/09	

NOT FOR CONSTRUCTION

PARTITION LEGEND

1 HOUR RATED PARTITIONS, EXTEND TO UNDERSIDE OF DECK ABOVE
 NEW INT PARTITION OR EXT WALL, REFER TO INTERIOR WALL TYPES AND WALL SECTIONS FOR WALL COMPONENTS.

GRAPHIC LEGEND

DRAWING TITLE	6	DRAWING TITLE
INTERIOR ELEVATION MARKER	A3.1	7
EXTERIOR ELEVATION MARKER	1	A2.1
ROOM NAME & NUMBER	EXEC	105
DOOR TAG	104	
FLOOR ELEVATION MARKER		
SECTION INDICATOR		
COLUMN & GRID	3	
WINDOW TAG	A	

- GENERAL NOTES:**
- REPORT ALL DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
 - EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK AND DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR, SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
 - THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO: THE LATEST EDITIONS OF THE 2008 IBC, NFPA AND ANSI.
 - ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THIS INCLUDES DELIVERY PROCEDURES, DIMENSIONS AND MATERIALS.
 - DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS REQUIRING CLARIFICATION.
 - DEMOLITION REQUIRES SELECTIVE REMOVAL AND SUBSEQUENT OFF-SITE DISPOSAL OF THE FOLLOWING: REMOVAL OF ALL MATERIALS DISMANTLED NOT INTENDED FOR RE-USE, AND REMOVAL AND RECONNECTION, CAPPING, TERMINATION OR DISCONNECTION OF ALL WIRING, HEATING AND PLUMBING NOT USED IN THE NEW WORK.
 - THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY OF PRODUCT, E. ASBESTOS.
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE OFFICIALS PRIOR TO COMMENCING THE WORK.
 - WHERE ONLY A SINGLE PRODUCT OR MANUFACTURER IS NAMED, PROVIDE THE PRODUCT INDICATED. SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED BY THE OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE THROUGH WRITTEN DIRECTIVE.
 - AT PROJECT CLOSEOUT, SUBMIT SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE AGREEMENTS, FINAL CERTIFICATIONS AND SIMILAR DOCUMENTS.
 - COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. TOUCHUP, REPAIR AND RESTORE DAMAGED EXPOSED FINISHES.
 - THE LOCATION OF ALL DOORFRAMES NOT DIMENSIONED SHALL BE 4" FROM ADJACENT WALLS UNLESS OTHERWISE INDICATED.
 - ALL PARTITIONS SHALL EXTEND FROM FLOOR TO UNDERSIDE OF SUPPORTING STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
 - INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FUTURES, TRIM, GRAB BARS, SHELVES, CHAIR RAILS, PICTURE RAILS AND BASE MOLDINGS.
 - IF TWO CONFLICTING COND. OR DETAILS EXIST IN THIS DRAWING SET OR ASSOCIATED SPECIFICATIONS IT SHALL BE THE ARCHITECT'S CHOICE TO DECIDE WHICH CONDITION OR DETAIL APPLIES AT NO ADDITIONAL COST.

REVISIONS:



281 VERANDA ST. Phone: 207-781-3344
 PORTLAND, MAINE 04103 Fax: 207-699-5564
 Online @ foresidearchitects.com

Project Status:	CONSTRUCTION / PERMIT REVIEW
Project Number:	MCB 1609

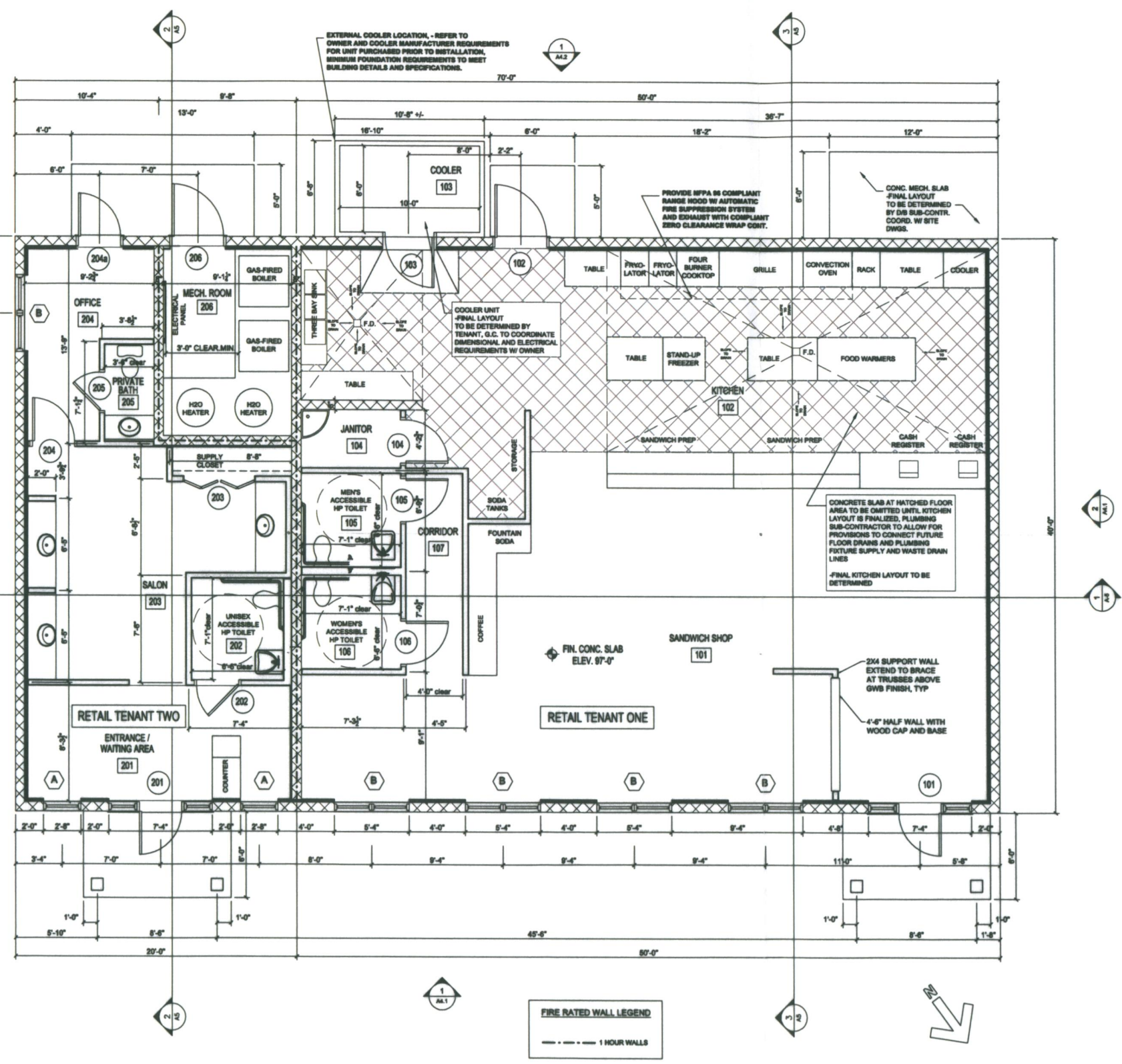
Project Title:
MORIN COMMERCIAL BUILDING
 Warren Avenue
 Portland, Maine

Drawing Name:
 Building Floor Plan

Scale:	1/4" = 1'-0"	SHEET
Date:	01/05/10	A-1.0

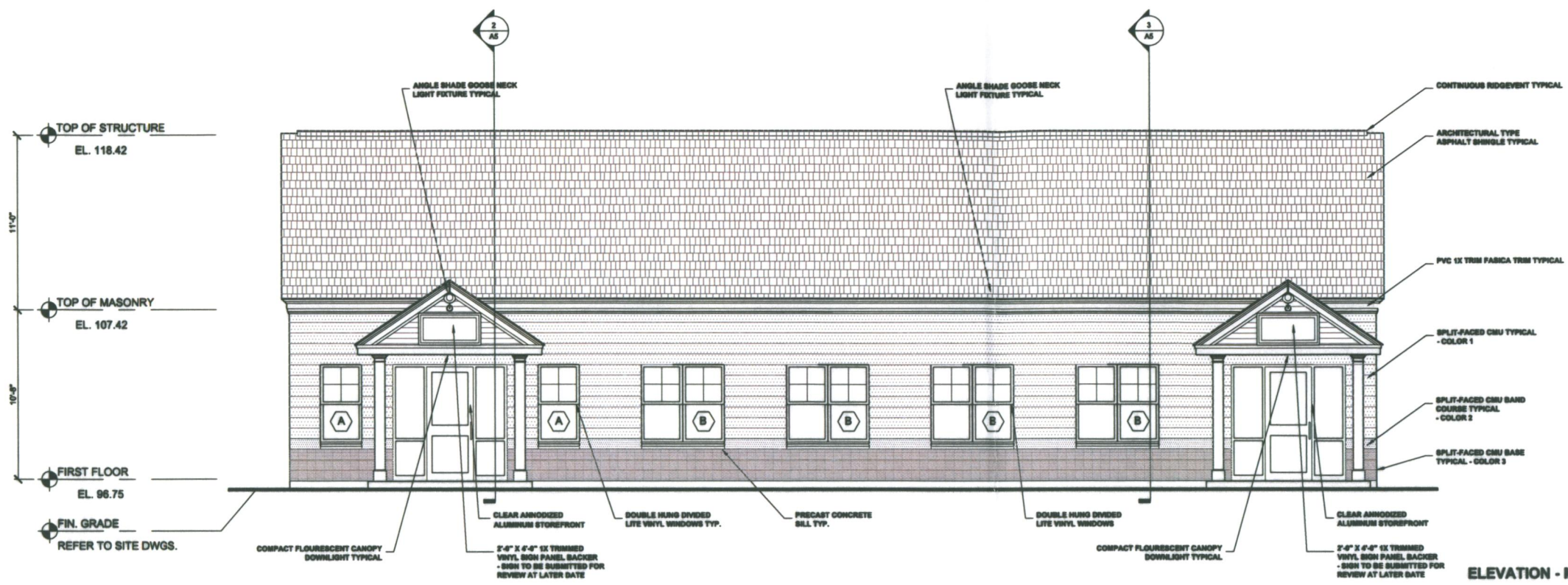
PLAN NOTES

- PROJECT PARKING REQUIREMENTS SHALL BE AS SUBMITTED BY STANTEC INC. LOCAL APPROVALS ARE TO BE GRANTED AS PART OF THE CITY OF PORTLAND PROJECT REVIEW AND LOCAL PERMIT PROCESS.
- UNDERSIDE OF ALL ROOF TRUSSES ARE TO FINISHED WITH 1x3 FURRING CONT. POLY VAPOR BARRIER AND 1/2" GWS, TWO LAYERS 5/8" TYPE "C" GWS WITHIN ONE HOUR RATED ROOMS AND ENCLOSURES.
- THE BUILDING SHALL BE PROVIDED WITH A FULLY SUPERVISED FIRE SUPPRESSION SYSTEM. ALL AREAS INCLUDING ROOF OVERHANGS AND CONCEALED SPACES SHALL BE PROVIDED WITH AN APPROPRIATE CONTINUANCE OR ADDITIONAL FIRE SUPPRESSION DEVICES TO COMPLY CURRENT STATE REGULATIONS. THE GENERAL CONTRACTOR SHALL EMPLOY A LICENSED SUB-CONTRACTOR TO REVIEW NEW COMPONENTS AND PROVIDE A DESIGN SOLUTION AND OBTAIN STATE FIRE MARSHAL REVIEW AND APPROVAL. THE SUB-CONTRACTOR SHALL THEN BE RESPONSIBLE FOR INSTALLATION AND TESTING OF THE SYSTEM WITH LOCAL AND STATE SIGN-OFF.
- ADAAA SIGNAGE SHALL BE PROVIDED BY WELCH STENCIL COMPANY OF SCARBOROUGH, MAINE OR EQUAL. THIS SHALL BE ACCOMPLISHED BY THE USE OF A \$500 ALLOWANCE AND REQUIRE SUBMITTALS OF SIGNAGE FOR REVIEW AND APPROVAL BY THE ARCHITECT.
- ALL STRUCTURAL ROOFING WORK SHALL BE SURVEYED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR AND THE ROOFING SUBCONTRACTOR ARE TO PROVIDE A WATER-TIGHT TRANSITION BETWEEN ROOFING COMPONENTS, ACCESSORIES AND WALL TRANSITION. ROOFING INSTALLATION AND PENETRATION CLOSURES ARE TO COMPLY WITH THE ROOFING MANUFACTURER'S RECOMMENDED DETAILS AND WARRANTY.
- DRAWINGS FURNISHED AS PART OF THIS DRAWING SET HAVE BEEN PREPARED INDEPENDENTLY OF THE REQUIRED MECH./ELEC. DESIGN/BUILD DRAWINGS. THE MECH./ELEC. DESIGN/BUILD REQUIREMENTS ARE TO BE ESTABLISHED BASED UPON TENANT/PLAN LAYOUTS AND DETERMINED BY CODE REQUIREMENTS AND EXISTING SYSTEMS/CONDITIONS.








1 BUILDING FLOOR PLAN
 1/4" = 1'-0"

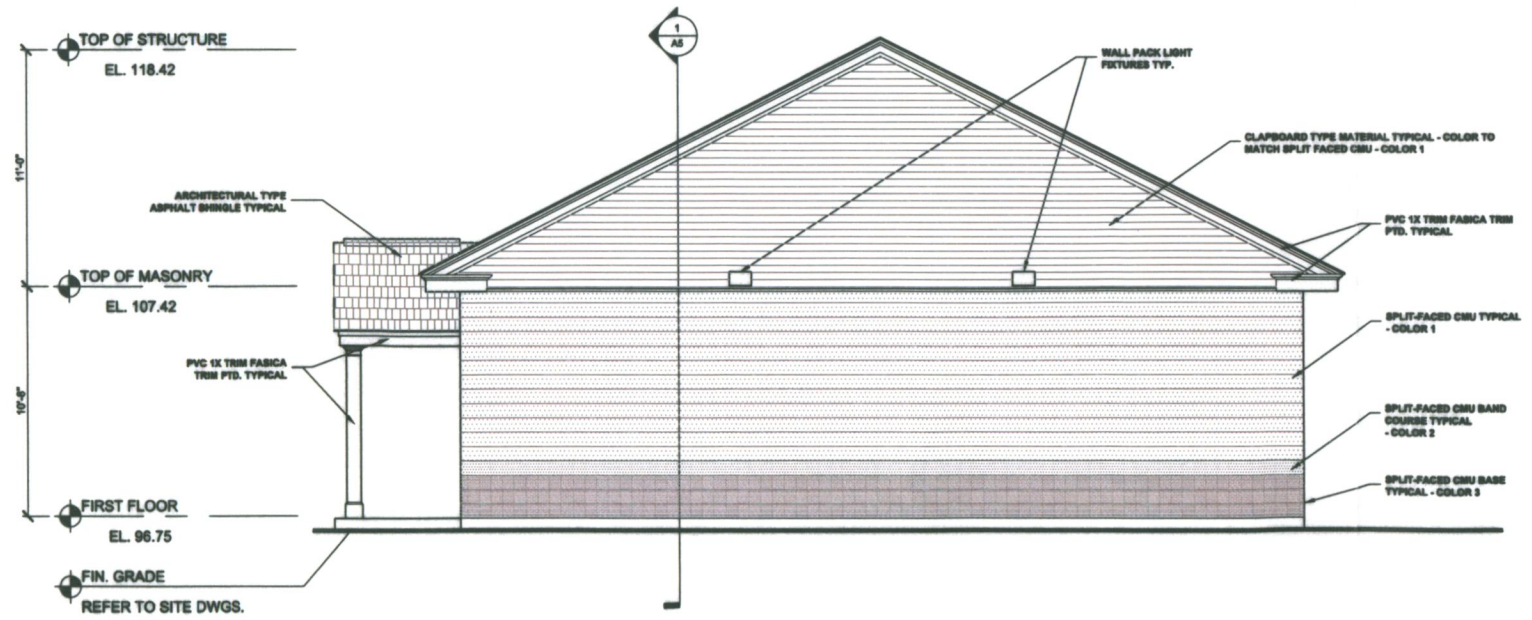
FIRE RATED WALL LEGEND
 - - - - - 1 HOUR WALLS



1 WARREN AVENUE ELEVATION - NORTH
1/4" = 1'-0"

ELEVATION - MATERIALS LEGEND

-  ASPHALT SHINGLE ROOFING TYPICAL
-  CLAPBOARD TYPE MATERIAL TYPICAL - COLOR TO MATCH SPLIT FACED CMU COLOR 1
-  SPLIT-FACED CMU TYPICAL - COLOR 1
-  SPLIT-FACED CMU BAND TYP. - COLOR 2
-  SPLIT-FACED CMU BASE TYP. - COLOR 3



2 SIDE ELEVATION - WEST
1/4" = 1'-0"

PLAN NOTES

- 1) PROJECT PARKING REQUIREMENTS SHALL BE AS SUBMITTED BY STANTEC INC. LOCAL APPROVALS ARE TO BE GRANTED AS PART OF THE CITY OF PORTLAND PROJECT REVIEW AND LOCAL PERMIT PROCESS.
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- 3) THE BUILDING SHALL BE PROVIDED WITH A FULLY SUPERVISED FIRE SUPPRESSION SYSTEM AREAS INCLUDING ROOF OVERHANGS AND CONCEALED SPACES SHABE PROVIDED WITH AN APPROPRIATE CONTINUANCE OR ADDITIONAL FIRE SUPPRESSION DEVICES TO COMPLY CURRENT STATE REGULATIONS. THE GENERAL CONTRACTOR SHALL EMPLOY A LICENSED SUB-CONTRACTOR TO REVIEW NEW COMPONENTS AND PROVIDE A DESIGN SOLUTION AND OBTAIN STATE FIRE MARSHAL REVIEW APPROVAL. THE SUB-CONTRACTOR SHALL THEN BE RESPONSIBLE FOR INSTALLATION/TESTING OF THE SYSTEM WITH LOCAL AND STATE SIGN-OFF.
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- 6) DRAWINGS FURNISHED AS PART OF THIS DRAWING SET HAVE BEEN PREPARED INDEPENDENTLY OF THE ELECTRICAL AND MECHANICAL ENGINEERING DRAWINGS. THE ELECTRICAL AND MECHANICAL REQUIREMENTS ARE TO BE ESTABLISHED BASED UPON FUTURE TENANT REQUIREMENTS TO BE DETERMINED.

- GENERAL NOTES:**
1. REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
 2. EXISTING BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK AND DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR, SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
 3. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO, THE LATEST EDITIONS OF THE 2009 IBC, NFPA AND ANSI.
 4. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THIS INCLUDES DELIVERY PROCEDURES, DIMENSIONS AND MATERIALS.
 5. DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS REQUIRING CLARIFICATION.
 6. DEMOLITION REQUIRES SELECTIVE REMOVAL AND SUBSEQUENT OFF-SITE DISPOSAL OF THE FOLLOWING: REMOVAL OF ALL MATERIALS DISMANTLED NOT INTENDED FOR REUSE, AND REMOVAL AND RECONNECTION, CAPPING, TERMINATION OR DISCONNECTION OF ALL WIRING, HEATING AND PLUMBING NOT USED BY THE NEW WORK.
 7. THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY OF PRODUCT, I.E. ASBESTOS.
 8. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE OFFICIALS PRIOR TO THE COMMENCING THE WORK.
 9. WHERE ONLY A SINGLE PRODUCT OR MANUFACTURER IS NAMED, PROVIDE THE PRODUCT DESIGNATED. SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED BY THE OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE THROUGH WRITTEN DIRECTIVE.
 10. AT PROJECT CLOSEOUT, SUBMIT SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE AGREEMENTS, FINAL CERTIFICATIONS AND SIMILAR DOCUMENTS.
 11. COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. TOUCH-UP, REPAIR AND RESTORE MARKED EXPOSED FINISHES.
 12. THE LOCATION OF ALL DOORFRAMES NOT DIMENSIONED SHALL BE 4" FROM ADJACENT WALLS UNLESS OTHERWISE INDICATED.
 13. ALL PARTITIONS SHALL EXTEND FROM FLOOR TO UNDERSIDE OF SUPPORTING STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
 14. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRAIL GRAB BARS, SHELVES, CHAIR RAILS, PICTURE RAILS AND BASE HOLDINGS.
 15. IF TWO CONFLICTING COND. OR DETAILS EXIST IN THIS DRAWING SET OR ASSOCIATED SPECIFICATIONS IT SHALL BE THE ARCHITECT'S CHOICE TO DECIDE WHICH CONDITION OR DETAIL APPLIES AT NO ADDITIONAL COST.

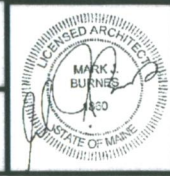
REVISIONS:



281 VERANDA ST. Phone: 207-781-3344
 PORTLAND, MAINE 04103 Fax: 207-699-5564
 Online @ foresidearchitects.com

Project Status:
CONSTRUCTION / PERMIT REVIEW

Project Number:
 MCB 1609



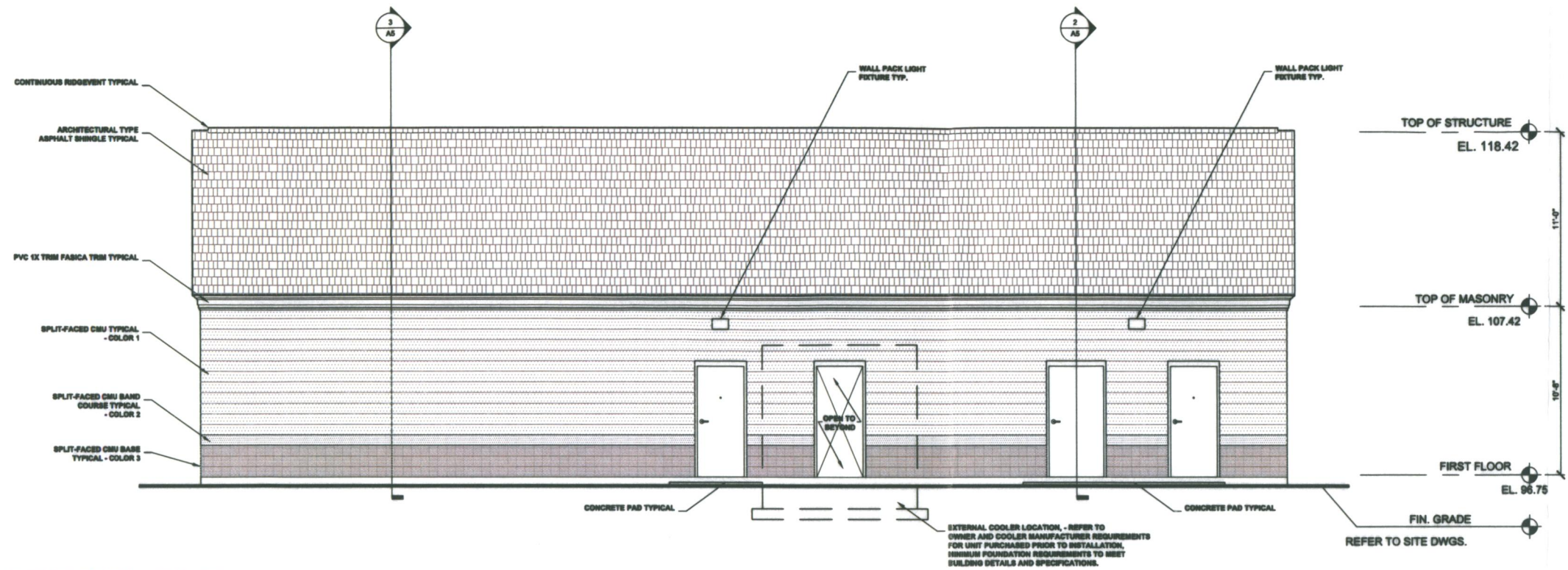
Project Title:
MORIN COMMERCIAL BUILDING
 Warren Avenue
 Portland, Maine

Drawing Name:
 EXTERIOR BUILDING ELEVATIONS

Scale:
 1/4" = 1'-0"

Date:
 01/04/10

SHEET
A-4.0



1 REAR ELEVATION - SOUTH
 1/4" = 1'-0"

ELEVATION - MATERIALS LEGEND

- ASPHALT SHINGLE ROOFING TYPICAL
- CLAPBOARD TYPE MATERIAL TYPICAL - COLOR TO MATCH SPLIT FACED CMU COLOR 1
- SPLIT-FACED CMU TYPICAL - COLOR 1
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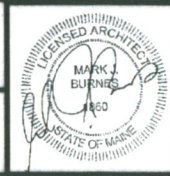
REVISIONS:

FORESIDE ARCHITECTS
 LLC

281 VERANDA ST. Phone: 207-781-3344
 PORTLAND, MAINE 04103 Fax: 207-699-5564
 Online @ foresidearchitects.com

Project Status:
 CONSTRUCTION / PERMIT REVIEW

Project Number:
 MCB 1609



Project Title:
 MORIN COMMERCIAL BUILDING
 Warren Avenue
 Portland, Maine

Drawing Name:
 EXTERIOR BUILDING ELEVATIONS

Scale:
 1/4" = 1'-0"

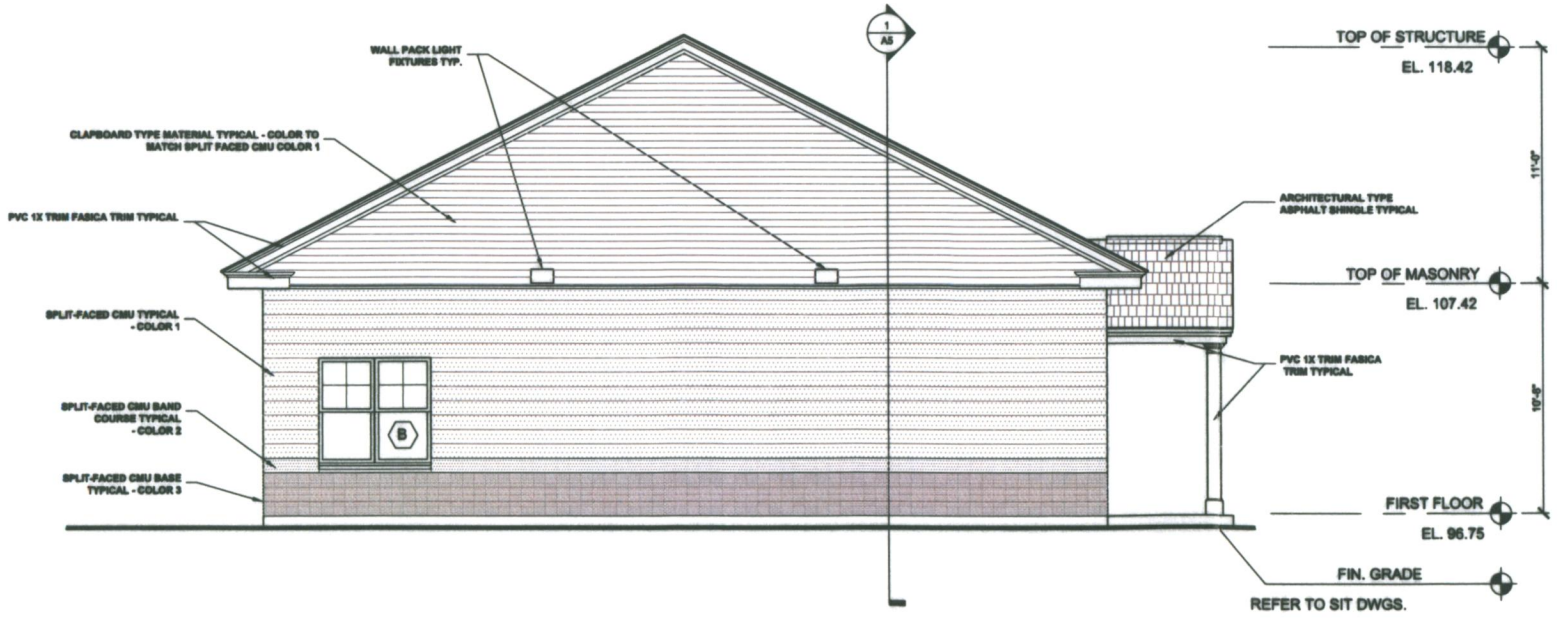
Date:
 12/23/09

SHEET
 A-4.1

PLAN NOTES

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2 SIDE ELEVATION - EAST
 1/4" = 1'-0"



MISC

Shukria Wiar - 180-200 Warren Avenue

From: Thomas Errico <Thomas.Errico@tylin.com>
To: Shukria Wiar <SHUKRIAW@portlandmaine.gov>
Date: 12/9/2009 5:25 PM
Subject: 180-200 Warren Avenue
CC: Katherine Earley <KAS@portlandmaine.gov>, David Margolis-Pineo <DMP@portlandmaine.gov>

Shukria –

The following represents a status report on my October 15, 2009 comments according to the submittal dated November 24, 2009 as prepared by Stantec Consulting Services, Inc.

- The parking circulation aisle along the frontage of the site is 22 feet and does not meet City standards. I would suggest that the applicant provide 18 foot deep parking stalls in this area and move the curb line 1 foot to attain a 24-foot wide aisle. This change would create a non-conforming parking stall depth, but I support a waiver from the technical standard.

✓ **Status: The plans have been revised and I have no further comment.**

- On the west side of the site the parking aisle is only 18 feet wide and does not meet City standards for two-way flow. If it is intended to be one-way, appropriate signage and pavement markings should be provided.

✓ **Status: The plans have been revised and I have no further comment.**

- On the east side of the site, where parallel parking spaces are proposed, I would suggest that the curb area be extended to the first full parking space.

✓ **Status: The intent of the comment was to have the curbing extend from the radius tangent to the outside edge of the first parking stall, in essence shadowing the parking stall.**

- The applicant has made a request for a 30-foot wide driveway with 10-foot radii. It is my professional opinion that the low volume of single-unit truck activity will not compromise safety and therefore recommend that a 24-foot wide driveway be incorporated, with 10-foot radii. I would also request that the applicant conduct a review of the City's driveway spacing standard and provide documentation that acceptable separation will be provided along Warren Avenue.

✓ **Status: The current design is acceptable and I have no further comment.**

- The applicant shall conduct a traffic generation and assignment analysis that details the number of new trips expected at the Riverside Street/Warren Avenue intersection such that an estimate of contribution costs can be determined for future improvements.

Status: Based upon historical contributions in the study area, the applicant shall make a contribution of \$2,750.00 towards the implementation of improvements at the Riverside Street/Warren Avenue intersection.

Condition of approval

October 5, 2009
December 4, 2009

To: Shukria Wiar
Barbara Barhydt
From: David Margolis-Pineo
Re: Review Comments – Public Services
Morin Commercial Building, 188 Warren Ave. – Review Comments

1. There is a note on the plans which references blasting. Be aware the City of Portland have specific rules on blasting and should be also referenced in this note.
✓ **Applicant has noted and address this issue by a note on the plans.**
2. A Wastewater Capacity Application needs to be submitted.
✓ **Application has been submitted and the City has replied.**
3. A fence should be shown around the dumpster.
✓ **Applicant now shows a fence around the dumpster.**
4. If the applicant is proposing a kitchen facility, an external grease trap will need to installed. Contact Steve Harris (874-8843) for proper sizing.
Applicant feels that a grease trap is not needed. This issue still needs to be resolved. The City is aware of the ledge conditions on the site and the possible need to blast to install the grease trap. The City ordinances require grease traps when kitchen facilities are proposed. It may be possible to install a lower profile grease trap to help avoid ledge removal. Steve Harris will be in the office on Dec 7th to review.
5. City code prohibits two building being served by the same sewer lateral. Although the existing building's sewer lateral is not shown, it is believed to be using the existing shown 10" lateral. Therefore a separate sewer lateral will need to be installed from the proposed building to the sewer main in the street.
✓ **The Applicant is now proposing separate sewer laterals for each building.**
6. If the existing build does in fact us the existing 10" sewer lateral, an easement will also be needed for this lateral.
✓ **This issue now resolve by item #5.**

Ask Steve Harris

The following comments refer to the latest submitted site plans by the applicant.

- ① 7. **The current curb layout shows the proposed curb running through a utility pole. The City would not object to shifting the curb cut to avoid relocating the pole.**
- ② 8. **Plans should include a sewer trench detail for the proposed new sewer lateral for the abutting property. The detail can be found on-line at: <http://www.portlandmaine.gov/planning/technicalstandards.pdf> Figure II-13.**

Continues . . .

③

9. **The vertical granite curb detail also needs to be revised as shown in Figure I-15.**



To: Marge Schmuckal
David Margolis-Pineo
Tom Errico
Jeff Tarling
Keith Gautreau
Dan Goyette

From: Shukria Wiar

Date: November 25, 2009

Additional information submitted for the following project:

Application #: 09-79900014

Project Name: Morin Commercial Building

Project Address: 180-200 Warren Avenue

Comments:

The applicant has submitted a revised site plan for review; please get me your written **final** comments by December 9th.

Thank you.



Stantec Consulting Services Inc.
22 Free Street Suite 205
Portland ME 04101-3900
Tel: (207) 775-3211
Fax: (207) 775-6434

Stantec

November 24, 2009
File: 210800560

Shukria Wiar, Planner:
Planning & Development Department
Portland City Hall
389 Congress Street
Portland, ME 04101

Dear Shukria

Reference: Morin Minor Site Plan revisions

Attached please find the revised drawings in response to staff comments and our subsequent meeting of November 2, 2009. as with our memorandum of October 22, 2009 below is our updated response to staff comments and issues discussed.

A. Planning Shukria Wiar

October 16, 2009

1. **Submit copies of all proposed easements (for utilities and fire service). There is an existing easement for the cell tower, please submit a copy of this as well.**

Response:

The Applicant has agreed to provide separate sewer and water service to each lot, therefore the utility easement on the subject parcel is not longer needed. The Applicant has requested that this revision to the deed be a condition of approval. He does not want to discontinue the utility easement if the proposed site plan is not approved.

2. **The dumpster will need to be enclosed by a fence. Please submit a typical for the proposed enclosure.**

Response:

A fenced enclosure has been added to the Site Plan and the fenced enclosure shown on the detail sheet.

3. **There needs to be more landscaping for the building.**

Response:

The applicant has added 3-lilac shrubs on the easterly side of the building. The front and street esplanade are landscaped. The remaining gravel portion of the lot is to be loamed and seeded in lawn (turf). The rear of the lot is wooded.

4. **The aisle widths does not meet city standards on the north and west side. The standard for a two-way traffic is 24 feet; the applicant will either meet this standard or ask for a waiver oft eh standard.**

Response:

Mr. Morin has increased the aisle at the front of the property by the required 2-feet by shifting the curb 2 ft closer to the property line thus eliminating any requirement for a waiver request.

November 24, 2009

Page 2 of 4

Reference: Morin Minor Site Plan revisions

5. A lighting plan needs to be submitted with the location of all the proposed lighting as well as the photometric. Are there any lighting being proposed for the parking lot?

Response:

The lighting is building mounted. Lighting catalogue cuts are attached. The proposed building mounted wall packs are CFL shielded fixtures with full cutoff. We are requesting a waiver for a separate lighting plan. The cut off fixture will not allow light beyond the property line.

B. Zoning Administrator Marge Schmuckal

October 15, 2009

1. Both lots are meeting all the dimensional requirements for setbacks, height of bldg etc.
2. The existing lot is not showing parking or impervious surface. I will need that.

Response:

We have added the parking spaces typically used in front of the building. The entire lot is paved (front yard to building and gravel elsewhere except for a narrow area along the southerly/ easterly side of the building.

3. The new lot meets the impervious surface requirements and parking requirements.
4. Separate permits are required for new signage. Any hoods or new HVAC will need to meet the maximum noise requirements of the B-4 Zone.

Response:

The Applicant will apply separately for signage when the tenants have selected their design. The signage locations are shown on the building elevations, located in the "gable end" of the entrance canopy.

C. Deputy City Engineer David Margolis-Pineo

October 5, 2009

1. There is a note on the plans which references blasting. Be aware the City of Portland have specific rules on blasting and should be also referenced in this note.

Response:

We have provided a note on the Cover sheet and the Site Plan drawing requiring that any blasting be done in accordance with the City's Blasting Ordinance.

2. A Wastewater Capacity Application needs to be submitted.

Response:

Mr. Morin met with Frank Branchley and they have reached an agreement on the waste water flows (Mr. Branchley was not able to submit the letter prior to his leave). A letter should be provided to the Planning Staff soon after Monday, November 30, 2009 when Mr. Branchley is to return.

3. A fence should be shown around the dumpster.

Response:

Has been added to Site Plan and Detail sheets.

4. If the applicant is proposing a kitchen facility, an external grease trap will need to be installed. Contact Steve Harris (874-8843) for proper sizing.

Response:

Mr. Morin discussed this issue with Mr. Branchley; I called Steve Harris and left a message (as he is out). The anticipated tenant has run a similar facility in Yarmouth and used a 3-gallon under counter grease trap and never had a problem with his septic system. The proposed sandwich shop is not a full service kitchen, and as such, the 3-gallon grease trap will suffice.

November 24, 2009

Page 3 of 4

Reference: Morin Minor Site Plan revisions

5. City code prohibits two building being served by the same sewer lateral. Although the existing building's sewer lateral is not shown, it is believed to be using the existing shown 10" lateral. Therefore a separate sewer lateral will need to be installed from the proposed building to the sewer main in the street.

Response:

Mr. Morin will construct separate sewer service to the adjacent building.

6. If the existing build does in fact use the existing 10" sewer lateral, an easement will also be needed for this lateral.

Response:

An easement is no longer required (but had been added). Mr. Morin will revise the deed when the plans are approved and is requesting that this requirement be made a condition of approval.

D. Traffic Engineer Tom Errico

October 15, 2009

1. The parking circulation aisle along the frontage of the site is 22 feet and does not meet City standards. I would suggest that the applicant provide 18 foot deep parking stalls in this area and move the curb line 1 foot to attain a 24-foot wide aisle. This change would create a non-conforming parking stall depth, but I support a waiver from the technical standard.

Response:

As noted above, the parking stalls are 19 ft stall and the travel lanes revised to the full 24 ft. width.

2. On the west side of the site the parking aisle is only 18 feet wide and does not meet City standards for two-way flow. If it is intended to be one-way, appropriate signage and pavement markings should be provided.

Response:

This is now signed for one way circulation and pavement markings have been added to the Site Plan.

3. On the east side of the site, where parallel parking spaces are proposed, I would suggest that the curb area be extended to the first full parking space.

Response:

The plan has been revised accordingly.

4. The applicant has made a request for a 30-foot wide driveway with 10-foot radii. It is my professional opinion that the low volume of single-unit truck activity will not compromise safety and therefore recommend that a 24-foot wide driveway be incorporated, with 10-foot radii. I would also request that the applicant conduct a review of the City's driveway spacing standard and provide documentation that acceptable separation will be provided along Warren Avenue.

Response:

This has been discussed with Tom Errico. The driveway will remain at 24-ft. The location is determined by the existing 25 ft wide access easement to the cell tower and because the driveway is opposite the side street on the opposite side of Warren Ave.

5. The applicant shall conduct a traffic generation and assignment analysis that details the number of new trips expected at the Riverside Street/Warren Avenue intersection such that an estimate of contribution costs can be determined for future improvements.

Stantec

November 24, 2009
Page 4 of 4

Reference: Morin Minor Site Plan revisions

Response:

This has been discussed further with Tom Errico, PE. The proposed commercial uses are not destination oriented and will take advantage of existing traffic on Warren Ave. It was agreed that any impact on the Warren Ave - Riverside St. intersection would be minimal and as such, Tom Errico will assign an impact amount indicative of the proposed use and location not being a destination retail use.

E. Waste Water Coordinator John Emerson

October 16, 2009

1. A Wastewater Capacity Application needs to be submitted.

Please note that the Planning Authority may request additional information during our continued review of the proposal according to applicable laws, ordinances and regulations. If you have any questions, feel free to contact me at 756-8083 or by email at shukriaw@portlandmaine.gov.

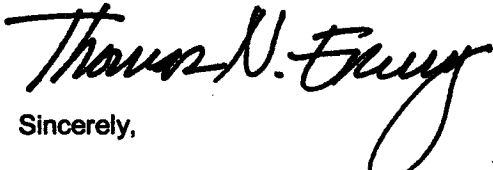
Response:

See comments above – this should be forthcoming early next week when Mr. Branchley returns.

Thank you.

STANTEC CONSULTING SERVICES INC.

Thomas N. Emery, RLA ASLA
Planner comments



Sincerely,

STANTEC CONSULTING SERVICES INC.

Thomas N. Emery, RLA ASLA
Senior Associate
Tel: (207) 775-3211
Fax: (207) 775-6434
tom.emery@stantec.com

Attachment: Plan set

c. S Morin
M Burnes, AIA
R Licht, PE

tne document2

Shukria Wiar - Morin Site Plan

From: "Emery, Tom" <Tom.Emery@stantec.com>
To: "Shukria Wiar" <SHUKRIAW@portlandmaine.gov>
Date: 12/15/2009 11:56 AM
Subject: Morin Site Plan
CC: "David Margolis-Pineo" <DMP@portlandmaine.gov>, "Tom Errico" <thomas.errico@tylin.com>, <smorin15@maine.rr.com>, <mburnes@foresidearchitects.com>, "Licht, Rick" <Rick.Licht@stantec.com>

Hi Shukria,

Steve Morin wanted to be sure we have provided all agreed to plan changes before we re-issue the drawings. This is my list:

1. Waste water Flows - Steve has reviewed with Frank Branchley and we have submitted the form and calculations to you.
2. Grease trap. Steve has coordinated with Steve Harris. The revised plans will show a 1,000 gallon grease trap off the west end of the building with a sewer line to the existing on-site sanitary manhole.
3. Radius curb and utility pole at driveway: This is unresolved. My understanding is that Dave is OK with going from the 3-meter offset from right-of-way to curb line to 13 ft including the 5 ft sidewalk and 8 ft esplanade (approved in original submittal) which will push the radius curb away from the utility pole. My understanding is that this needs to be discussed by staff with Tom Errico for final OK. As Steve Morin ha indicated to me, this pole has been in its present location for years and he has maneuvered tow trucks hauling tractor trailer trucks & vans on the back and never had an issue with the pole.

See attached partial pdf showing driveway from original approval. Disregard the 22 ft parking aisle - that has been widened to 24 ft in the current plan and will remain so regardless of esplanade width.

4. Noise levels - fan information submitted.
5. Impervious area abutting parcel. This is nearly 100% but will be noted in land area on revised plan set.

Does this reflect where we are at this point? If so, please let us know about the esplanade width and how many plans you would like us to provide.

Thank you.

Tom
Thomas N. Emery
Maine Licensed Landscape Architect, ASLA
Senior Associate
Stantec
22 Free Street Suite 205
Portland ME 04101-3900
Ph: (207) 775-3211 Ext. 172
Fx: (207) 775-6434
Cell: (207) 749-4557
tom.emery@stantec.com
stantec.com

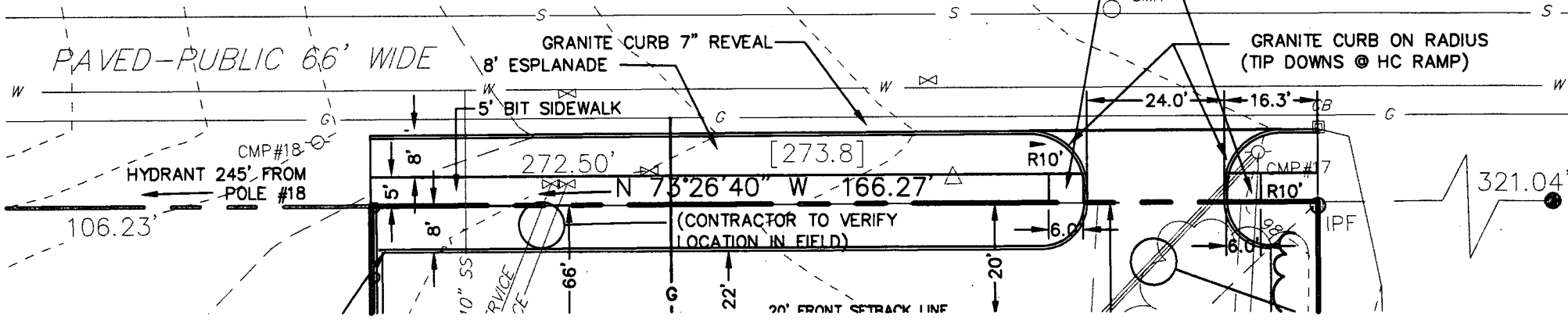
The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

 Please consider the environment before printing this email.

PROVIDE 6' LONG CONC. HC RAMP EA SIDE OF DRIVE. PROVIDE TIP DOWN CURB EA SIDE OF RAMP. INSTALL TACTILE WARNING STRIP BSE OF RAMP PER ADA & MAINE FIRE MARSHAL

WARREN AVENUE

TO FOREST AVE.



PAVED-PUBLIC 66' WIDE

GRANITE CURB 7" REVEAL

8' ESPLANADE

5' BIT SIDEWALK

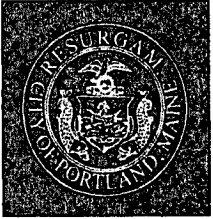
GRANITE CURB ON RADIUS (TIP DOWNS @ HC RAMP)

CMP #18
HYDRANT 245' FROM POLE #18

(CONTRACTOR TO VERIFY LOCATION IN FIELD)

321.04'

20' FRONT SETBACK LINE



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

Public Services Department
Michael J. Bobinsky, Director

3 December 2009

Mr. Stephen L. Morin,
332B Gray Road,
Falmouth, Maine 04105

RE: The Capacity to Handle the Anticipated Wastewater Flows and Storm Water Flows, from the Proposed Commercial Building, at 180 - 200 Warren Avenue, Portland, Maine.

Dear Mr. Morin:

The existing fifteen-inch diameter vitrified clay sanitary sewer pipe, located in Warren Avenue, **has adequate capacity to transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, **have adequate capacity to treat** the anticipated net increase in wastewater flows of **675 G.P.D.**, from the proposed funeral home.

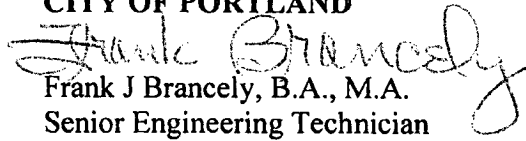
Anticipated Wastewater Flows, from the Proposed Commercial Building:

3 Proposed Beauty Salon-Barber Shop Chairs @ 100 GPD / Chair	= 300 GPD
12 Proposed Eating Place Seats @ 20 GPD / Seat	= 240 GPD
9 Proposed Employees @ 15 GPD / Employee	= <u>135 GPD</u>
Total Proposed Net Increase in Wastewater Flows for this Project	= 675 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A., and with the Maine D.E.P., requires C.S.O. abatement, as well as storm water mitigation, from all projects, in order to offset any increase in sanitary flows. Storm water mitigation, for this project, will be minimal. No additional impervious area is being considered. The twenty-five year pre-development to post-development design storm calculations submitted shows a slight increase of 0.39 cubic feet per second (c.f.s.), in peak stormwater runoff rates, to Warren Avenue, and a slight decrease of 0.05 cubic feet per second (c.f.s.), to the Portland Terminal property.

If The City can be of further assistance, please call 874-8832.

Sincerely,
CITY OF PORTLAND


Frank J Brancely, B.A., M.A.
Senior Engineering Technician

FJB

cc: Penny Saint Louis Littell, Director, Department of Planning, and Urban Development, City of Portland.
Barbara Barhydt, Development Review Services Manager, Department of Planning, and Urban Development, City of Portland.
Shukria Wiar, Planner, Department of Planning, and Urban Development, City of Portland.
Michael Bobinsky, Director, Department of Public Services, City of Portland.
David Margolis-Pineo, P.E., Deputy City Engineer, City of Portland.
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland.
Michael Farmer, P.E., Project Engineer, City of Portland.
Stephen K. Harris, Assistant Engineer, City of Portland.
Harold L. Downs, Senior Wastewater Technician, City of Portland.
John Emerson, Wastewater Coordinator, City of Portland.
Jane Ward, Administrative Assistant, City of Portland.

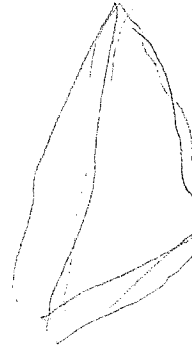


Stantec Consulting Services Inc.
22 Free Street Suite 205
Portland ME 04101-3900
Tel: (207) 775-3211
Fax: (207) 775-6434

Stantec

January 25, 2010
File: 210800560

Shukria Wiar, Planner:
Planning & Development Department
Portland City Hall
389 Congress Street
Portland, ME 04101



Dear Shukria

Reference: Morin Minor Site Plan revisions

Attached please find the revised drawings in response to staff comments per your letter of December 15, 2009. Below is our updated response to staff comments and issues discussed.

A. Planning Shukria Wiar

October 16, 2009

1. Submit copies of all proposed easements (for utilities and fire service). There is an existing easement for the cell tower, please submit a copy of this as well.

Response:

The Applicant has agreed to provide separate sewer and water service to each lot, therefore the utility easement on the subject parcel is not longer needed. As note previously, the Applicant has requested that this revision to the deed be a condition of approval. He does not want to discontinue the utility easement if the proposed site plan is not approved. The easement for the Cell Tower is referenced in the current deed (copy attached fro your reference).

2. Lighting:

Response:

As noted, we have provided the catalogue cuts and asked for a waiver for the photometric plan. The proposed building mounted wall packs are CFL shielded fixtures with full cutoff. The cut off fixture will not allow light beyond the property line. The building entrances have recessed soffit mounted lighting in the canopies at the two entrances.

B. Zoning Administrator Marge Schmuckal

October 15, 2009

1. Both lots are meeting all the dimensional requirements for setbacks, height of bldg etc.
2. The existing lot is not showing parking or impervious surface. I will need that.
3. The new lot meets the impervious surface requirements and parking requirements.

January 25, 2010

Page 2 of 4

Reference: Morin Minor Site Plan revisions

4. Separate permits are required for new signage. Any hoods or new HVAC will need to meet the maximum noise requirements of the B-4 Zone.

Response:

3. The parking and impervious area have been added to the Site Plan.
4. The Applicant will apply for sign permit when tenant design is determined. Information regarding the noise levels was submitted previously, and is attached for your convenience.

December 11, 2009

The applicants responded to comment #2(above) that the entire lot is paved (front yard to building and gravel elsewhere except for a narrow area along the southerly/easterly side of the building. This existing building and lot used to be able to use the rest of the lot to meet its required impervious surface. Because the lots are now being divided, the already developed lot will need to meet the maximum 80% of impervious surface.

I will also need to see what noise levels are being generated by the hoods and HVAC systems to determine whether the maximum sound levels are being met. I did not see any noise information in the recent submittals.

Response:

Drawing C-2, Layout, Materials and Utility Plan now shows that 4,391 SF of the adjacent lot will need to be pervious for that lot to meet the 80% max. impervious area standard. The plan calls for that pervious area to be loamed and seeded.

The noise information for the fans was provided in an email response dated Dec. 11, 2009. Here is that information for your records:

Fan #1 NCA18FA Model 00118051BAOD56-48PP, 1 HP
1 Phase, 230 Volt, 6.8 FLA ODP
3,300 CFM, 0.85P@ 852RPM and .803 BHP @ 0 Feet and 70 deg F
NCA 18FA exhaust sound data @852 RPM
LWA: 71.7 Sones 11.1 DBA 60.2

C. Deputy City Engineer David Margolis-Pineo

December 4, 2009

1. If the applicant is proposing a kitchen facility, an external grease trap will need to installed. Contact Steve Harris (874-8843) for proper sizing.

Applicant feels that a grease trap is not needed. This issue still needs to be resolved. The City is aware of the ledge conditions on the site and the possible need to blast to install the grease trap. The City ordinances require grease traps when kitchen facilities are proposed. It may be possible to install a lower profile grease trap to help avoid ledge removal. Steve Harris will be in the office on Dec 7th to review.

2. The current curb layout shows the proposed curb running through a utility pole. The City would not object to shifting the curb cut to avoid relocating the pole.

Reference: Morin Minor Site Plan revisions

3. Plans should include a sewer trench detail for the proposed new sewer lateral for the abutting property. The detail can be found on-line at:
<http://www.portlandmaine.gov/planning/technicalstandards.pdf> Figure II-13.

The vertical granite curb detail also needs to be revised as shown in Figure I-15.

Response:

1. The Applicant has met with Steve Harris. A 1,000 gallon exterior grease trap has been added outside the west end of the building.
2. Curb and utility pole conflict: The revised plans now show a flared driveway configuration with 7-ft granite tip downs each side. A note has been provided to allow field adjustment to maintain min 6-inches clear between the utility pole and back of granite curb.
3. The sewer trench detail has been added to Drawing C-5, Dtl #3.
4. Vertical Granite Curb detail has been added to Drawing C-4 Detail #10 (7" reveal). There is a second detail for 6" curb reveal.

D. Traffic Engineer Tom Errico

1. The applicant shall conduct a traffic generation and assignment analysis that details the number of new trips expected at the Riverside Street/Warren Avenue intersection such that an estimate of contribution costs can be determined for future improvements.

Status: Based upon historical contributions in the study area, the applicant shall make a contribution of \$2,750.00 towards the implementation of improvements at the Riverside Street/Warren Avenue intersection.

Response:

The Applicant has agreed to make the contribution in lieu of a traffic impact analysis.

E. City Arborist Jeff Tarling

Updated Review on 12.11.2009

1. The landscape plan for the Morin Commercial Building as shown on plan sheet C-3 shows 5 street trees along Warren Avenue, landscape planting near the building front, dumpster fence enclosure.

Recommendations would include: to extend bituminous paving around the proposed building (it is shown to end near the back left corner on sheet C-2) the additional curbing is to protect lawn & landscape areas from vehicles. 'Cape Cod' style curbing is usually preferred.

Response:

1. The limit of curbing is coordinated with the proposed storm water drainage approach. The paving extends around the building, and the curb on the back turns the corner on the west side, and stops at the sidewalk ramp on the easterly side of the building. There is no curbing in areas where we are allowing sheet flow away from the building. There is also a

January 25, 2010

Page 4 of 4

Reference: Morin Minor Site Plan revisions

“stone drip edge” around the entire perimeter of the building to allow infiltration of water falling from the roof (front and back) or blown against the face of the building (ends).

F. Fire Prevention Captain Keith Gautreau

December 11, 2009

1. The applicant will not be required to have fire protection if mercantile under 12000 SS it. The building may need to have fire alarm after the building plans are reviewed.

Response:

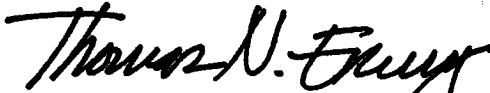
1. Foreside Architects has prepared the architectural plans and will review them with you locally and with the State Fire Marshal's office.

Other:

Attached are 7 full size sets of site plans and 7 reduced copies of the architectural drawings. The Architect will be submitting full size sets for the building permit application. Thank you.

Sincerely,

STANTEC CONSULTING SERVICES INC.



Thomas N. Emery, ASLA
Senior Associate
Maine Licensed Landscape Architect
tom.emery@stantec.com

Attachment: Plan set, current deeds

c. S Morin
M Burnes, AIA
R Licht, PE

180 TO 186 WARREN AVE

LOT
TO BE BUILT ON

Doc#: 57887 Bk:27256 Pg: 260

WARRANTY DEED
(Maine Statutory Short Form)

KNOW ALL PERSONS BY THESE PRESENTS, that we, **STEPHEN L. MORIN** and **DALE S. MORIN**, of Falmouth, Cumberland County, State of Maine, grant to **STEPHEN L. MORIN** and **DALE S. MORIN**, whose mailing address is 332B Gray Road, Falmouth, Maine 04105, as joint tenants, with **WARRANTY COVENANTS**, the following described real property:

A certain lot or parcel of land with any buildings thereon situated on the southerly sideline of Warren Avenue in the City of Portland, County of Cumberland and State of Maine and being more particularly described as follows:

Beginning at an iron pipe found on the southerly sideline of Warren Avenue, said iron pipe found marking the northwesterly corner of land conveyed by OMW III, Inc. to KTK Corporation by Warranty Deed dated June 3, 1991 and recorded in Cumberland County Registry Book 9578 Page 301, said iron pipe found being the northeasterly corner of the lot or parcel herein described;

Thence North $73^{\circ}26'40''$ West along the southerly sideline of said Warren Avenue one hundred sixty-six and twenty-seven hundredths (166.27) feet to remaining land of the Grantor herein and a magnetic nail set, said nail set being one hundred six and twenty-three hundredths (106.23) feet from the northeasterly corner of land conveyed by Charles E. Miller, Richard P. LeBlanc, et al to Peter F. Holmes by Short Form Trustee's Deed dated September 30, 1994 and recorded in Cumberland County Registry Book 11675 Page 1;

Thence turning South $16^{\circ}33'20''$ West along remaining land of the Grantor herein two hundred thirty-three (233.00) feet to land now or formerly of Portland Terminal Company as described in said Registry Book 11360 Page 230 and a #5 rebar set with a yellow cap, PLS #2246;

Thence turning South $74^{\circ}38'50''$ East along said Portland Terminal Company one hundred sixty-six and twenty-nine hundredths (166.29) feet to the southwesterly corner of land of said KTK Corporation, said corner is South 16-33-20 West three and five tenths (3.5) feet from an iron pipe found;

Thence turning North $16^{\circ}33'20''$ East along the land of said KTK Corporation two hundred twenty-nine and five tenths (229.50) feet to the southerly sideline of said Warren Avenue and the point of beginning.

The above describe lot or parcel of land with the buildings thereon contains thirty-six thousand six hundred ninety and six tenths (36,690.6) square feet.

Bearings are magnetic to the year 2005.

Reference is to a plan entitled "Plan of Property, 180-200 Warren Avenue, Portland, Maine." Prepared for Stephen L. Morin, prepared by TKM Land Surveyors, Inc., dated October 2005 with job number 05-013. Said plan is not recorded at this time.

Excepting from the above described lot or parcel of land is a Telecommunication Tower with a twenty-five (25) foot access easement as shown on said plan.

The above described lot or parcel of land with the buildings thereon also grants to the remaining lands of the Grantor herein, being westerly of and adjacent to the lot or parcel herein described an easement for the purpose of the sewer, domestic water and fire service as it now is in use and also the right to service and repair such underground service lines.

Being a portion of the same premises conveyed to the Grantors herein by the Personal Representative Deed from Stephen L. Morin to Stephen L. Morin and Dale S. Morin dated February 26, 2004 and recorded in the Cumberland County Registry of Deeds in Book 20915, Page 101.

IN WITNESS WHEREOF, STEPHEN L. MORIN and DALE S. MORIN have set their hands and seals this 9th day of September, 2009

Witness

Stephen L. Morin
Stephen L. Morin

Witness

Dale S. Morin
Dale S. Morin

STATE OF MAINE
CUMBERLAND, ss.

September 8, 2009

Personally appeared the above named Stephen L. Morin and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Treby J. Cote
Notary Public

TREBY J. COTE
Notary Public, Maine
My Commission Expires 4/2/2015

SEAL

Received
Recorded Register of Deeds
Sep 16, 2009 03:47:24P
Cumberland County
Paulea E. Lovlen

188 To 260 WARREN AVE

Doc#: 57388 Bk:27256 Pg: 262

WARRANTY DEED
(Maine Statutory Short Form)

KNOW ALL PERSONS BY THESE PRESENTS, that we, **STEPHEN L. MORIN** and **DALE S. MORIN**, of Falmouth, Cumberland County, State of Maine, grant to **STEPHEN L. MORIN** and **DALE S. MORIN**, whose mailing address is 332B Gray Road, Falmouth, Maine 04105, as joint tenants, with **WARRANTY COVENANTS**, the following described real property:

A certain lot or parcel of land with any buildings thereon situated on the southerly sideline of Warren Avenue in the City of Portland, County of Cumberland and State of Maine and being more particularly described as follows:

Beginning at a magnetic nail set on the southerly sideline of Warren Avenue, said nail set marking the northeasterly corner of land conveyed by Charles E. Miller, Richard P. LeBlanc, et al to Peter F. Holmes by Short Form Trustee's Deed dated September 30, 1994 and recorded in Cumberland County Registry Book 11675 Page 1, said nail set being the northwesterly corner of the lot or parcel herein described;

Thence South 16° 33' 20" West along the easterly line of said Holmes two hundred twenty-seven and seventy-two hundredths (227.72) feet to land of Portland Terminal Company as described in said Registry Book 1011 Page 259 and a #5 rebar set with a yellow cap, PLS #2246;

Thence turning South 74° 38' 52" East along said Portland Terminal Company thirty-one and eighty-nine hundredths (31.89) feet to the dividing line between Lots six (6) and seven (7) as shown on the City of Portland Tax Map 295, Block G and a point;

Thence turning South 61° 27' 39" West along said dividing line ten and eighty-two hundredths (10.82) feet to the northwesterly corner of other land now or formerly Portland Terminal Company as described in said Registry Book 11360 Page 230 and a point;

Thence turning South 74° 38' 50" East along said Portland Terminal Company eighty-two (82.00) feet to remaining lands of the Grantor herein and a #5 rebar set with a yellow cap, PLS #2246, said rebar set being North 74° 38' 50" West one hundred sixty-six and twenty-nine hundredths (166.29) feet from the southwesterly corner of land conveyed by OMW III, Inc. to KTK Corporation by Warranty Deed dated June 3, 1991 and recorded in said Registry Book 9578 Page 301, said corner is South 16° 33' 20" West three and five tenths (3.5) feet from an iron pipe found;

Thence turning North 16° 33' 20" East along remaining lands of the Grantor herein two hundred thirty-three (233.00) feet to the southerly sideline of said Warren Avenue and magnetic nail set, said nail being North 73° 26' 40" West one hundred sixty-six and twenty-seven hundredths (166.27) feet from the northwesterly corner of said KTK Corporation;

Thence turning North 73° 26' 40" West along the southerly sideline of said Warren Avenue one hundred six and twenty-three hundredths (106.23) feet to the point of beginning.

The above describe lot or parcel of land with the buildings thereon contains twenty-four thousand six hundred fifty-eight and nine tenths (24,658.9) square feet.

Bearings are magnetic to the year 2005.

The above described lot or parcel of land with the buildings thereon has the benefit of the sewer, domestic water and fire service as it now is in use from the adjoining parcel of the Grantors herein and also the right to service and repair such underground service lines.

Reference is to a plan entitled "Plan of Property, 180-200 Warren Avenue, Portland, Maine." Prepared for Stephen L. Morin, prepared by TKM Land Surveyors, Inc., dated October 2005 with job number 05-013. Said plan is not recorded at this time.

Being a portion of the same premises conveyed to the Grantors herein by Personal Representative Deed from Stephen L. Morin to Stephen L. Morin and Dale S. Morin dated February 26, 2004 and recorded in the Cumberland County Registry of Deeds in Book 20915, Page 101.

IN WITNESS WHEREOF, STEPHEN L. MORIN and DALE S. MORIN have set their hands and seals this 8th day of September 2009.

Witness

Stephen L. Morin
Stephen L. Morin

Witness

Dale S. Morin
Dale S. Morin

STATE OF MAINE
CUMBERLAND, ss.

September 8 2009

Personally appeared the above named Stephen L. Morin and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Trudy J. Cote
Notary Public

TRUDY J. COTE
Notary Public, Maine
My Commission Expires 4/2/2015

Received
Recorded Register of Deeds
Sep 16, 2009 03:48:15P
Cumberland County
Pamela E. Lovles

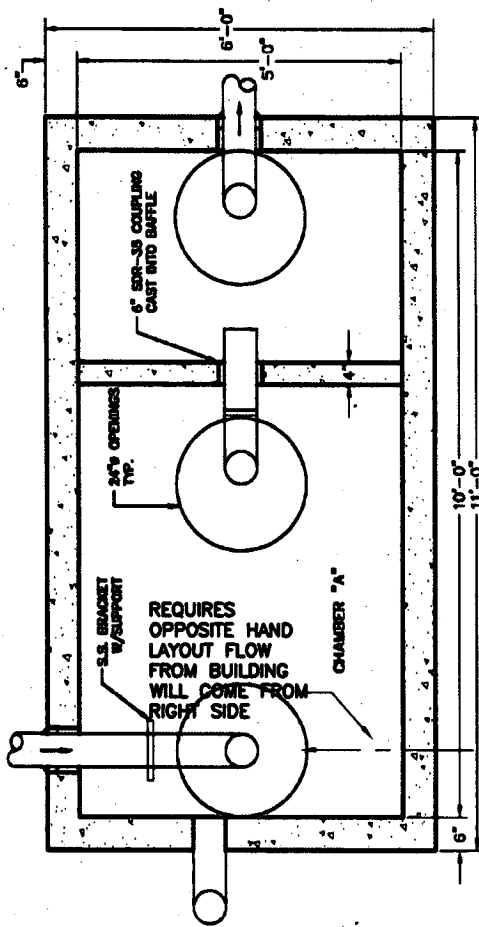
SEAL

DESIGN NOTES:

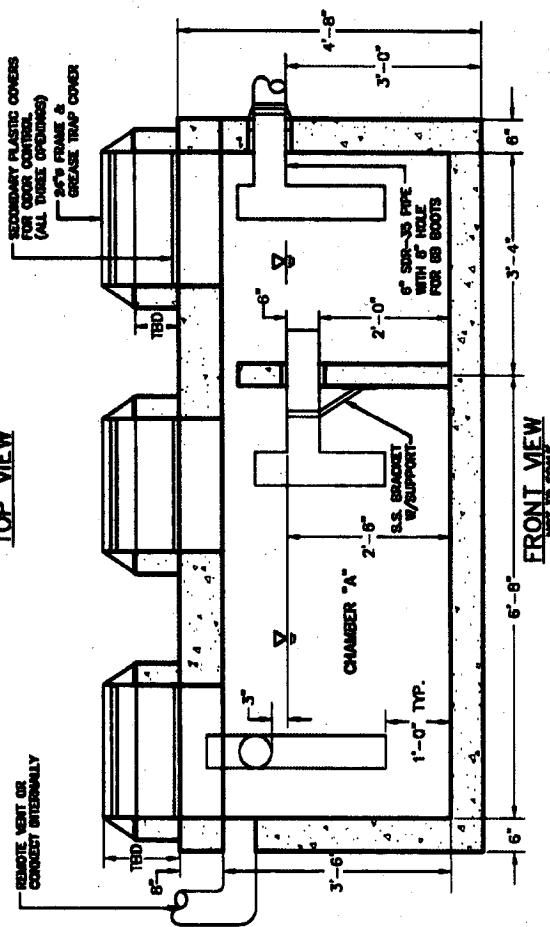
1. CONCRETE 5000 PS AT 28 DAYS.
2. H-20 LOADING
3. JOINTS SEALED WITH BUTYL RUBBER JOINT SEALANT (ASSHTD M-19)
4. ALL TEES/BAFFLES PROVIDED BY PRECAST.

THIS STRUCTURE MUST DISCHARGE TO A CITY OF PORTLAND STANDARD MANHOLE WITH CHANNEL (CONTROL/SAMPLING MANHOLE).

FORMULA FOR SIZING THE TRAP: CHAMBER "A" (2/3 OF TANK VOLUME) MUST BE EQUIVALENT TO THE AVERAGE DAILY PROCESS FLOW FROM THE FACILITY WITH NO SANITARY OR OTHER EXTRANEOUS WASTES FLOWING THROUGH IT.



TOP VIEW



**FRONT VIEW
NOT TO SCALE**

GENERAL NOTES

1. GREASE TRAP CITY OF PORTLAND STANDARD DETAIL. CONTRACTOR & PLUMBING CONTRACTOR SHALL VERIFY PIPE SIZES AND INVERTS IN THE FIELD PRIOR TO ORDERING AND INSTALLATION.

2. SEE DRAWING C-3 DATED JAN 22, 2010 FOR APPROX LOCATION.

NOTE:
FIELD LOCATION REQUIRES OPPOSITE HAND LAYOUT FROM THIS DETAIL. STRUCTURE WILL BE LEFT OF THE BUILDING - PIPE WILL ENTER CHAMBER "A" FROM THE RIGHT (PLAN VIEW)

ORIGINAL SHEET - ANSI B

21P820560_civil.dwg
JAN 2010
210800560



Stantec Consulting Services Inc.
22 Free Street, Suite 205
Portland ME U.S.A.
04101-3900
Tel. 207.775.3211
Fax. 207.775.6434
www.stantec.com

Legend

Notes

REF:
CITY OF PORTLAND
TECHNICAL STANDARDS MANUAL
SANITARY SEWER AND STORM DRAIN
DESIGN STANDARDS - SECTION II
"EXTERNAL GREASE TRAP DESIGN"
FIGURE II-19 DATED AUG 2009

Client/Project

GREASE TRAP
MORIN COMMERCIAL BUILDING
P180-200 WARREN AVE. PORTLAND, ME

Figure No.

CSK-1

Title

CITY OF PORTLAND STANDARD
GREASE TRAP DTL

• 74 references to "property line" in Chapter 14.

• need to have property lines marked so that setbacks etc are met

City of Portland

Code of Ordinances -

Sec. 14-501

(Code 1968, § 603.12; Ord. No. 158-68, § 10, 5-6-68; Ord. No. 149-79, 6-6-79; Ord. No. 611-82, §§ 2, 3, 7-7-82; Ord. No. 127-87, § 10, 2-18-87; Ord. No. 524-87, §§ 1, 2, 5-18-87; Ord. No. 122-91, § 1, 9-16-91; Ord. No. 262-96, §§ 1, 2, 5-20-96; Ord. No. 227-00, §2, 5-15-00)

Land Use

Chapter 14

Rev.1-5-10

need " " " to inspect

Sec. 14-502. Extension of the guarantee period.

When the subdivider constructs improvements for which a performance guarantee is required and the public works authority has reasonable doubt concerning the stability or proper construction of such improvements, the subdivider shall be required to do such further work on the improvements as the public works authority shall order before the improvements will be accepted by the city. If the subdivider's current performance guarantee shall expire before the extent or necessity for such further work can be determined, the subdivider shall be required to extend his or her guarantee covering such improvements, or secure a new guarantee, for such further period and in such amount as the public works authority shall deem necessary.

(Code 1968, § 603.13; Ord. No. 158-68, § 10, 5-6-68; Ord. No. 149-79, 6-6-79; Ord. No. 127-87, § 11, 2-18-87)

Sec. 14-503. Sale of partially completed subdivisions.

The purchasing party or other succeeding owner of a subdivision for which a recording plat has received prior approval shall assume full responsibility for completion of the subdivision's improvements until acceptance of such improvements by the city. The purchaser or other succeeding owner of an unaccepted subdivision shall be required to comply with all the provisions of this article as if he were the original subdivider, and shall become responsible for completing such improvements in the same manner as the original subdivider.

(Code 1968, § 603.14; Ord. No. 158-68, § 10, 5-6-68; Ord. No. 149-79, 6-6-79)

Sec. 14-504. Enforcement, conveyance, markers and recording.

(a) No person may sell, lease, develop or build upon or convey for consideration, offer or agree to sell, lease, develop or build upon or convey for consideration any land in a subdivision unless the subdivision has been approved by the Planning Board, and unless a recording plat showing permanent marker locations at all lot corners has been recorded in the county registry of deeds.

(b) The term permanent marker is limited to the following: A granite monument for street monumentation and an iron pin or drill

hole in ledge for property delineation, or as otherwise approved by the public works authority. No subdivision plan shall be recorded by the registry of deeds which has not been approved as required by this article. Approval for the purpose of recording shall appear in writing on the recording plat. No public utility, water district, sanitary district or any utility company of any kind shall install services to any lot in a subdivision which has not received Planning Board approval.

(c) Any person who sells, leases, develops or builds upon or conveys for consideration any land in a subdivision which has not been approved as required by this article shall be punished by a fine of not more than five hundred dollars (\$500.00) for each such occurrence. The city may institute proceedings to enjoin any violation of this section.

(d) Notwithstanding the foregoing, alterations may be made to a site with a pending subdivision application if:

- (1) At minimum, a performance guarantee for the proposed site alterations has been posted and final site plans have been submitted to the planning authority; and
- (2) Written permission has been received from the director of planning and urban development or his designee that such site alterations may proceed pending subdivision approval. Such permission is solely within the discretion of the director of planning and urban development and shall be granted only after submission of a written request setting forth the work proposed to be done on the site. All such work shall be done in compliance with information provided with the subdivision application. An erosion control plan shall also be submitted when deemed necessary by the planning authority. Such written permission shall not be required when the only work proposed is the digging of test pits.

(Code 1968, § 603.15; Ord. No. 158-68, § 10, 5-6-68; Ord. No. 149-79, 6-6-79; Ord. No. 95-01/02, 11-5-01)

Sec. 14-505. Appeals.

An appeal from any final decision of the Planning Board regarding subdivision approval may be taken by the applicant or his authorized agent to superior court in accordance with Rule 80B of the Maine Rules of Civil Procedure.

Shukria Wiar - Morin Commercial Building

From: "Emery, Tom" <Tom.Emery@stantec.com>
To: "Shukria Wiar" <SHUKRIAW@portlandmaine.gov>
Date: 11/5/2009 4:16 PM
Subject: Morin Commercial Building
CC: <smorin15@maine.rr.com>

Hi Shukria,

I wanted to get this information to you as we revised the plans:

Waste water permit:

Steve Morin met with Frank Branchley and they have determined that the flow will be 675 gallons per day for the new building. Frank is sending you confirmation unless he does not get to it before having to leave for 3 weeks for surgery.

Tom Errico and I discussed his comments and reached the following conclusions:

Driveway location. Agreed to present that the present location is best due to the existing access easement for the cell tower and because it is opposite the existing side street on warren Ave. I will request a waiver and provide reasons.

traffic impact Riverside and warren Ave. As I discussed with Tom, our impacts are likely so miniscule compared to the big box and other destination businesses (we are a convenience business not destination) that the cost of the impact evaluation would exceed the impact fee. Tom agreed and will draft a memo to you indicating the impact fee.

Curb alignment on shoulder of warren Ave. I will call Mike Farmer and confirm where he wants the curb line to fall relative to the right of way line. We show 13 ft as was previously approved allowing for 5 ft sidewalk and 8 ft esplanade, but seems confirming in light of road work on Warren Ave. is prudent.

18 ft drive lane. We will leave at this width to maintain the parking in front of the building, provide a directional arrow on the pavement and a discrete, one way do not enter sign. (service vehicles can go against direction when needed.

Driveway width. Tom strongly suggest 24 ft. We will increase radius to 12 ft on street side to widen the throat and facilitate right turn in maneuvers. Driveway will be 24 ft.

Parking aisle width:

We will widen to 24 ft and move curb 2 ft toward property line at front of site.

Tom

Thomas N. Emery
Maine Licensed Landscape Architect, ASLA
Senior Associate
Stantec
22 Free Street Suite 205
Portland ME 04101-3900
Ph: (207) 775-3211 Ext. 172
Fx: (207) 775-6434
Cell: (207) 749-4557
tom.emery@stantec.com

stantec.com

The content of this email is the confidential property of Stantec and should not be copied, modified, retransmitted, or used for any purpose except with Stantec's written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

 Please consider the environment before printing this email.

Shukria Wiar - 180-200 Warren Avenue - Morin Minor Site Plan

From: "Tom Errico" <thomas.errico@tylin.com>
To: "Shukria Wiar" <SHUKRIAW@portlandmaine.gov>
Date: 10/15/2009 1:48 PM
Subject: 180-200 Warren Avenue - Morin Minor Site Plan
CC: "Katherine Earley" <KAS@portlandmaine.gov>, "David Margolis-Pineo" <DMP@portlandmaine.gov>

Shukria –

I have reviewed the September 22, 2009 Site Plan Application submitted by Stantec Consulting Services, Inc. and supplemental information on turning radii (emailed to me on October 9, 2009) and provide the following comments.

- The parking circulation aisle along the frontage of the site is 22 feet and does not meet City standards. I would suggest that the applicant provide 18 foot deep parking stalls in this area and move the curb line 1 foot to attain a 24-foot wide aisle. This change would create a non-conforming parking stall depth, but I support a waiver from the technical standard.
- On the west side of the site the parking aisle is only 18 feet wide and does not meet City standards for two-way flow. If it is intended to be one-way, appropriate signage and pavement markings should be provided.
- On the east side of the site, where parallel parking spaces are proposed, I would suggest that the curb area be extended to the first full parking space.
- The applicant has made a request for a 30-foot wide driveway with 10-foot radii. It is my professional opinion that the low volume of single-unit truck activity will not compromise safety and therefore recommend that a 24-foot wide driveway be incorporated, with 10-foot radii. I would also request that the applicant conduct a review of the City's driveway spacing standard and provide documentation that acceptable separation will be provided along Warren Avenue.
- The applicant shall conduct a traffic generation and assignment analysis that details the number of new trips expected at the Riverside Street/Warren Avenue intersection such that an estimate of contribution costs can be determined for future improvements.

If you have any questions, please contact me.

Best regards,

Thomas A. Errico, P.E.
TYLIN INTERNATIONAL

12 Northbrook Drive
Building A, Suite One
Falmouth, ME 04105

207.347.4354 (Direct)
207.781.4721 (Main)
207.781.4753 (Fax)
207.400.0719 (Mobile)

MEMORANDUM

05-275

TO: Kandi Talbot, City of Portland Planner
FROM: Dan Goyette, PE – Development Review Coordinator, Woodard & Curran, Inc.
DATE: January 10, 2006
RE: Morin Commercial Building, 180 Warren Avenue

Woodard & Curran has reviewed the Minor Site Plan submission for the proposed project for 180 Warren Avenue, the Morin Commercial Building. The project involves the construction of a 4000 square foot commercial building and a 4000 square foot accessory building.

Documents Reviewed

- City of Portland Minor Site Plan Application for the Morin Commercial Building, dated December 28, 2005, prepared by Land Use Consultants.
- Engineering plan set prepared by Land Use Consultants, sheets 1-5, dated December 12, 2005.
- Boundary plan prepared by TKM Land Surveyors, Inc., dated October 2005.
- Architectural plan set prepared by Foreside Architects, LLC, sheets A1-A4, dated December 12, 2005.

1. Stormwater Management

- A. The applicant states that the site is impervious, consisting of pavement and gravel surface. The plans do not indicate that to be true. The eastern portion of the lot is indicated as being covered in vegetation. This vegetation is cut back in the proposed condition to allow for the driveway and parallel parking. This change in ground cover needs to be addressed from a stormwater management perspective.
- B. If gutters are to be installed on the buildings, the applicant needs to address how the collected stormwater will be discharged and how it will affect the existing drainage patterns.

2. Road Access/Circulation

- A. Currently the site does not have a specific driveway location as it can be accessed anywhere along Warren Avenue. The applicant is proposing a single driveway located almost directly across from Hemingway Street. The potential conflicts with vehicles exiting Hemingway Street need to be addressed.
- B. There are no barriers to vehicles from entering or exiting the property from the adjacent property containing the one story brick building from which this lot is being formed. If vehicle access to the site from the adjacent site is to be allowed, it should be restricted to particular areas. Also, easements for this type of movement are needed.
- C. Are tractor trailers going to be accessing the site? If so, it does not appear they or emergency vehicles will be able to maneuver around the building.

D. It does not appear that emergency vehicles will have access to the rear of the accessory building.

3. General Comments

- A.** There does not appear to be an area for snow storage. The location or removal plan needs to be identified.
- B.** There is no landscaping or grass shown around the trees in the front of the property.
- C.** A sidewalk with an esplanade is required along Warren Avenue.
- D.** Grading is shown outside of the property boundaries. A grading easement will need to be provided.
- E.** No vehicle parking is shown for the accessory building. What is the justification for no parking associated with its use as a self storage building?

DRG
203848.10

cc: File

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2005-0275
Application I. D. Number

12/28/2005
Application Date

Morin Commercial Building
Project Name/Description

Stephen L. & Dale S. Morin
Applicant
332B Gray Road, Falmouth, ME 04105
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 233-9091 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

180 - 200 Warren Avenue, Portland, Maine
Address of Proposed Site
295 G006
Assessor's Reference: Chart-Block-Lot

Approval Conditions of Fire

- 1 Fire hydrants required every 500 feet, Starting from the closest existing hydrant.
- 2 Means of access and egress to be addressed for Fire apperatiuous.

From: Marge Schmuckal
To: Kandi Talbot
Date: 01/26/2006 5:01:45 PM
Subject: 180 Warren Ave- @2005-0275

Kandi,

I have started my review on 180 Warren Ave. At the site plan review meeting on 1/4/06 it was discussed that I need to see what the old building has for parking numbers and their access to their parking. If they are going over property lines (which is entirely possible), they need to show us easements. Have you received any of this information yet? I would like to add that we need to see what the impervious surface ratios are. I saw no breakdowns for the existing lot with a building or for the new proposal. All setbacks and lot size and F.A.R is being met on the old lot.

New Lot Proposal:

Both lots are located within a B-4 zone. I have several questions as to the use of the back building. The application terms this as "accessory" and will provide rental storage space. There are no elevations of this building. It seems like a large building for storage space for the small three front uses. I would want clarification as to the use for this building. Is it intended to be a separate self-storage unit building?

Setbacks and frontage and height and F.A.R regulations are being met. Parking is being met for the uses of the front building. However, I am only counting 20 spaces instead of 21 stated. I would need clarification of the back building use for further parking requirements. Again as stated above, I have nothing showing me their analysis of impervious surface requirements (80%).

I will await further information to complete my analysis.

Marge

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Marge



September 21, 2009

City of Portland
389 Congress Street
Portland, Maine 04101

To Whom It May Concern:

I'm writing to inform you that I presently provide financing to Stephen Morin relative to his commercial property on Warren Avenue and that we are working on an extension of additional credit relative to his expansion and development of the Morin Commercial Building on Warren Avenue, Portland. Mr. Morin has handled his business and banking obligations completely as agreed.

Sincerely,

A handwritten signature in black ink, appearing to read "Matthew W. Early", written over a horizontal line.

Matthew W. Early
Senior Vice President

DALE S. MORIN 05-03
STEPHEN L. MORIN
332B GRAY RD. 207-797-5656
FALMOUTH, ME 04105

155

DATE 9/24/09

52-38/112 ME
31708

PAY TO THE
ORDER OF

City of Portland
Four Hundred and ¹⁵⁰/₁₀₀

\$ 400 -

DOLLARS



Security features
are included.
Details on back.

Bank of America



Equity CreditLine

FOR

Plan Board

Stephen Morin

MP

⑆0⑆⑆200365⑆6886⑆008⑆25099⑆0⑆55

MEMORANDUM

05-275

TO: Kandi Talbot, City of Portland Planner

FROM: Dan Goyette, PE – Development Review Coordinator, Woodard & Curran, Inc.

DATE: January 10, 2006

RE: Morin Commercial Building, 180 Warren Avenue

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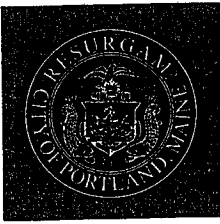
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- A. The applicant states that the site is impervious, consisting of pavement and gravel surface. The plans do not indicate that to be true. The eastern portion of the lot is indicated as being covered in vegetation. This vegetation is cut back in the proposed condition to allow for the driveway and parallel parking. This change in ground cover needs to be addressed from a stormwater management perspective.
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- A. Currently the site does not have a specific driveway location as it can be accessed anywhere along Warren Avenue. The applicant is proposing a single driveway located almost directly across from Hemingway Street. The potential conflicts with vehicles exiting Hemingway Street need to be addressed.
- B. There are no barriers to vehicles from entering or exiting the property from the adjacent property containing the one story brick building from which this lot is being formed. If vehicle access to the site from the adjacent site is to be allowed, it should be restricted to particular areas. Also, easements for this type of movement are needed.
- C. Are tractor trailers going to be accessing the site? If so, it does not appear they or emergency vehicles will be able to maneuver around the building.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

May 4, 2006

Stephen Morin
332 B Gray Road
Falmouth, ME 04105

RE: 180-200 Warren Avenue, Morin Commercial Building
CBL: ID #2005-0275, CBL #295-G-006

Dear Mr. Morin:

On May 3, 2006, the Portland Planning Authority approved a 4,000 sq ft retail building at 180 Warren Avenue as shown on the approved plan with the following conditions:

- That the transfer deed for the property will be submitted prior to issuance of a building permit

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Sarah Hopkins, Development Review Manager at 874- 8720.

Sincerely,



Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Bill Clark, Public Works
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Fire Prevention
Assessor's Office
Approval Letter File

Lynwood Myshrall, PE
Land Use Consultants
966 Riverside St.
Portland, ME 04103

From: Marge Schmuckal
To: Kandi Talbot
Date: 01/26/2006 5:01:45 PM
Subject: 180 Warren Ave- @2005-0275

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I will await further information to complete my analysis.

Marge



David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

December 28, 2005

4471

Sarah Hopkins, Director of Development Review
Department of Planning and Urban Development
City Hall, 389 Congress Street
Portland, Maine 04101

p l a n n e r s
e n g i n e e r s
l a n d s c a p e
a r c h i t e c t s

Morin Commercial Building Minor Site Plan Application

Dear Sarah:

On behalf of Stephen L. & Dale S. Morin, Land Use Consultants, Inc. is submitting the attached Minor Site Plan Application for a 4000 sq. ft. Commercial Building located off Warren Avenue. The project site is located on the south side of Warren Avenue approximately 0.4 miles west of the intersection of Forest Avenue and Warren Avenue. Additionally, Mr. Morin is proposing a 4000 sq. ft. accessory building to be located at the southern boundary of the lot.

The following narrative describes the site and the proposed development in relation to the ordinance requirements:

Existing Site:

The 38,447.9 sq. ft. parcel is bounded to the north by Warren Avenue and to the south by Portland Terminal Company. The KTK Corporation is located at the eastern property line and a one-story concrete block building presently housing a bar is located at the western property line. The project site is located in an area of commercial businesses similar to that proposed.

The site is presently vacant with the ground cover consisting of paved areas and gravel areas. Slopes are generally quite flat range from 1 to 2 % in the center of the lot to 18% at the southeast corner of the lot. The site slopes overland from the northeast to the southwest to the Portland Terminal Company R.O.W. Soils are generally shallow to bedrock and will require blasting for site grading and utility installation.

TKM Land Surveyors, Inc. of 29 Rosewood Drive Westbrook, ME 04092, have completed a boundary and topographic survey. Plan included in plan set.

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

voice (207) 878 · 3313
f a x (207) 878 · 0201
email: landuse@landuseinc.net

K:\PROJ\4471 - Steve Morin Site Plan\Planning Board\Cover Letter.doc



Zoning:

The site is zoned B4 Commercial Corridor Zone, with a minimum lot size of 10,000 sq. ft. and a minimum street frontage of 60 ft.

Project Layout, Access and Parking:

The project is a reflection of the surrounding Zoning and is consistent with existing development in the surrounding area in regards to type, parking, landscaping, scale, and character of the building. The 4000 sq. ft. building is proposed to be divided into three separate business consisting of a two 1600 sq. ft. business and a 800 sq. ft business. Tentatively, the businesses are anticipated to be a sandwich shop (1600 sf), a general store (1600 sf) and a beauty shop (800 sf).

The property frontage is presently one continuous access to Warren Avenue. The project proposes to limit access to the site to a single driveway located at the northeast corner of the property. Ten parking spaces are proposed at the front of the building bordering Warren Avenue with four parallel parking spaces being provided along the eastern property line. Additionally, seven parking spaces are proposed at the rear of the building. This results in a total of 21 parking spaces.

A 4000 sq. ft. accessory building is proposed at the southern property line. This building will provide rental storage space.

Pedestrian circulation consists of sidewalks along the front of the building and along the eastern side of the building. Presently, there are no sidewalks along this section of Warren Avenue and further west of the site. Warren Avenue is traffic dependent and does not appear to have substantial pedestrian traffic. The owner is not proposing a sidewalk in front of the building, as the entire frontage from the property line to the street is pavement.

Easements:

There is presently a 25 ft access easement and a 1,757.3 sq. ft. cell tower easement on the property. These easements are shown on the Property Plan

Solid Waste:

Two 5 cu. yd. trash receptacles are proposed to be located at the rear of the building. One receptacle will be use for recyclables and the other for commercial solid waste. The proposed uses are anticipated to generate minimal solid waste and the dumpsters will be emptied bi-weekly. The total solid waste anticipated to



be generated is less than 3 cu. yd. per week. Private contractor will empty the dumpsters.

Mixed construction debris consisting of scrap wood, insulation, sheetrock, asphalt, scrap metal, and brick will be generated during construction. A private hauler will remove construction debris from the site.

Construction Schedule:

Upon obtaining approvals from the City of Portland, The owner anticipates construction to begin in the spring of 2006 and be completed summer of 2006.

Other Approvals:

No state and federal approvals are required for this project.

Financial Capacity:

See the attached letter of financial capacity.

Title, Right, or Interest:

See the attached property deeds.

Buffers and Open Space & Natural Areas

The site is located in a commercial zone with like business on either side and the rear of the site borders the Portland Terminal Company. Presently, there is a line of trees along the eastern boundary line; this buffer will be maintained. Additionally, there is a line of trees along the southern boundary line with the Portland Terminal Company. There are no usual natural areas on this site. The site has been previously developed and is presently pavement and gravel.

Building Design:

The building is being designed by Mark Burnes the Project Architect of Foreside Architects, LLC. PO Box 66736, Falmouth, ME 04105. A floor plan, roof plan, and elevation of the building is included in the plan set.

Utilities:

The projects will be provided with water, sewer, natural gas and underground power, telephone and cable television service.



Previously, the owner extended water and sewer service into the project site from Warren Avenue. Presently the site is serviced by a 10" sanitary sewer, a 6" fire service and a 1" domestic service. These services were installed with the anticipation that the site would eventually be developed.

Electric, telephone and cable television service will be extended underground from CMP pole #17 located at the northeast corner of the property.

Natural gas is available from Warren Avenue. The gas main is located on the south side of Warren Avenue. This location facilitates easy hookup to the proposed building.

Soils and Wetlands:

Wetlands have not been mapped on the site. The site is presently impervious made up of gravel and pavement. USDA has mapped the soils as HrB- Hollis fine sandy loam shallow to bedrock. This soil is in the Hydrologic Soils Group C/D.

Storm Drainage:

Presently, the site is impervious consisting of pavement and gravel surface. Existing drainage is overland to Warren Avenue and to the Portland Terminal Company at the south side of the property. There are no existing storm drains in Warren Avenue. The project will not increase the impervious area of the site therefore; the owner is not proposing stormwater detention. The project does not require a stormwater permit, as there will be less than one acre of disturbed area. Additionally, there are less than 25 parking spaces proposed for the development therefore, Section V Stormwater Management Standards Subsection 3H does not apply.

Erosion Controls:

Erosion controls are minimal for this site. Silt fence will be installed along the southern property line, the low point of the site.

Recyclable Materials:

A 5 cu. yd. dumpster will be provided for recyclable materials. This material will consist of cardboard generated by the businesses. It is anticipated that the dumpster will be emptied once every two weeks.



Plans & Documents:

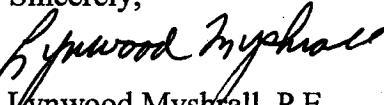
This submission includes the following documents (9copies):

- City of Portland Site Plan Application & Checklist
- Application fee of \$400.00
- Service deposit fee of \$200.00
- Letter of Financial Capability
- Deeds
- Figure A-1 USGS Map
- Figure A-2 USDA Soils Map

This submission also includes the following plans prepared by LUC unless noted otherwise (9 copies) of full size plans and (9 copies) of 11x17 plans.

0. Cover sheet.
- 1 of 1 Standard Boundary Survey (TKM Land Surveyors, Inc.)
 1. Layout, Materials & Utilities
 2. Existing Conditions & Removals
 3. Grading, Drainage, Erosion Controls, & Landscaping
 4. Details
 5. Details
- A1-A4 Typical Building Plans and Elevations

I trust you will find this Minor Site Plan Application complete, please call me with any questions or requests for additional information.

Sincerely,

Lynwood Myshra, P.E.
Senior Civil Engineer

LM; lm

Enclosures
Cc: Stephen Morin, Owner

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development 180-200 Warren Avenue		Zone: B4
Total Square Footage of Proposed Structure: 4,000 sq. ft. primary structure plus 4,000 sq. ft. accessory structure	Square Footage of Lot: 38,447.9 sq. ft.	
Tax Assessor's Chart, Block & Lot: Chart# 295 Block# G Lot# 6&7	Property owner's mailing address: Stephen L. Morin 332B Gray Road Falmouth, Maine 04105	Telephone #: (207) 233-909
Consultant/Agent, mailing address, phone # & contact person: Land Use Consultants, Inc. Attn: Lynwood Myshrall, P.E. 966 Riverside Street Portland, ME 04103 (207) 878-3313	Applicant's name, mailing address, telephone #/Fax#/Pager#: Stephen L. & Dale S. Morin 332B Gray Road Falmouth, Maine 04105 (207) 233-9091	Project name: Morin Commercial Building
<p>Fee For Service Deposit (all applications) <input checked="" type="checkbox"/> (\$200.00)</p> <p>Proposed Development (check all that apply) <input checked="" type="checkbox"/> New Building ___ Building Addition ___ Change of Use ___ Residential ___ Office <input checked="" type="checkbox"/> Retail ___ Manufacturing ___ Warehouse/Distribution ___ Parking lot ___ Subdivision (\$500.00) + amount of lots ___ (\$25.00 per lot) \$ _____ + major site plan fee if applicable ___ Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) ___ Traffic Movement (\$1,000.00) ___ Stormwater Quality (\$250.00) ___ Section 14-403 Review (\$400.00 + \$25.00 per lot) <input checked="" type="checkbox"/> <u>Other Commercial</u></p> <p>Major Development (more than 10,000 sq. ft.) ___ Under 50,000 sq. ft. (\$500.00) ___ 50,000 - 100,000 sq. ft. (\$1,000.00) ___ Parking Lots over 100 spaces (\$1,000.00) ___ 100,000 - 200,000 sq. ft. (\$2,000.00) ___ 200,000 - 300,000 sq. ft. (\$3,000.00) ___ Over 300,000 sq. ft. (\$5,000.00) ___ After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Minor Site Plan Review <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) ___ After-the-fact Review (\$1,000.00 + applicable application fee)</p> <p>Plan Amendments ___ Planning Staff Review (\$250.00) ___ Planning Board Review (\$500.00)</p>		
- Please see next page -		

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Stephen L. Morin 332B Gray Road
Falmouth, Maine 04105
(207) 233-9091

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. Site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Stephen Morin

Date:

12/21/05

This application is for site review ONLY, a building Permit application and associated fees will be required prior construction.

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

Morin Commercial Building, 180-200 Warren Avenue

Project Name, Address of Project

Application Number

Submitted () & Date	Item	Required Information	Section 14-525 (b, c)
X	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
X	(2)	Name and address of applicant and name of proposed development	a
X	(3)	Scale and north points	b
X	(4)	Boundaries of the site	c
X	(5)	Total land area of site	d
X	(6)	Topography - existing and proposed (2 feet intervals or less)	e
X	(7)	Plans based on the boundary survey including:	2
X	(8)	Existing soil conditions	a
X	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
X	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
X	(11)	Approx location of buildings or other structures on parcels abutting the site	d
X	(12)	Location of on-site waste receptacles	e
X	(13)	Public utilities	e
X	(14)	Water and sewer mains	e
X	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
X	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
X	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
X	(18)	Parking areas	g
X	(19)	Loading facilities	g
X	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
X	(21)	Curb and sidewalks	g
X	(22)	Landscape plan showing:	h
X	(23)	Location of existing proposed vegetation	h
X	(24)	Type of vegetation	h
X	(25)	Quantity of plantings	h
X	(26)	Size of proposed landscaping	h
X	(27)	Existing areas to be preserved	h
X	(28)	Preservation measures to be employed	h
X	(29)	Details of planting and preservation specifications	h
X	(30)	Location and dimensions of all fencing and screening	i
X	(31)	Location and intensity of outdoor lighting system	j
X	(32)	Location of fire hydrants, existing and proposed	k
X	(33)	Written statement	c
X	(34)	Description of proposed uses to be located on site	1
n/a	(35)	Quantity and type of residential, if any	1
X	(36)	Total land area of the site	b2
X	(37)	Total floor area and ground coverage of each proposed building and structure	b2
X	(38)	General summary of existing and proposed easements or other burdens	c3
X	(39)	Method of handling solid waste disposal	4
X	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
X	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
X	(42)	An estimate of the time period required for completion of the development	7

June 19, 2003

City of Portland
c/o Stephen L. Morin
332B Gray Street
Falmouth, Maine 04105

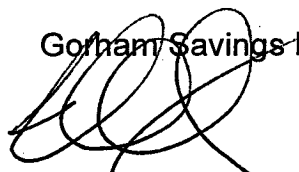
Re: STEPHEN L MORIN

To Whom It May Concern:

I am writing to inform you that I have been providing business financing to Stephen L. Morin for several years. Mr. Morin has always demonstrated the knowledge and financial capacity to complete his projects completely as agreed. We are currently working with Steve towards the development of his Warren Avenue project and look forward to a successful completion.

Sincerely,

Gorham Savings Bank



Matthew W. Early
Vice President

CALL CENTER
(207) 839-4796

www.gorhamsavingsbank.com

**DEED OF SALE BY PERSONAL REPRESENTATIVE TESTATE
(Maine Statutory Short Form)**

KNOW ALL PERSONS BY THESE PRESENTS, that I **STEPHEN L. MORIN** of Falmouth, County of Cumberland, State of Maine duly appointed and acting Personal Representative of the Estate of Leonard J. Morin, deceased (testate), as shown by the Probate records of the County of Cumberland, Maine, Probate Docket Number 2003-1564 and having given notice to each person succeeding to an interest in the real property described below, in accordance with the provisions of 18-A M.R.S.A. § 3-711, by the power conferred by the Probate Code, and every other power, for consideration paid, **GRANT** to

STEPHEN L. MORIN and DALE S. MORIN, as joint tenants.

whose mailing address is: 332B Gray Road
Falmouth, Maine 04105

the real property situated in the City of Portland, County of Cumberland, State of Maine described as follows:

A certain lot or parcel of land with the buildings thereon, situated in said Portland in that part formerly Deering, on the southerly side of Warren Avenue, and bounded and described as follows, to wit:

Commencing at an iron hub in the ground at a point in the Southerly sideline of said Warren Avenue where said street line intersects the division line between the land now or formerly belonging to heirs of Hiram Sawyer and land hereby conveyed, said hub being forty (40) feet westerly measured on said street line from a stone monument in said street line; thence south fifty-five degrees eight minutes ($55^{\circ} 8'$) west, two hundred twenty-two and seventy-five hundredths (222.75) feet to a point; thence south fifty-one degrees nineteen minutes ($51^{\circ} 19'$) west, one hundred eighty and two-tenths (180.2) feet to the northerly line of the Worcester, Nashua and Portland Division of the Boston & Maine Railroad, formerly the Portland & Rochester location; thence north eighty-four degrees thirty minutes ($84^{\circ} 30'$) west three hundred ninety-five (395) feet along said railroad location to land sold by Margaret V. Robinson to Albert S. Emerson; thence north thirty-five degrees fifty-six minutes ($35^{\circ} 56'$) east along the line of said Emerson land three hundred thirty and eight-tenths (380.8) feet to said Warren Avenue; thence easterly along said Warren Avenue five hundred twenty-two and three tenths (522.3) feet to the point of beginning.

Excepting, however, from the above described property a certain lot or parcel of land conveyed to Alice G. Shaw to the Portland Terminal Company by deed dated August 7, 1918, and recorded in the Cumberland County Registry of Deeds in Book 1011, Page 259.

Also excepting, from the above described premises, a certain lot or parcel of land conveyed to Bristol Terminals, Inc., dated September 8, 1949 and recorded in the Cumberland County Registry of Deeds in Book 1973, Page 107.

BEING a portion of the premises conveyed to Leonard J. Morin and Frances Retta Morin by deed of Robert A. Ferullo dated July 8, 1948 and recorded in the Cumberland County Registry of Deeds in Book 1921, Page 124.

ALSO another certain lot or parcel of land situated on the southerly sideline of Warren Avenue, so-called, in Portland, Maine, being more particularly described as follows:

Beginning at a point on the southerly sideline of Warren Avenue, so-called, said point being the most northwesterly corner of land of Union Carbide Corporation as shown on a Plan of Property by Land Use Consultants, Inc., dated June 15, 1979 Job No. 771S6, said point also being the most northwesterly corner of land conveyed by Mary Hall, Leslie A. Hall and Florence I. Hall to Linde Air Products Company dated August 22, 1946 and recorded in the Cumberland County Registry of Deeds in Book 1836, Page 88 and being the most northwesterly corner of

Thence S 16° 29' 30" W at a right angle to said Warren Avenue 225.57' to a point on the northerly sideline of land now or formerly of Portland Terminal Company;

Thence N 75° 56' 46" W 250.49' by and along the northerly sideline of land of said Portland Terminal Company to a point;

Thence N 61° 24' 46" E 31.73' by and along the southeasterly sideline of said Portland Terminal Company, and land now or formerly of Leonard J. Morin to a point;

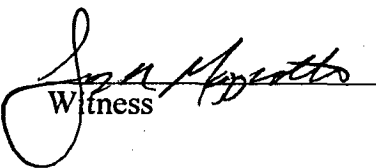
Thence S 75° 58' 41" E 5.35' by and along the southeasterly sideline of said Morin to a point;

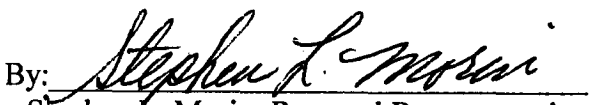
Thence N 60° 32' 38" E 85.72' by and along the southeasterly sideline of said Morin to a point;

Thence N 63° 29' 30" E 222.75' by and along the southeasterly sideline of said Morin to the point of beginning.

That the above premises conveyed to Leonard J. Morin by Deed of Distribution from the Personal Representative of the Estate of Francis Rheta Morin a/k/a Frances R. Morin dated February 23, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14568, Page 277.

IN WITNESS WHEREOF, Stephen L. Morin Personal Representative of the Estate of Leonard J. Morin has hereunto set his hand and seal this 26th day of February, 2004.


Witness

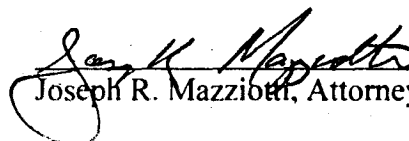
Estate of Leonard J. Morin
By: 
Stephen L. Morin, Personal Representative

STATE OF MAINE
CUMBERLAND, ss

February 26, 2004

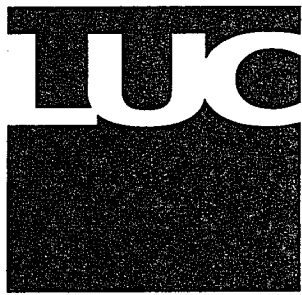
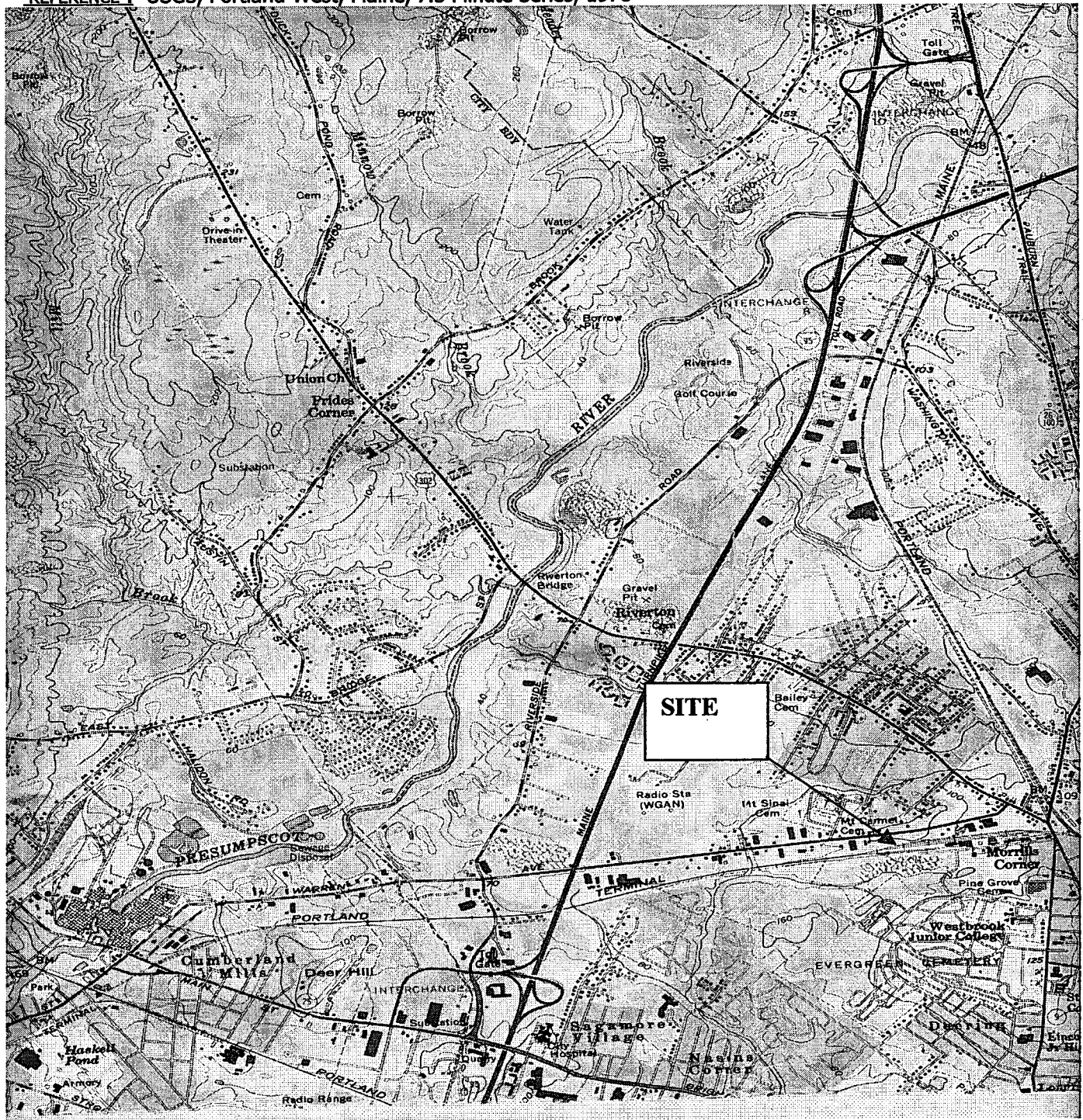
Personally appeared the above-named Stephen L. Morin, as Personal Representative of the Estate of Leonard J. Morin, and acknowledged the foregoing instrument to be his free act in his said capacity and deed and the free act and deed of said Estate.

Before me,



Joseph R. Mazziotti, Attorney at Law

Received
Recorded Register of Deeds
Feb 27, 2004 10:41:39A
Cumberland County
John B O'Brien



Land Use Consultants, Inc.

■ PREPARED FOR:
Morin Commercial Building
180-200 Warren Avenue
Portland, Maine

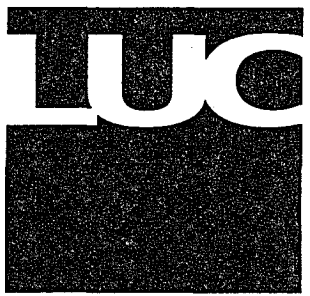
■ TITLE:
USGS Locus Map

■ DATE: 12/15 ■ SCALE: 1"=1000' ■ JOB NO: 4471

Figure A-1

CUMBERLAND COUNTY, MAINE - SHEET NUMBER 81

81



Land Use Consultants, Inc.

- **PREPARED FOR:**
Morin Commercial Building
180-200 Warren Avenue
Portland, Maine
- **TITLE:**
Soils Map
- **DATE:** 12/15
- **SCALE:** 1"=1667'
- **JOB NO:** 4471

Figure A-2

From: "Dan Goyette" <DGoyette@woodardcurran.com>
To: <sh@portlandmaine.gov>
Date: 03/23/2006 8:38:16 AM
Subject: Morin Commercial Building

Sarah,

After doing a little research into the new Chap. 500 rules, it appears that even though the project is in the Capisic watershed, it will not be subject to DEP review. The project if it had more than 25 parking spaces would have been required to have on-site treatment. Can we lump the two parcels together, are they doing work to the other parcel, if so it would trigger a MEDEP review and permitting. Please let me know if you need anything else.

Daniel Goyette, PE

41 Hutchins Drive
Portland, Maine 04102
Phone: 800-426-4262
Fax: 207-871-0724
Email: dgoyette@woodardcurran.com

MEMORANDUM

05-275

TO: Sarah Hopkins, Development Review Manager
FROM: Dan Goyette, PE – Development Review Coordinator, Woodard & Curran, Inc.
DATE: April 17, 2006
RE: Morin Commercial Building, 180 Warren Avenue

Woodard & Curran has reviewed the Minor Site Plan submission for the proposed project for 180 Warren Avenue, the Morin Commercial Building. The project involves the construction of a 4000 square foot commercial building on a currently vacant lot.

Documents Reviewed

- Response to Comments Letter to Sarah Hopkins, dated April 10, 2006 from Lynwood Myshrahl, P.E., Land Use Consultants.
- Engineering plan set prepared by Land Use Consultants, sheets 1-7, dated December 12, 2005 revised April 10, 2006.

1. Stormwater Management

- A. The applicant, although not required, may wish to install a filter or infiltration system at the rear of the lot. The system would capture the surface runoff and treat it before it leaves the property and enters the Capisic Watershed, an urban impaired watershed.

2. General Comments

- A. The General Notes in number 14 refer to the “Maine Erosion and Sediment Control Handbook” version March 1991. This should be changed to refer to the 2006 version.
- B. On sheet #, a 20’ dimension is shown between the existing building and the concrete barriers, when scaling on the plans it appears that this dimension should actually be closer to 15’. This would not allow for two way access to the rear of the existing building.
- C. Grading has been indicated on the adjacent parcel. A grading easement for this work will be required.
- D. One of the trees being proposed along Warren Avenue appears to have been placed over the existing water services. The orientation of the trees should be adjusted so that trees are not placed directly over the utilities.

DRG
203848.10

cc: File



Land Use Consultants Inc.

planners
engineers
landscape
architects

David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

April 10, 2006

4471

Ms. Sarah Hopkins
City Planner
Department of Planning & Urban Development
City Hall
289 Congress Street
Portland, ME 04101

**Morin Commercial Building 180 Warren Avenue– Minor Site Plan Review
Responses to Review Comments of 3/22/06 Meeting**

Dear Sarah:

The following are responses to the issues raised at our meeting held on March 22, 2006 at Portland City Hall. We have included as well, 9 sets of revised plans dated April 10, 2006 for further staff and engineering review.

A 5' sidewalk, 8' esplanade, and granite curb have been added in front of the project along Warren Avenue. This meets the City of Portland Commercial Street Section as outlined in the City of Portland Technical and Design Standards and Guidelines.

A precast concrete barrier has been added along the property line between the project and the existing development.

A separate deed is being executed for the development. To be submitted at a later date.

Pre and postdevelopment calculations as well as pre and postdevelopment drawings are attached for the 25-year storm event. The calculations indicate that the development is not causing increased flows in the postdevelopment condition to the Portland Terminal Company Right of Way. Additionally, the calculations indicate that there is an insignificant increase in runoff to Warren Avenue due to the development. See the table below, calculations attached.

Peak Runoff Rates cfs

Point of Interest	Pedevlopment 25 yr st	Pastdevelopment 25 yr st	Difference
Warren Avenue	0.22	0.61	+0.39
Portland Terminal	1.97	1.92	-0.05

The accessory building has been eliminated from the project. The area where the accessory building was to be located will remain unimproved.

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

voice (207) 878 · 3313
f a x (207) 878 · 0201
email: landuse@landuseinc.net



We trust this response letter addresses the review comments. Please contact our office with any questions you may have concerning these responses to the issues raised at our meeting of 3/22/06.

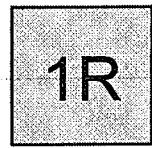
Sincerely,

A handwritten signature in black ink, which appears to read 'Lynwood Myshra', is written over the typed name.

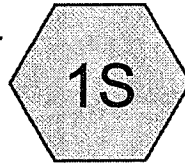
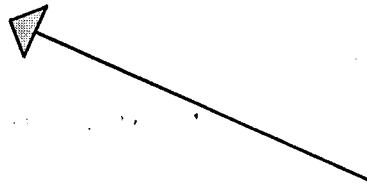
Lynwood Myshra, P.E.
Senior Civil Engineer

Encl Drawings Revised Date April 10, 2006

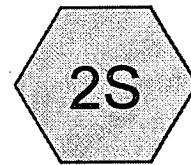
cc: S. Morin



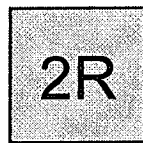
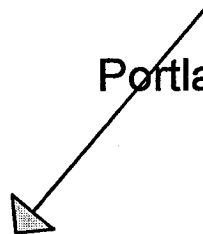
Dummy



Warren Ave



Portland Terminal



Dummy



Drainage Diagram for Morin Site Plan Warren Ave. predev 25 yr st
Prepared by Land Use Consultants, Inc. 4/10/2006
HydroCAD® 7.00 s/n 000511 © 1986-2003 Applied Microcomputer Systems

Subcatchment 1S: Warren Ave

Runoff = 0.22 cfs @ 12.01 hrs, Volume= 0.014 af, Depth= 2.59"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
2,917	98	Paved parking & roofs

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.7	40	0.0125	0.9		Sheet Flow, A-B Smooth surfaces n= 0.011 P2= 3.00"

Subcatchment 2S: Portland Terminal

Runoff = 1.97 cfs @ 12.14 hrs, Volume= 0.164 af, Depth= 2.41"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
5,320	82	Woods/grass comb., Poor, HSG C
30,210	98	Paved parking & roofs
35,530	96	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.9	45	0.0400	0.1		Sheet Flow, A-B Woods: Light underbrush n= 0.400 P2= 3.00"
1.1	190	0.0200	2.9		Shallow Concentrated Flow, B-C Paved Kv= 20.3 fps
10.0	235	Total			

Reach 1R: Dummy

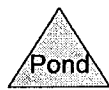
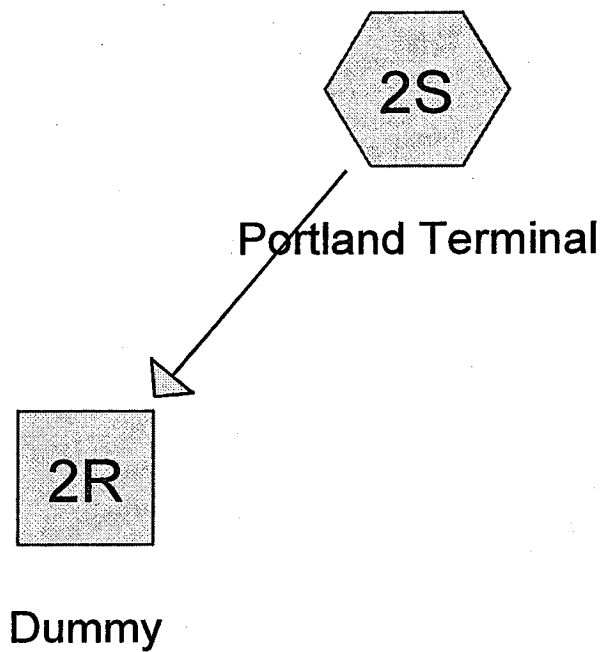
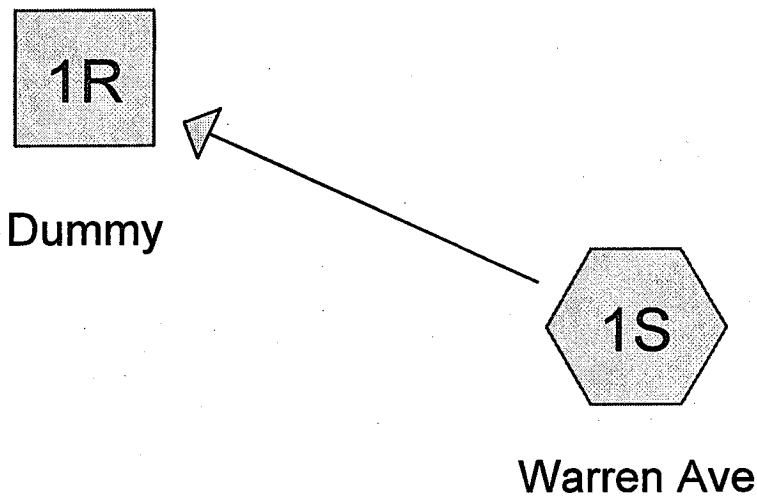
Inflow Area = 0.067 ac, Inflow Depth = 2.59"
 Inflow = 0.22 cfs @ 12.01 hrs, Volume= 0.014 af
 Outflow = 0.22 cfs @ 12.01 hrs, Volume= 0.014 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 2R: Dummy

Inflow Area = 0.816 ac, Inflow Depth = 2.41"
 Inflow = 1.97 cfs @ 12.14 hrs, Volume= 0.164 af
 Outflow = 1.97 cfs @ 12.14 hrs, Volume= 0.164 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



Drainage Diagram for Morin Site Plan Warren Ave. postdev 25 yr st
Prepared by Land Use Consultants, Inc. 4/10/2006
HydroCAD® 7.00 s/n 000511 © 1986-2003 Applied Microcomputer Systems

Subcatchment 1S: Warren Ave

Runoff = 0.61 cfs @ 12.03 hrs, Volume= 0.039 af, Depth= 2.22"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
7,669	98	Paved roads w/curbs & sewers
1,579	74	>75% Grass cover, Good, HSG C
9,248	94	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	60	0.0125	1.0		Sheet Flow, A-B Smooth surfaces n= 0.011 P2= 3.00"
0.4	55	0.0125	2.3		Shallow Concentrated Flow, B-C Paved Kv= 20.3 fps
0.5	70	0.0125	2.3		Shallow Concentrated Flow, C-D Paved Kv= 20.3 fps
1.9	185	Total			

Subcatchment 2S: Portland Terminal

Runoff = 1.92 cfs @ 12.05 hrs, Volume= 0.124 af, Depth= 2.22"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
1,933	82	Woods/grass comb., Poor, HSG C
23,342	98	Paved parking & roofs
3,925	74	>75% Grass cover, Good, HSG C
29,200	94	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	45	0.0080	0.8		Sheet Flow, A-B Smooth surfaces n= 0.011 P2= 3.00"
1.0	110	0.0080	1.8		Shallow Concentrated Flow, B-C Paved Kv= 20.3 fps
0.1	25	0.0400	4.1		Shallow Concentrated Flow, C-D Paved Kv= 20.3 fps
0.9	115	0.0180	2.2		Shallow Concentrated Flow, D-E Unpaved Kv= 16.1 fps
3.0	295	Total			

Reach 1R: Dummy

Inflow Area = 0.212 ac, Inflow Depth = 2.22"
Inflow = 0.61 cfs @ 12.03 hrs, Volume= 0.039 af
Outflow = 0.61 cfs @ 12.03 hrs, Volume= 0.039 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 2R: Dummy

Inflow Area = 0.670 ac, Inflow Depth = 2.22"
Inflow = 1.92 cfs @ 12.05 hrs, Volume= 0.124 af
Outflow = 1.92 cfs @ 12.05 hrs, Volume= 0.124 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



Land Use Consultants Inc.

planners
engineers
landscape
architects

2 store, beauty shop

David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

March 6, 2006

4471

Ms. Sarah Hopkins
City Planner
Department of Planning & Urban Development
City Hall
289 Congress Street
Portland, ME 04101

**Morin Commercial Building 180 Warren Avenue— Minor Site Plan Review
Responses to Review Comments**

Dear Sarah:

The following are responses to Woodard & Curran's engineering peer review comments dated January 10, 2006 and to staff comments dated January 26, 2006. We have included as well, 9 sets of revised plans dated March 6, 2006 for further staff and engineering review for your March 8, 2006 meeting.

Woodard & Curran's Letter dated January 10, 2006:

1. Stormwater Management

- A. The applicant states that the site is impervious, consisting of pavement and gravel surface. The plans do not indicate that to be true. The eastern portion of the lot is indicated as being covered in vegetation. This vegetation is cut back in the proposed condition to allow for the driveway and parallel parking. This change in ground cover needs to be addressed from a stormwater management perspective.

Response:

There is a strip of vegetation along the eastern property line measuring approximately 3450 sq. ft. This vegetation is very spotty consisting mostly of gravel. Of this area approximately 2300 sq. ft. will be converted to pavement due to the proposal. To compensate for this 2300 sq. ft. loss of vegetation the applicant is proposing a 1000 sq. ft. landscape strip along Warren Avenue and to loam and seed an area of 4560 sq. ft. around the accessory building.

- B. If gutters are to be installed on the buildings, the applicant needs to address how the collected stormwater will be discharged and how it will affect the existing drainage patterns.

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

voice (207) 878 · 3313
f a x (207) 878 · 0201
email: landuse@landuseinc.net

K:\PROJ4471 - Steve Morin Site Plan\Planning Board\3-3-06 ltr responses to comments.doc

mtg with Curran

loam/seed



Response:

The applicant is not proposing gutters on the building. The entrance doors on the front of the building have vestibules that are sloped so as to direct rainwater from the door areas. Rainwater from the roof will shed naturally matching the existing runoff route from the site. The rear of the building will not contain gutters. The roof is sloped so as to shed rainwater north and south rain water at the rear of the building will fall on the new paved area where it will shed in sheet flow to the rear of the lot. This corresponds to the existing drainage on the site.

No tractors haulers,

2. Road Access/Circulation

- A. Currently the site does not have a specific driveway location as it can be accessed anywhere along Warren Avenue. The applicant is proposing a single driveway located almost directly across from Hemmingway Street. The potential conflicts with vehicles exiting Hemmingway Street need to be addressed.

Response:

Hemmingway Street is a rutted gravel road servicing one residential house lot located near the end of the street. The street doesn't appear to meet City of Portland street standards. There should be no traffic conflicts with vehicles entering and exiting the Morin Development as Hemmingway Street is essentially a private driveway.

- B. There are no barriers to vehicles from entering or exiting the property from the adjacent property containing the one story brick building from which this lot is being formed. If vehicle access to the site from the adjacent site is to be allowed, it should be restricted to particular areas. Also, easements for this type of movement are needed.

Response:

Mr. Morin owns the adjacent property. It is not intent for vehicles to pass through from one site to the next. As owner of both sites Mr. Morin will monitor the traffic flow and if pass through traffic is a problem will install a barricade between the properties. As owner of both sites easement should not be required

- C. Are tractor-trailers going to be accessing the site? If so, it does not appear they or emergency vehicles will be able to maneuver around the building.

Response:

Tractor-trailers will not be delivering goods to the site. Box type delivery vehicles will be used for deliveries and there is ample room for a box truck

*keep driveway
lined up. (one)
Landscaped island between
two uses. Guardrail
Ask Perry - distinct
and separate
lots.*

No Haulers



to maneuver in and out of the site. It is not the intent for delivery vehicles to go around the building.

D. It does not appear that emergency vehicles will have access to the rear of the accessory building.

Access easement?

Response:

Emergency vehicles i.e. fire truck can pull into the parking lot at the front of the building or the rear of the building or can park in the 24' driveway adjacent to the building. An ambulance should be able to maneuver around the building if necessary.

3. General Comments

A. There does not appear to be an area for snow storage. The location or removal plan needs to be identified.

Response:

During very small storms snow will be plowed around the building and parking lot to the area south of the cell tower (southeast corner) as snow accumulates the owner will truck off the accumulated snow.

B. There is no landscaping or grass shown around the trees in the front of the property.

Response:

See Sheet 3 for the identification of the grassed areas.

C. A sidewalk with an esplanade is required along Warren Avenue.

Response:

As there is an existing paved strip at grade from the street to the property line along Warren Avenue the owner is requesting a waiver from this requirement.

D. Grading is shown outside of the property boundaries. A grading easement will need to be provided.

*MOOT curb, granite, esp, SW
trees in esp.*

Ask Penny



Response:

Mr. Morin, the applicant is the owner of both properties. A grading easement should not be required.

E. No vehicle parking is shown for the accessory building. What is the justification for no parking associated with its use as a self-storage building?

Response:

Division 20
Sec 14-332 h & l

The following parking analysis is offered for the two buildings.

4000 sq ft. retail

1sp/200sq ft. of fst. fl. area in excess of 2000 sq. ft. not used for bulk storage

$4000-2000/200= 10$ spaces

Accessory Building

4000 sq. ft.

1sp/1000 sq. ft.

$4000/1000= 4$ spaces

total spaces required = 14

total spaces provided = 21

*take off
"accessory"*

Response to memo from Marge Schmuckal to Kandi Talbot dated 01/26/2006

The applicant proposes to use the accessory building as a stand-alone storage building not necessarily storage for the retail space. The applicant may rent storage space to outside interests.

See parking analysis above for both buildings.

Parking for the accessory building is based on Ordinance Section 14-332 l requiring 4 spaces.

*Show usage
✓*

Impervious surface ratio calculation

Total area = 38,475 s.f.

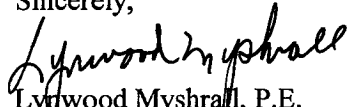
Total impervious area = 25,374 s.f.

Impervious surface ratio = 66%



We trust this response letter addresses the review comments. Please contact our office with any questions you may have concerning our response to the review letter for this project.

Sincerely,


Lyndwood Myshraff, P.E.
Senior Civil Engineer

Encl Drawings Revised Date March 6, 2006

cc: S. Morin

MEMORANDUM

05-275

TO: Kandi Talbot, City of Portland Planner
FROM: Dan Goyette, PE – Development Review Coordinator, Woodard & Curran, Inc.
DATE: January 10, 2006
RE: Morin Commercial Building, 180 Warren Avenue

Woodard & Curran has reviewed the Minor Site Plan submission for the proposed project for 180 Warren Avenue, the Morin Commercial Building. The project involves the construction of a 4000 square foot commercial building and a 4000 square foot accessory building.

Documents Reviewed

- City of Portland Minor Site Plan Application for the Morin Commercial Building, dated December 28, 2005, prepared by Land Use Consultants.
- Engineering plan set prepared by Land Use Consultants, sheets 1-5, dated December 12, 2005.
- Boundary plan prepared by TKM Land Surveyors, Inc., dated October 2005.
- Architectural plan set prepared by Foreside Architects, LLC, sheets A1-A4, dated December 12, 2005.

1. Stormwater Management

- A. The applicant states that the site is impervious, consisting of pavement and gravel surface. The plans do not indicate that to be true. The eastern portion of the lot is indicated as being covered in vegetation. This vegetation is cut back in the proposed condition to allow for the driveway and parallel parking. This change in ground cover needs to be addressed from a stormwater management perspective.
- B. If gutters are to be installed on the buildings, the applicant needs to address how the collected stormwater will be discharged and how it will affect the existing drainage patterns.

2. Road Access/Circulation

- A. Currently the site does not have a specific driveway location as it can be accessed anywhere along Warren Avenue. The applicant is proposing a single driveway located almost directly across from Hemingway Street. The potential conflicts with vehicles exiting Hemingway Street need to be addressed.
- B. There are no barriers to vehicles from entering or exiting the property from the adjacent property containing the one story brick building from which this lot is being formed. If vehicle access to the site from the adjacent site is to be allowed, it should be restricted to particular areas. Also, easements for this type of movement are needed.
- C. Are tractor trailers going to be accessing the site? If so, it does not appear they or emergency vehicles will be able to maneuver around the building.

D. It does not appear that emergency vehicles will have access to the rear of the accessory building.

3. General Comments

- A.** There does not appear to be an area for snow storage. The location or removal plan needs to be identified.
- B.** There is no landscaping or grass shown around the trees in the front of the property.
- C.** A sidewalk with an esplanade is required along Warren Avenue.
- D.** Grading is shown outside of the property boundaries. A grading easement will need to be provided.
- E.** No vehicle parking is shown for the accessory building. What is the justification for no parking associated with its use as a self storage building?

DRG
203848.10

cc: File



Land Use Consultants Inc.

planners
engineers
landscape
architects

David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

*What is use
guardrail between
esplanade/curb along frontage of site
easements needed for vehicles if lot split.
if not - need to show all one 4471
Site plan,*

*See in back of site plan
dumpster.*

March 6, 2006

Ms. Sarah Hopkins
City Planner
Department of Planning & Urban Development
City Hall
289 Congress Street
Portland, ME 04101

**Morin Commercial Building 180 Warren Avenue— Minor Site Plan Review
Responses to Review Comments**

Dear Sarah:

The following are responses to Woodard & Curran's engineering peer review comments dated January 10, 2006 and to staff comments dated January 26, 2006. We have included as well, 9 sets of revised plans dated March 6, 2006 for further staff and engineering review for your March 8, 2006 meeting.

Woodard & Curran's Letter dated January 10, 2006:

1. Stormwater Management

- A. The applicant states that the site is impervious, consisting of pavement and gravel surface. The plans do not indicate that to be true. The eastern portion of the lot is indicated as being covered in vegetation. This vegetation is cut back in the proposed condition to allow for the driveway and parallel parking. This change in ground cover needs to be addressed from a stormwater management perspective.

Response:

There is a strip of vegetation along the eastern property line measuring approximately 3450 sq. ft. This vegetation is very spotty consisting mostly of gravel. Of this area approximately 2300 sq. ft. will be converted to pavement due to the proposal. To compensate for this 2300 sq. ft. loss of vegetation the applicant is proposing a 1000 sq. ft. landscape strip along Warren Avenue and to loam and seed an area of 4560 sq. ft. around the accessory building.

- B. If gutters are to be installed on the buildings, the applicant needs to address how the collected stormwater will be discharged and how it will affect the existing drainage patterns.

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email: landuse@landuseinc.net

K:\PROJ\4471 - Steve Morin Site Plan\Planning Board\3-3-06 ltr responses to comments.doc



Response:

The applicant is not proposing gutters on the building. The entrance doors on the front of the building have vestibules that are sloped so as to direct rainwater from the door areas. Rainwater from the roof will shed naturally matching the existing runoff route from the site. The rear of the building will not contain gutters. The roof is sloped so as to shed rainwater north and south rain water at the rear of the building will fall on the new paved area where it will shed in sheet flow to the rear of the lot. This corresponds to the existing drainage on the site.

2. Road Access/Circulation

- A. Currently the site does not have a specific driveway location as it can be accessed anywhere along Warren Avenue. The applicant is proposing a single driveway located almost directly across from Hemingway Street. The potential conflicts with vehicles exiting Hemingway Street need to be addressed.

Response:

Hemingway Street is a rutted gravel road servicing one residential house lot located near the end of the street. The street doesn't appear to meet City of Portland street standards. There should be no traffic conflicts with vehicles entering and exiting the Morin Development as Hemmingway Street is essentially a private driveway.

- B. There are no barriers to vehicles from entering or exiting the property from the adjacent property containing the one story brick building from which this lot is being formed. If vehicle access to the site from the adjacent site is to be allowed, it should be restricted to particular areas. Also, easements for this type of movement are needed.

Response:

Mr. Morin owns the adjacent property. It is not intent for vehicles to pass through from one site to the next. As owner of both sites Mr. Morin will monitor the traffic flow and if pass through traffic is a problem will install a barricade between the properties. As owner of both sites easement should not be required

- C. Are tractor-trailers going to be accessing the site? If so, it does not appear they or emergency vehicles will be able to maneuver around the building.

Response:

Tractor-trailers will not be delivering goods to the site. Box type delivery vehicles will be used for deliveries and there is ample room for a box truck



to maneuver in and out of the site. It is not the intent for delivery vehicles to go around the building.

- D. It does not appear that emergency vehicles will have access to the rear of the accessory building.

Response:

Emergency vehicles i.e. fire truck can pull into the parking lot at the front of the building or the rear of the building or can park in the 24' driveway adjacent to the building. An ambulance should be able to maneuver around the building if necessary.

3. General Comments

- A. There does not appear to be an area for snow storage. The location or removal plan needs to be identified.

Response:

During very small storms snow will be plowed around the building and parking lot to the area south of the cell tower (southeast corner) as snow accumulates the owner will truck off the accumulated snow.

- B. There is no landscaping or grass shown around the trees in the front of the property.

Response:

See Sheet 3 for the identification of the grassed areas.

- C. A sidewalk with an esplanade is required along Warren Avenue.

Response:

As there is an existing paved strip at grade from the street to the property line along Warren Avenue the owner is requesting a waiver from this requirement.

- D. Grading is shown outside of the property boundaries. A grading easement will need to be provided.



Response:

Mr. Morin, the applicant is the owner of both properties. A grading easement should not be required.

- E. No vehicle parking is shown for the accessory building. What is the justification for no parking associated with its use as a self-storage building?

Response:

Division 20
Sec 14-332 h & l

The following parking analysis is offered for the two buildings.
4000 sq ft. retail
1sp/200sq ft. of fst. fl. area in excess of 2000 sq. ft. not used for bulk storage
 $4000-2000/200= 10$ spaces

Accessory Building
4000 sq. ft.
1sp/1000 sq. ft.
 $4000/1000= 4$ spaces

total spaces required = 14
total spaces provided = 21

Response to memo from Marge Schmuckal to Kandi Talbot dated 01/26/2006

The applicant proposes to use the accessory building as a stand-alone storage building not necessarily storage for the retail space. The applicant may rent storage space to outside interests.

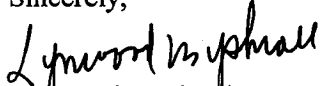
See parking analysis above for both buildings.
Parking for the accessory building is based on Ordinance Section 14-332 l requiring 4 spaces.

Impervious surface ratio calculation
Total area = 38,475 s.f.
Total impervious area = 25,374 s.f.
Impervious surface ratio = 66%



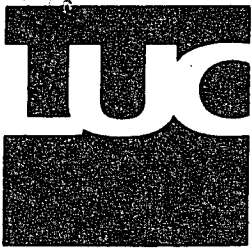
We trust this response letter addresses the review comments. Please contact our office with any questions you may have concerning our response to the review letter for this project.

Sincerely,


Lynwood Myshrafi, P.E.
Senior Civil Engineer

Encl Drawings Revised Date March 6, 2006

cc: S. Morin



Land Use Consultants Inc.

*p l a n n e r s
e n g i n e e r s
l a n d s c a p e
a r c h i t e c t s*

David A. Kamila PE
Frederic J. Licht PE
Thomas N. Emery RLA
J. David Haynes RLA

April 10, 2006

4471

Ms. Sarah Hopkins
City Planner
Department of Planning & Urban Development
City Hall
289 Congress Street
Portland, ME 04101

**Morin Commercial Building 180 Warren Avenue— Minor Site Plan Review
Responses to Review Comments of 3/22/06 Meeting**

Dear Sarah:

The following are responses to the issues raised at our meeting held on March 22, 2006 at Portland City Hall. We have included as well, 9 sets of revised plans dated April 10, 2006 for further staff and engineering review.

A 5' sidewalk, 8' esplanade, and granite curb have been added in front of the project along Warren Avenue. This meets the City of Portland Commercial Street Section as outlined in the City of Portland Technical and Design Standards and Guidelines.

A precast concrete barrier has been added along the property line between the project and the existing development.

A separate deed is being executed for the development. To be submitted at a later date.

Pre and postdevelopment calculations as well as pre and postdevelopment drawings are attached for the 25-year storm event. The calculations indicate that the development is not causing increased flows in the postdevelopment condition to the Portland Terminal Company Right of Way. Additionally, the calculations indicate that there is an insignificant increase in runoff to Warren Avenue due to the development. See the table below, calculations attached.

Peak Runoff Rates cfs

Point of Interest	Pedvelopment 25 yr st	Pastdevelopment 25 yr st	Difference
Warren Avenue	0.22	0.61	+0.39
Portland Terminal	1.97	1.92	-0.05

The accessory building has been eliminated from the project. The area where the accessory building was to be located will remain unimproved.

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We trust this response letter addresses the review comments. Please contact our office with any questions you may have concerning these responses to the issues raised at our meeting of 3/22/06.

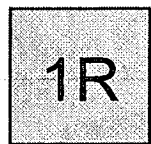
Sincerely,

A handwritten signature in black ink, which appears to read 'Lynwood Myshra', is written over the typed name.

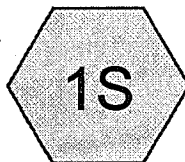
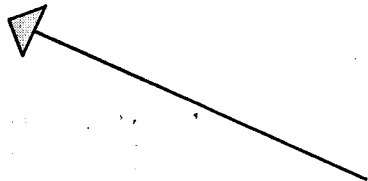
Lynwood Myshra, P.E.
Senior Civil Engineer

Encl Drawings Revised Date April 10, 2006

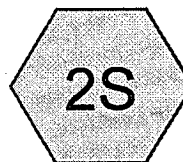
cc: S. Morin



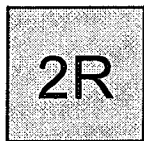
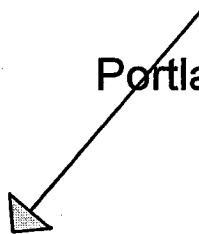
Dummy



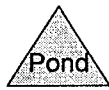
Warren Ave



Portland Terminal



Dummy



Drainage Diagram for Morin Site Plan Warren Ave. predev 25 yr st
Prepared by Land Use Consultants, Inc. 4/10/2006
HydroCAD® 7.00 s/n 000511 © 1986-2003 Applied Microcomputer Systems

Subcatchment 1S: Warren Ave

Runoff = 0.22 cfs @ 12.01 hrs, Volume= 0.014 af, Depth= 2.59"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
2,917	98	Paved parking & roofs

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.7	40	0.0125	0.9		Sheet Flow, A-B Smooth surfaces n= 0.011 P2= 3.00"

Subcatchment 2S: Portland Terminal

Runoff = 1.97 cfs @ 12.14 hrs, Volume= 0.164 af, Depth= 2.41"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
5,320	82	Woods/grass comb., Poor, HSG C
30,210	98	Paved parking & roofs
35,530	96	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.9	45	0.0400	0.1		Sheet Flow, A-B Woods: Light underbrush n= 0.400 P2= 3.00"
1.1	190	0.0200	2.9		Shallow Concentrated Flow, B-C Paved Kv= 20.3 fps
10.0	235	Total			

Reach 1R: Dummy

Inflow Area = 0.067 ac, Inflow Depth = 2.59"
 Inflow = 0.22 cfs @ 12.01 hrs, Volume= 0.014 af
 Outflow = 0.22 cfs @ 12.01 hrs, Volume= 0.014 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Reach 2R: Dummy

Inflow Area = 0.816 ac, Inflow Depth = 2.41"
 Inflow = 1.97 cfs @ 12.14 hrs, Volume= 0.164 af
 Outflow = 1.97 cfs @ 12.14 hrs, Volume= 0.164 af, Atten= 0%, Lag= 0.0 min

Morin Site Plan Warren Ave. predev 25 yr st

Type III 24-hr Rainfall=3.00"

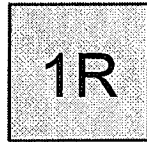
Prepared by Land Use Consultants, Inc.

Page 3

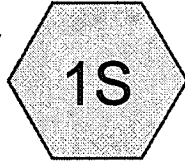
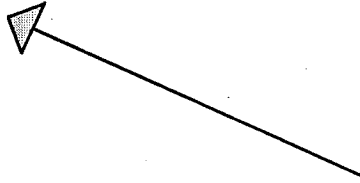
HydroCAD® 7.00 s/n 000511 © 1986-2003 Applied Microcomputer Systems

4/10/2006

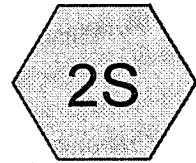
Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



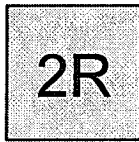
Dummy



Warren Ave



Portland Terminal



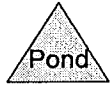
Dummy



Subcat



Reach



Pond



Link

Drainage Diagram for Morin Site Plan Warren Ave. postdev 25 yr st
Prepared by Land Use Consultants, Inc. 4/10/2006
HydroCAD® 7.00 s/n 000511 © 1986-2003 Applied Microcomputer Systems

Subcatchment 1S: Warren Ave

Runoff = 0.61 cfs @ 12.03 hrs, Volume= 0.039 af, Depth= 2.22"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
7,669	98	Paved roads w/curbs & sewers
1,579	74	>75% Grass cover, Good, HSG C
9,248	94	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	60	0.0125	1.0		Sheet Flow, A-B Smooth surfaces n= 0.011 P2= 3.00"
0.4	55	0.0125	2.3		Shallow Concentrated Flow, B-C Paved Kv= 20.3 fps
0.5	70	0.0125	2.3		Shallow Concentrated Flow, C-D Paved Kv= 20.3 fps
1.9	185	Total			

Subcatchment 2S: Portland Terminal

Runoff = 1.92 cfs @ 12.05 hrs, Volume= 0.124 af, Depth= 2.22"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Type III 24-hr Rainfall=3.00"

Area (sf)	CN	Description
1,933	82	Woods/grass comb., Poor, HSG C
23,342	98	Paved parking & roofs
3,925	74	>75% Grass cover, Good, HSG C
29,200	94	Weighted Average

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	45	0.0080	0.8		Sheet Flow, A-B Smooth surfaces n= 0.011 P2= 3.00"
1.0	110	0.0080	1.8		Shallow Concentrated Flow, B-C Paved Kv= 20.3 fps
0.1	25	0.0400	4.1		Shallow Concentrated Flow, C-D Paved Kv= 20.3 fps
0.9	115	0.0180	2.2		Shallow Concentrated Flow, D-E Unpaved Kv= 16.1 fps
3.0	295	Total			

Reach 1R: Dummy

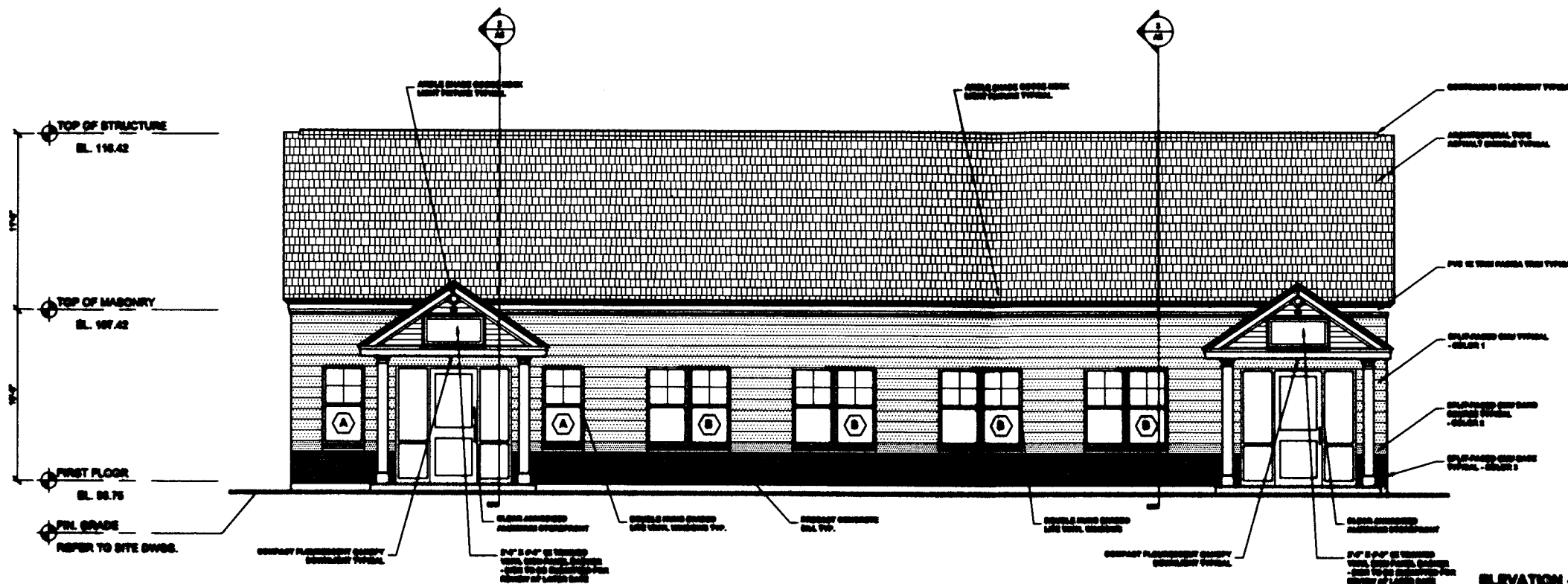
Inflow Area = 0.212 ac, Inflow Depth = 2.22"
Inflow = 0.61 cfs @ 12.03 hrs, Volume= 0.039 af
Outflow = 0.61 cfs @ 12.03 hrs, Volume= 0.039 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs






Reach 2R: Dummy

Inflow Area = 0.670 ac, Inflow Depth = 2.22"
Inflow = 1.92 cfs @ 12.05 hrs, Volume= 0.124 af
Outflow = 1.92 cfs @ 12.05 hrs, Volume= 0.124 af, Atten= 0%, Lag= 0.0 min

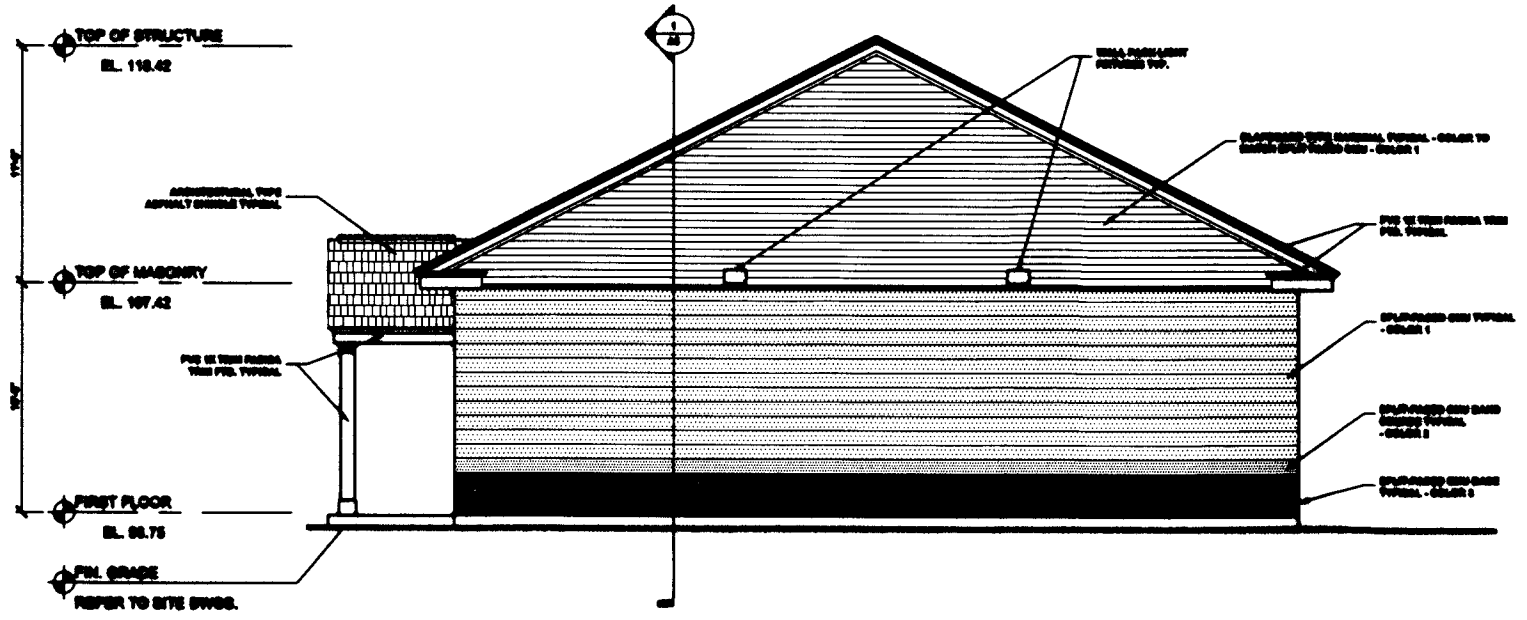
Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs



ELEVATION - MATERIALS LEGEND

-  ASPHALT SHINGLE ROOFING TYPICAL
-  CLAPBOARD TYPE MATERIAL TYPICAL - COLOR TO MATCH SPLIT FACED GIB COLOR 1
-  SPLIT FACED GIB TYPICAL - COLOR 1
-  SPLIT FACED GIB BAND TYP. - COLOR 2
-  SPLIT FACED GIB BAND TYP. - COLOR 2

1 WARREN AVENUE ELEVATION - NORTH
 1/4" = 1'-0"



2 SIDE ELEVATION - WEST
 1/4" = 1'-0"

PLAN NOTES

- 1) EXISTING BUILDING REQUIREMENTS SHALL BE AS DETERMINED BY EXISTING RECORD DRAWINGS AND TO BE OBTAINED AS PART OF THE CITY DEVELOPMENT/PLANNING REVIEW AND LOCAL PERMITS PROCESS.
- 2) MEMBERS OF ALL ROOF TRUSSES ARE TO FINISH WITH 1/2 PLYWOOD GYPSUM BOARD, FULLY VAPOR BARRIER OF ONE TWO LAYER 5/8" TYPE "T" GIB WITH ONE HOUR RATED INSULATION AND CEILING.
- 3) THE BUILDING SHALL BE FINISHED WITH A FULLY EXPANDED GIB SUPPRESSION SYSTEM AND INSULATION ROOF OVERLAP AND OVERLAP SPREAD SHALL FINISH WITH AN APPROXIMATE CONTINUED OR ADDITIONAL FIVE SUPPRESSION SYSTEM TO COMPLETE CURRENT STATE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL EMPLOY A LICENSED SUB-CONTRACTOR TO SUPERVISE CONSTRUCTION AND PROVIDE A DESIGN SOLUTION AND DESIGN STATE STATE FIRE MARSHAL REVIEW/APPROVAL. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVALS OF THE SYSTEM WITH LOCAL AND STATE SIGN-OFF.
- 4) ARCHITECT SHALL BE PROVIDED WITH SIGN OFF BY COMPANY OF PROFESSIONAL ENGINEER OR ARCHITECT. THIS SHALL BE ACCOMPANIED BY THE USE OF A RED ALUMINUM AND YELLOW/WHITE STAMP OF SIGNATURE FOR REVIEW AND APPROVAL BY THE ARCHITECT.
- 5) ALL STRUCTURAL ROOFING TRUSSES SHALL BE FINISHED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR AND THE ARCHITECT SHALL PROVIDE A DESIGN SOLUTION AND DESIGN STATE STATE FIRE MARSHAL REVIEW/APPROVAL. THE SUB-CONTRACTOR SHALL EMPLOY A LICENSED SUB-CONTRACTOR TO SUPERVISE CONSTRUCTION AND PROVIDE A DESIGN SOLUTION AND DESIGN STATE STATE FIRE MARSHAL REVIEW/APPROVAL. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVALS OF THE SYSTEM WITH LOCAL AND STATE SIGN-OFF.
- 6) DRAWINGS PREPARED AS PART OF THIS DRAWING SET HAVE BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF PORTLAND, MAINE AND THE STATE OF MAINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVALS OF THE SYSTEM WITH LOCAL AND STATE SIGN-OFF.

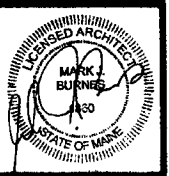
REVISIONS



301 VERANDA ST. Phone: 207-894-2044
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Project Status:
CONSTRUCTION / FIRST REVIEW

Project Number:
MCS 100



Project Title:
MORIN COMMERCIAL BUILDING
 Warren Avenue
 Portland, Maine

Drawing Name:
EXTERIOR BUILDING ELEVATIONS

Scale:
 1/4" = 1'-0"

Date:
 01/04/10

SHEET
A-4.0

