

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

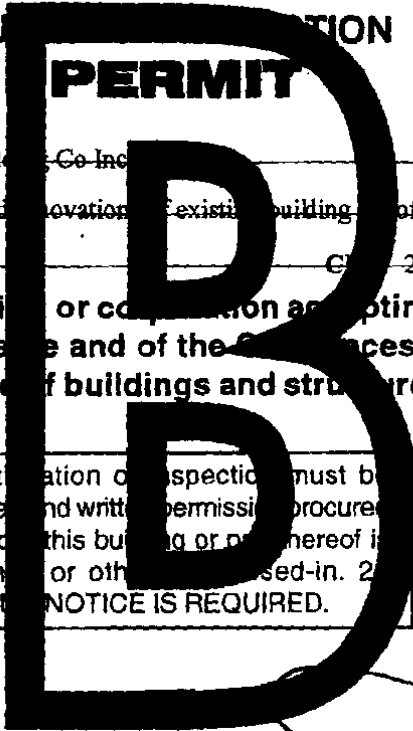
PERMIT

Permit Number: 101094

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Pochebit Walter J/Goduti Building Co Inc
has permission to New 720 sq. ft. addition to and renovation of existing building office space.
AT 171 Warren Ave City 295 B001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. W. Santora
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1094	Issue Date:	CBL: 295 B001001
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Location of Construction: 171 Warren Ave	Owner Name: Pochebit Walter J	Owner Address: 332 Woodford St	Phone:
Business Name:	Contractor Name: Goduti Building Co Inc.	Contractor Address: 9 Deering St. Portland	Phone 2077763768
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: B-4

Past Use: Commercial / Offices	Proposed Use: Commercial / New 720 sq. ft. addition to and renovations of existing building for office space.	Permit Fee: \$965.00	Cost of Work: \$87,000.00	CEO District: 5
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: B Type: SB TBC 293	

Proposed Project Description: New 720 sq. ft. addition to and renovations of existing building for office space.	Signature: 	Signature: 
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 09/01/2010	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland NA <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone Parcel 7 zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #10-79900024 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: 9/7/10	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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RECEIVED

SEP 24 2010

Dept. of Building Inspections
City of Portland Maine

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1094	Date Applied For: 09/01/2010	CBL: 295 B001001
-----------------------	---------------------------------	---------------------

Location of Construction: 171 Warren Ave	Owner Name: Pochebit Walter J	Owner Address: 332 Woodford St	Phone:
Business Name:	Contractor Name: Goduti Building Co Inc.	Contractor Address: 9 Deering St. Portland	Phone (207) 776-3768
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial / New 720 sq. ft. addition to and renovations of existing building for office space.	Proposed Project Description: New 720 sq. ft. addition to and renovations of existing building for office space.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/07/2010

Note: **Ok to Issue:** ✓

- 1) This property shall remain a building with office space for professional offices. Any change of use shall require a separate permit application for review and approval.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 09/24/2010

Note: **Ok to Issue:** ✓

- 1) Upon excavation, if the load bearing value of the soil is less than 1500 psf, a soils investigation shall be performed and revised plans shall be submitted.
- 2) The windows located in the exterior wall next to the ramp must be tempered glass.
- 3) As discussed, the plans must be amended to construct the new stair in a different location.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 09/09/2010

Note: **Ok to Issue:** ✓

- 1) Fire extinguishers required. Installation per NFPA 10
- 2) All construction shall comply with City Code Chapter 10.
- 3) This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.

Comments:

9/7/2010-gg: Minor site plan was approved on 8-27-10. /gg

9/7/2010-mes: WAIT FOR PLANNING SIGN OFF BEFORE ISSUING PERMIT

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

RECEIVED

SEP - 1 2010

If you or the property owner owes real estate or personal property taxes or other charges on any property within the City, payment arrangements must be made before permits of any kind are issued.

Dept. of Building Inspections
City of Portland Maine

Location/Address of Construction: 171 Warren Avenue		
Total Square Footage of Proposed Structure/Area 720 sf addition to 2,634 sf existing bldg.		Square Footage of Lot 51,840 sf
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 295 B 1-7 & 10	Applicant * <u>must</u> be owner, Lessee or Buyer* Name Poulin Property Holdings LLC Address 276 Canco Road City, State & Zip Portland, ME 04103	Telephone: 207-773-1040
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Walter J. Pochebit Address 7 Hale Street City, State & Zip Portland, ME 04103	Cost Of (\$87,000) Work: \$ 890.00 C of O Fee: \$ 75.00 Total Fee: \$ 965.00
Current legal use (i.e. single family) <u>Business (professional offices)</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Business (professional offices)</u> Is property part of a subdivision? <u>No.</u> If yes, please name _____ Project description: Addition to and renovation of existing building for office space for Poulin Financial Services LLC. <u>720 SF addition</u>		
Contractor's name: <u>Goduti Building Company</u> Address: <u>9 Deering Street</u> City, State & Zip <u>Portland, ME 04101</u> Telephone: <u>207-774-2753</u> Who should we contact when the permit is ready: <u>Marc Poulin</u> Telephone: <u>207-773-1040</u> Mailing address: <u>Poulin Property Holdings LLC, 276 Canco Road, Portland, ME 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Marc Poulin Date: 8/31/10

This is not a permit; you may not commence ANY work until the permit is issued



Certificate of Design Application

From Designer: Michael Charek Architects
 Date: August 30, 2010
 Job Name: Offices for Poulin Financial Services LLC
 Address of Construction: 171 Warren Avenue, Portland, ME 04103

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) B Business
 Type of Construction V-B
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No
 Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? No Geotechnical/Soils report required? (See Section 1802.2) No

Structural Design Calculations

See Plans Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>See plans</u>	<u>See plans</u>
↓	↓

Wind loads (1603.1.4, 1609)

See plans Design option utilized (1609.1.1, 1609.6)

↓	Basic wind speed (1809.3)
↓	Building category and wind importance Factor, I_w table 1604.5, 1609.5
↓	Wind exposure category (1609.4)
↓	Internal pressure coefficient (ASCE 7)
↓	Component and cladding pressures (1609.1.1, 1609.6.2.2)
↓	Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

↓	<u>See plans</u> Design option utilized (1614.1)
↓	Seismic use group ("Category")
↓	Spectral response coefficients, S_D & S_1 (1615.1)
↓	Site class (1615.1.5)

↓	<u>See plans</u> Live load reduction
↓	Roof live loads (1603.1.2, 1607.11)
↓	Roof snow loads (1603.7.3, 1608)
↓	Ground snow load, P_g (1608.2)
↓	If $P_g > 10$ psf, flat-roof snow load P_f
↓	If $P_g > 10$ psf, snow exposure factor, C_e
↓	If $P_g > 10$ psf, snow load importance factor, I_s
↓	Roof thermal factor, C_t (1608.4)
↓	Sloped roof snowload, P_s (1608.4)
↓	Seismic design category (1616.3)
↓	Basic seismic force resisting system (1617.6.2)
↓	Response modification coefficient, R_d and deflection amplification factor, C_d (1617.6.2)
↓	Analysis procedure (1616.6, 1617.5)
↓	Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

↓	<u>See plans</u> Flood Hazard area (1612.3)
↓	Elevation of structure

Other loads

↓	<u>See plans</u> Concentrated loads (1607.4)
↓	Partition loads (1607.5)
↓	Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

Note: See Sheet S-1 for structural design criteria.



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



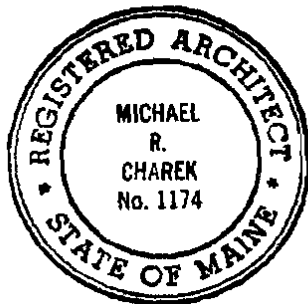
Accessibility Building Code Certificate

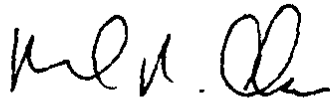
Designer: Michael Charek Architects

Address of Project: 171 Warren Avenue

Nature of Project: Offices for Poulin Financial Services:
Addition to and renovation of existing building into
office space for Poulin Financial Services LLC.

To the best of my knowledge and belief,
 The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: Principal

Firm: Michael Charek Architects

Address: 25 Hartley Street
Portland, ME 04103

Phone: 207-761-0556

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

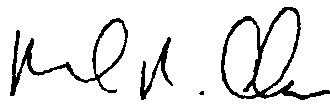
Date: August 30, 2010

From: Michael Charek Architects

To the best of my knowledge and belief,
These plans and / or specifications covering construction work on:

Offices for Poulin Financial Services: Addition to and renovation of existing building
into office space for Poulin Financial Services LLC.

Have been designed and drawn up by the undersigned, a Maine registered Architect /
Engineer according to the *2003 International Building Code* and local amendments.

Signature: 

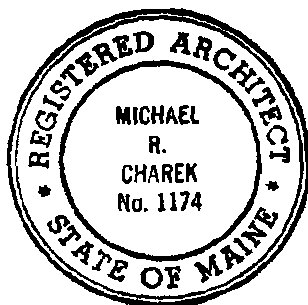
Title: Principal

Firm: Michael Charek Architects

Address: 25 Hartley Street

Portland, ME 04103

Phone: 207-761-0556



**For more information or to download this form and other permit applications visit the Inspections Division
on our website at www.portlandmaine.gov**



Strengthening a Remarkable City. Building a Community for Life www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

August 27, 2010

Poulin Property Holdings LLC
Poulin Financial Services, LLC, PA
c/o Marc Poulin
276 Canco Road
Portland, ME 04103

Northeast Civil Solutions Inc
c/o Lee Allen
153 US Route 1
Scarborough, ME 04074

Project Name: Office Expansion;
Poulin Property Holdings LLC and Poulin Financial
Services LLC, PA, Joint Applicants

Project Address: 171 Warren Avenue, Portland Maine

Project ID: 10-79900021

Dear Mr. Poulin and Mr. Allen:

On August 27, 2010 the Portland Planning Authority approved a minor site plan for a single story building addition of 720 sq ft to the rear of the existing office building at 171 Warren Avenue, as shown on the approved plans: Sheet 2 Site Plan and Sheet 3 Erosion & Sedimentation Control Notes and Construction Details dated 8.20.2010 prepared by Northeast Civil Solutions; and Sheet A2 Elevations dated 7.22.2010 prepared by Michael Charek Architects, with the following conditions:

- i. That the applicant shall close the Warren Avenue driveway and re-establish the driveway on Hemingway Street at the time that Hemingway Street is improved. The applicant would be responsible for all work associated with this action, both on site and off site; and
- ii. The applicant shall have a licensed surveyor install, prior to the issuance of the Certificate of Occupancy, the two rear property pins in the vacated Katahdin Street, as shown on the submitted Boundary Survey dated July 26, 2010 revised 8.20.2010; and
- iii. That the applicant shall submit a copy of the letter confirming water capacity (from Portland Water District) prior to the issuance of a building permit; and

- iv. That if in the future a dumpster or any exterior lighting (including building mounted) is proposed for installation on this site, the applicant shall submit plans and details of such items for review and approval prior to their installation; and
- v. That all pavement repairs within Warren Avenue, which is classified as a City arterial, shall meet the requirements of the City Technical Manual detail for an arterial street and not as shown in the detail on the submitted plans.

This approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:


1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of Article V, Site Plan ordinance. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein.
2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Jean Fraser at 874 8728 or jf@portlandmaine.gov.

Sincerely,


Alexander Jaegerman
Planning Division Director (BB)

Attachment: Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPiero, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Gayle Guertin, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Kathi Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Greg Vining, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, TY Lin
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File

Hard Copy: Project File

Applicant: Poulin Property Holdings Date: 8/19/10

Address: 171 Warren Ave C-B-L: 295-B-1 to 7-10

CHECK-LIST AGAINST ZONING ORDINANCE

Permit # 10-1094

Date - Existing Dev.

Zone Location - B-4

Interior or corner lot of Henry way st used for general/prof office

Proposed Use/Work - 16' x 45' (720#) Addition proposed offices - rest of

Sewage Disposal - City Existing Bldg is offices

Lot Street Frontage - 60' min = 193.14'

Front Yard - 20' or Average as min. - well over 21.4' shown

Rear Yard - 20' min - 126.4' + shown

Side Yard - 10' min (including side garden side) - 49.3' shown -

Projections - Stairs

Width of Lot - 60' min - 193.14'

Height - 65' MAX - 16' from grade to flat roof

Lot Area - 10,000# min req - 1.021 Acres per Assessor's 51,840# given

Lot Coverage/Impervious Surface - 80% MAX of 24,147# MAX $\rightarrow 12,124#$ given

Area per Family - N/A wheel stops - 8/23/10 changed to 11,785#

Off-street Parking - 1 per 400# of office space $3330 \div 400 = 8.325$ or 8 pks 9 pks shown req

Loading Bays - N/A

Site Plan - #10-7990002/

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 - Zone X

F.A.R = $\frac{\text{Floor Area}}{\text{lot size}}$ = should be $\leq .55$ / $\frac{3330\#}{51,840\#} = .06$ OK
Abats R-3

**ZONING ADMINISTRATOR
MARGE SCHMUCKAL**

AUGUST 19, 2010

171 Warren Avenue is located within a B-4 Business Zone which allows general, business and professional offices. The 16' x 45' (720 sq ft) addition is to enlarge the existing professional offices.

The project is meeting the B-4 Zone requirements including setbacks, impervious surface, Floor Area Ratio, and parking.

The project is not in a Shoreland or Floodplain area.

Marge Schmuckal - Fwd: RE: 171 Warren Avenue Review Comments

From: Marge Schmuckal
To: Dan Goyette; David Margolis-Pineo; Errico Thomas; Jean Fraser; Jeff...
Date: 8/23/2010 10:56 AM
Subject: Fwd: RE: 171 Warren Avenue Review Comments
CC: Barbara Barhydt

8/23/10

Jean

The revised impervious surface information given with the application was listed: "proposed total impervious - 12,124 sq ft" This e-mail now says it will be at 11,785 sq ft. Both amounts are well under the maximum 80% impervious surface requirements. I don't know why there is a difference in the figures given.

Marge

>>> Jean Fraser 8/20/2010 3:39 PM >>>

GOES WITH THE REVISED PLANS THAT I SENT ABOUT AN HOUR AGO. ALSO INCLUDES INFO THAT REVIEWERS REQUESTED.

I will forward the Wastewater Capacity (request) letter separately.

>>> "Lee Allen" <lee.allen@northeastcivilsolutions.com> 8/20/2010 2:56 PM >>>

Jean,

Please find responses to City comments in **BOLD** below.

- A bituminous sidewalk along the edge of the curb along the frontage from Hemingway Street to the north eastern-most oak tree and transition it to provide a sidewalk at the back of the ROW when it gets beyond the tree and continue this to the property line; please include a note on the site plan indicating that the exact location of the transition away from the curb will be field located during construction in conjunction with the City Arborist- please include the sidewalk detail previously forwarded to you regarding the sidewalk itself; **The sidewalk and notes to adjust location at transition to esplanade section has been added to the plan.**
- That the small curb cut in the middle of the frontage (not the main drive) will be closed with curbing (also sidewalk); **The curb cut has been closed and is indicated on the site plan.**
- Two (2) bicycle parking spaces (DERO Hitch preferred) near the main entrance; **The bicycle rack and associated detail has been added to the plan.**
- That dumpster will have gates and fencing all around it, plus provide detail of the gates; **The dumpster has been removed from the plan, the owner will have a cleaning service maintain the office and all garbage will be removed daily and disposed off-site.**
- Two additional trees in the grassed area along Hemingway Street; **Two oak trees have been identified on the plan and were added to the Landscape Schedule.**
- Details re the oak tree nearest the parking area showing how tree will be protected from construction of sidewalk; and maximize pervious area over the root system on parking lot side; **On the building side of the Oak Tree pavement has been removed to ensure pervious area around the tree. The proposed sidewalk has notes added to carefully work around the root system.**
- Installation of the two rear property pins in the vacated Katadin Street, with note confirming that this to be done by a licensed surveyor. **Two rear property corner pins have been identified as "to be set".**

Please provide the information as previously requested:

- The tie distance to the angle point easterly of the site along the side line of Warren Ave; **Survey plan**

Marge Schmuckal - Fwd: RE: 171 Warren Avenue Review Comments

From: Jean Fraser
To: Errico, Thomas; Goyette, Dan; Margolis-Pineo, David; Tarling, Jeff
Date: 8/20/2010 3:39 PM
Subject: Fwd: RE: 171 Warren Avenue Review Comments
CC: Barhydt, Barbara; Schmuckal, Marge

GOES WITH THE REVISED PLANS THAT I SENT ABOUT AN HOUR AGO. ALSO INCLUDES INFO THAT REVIEWERS REQUESTED.

I will forward the Wastewater Capacity (request) letter separately.

>>> "Lee Allen" <lee.allen@northeastcivilsolutions.com> 8/20/2010 2:56 PM >>>

Jean,

Please find responses to City comments in **BOLD** below.

- A bituminous sidewalk along the edge of the curb along the frontage from Hemingway Street to the north eastern-most oak tree and transition it to provide a sidewalk at the back of the ROW when it gets beyond the tree and continue this to the property line; please include a note on the site plan indicating that the exact location of the transition away from the curb will be field located during construction in conjunction with the City Arborist- please include the sidewalk detail previously forwarded to you regarding the sidewalk itself; **The sidewalk and notes to adjust location at transition to esplanade section has been added to the plan.**
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- Installation of the two rear property pins in the vacated Katadin Street, with note confirming that this to be done by a licensed surveyor. **Two rear property corner pins have been identified as "to be set".**

Please provide the information as previously requested:

- The tie distance to the angle point easterly of the site along the side line of Warren Ave; **Survey plan has been updated; No information was found on distance to angle point in Warren Ave. However, monumentation was found that ties the boundary to the Hemmingway Street Right of Way.**
- Clarifying re impervious surface net change; **Based on changes to the plan the impervious and pavement numbers have been revised as follows;**

Proposed Total Paved Area = 8,560 sf

Existing Total Impervious Area = 11,570 sf
Proposed Total Impervious Area = 11,785 sf
Proposed Impervious Net Change = +215 sf

Application
sfa Feb 12, 124 #
prop total imperv

- Evidence of application for Sewer and Water Capacity letters. **See separate email with .pdf's of capacity letters.**

Please feel free to contact me with any questions or concerns.

Sincerely,

Lee Allen, P.E., Vice President

Northeast Civil Solutions, Inc.
153 US Route 1
Scarborough, ME 04074

Phone: (207) 883-1000
Fax: (207) 883-1001
Toll Free: (800) 882-2227

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Thursday, August 19, 2010 3:52 PM
To: lee.allen@northeastcivilsolutions.com.; marc@poulinfinancial.com
Cc: Barbara Barhydt
Subject: 171 Warren Avenue Review Comments

Marc and Lee,

As promised, I am sending this e-mail as a comprehensive "review" letter to clarify the final comments on the submitted site plan application and plans; this e-mail only mentions the outstanding issues that need to be addressed as otherwise the proposals are acceptable.

Please revise the site plan (and details as appropriate) to show:

- A bituminous sidewalk along the edge of the curb along the frontage from Hemingway Street to the north eastern-most oak tree and transition it to provide a sidewalk at the back of the ROW when it gets beyond the tree and continue this to the property line; please include a note on the site plan indicating that the exact location of the transition away from the curb will be field located during construction in conjunction with the City Arborist- please include the sidewalk detail previously forwarded to you regarding the sidewalk itself;
- That the small curb cut in the middle of the frontage (not the main drive) will be closed with curbing (also sidewalk);
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- That dumpster will have gates and fencing all around it, plus provide detail of the gates;
- Two additional trees in the grassed area along Hemingway Street;
- Details re the oak tree nearest the parking area showing how tree will be protected from construction of sidewalk; and maximize pervious area over the root system on parking lot side;

- Installation of the two rear property pins in the vacated Katadin Street, with note confirming that this to be done by a licensed surveyor.

Please provide the information as previously requested:

- The tie distance to the angle point easterly of the site along the side line of Warren Ave;
- Clarifying re impervious surface net change;
- Evidence of application for Sewer and Water Capacity letters.

Please note that there will be a condition of approval along the following lines because the existing driveway does not meet the separation standard for the distance between it and Hemingway Street:

"That the applicant shall close the Warren Avenue driveway and re-establish the driveway on Hemingway Street at the time that Hemingway Street is improved. The applicant would be responsible for all work associated with this action, both on site and off site."

Once I receive the revised plans and information I will endeavor to complete the review quickly; **please send the revised plans and info by pdf as well as 7 paper sets to scale so I can get these to the reviewers as quickly as possible**; I am on vacation August 30- Sept 3.

Please confirm that you have received this e-mail and please call if any questions.

Jean

Jean Fraser, Planner
City of Portland
874 8728



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 171-173 Warren Avenue

Issued to Joseph Madjerick

Date of Issue May 19, 1989

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 88/856, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPANCY

Office/Warehouse

Limiting Conditions:

NONE

This certificate supersedes
certificate issued

Approved:

[Signature]
(Date) Inspector

[Signature]
Inspector of Buildings

Note: This certificate is for the lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



UNITED STATES GOVERNMENT

OFFICE OF THE SECRETARY OF THE ARMY
WASHINGTON, D. C.

MEMORANDUM FOR THE SECRETARY OF THE ARMY
SUBJECT: [Illegible]

1. [Illegible]

2. [Illegible]

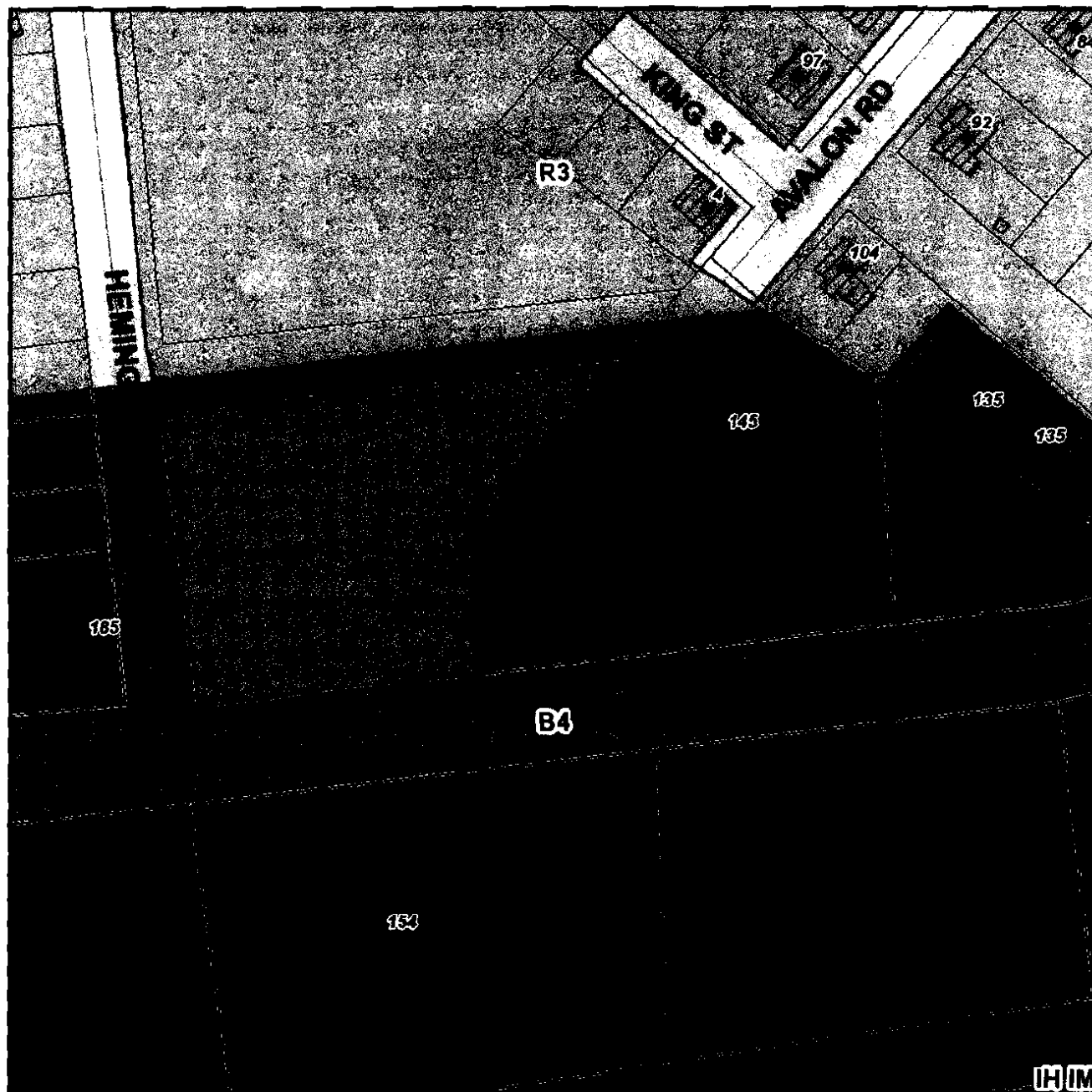
3. [Illegible]

4. [Illegible]

5. [Illegible]

6. [Illegible]

Map



Parcels	Shoreland Overlay Zone	Zoning (continued)	Zoning (continued)
		<input type="checkbox"/> OP Office Park	<input type="checkbox"/> C23
Parcels	Stream Overlay Zone	<input type="checkbox"/> R1 Residential	<input type="checkbox"/> C24
		<input type="checkbox"/> R2 Residential	<input type="checkbox"/> C25
Interstate	Stream_protection	<input type="checkbox"/> R3 Residential	<input type="checkbox"/> C26
	Island Zoning	<input type="checkbox"/> R4 Residential	<input type="checkbox"/> C27
Streets	<input type="checkbox"/> C43	<input checked="" type="checkbox"/> R5 Residential	<input type="checkbox"/> C28
	<input type="checkbox"/> I-B	<input checked="" type="checkbox"/> R6 Residential	<input type="checkbox"/> C29
Buildings	<input checked="" type="checkbox"/> I-TS		

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8466

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)

CBL 295 B001001
Land Use Type OFFICE & BUSINESS SERVICE
Property Location 171 WARREN AVE
Owner Information POCHEBIT WALTER J
 332 WOODFORD ST
 PORTLAND ME 04103
Book and Page 10975/104
Legal Description 295-B-1 TO 7-10
 WARREN AVE 163-177
 AVALON RD HEMINGWAY ST
 KATAHDIN ST 444615F
Acres 1.021

Current Assessed Valuation:

TAX ACCT NO. 3286B **OWNER OF RECORD AS OF APRIL 2010**
 POCHEBIT WALTER J
LAND VALUE \$151,500.00 **332 WOODFORD ST**
BUILDING VALUE \$172,750.00 **PORTLAND ME 04103**
NET TAXABLE - REAL ESTATE \$324,250.00
TAX AMOUNT \$5,810.56

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](mailto:treasury@portlandmaine.gov).



Best viewed at 800x600, with Internet Explorer

Building Information:

Card 1 of 1
Year Built 1914
Style/Structure Type MIXED RES/COMM
Units 1
Building Num/Name 1 - POCHEBIT CO
Square Feet 4164
[View Sketch](#) [View Map](#) [View Picture](#)



Exterior/Interior Information:

Card 1
Levels B1/B1
Size 1088
Use UNFINISHED RES BSMT
Height 6
Heating NONE
A/C NONE

Card 1
Levels 01/01
Size 1088
Use CONVERTED OFFICE
Height 8
Walls FRAME
Heating HW/STEAM
A/C CENTRAL

Card 1
Levels 02/02
Size 768
Use CONVERTED OFFICE
Height 8
Walls FRAME
Heating HW/STEAM
A/C CENTRAL

Card 1
Levels 01/01
Size 630
Use CONVERTED OFFICE
Height 14
Walls FRAME

WARREN AVENUE

6'-6" wide sign

PROPOSED LIGHT SIGN
193.11

1020

1135

PROPOSED SIGN

THE FOULBERT CO. INC.
ONE STEVENS AVE. PITTSBURGH, PA.

SCALE: 1" = 40'-0"
DATE: SEPT 12, 1945

1135
1135

HEMINGWAY STREET

40' (CITY) 50' (FARTHING)

200 CITY 110000 SF

200 (FARTHING)

(DESC.)

00° 00' 00"

180'

5000 SF

5000 SF

5000 SF

EXIST. BUILDING APPROX. LOCATION

9030 SF

5000 SF

208.67' (CITY)

30035' (DESC.)

209' (FARTHING)

KATAHDIN TRILET
(VACATED JAN 8, 1988)

193' (FARTHING)

HEMINGWAY STREET 579° 00' 39" E (CITY)

585 SF

4
5000 SF

100' (CITY)

100' (FARTHING)

579° 50' 14"

NOT
IDENT
TAKEN
VAC
IDENT
TAKEN
BY
DIS/BE
AND

TO FOREST

MORTGAGE LOAN INSPECTION

DATE: _____
BY: _____

PRINCIPAL: _____
INTEREST: _____



RECEIVED

JUL 18 1969

DEPT. OF BUILDING AND SAFETY
CITY OF PORTLAND

CERTIFICATION TO THE CITY OF PORTLAND
RE: MORTGAGE LOAN INSURANCE

THE CITY OF PORTLAND HAS REVIEWED THE MORTGAGE LOAN INSURANCE POLICY AND HAS DETERMINED THAT THE POLICY IS IN COMPLIANCE WITH THE CITY OF PORTLAND MORTGAGE LOAN INSURANCE ACT.

THE CITY OF PORTLAND HAS REVIEWED THE MORTGAGE LOAN INSURANCE POLICY AND HAS DETERMINED THAT THE POLICY IS IN COMPLIANCE WITH THE CITY OF PORTLAND MORTGAGE LOAN INSURANCE ACT.

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Comments
Submitted

rec'd 8/4/10
final comments
rec'd 8/11/10

City of Portland
Development Review Application
Planning Division Transmittal form

Application Number: 10-79900021 **Application Date:**
8-3-10

Project Name: 171 WARREN AVENUE

Address: 171 Warren Avenue **CBL:** 295 - B-001-001

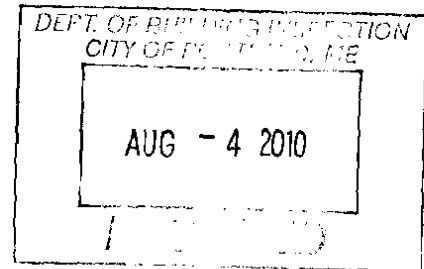
Project Description: Warren Avenue; 171; Office Expansion; Poulin Prop. Holdings

Zoning: B - 4

Other Reviews Required:

Review Type: MINOR SITE PLAN

Applicant:
POULIN PROPERTY HOLDINGS, LLC, C/O MARK POULIN
276 CANCO RD
Portland Me 04103



Applicant:
NORTHEAST CIVIL SOLUTIONS, C/O LEE ALLEN
153 US ROUTE 1
Scarborough Me 04074

Distribution List:

<input type="checkbox"/> Planner	Jean Fraser	<input type="checkbox"/> Parking	John Peverada
<input checked="" type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

Preliminary Comments needed by: August 11, 2010

Final Comments needed by: August 18, 2010



SURVEYING ENGINEERING LAND PLANNING

Northeast Civil Solutions

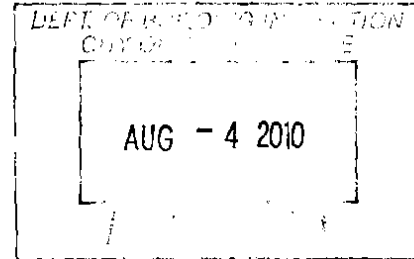
INCORPORATED

www.northeastcivilsolutions.com

July 26, 2010

153 U.S. Route 1
Scarborough
Maine 04074

Ms. Barbara Barhydt
Department of Planning and Urban Development
Portland City Hall
389 Congress Street
Portland, ME 04101



tel

207.883.1000

800.882.2227

RE: Poulin Property Holdings, LLC – Building Addition at 171 Warren Avenue

fax

207.883.1001

Dear Barbara,

Enclosed please find the necessary materials to support a “Minor Site Plan Review” at 171 Warren Avenue. The lot is currently developed, formerly housing an office. Poulin Property Holdings, LLC is proposing to expand the office space with a 720 sf addition.

This parcel is located on the corner of Warren Avenue and Hemmingway Street within the B-4 Business Zone. The total parcel area is 51,840 sf (1.19 Ac). Currently, the site is accessed off from Warren Avenue. Access can also be gained off from Hemmingway Street, an unimproved City Street. The site is not burdened by any easements.

A 45ft x 16ft (720 sf) addition is proposed. The existing footprint of the building is 1,664 sf. With the addition the new footprint of the building will be 2,384 sf. Since a portion of this building is two stories the square footage of the building differs from the footprint. The existing floor area of the building is 2,610 sf and with the addition the proposed floor area is 3,330 sf. The existing pavement is not striped for parking therefore the number of existing spaces was estimated based on the existing building floor area and City Code that calls for 1 space/ 400 sf of office-floor area, resulting in 7 spaces. The additionally floor area proposed increases the parking requirement to 9 spaces. By inspection of the site plan, 9 parking spaces can be provided constructing additional pavement.

A dumpster is proposed within a fenced area located at the back of the site to remove solid waste. The existing fence and gate will be removed and the dumpster placed on existing paved area.

AGENT/REPRESENTATIVE

Name: NORTHEAST CIVIL SOLUTIONS
410 LEE ALLEN
Address: 153 US ROUTE 1
SCARBOROUGH, ME
Zip Code: 04074
Work #: (207) 883-1000
Cell #: _____
Fax #: (207) 883-1001
Home: _____
E-mail: lee.allen@northeastcivilsolutions
com

ENGINEER

Name: - SAME AS AGENT -
Address: _____
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

ARCHITECT

Name: MICHAEL CHAREK ARCHITECTS
Address: 25 HARTLEY STREET
PORTLAND, ME
Zip Code: 04103
Work #: (207) 761-0556
Cell #: _____
Fax #: (207) 761-7260
Home: _____
E-mail: mcharek1@maine.ny.com

CONSULTANT

Name: _____
Address: _____
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

SURVEYOR

Name: - SAME AS AGENT -
Address: _____
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

ATTORNEY

Name: _____
Address: _____
Zip Code: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area 51,840 sq. ft.
 Proposed Total Disturbed Area of the Site 2,230 sq. ft.
 (If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)

IMPERVIOUS SURFACE AREA

Proposed Total Paved Area 8,801 sq. ft.
 Existing Total Impervious Area 11,480 sq. ft.
 Proposed Total Impervious Area 12,124 sq. ft.
 Proposed Impervious Net Change +644 sq. ft.

BUILDING AREA

Existing Building Footprint 1,664 sq. ft.
 Proposed Building Footprint 2,384 sq. ft.
 Proposed Building Footprint Net change 720 sq. ft.
 Existing Total Building Floor Area 2,610 sq. ft.
 Proposed Total Building Floor Area 3,330 sq. ft.
 Proposed Building Floor Area Net Change 720 sq. ft.
 New Building NO (yes or no)

ZONING

Existing B-4
 Proposed, if applicable B-4

LAND USE

Existing BUSINESS OFFICE
 Proposed BUSINESS OFFICE

RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units NA
 Proposed Number of Residential Units to be Demolished _____
 Existing Number of Residential Units _____
 Proposed Number of Residential Units _____
 Subdivision, Proposed Number of Lots _____

PARKING SPACES

Existing Number of Parking Spaces 7
 Proposed Number of Parking Spaces 9
 Number of Handicapped Parking Spaces 1
 Proposed Total Parking Spaces 9

BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces 0
 Proposed Number of Bicycle Parking Spaces 2
 Total Bicycle Parking Spaces 2

ESTIMATED COST OF PROJECT

\$ 100,000

Please answer the following with a Yes/No response on all that apply to the proposed development

Institutional	<u>NO</u>	Change of Use	<u>NO</u>
Parking Lot	<u>YES</u>	Design Review	<u>NO</u>
Manufacturing	<u>NO</u>	Flood Plain Review	<u>NO</u>
Office	<u>YES</u>	Historic Preservation	<u>NO</u>
Residential	<u>NO</u>	Housing Replacement	<u>NO</u>
Retail/Business	<u>NO</u>	14-403 Street Review	<u>NO</u>
Warehouse	<u>NO</u>	Shoreland	<u>NO</u>
Single Family Dwelling	<u>NO</u>	Site Location	<u>NO</u>
2 Family Dwelling	<u>NO</u>	Stormwater Quality	<u>NO</u>
Multi-Family Dwelling	<u>NO</u>	Traffic Movement	<u>NO</u>
B-3 Ped Activity Review	<u>NO</u>	Zoning Variance	<u>NO</u> (or date)
Change of Use	<u>NO</u>	Historic Dist./Landmark	<u>NO</u>
		Off Site Parking	<u>NO</u>

APPLICATION FEE:

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p>Major Development (more than 10,000 sq. ft.)</p> <p>___ Under 50,000 sq. ft. (\$500.00)</p> <p>___ 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p>___ Parking Lots over 100 spaces (\$1,000.00)</p> <p>___ 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p>___ 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p>___ Over 300,000 sq. ft. (\$5,000.00)</p> <p>___ After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p>Plan Amendments</p> <p>___ Planning Staff Review (\$250.00)</p> <p>___ Planning Board Review (\$500.00)</p> <p>Subdivision</p> <p>___ Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + (applicable Major site plan fee)</p>
<p>Minor Site Plan Review</p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p>___ After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p>Other Reviews</p> <p>___ Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p>___ Traffic Movement (\$1,000.00)</p> <p>___ Storm water Quality (\$250.00)</p> <p>___ Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p>___ Other _____</p>

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submissions shall include seven (7) packets with folded plans containing the following materials:


1. Seven (7) full size site plans that must be folded.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist (page 9) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

<p>Signature of Applicant: </p>	<p>Date: 7/26/10</p>
--	----------------------



SURVEYING ENGINEERING LAND PLANNING

Northeast Civil Solutions

INCORPORATED

www.northeastcivilsolutions.com

153 U.S. Route 1 July 22, 2010

Scarborough

Maine 04074

To Whom It May Concern:

I, Marc Poulin, authorize Northeast Civil Solutions, Inc. to sign any and all applications, permit requests, and other paperwork in conjunction with obtaining minor site plan approval for the building addition located at 171 Warren Avenue in Portland, Maine.

tel

207.883.1000

800.882.2227

fax

207.883.1001


Marc Poulin, Poulin Property Holdings, LLC

7/22/10
Date

Site Plan Checklist

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

POULIN - 171 WARREN AVENUE

Project Name, Address of Project

Application Number

(The form is to be completed by the Applicant or Designated Representative)

Check Submitted	Required Information	Section 14-525 (b,c)
Applicant		
Staff		
✓	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
✓	Name and address of applicant and name of proposed development	a
✓	* Scale and north points	b
✓	* Boundaries of the site	c
✓	* Total land area of site	d
✓	* Topography - existing and proposed (2 feet intervals or less)	e
✓	Plans based on the boundary survey including:	2
✓	* Existing soil conditions	a
✓	* Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
✓	* Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
✓	* Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 11 of packet)	d
✓	* Location of on-site waste receptacles	e
✓	* Public utilities	e
✓	* Water and sewer mains	e
✓	* Culverts, drains, existing and proposed, showing size and directions of flows	e
✓	* Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
✓	* Location and dimensions of on-site pedestrian and vehicular access ways	g
✓	* Parking areas	g
✓	* Loading facilities	g
✓	* Design of ingress and egress of vehicles to and from the site onto public streets	g
✓	* Curb and sidewalks	g
✓	Landscape plan showing:	h
✓	* Location of existing vegetation and proposed vegetation	h
✓	* Type of vegetation	h
✓	* Quantity of plantings	h
✓	* Size of proposed landscaping	h
✓	* Existing areas to be preserved	h
✓	* Preservation measures to be employed	h
✓	* Details of planting and preservation specifications	h
✓	* Location and dimensions of all fencing and screening	i
N/A	Location and intensity of outdoor lighting system	j
✓	Location of fire hydrants, existing and proposed (refer to Fire Department checklist - page 11)	k
✓	Written statements to include:	c
✓	* Description of proposed uses to be located on site	cl
✓	* Quantity and type of residential, if any	cl
✓	* Total land area of the site	c2
✓	* Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
✓	* General summary of existing and proposed easements or other burdens	c3
✓	* Type, quantity and method of handling solid waste disposal	c4
✓	* Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets (refer to the wastewater capacity application - page 12)	c5
✓	* Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

<u>✓</u> <u>✓</u>	<hr/> <hr/>	<ul style="list-style-type: none"> * An estimate of the time period required for completion of the development 7 * A list of all state and federal regulatory approvals to which the development may be subject to, the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction. 8
<u>✓</u>	<hr/>	<ul style="list-style-type: none"> * Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.
<u>✓</u>	<hr/>	<ul style="list-style-type: none"> * Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.
<u>W/A</u>	<hr/>	<ul style="list-style-type: none"> * A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.
<u>✓</u> <u>N/A</u>	<hr/> <hr/>	<p>A jpeg or pdf of the proposed site plan, if available.</p> <p>Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.</p>

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- | | |
|--|---|
| <ul style="list-style-type: none"> - drainage patterns and facilities - erosion and sedimentation controls to be used during construction - a parking and/or traffic study - emissions - a wind impact analysis | <ul style="list-style-type: none"> - an environmental impact study - a sun shadow study - a study of particulates and any other noxious - a noise study |
|--|---|

61639E

MAINE REAL ESTATE TAX PAID

QUITCLAIM DEED WITHOUT COVENANT
(Maine Statutory Short Form)

KNOW ALL MEN BY THESE PRESENTS, THAT Fleet Bank of Maine, a banking corporation organized and existing under the laws of the State of Maine, located at One City Center, Portland, County of Cumberland, State of Maine 04101 (Grantor) for consideration paid, RELEASES to Walter J. Pochebik (Grantee) of Portland, Maine, County of Cumberland, State of Maine, whose mailing address is: 7 Hale Street, Portland, Maine 04103, the following described property located in the City of Portland, County of Cumberland, described as follows:

The premises known as 171 Warren Avenue in the City of Portland, County of Cumberland and State of Maine, further described as follows:

Seven (7) certain lots or parcels of land, with the buildings thereon, situated on the northeasterly corner of Warren Avenue and Yale Avenue, in said Portland, said lots being numbered 1, 2, 46, 47, 49, and 50 on the plan of Pinehurst recorded in Cumberland County Registry of Deeds, Plan Book 13, Page 91, the duplex house being numbered 171-173 on Warren Avenue and located on lot #1. Said lots comprise all of the land between Warren Avenue and Princeton Avenue lying easterly of Yale Avenue and between said Avenue and land now or formerly of H. Sawyer Estate.

BEING the same premises conveyed to Edward Robinson and Margaret Robinson by Deed of George W. Collins, dated July 30, 1945, and recorded in the Cumberland County Registry of Deeds in Book 1789, Page 75.

ALSO a certain triangular shaped parcel of land situated on the northerly side of Warren Avenue in the City of Portland, County of Cumberland and State of Maine and bounded and described as follows:

BEGINNING on said northerly side of Warren Avenue at the southeasterly corner of lot numbered one as shown on a plan of Pinehurst and recorded in the Cumberland County Registry of Deeds in Book 13, Page 91; thence easterly by said northerly sideline of Warren Avenue one hundred five and sixty-one hundredths (105.61) feet to an iron; thence northerly and at right angles to said Warren Avenue one hundred (100) feet to a stake marking the northeasterly corner of said lot number one; thence southwesterly by said easterly side line of said lot number one, one hundred forty-five and forty-three hundredths (145.43) feet to the point of beginning.

Being the same property conveyed to Edward Robinson and Margaret Robinson by deed or Southworth Machine Company dated November 10, 1947 and recorded in the Cumberland County Registry of Deeds, Book 1947, Page 012.

Being the same premises conveyed to Fleet Bank of Maine by deed dated June 23, 1993 and recorded in the Cumberland County Registry of Deeds in Book 10785, Page 201.

IN WITNESS WHEREOF, the said Fleet Bank of Maine has caused this instrument to be sealed and signed in its name by Patricia C. Harrington, its Vice President, thereunto duly authorized, this 23 day of September, 1993.

Signed, Sealed and
Delivered in the
Presence of:

FLEET BANK OF MAINE

By Patricia C. Harrington
its Vice President

STATE OF MAINE
CUMBERLAND, SS.

September 23, 1993

Personally appeared the above named Patricia C. Harrington, Vice President of Fleet Bank of Maine and acknowledged the foregoing on oath to be her free act and deed in her said capacity and the free act of Fleet Bank of Maine.

Before me,

Name: Judith M. Harris HARRIS
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES MARCH 31, 1998
Notary Public/Attorney at Law
My Commission Expires: _____

SEAL

Recorded
Cumberland County
Registry of Deeds
09/24/93 03:34:57PM
John B. O'Brien
Register

CONTRACT FOR THE SALE OF COMMERCIAL REAL ESTATE

RECEIVED from Poulin Financial Services, LLC, PA and assigns, whose mailing address is 275 Capoo Road, Portland, ME (hereinafter called "Purchaser"), this 28th day of May, 2010, the sum of Two Thousand Dollars (\$ 2,000.00) as earnest money deposit toward purchase of real estate located at 171 Warren Avenue in the city/town of Portland, County of Cumberland, State of Maine, described as follows a parcel of land approx 1.02 acres and the building thereon and being more fully described at said County's Registry of Deeds in Book 10976, Page 104, upon the terms and conditions indicated below.

1. PERSONAL PROPERTY: The following items of personal property are included in this sale (if applicable) see Addendum

2. PURCHASE PRICE: The total Purchase Price is Four Hundred Twenty Thousand Dollars (\$), with payment to be made as follows:

Table with 2 columns: Description of payment, Amount. Earnest money deposit received on this date: \$ 0.00. Other: Promissory Note - per Addendum \$ 1,000.00. Other: \$. Balance due at closing, in cash or certified funds: \$ 100.00.

3. EARNEST MONEY/AcCEPTANCE: Keller Williams Realty ("Escrow Agent") shall hold the earnest money in a non-interest bearing account and act as escrow agent until closing; this offer shall be valid until May 28, 2010, at 5:00 (AM PM). In the event of Seller's non-acceptance of this offer, the earnest money shall be returned promptly to Purchaser.

4. TITLE: That a deed, conveying the premises in fee simple with good and marketable title in accordance with Standards of Title adopted by the Maine Bar Association shall be delivered to Purchaser and this transaction shall be closed and Purchaser shall pay the Purchase Price as provided herein and execute all necessary papers for the completion of the purchase on or before July 30, 2010. If Seller is unable to convey title to the premises in accordance with the provisions of paragraph 3 below, then Seller shall have a reasonable time period, not to exceed 30 days from the time Seller receives written notice of the defect, unless otherwise agreed to by both parties, to remedy the title, after which time, if such defect is not corrected so that there is marketable title, Purchaser may within 10 days thereafter, at Purchaser's option, withdraw said earnest money and neither party shall have any further obligation hereunder, or Purchaser may, at Purchaser's option, close notwithstanding such uncorrected defects as may then exist. Seller hereby agrees to make a good-faith effort to cure any title defect identified pursuant to paragraph 3 below during such period.

5. DRED: That the property shall be conveyed by a Maine Short Form Deed Act see Addendum. It shall be subject to all encumbrances (other than liens and mortgages), except easements, conditions, assessments and restrictions of record that materially and negatively impair the current use of the premises and usual public utilities servicing the premises and shall be subject to applicable land-use and building laws and regulations.

6. LEASES/TENANT SECURITY DEPOSITS: Seller agrees at closing to transfer to Purchaser, by proper assignment thereof, all Seller's rights under the current leases to the property and any and all security deposits held by Seller pursuant to said leases.

7. POSSESSION/OCCUPANCY: Possession/occupancy of premises shall be given to Purchaser immediately at closing unless otherwise agreed by both parties in writing.

8. RISK OF LOSS: Until transfer of title, the risk of loss or damage to said premises by fire or otherwise is assumed by Seller unless otherwise agreed in writing. Said premises shall at closing be in substantially the same condition as at present, excepting reasonable use and wear. If the premises are materially damaged or destroyed prior to closing, Purchaser may either terminate this Agreement and be refunded the earnest money deposit, or close this transaction and accept the premises in their as-is condition together with an assignment of the Seller's right to any insurance proceeds relating thereto.

9. PRORATIONS: The following items shall be prorated as of the date of closing: a. Real Estate Taxes based on the municipality's tax year. Seller is responsible for any unpaid taxes for prior years. b. Fuel. c. Metered utilities, such as water and sewer, shall be paid by the Seller through the date of closing. d. Purchaser and Seller shall each pay one-half of the transfer tax as required by the laws of the State of Maine. e. Rents, estimated monthly common area maintenance charges, estimated monthly property tax payments, and all other additional rents received by Seller pursuant to leases of the property.

10. INSPECTIONS: Purchaser is advised to seek information from professionals regarding any specific issue of concern. Purchaser acknowledges receipt of disclosure form attached hereto. Neither Seller nor the Real Estate Licensees identified below make any representations or warranties regarding the condition, permitted use or value of Seller's real or personal property. This Contract is subject to the following inspections, with the results being satisfactory to Purchaser:

TYPE OF INSPECTION	YES	NO	RESULTS REPORTED	TYPE OF INSPECTION	YES	NO	RESULTS REPORTED
a. General Building	X		Within 10 days	i. Lead Paint		X	Within _____ days
b. Sewage Disposal		X	Within _____ days	j. Pests		X	Within _____ days
c. Water Quality		X	Within _____ days	k. ADA	X		Within 10 days
d. Radon Air Quality		X	Within _____ days	l. Wetlands		X	Within _____ days
e. Radon Water Quality		X	Within _____ days	m. Environmental Scan		X	Within _____ days
f. Asbestos Air Quality		X	Within _____ days	n. Zoning	X		Within 10 days
g. Code Conformance	X		Within 10 days	o. Insurance	X		Within 10 days
h. Flood Plain		X	Within _____ days	p. Other			Within _____ days

The use of days is intended to mean from the Effective Date of the Contract. All inspections will be done by inspectors chosen and paid for by Purchaser. If the result of any inspection or other condition specified herein is unsatisfactory to Purchaser, Purchaser may declare the Contract null and void by notifying Seller in writing within the specified number of days set forth above, and said earnest money shall be returned to Purchaser. If Purchaser does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Purchaser. In the absence of inspection(s) mentioned above, Purchaser is relying completely upon Purchaser's own opinion as to the condition of the premises.

11. REVIEW OF LEASES AND INCOME AND EXPENSE INFORMATION: Purchaser shall have NA days from the effective date of this contract to review leases of the property and income and expense information regarding the property, which leases and information Seller shall make available to Purchaser at a convenient time and location. If the result of the review is unsatisfactory to Purchaser, Purchaser may declare the Contract null and void by notifying the Seller in writing within the specified number of days set forth herein, and the earnest money shall be returned to Purchaser. If Purchaser does not notify Seller that the review is unsatisfactory within the time period set forth herein, this contingency is waived by Purchaser.

12. FINANCING: Purchaser's obligation to close hereunder is contingent upon Purchaser obtaining within see days from the effective date of this contract a written commitment (the "Commitment") from a lender for a mortgage loan of not less than Addendum K of the purchase price at an initial interest rate not to exceed NA % per annum and amortized over a period of not less than NA years. Purchaser acknowledges that a breach of this good faith obligation to seek and accept financing on the above described terms shall be a breach of this Contract.

In the event that Purchaser is unable to obtain the Commitment and Purchaser notifies Seller within 45 days from the effective date of this Contract, then Seller shall return the earnest money to Purchaser and this Contract shall terminate and neither party shall be under any further obligation hereunder. If Purchaser is unable to obtain the Commitment and does not notify Seller that Purchaser has failed to obtain the Commitment within the time limit set forth above, then Purchaser shall be in default of this Agreement.

13. AGENCY DISCLOSURE: Purchaser and Seller acknowledge that they have been informed that _____ ("Transaction Broker") is acting as a transaction broker in this transaction and does not have a client relationship with either Purchaser or Seller; Cristina McBrearty ("Selling Agent") is acting as a Buyer agent in this transaction and is representing RE/MAX Allied and that Edward Herckeg ("Listing Agent") is acting as a Seller agent in this transaction and is representing Keller Williams Realty (Transaction Broker, Selling Agent and Listing Agent are referred in elsewhere herein as "Licensees").

14. DEFAULT: If Purchaser fails to perform any of the terms of this Contract or is otherwise in default of any of its obligations, Seller shall have the option of either retaining the earnest money as full and complete liquidated damages or employing all available legal and equitable remedies. Should Seller elect to retain the earnest money, this Contract shall terminate and neither party shall be under any further obligation hereunder. In the event of an undisputed default by either party, the Escrow Agent may return the earnest money to Purchaser or Seller with written notice to both parties pursuant to Maine Real Estate Commission regulations. If a dispute arises between Purchaser and Seller as to the assistance of a default hereunder and said dispute is not resolved by the parties within thirty (30) days, Escrow Agent may elect to file an action in interpleader and deposit the earnest money in the court to resolve said dispute, or otherwise disburse the earnest money pursuant to Maine Real Estate Commission regulations. Purchaser and Seller, jointly and severally, shall indemnify Escrow Agent for all costs, losses, expenses, and damages, including reasonable attorneys' fees, incurred by Escrow Agent in connection with said action and/or in connection with any dispute relating to this Contract and/or the Deposit.

15. MEDIATION: Any dispute or claim arising out of or relating to this Contract or the premises addressed in this Contract shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules of the Maine Association of Dispute Resolution Professionals or its successor organization. This clause shall survive the closing of this transaction.

16. PRIOR STATEMENTS: This Contract sets forth the entire agreement between the parties, and there are no other representations, agreements or understandings with respect to the subject matter of this Contract. This Contract shall be construed according to the laws of the State of Maine.

- 17. **HIRS/ASSIGNS:** This Contract shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the respective parties.
- 18. **COUNTERPARTS:** This Contract may be signed on any number of identical counterparts, including telefax copies, with the same binding effect as if all of the signatures were on one instrument.
- 19. **EFFECTIVE DATE:** This Contract is a binding contract when signed by both Seller and Purchaser and when dual fact has been communicated to all parties or to their agents. Time is of the essence of this Contract. Seller or Transaction Broker is given permission by the parties to complete the Effective Date blank below with the date of the last signature of the parties, and that date shall be the Effective Date for all purposes under this Contract, and if that blank is not completed, then the Effective Date shall be the date of the last signature of the parties.
- 20. Seller and Purchaser acknowledge receipt of the **Melroe Real Estate Brokerage Relationships Form**.
- 21. **ADDENDA:** This contract has addenda containing additional terms and conditions: Yes No
- 22. **EXTENSION:** Seller and Purchaser agree to extend the following date(s) set forth in this Contract to the new dates shown:
 Date for _____, changed from _____ to _____
 Date for _____, changed from _____ to _____
 Date for _____, changed from _____ to _____
- 23. The parties agree that none of the above are collateral agreements. It is the intent of the parties that except as expressly set forth in this Contract, all covenants, representations, statements and obligations of both parties herein shall not survive closing.

A COPY OF THIS CONTRACT IS TO BE RECEIVED BY ALL PARTIES AND, BY SIGNATURE, RECEIPT OF A COPY IS HEREBY ACKNOWLEDGED. IF NOT FULLY UNDERSTOOD, CONSULT AN ATTORNEY.

Seller acknowledges that the laws of the State of Maine provide that every buyer of real property located in Maine must withhold a withholding tax equal to 2.5% of the consideration unless Seller furnishes to Purchaser a certificate by the Seller stating, under penalty of perjury, that Seller is a resident of Maine or the transfer is otherwise exempt from withholding.

Poulin Financial Services, LLC, PA and assigns
Legal Name of Purchaser
Marc M. Poulin
Signature

01-0527221
Social Security # or Tax I.D. #
Marc M. Poulin, Member
Name/Title, (here unto duly authorized)

Seller accepts and agrees to the terms and conditions set forth in this Contract and agrees to pay the Licensees the commission for services according to the terms of the listing agreement or if there is no listing agreement, the sum of _____ In the event the earnest money is forfeited by Purchaser, it shall be evenly distributed between (1) Licensees and (2) Seller, provided, however, that the Licensees' portion shall not exceed the full amount of the commission specified.

Signed this 2ND day of JUNE, 2010

Walter Pochebit
Seller
Walter Pochebit
Signature
Broker Agent

Social Security # or Tax I.D. #

Name/Title, (here unto duly authorized)

Name/Title

The Listing Agent is Edward Hecox of Keller Williams Realty (Agency)
The Selling Agent is Cristina McBrearty of RE/MAX Allied (Agency)
The Transaction Broker is _____ of _____ (Agency)

EFFECTIVE DATE OF CONTRACT: JUNE 2, 2010

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ADDENDUM TO CONTRACT FOR THE SALE OF COMMERCIAL REAL ESTATE

This Addendum is a part of and modifies that certain Contract for the Sale of Commercial Real Estate (the "Contract") of even date herewith between Walter J. Pochebit (the "Seller") and Poulin Financial Services, LLC, PA (the "Purchaser")

Seller and Purchaser hereby modify the Contract as follows:

1. Section 4 is modified by adding the words "free and clear of all liens, claims and encumbrances" after the words "good and marketable title" in the first line of such Section.
2. Section 5 of the Contract is deleted in its entirety and is replaced by the following:

DEED. That the Property shall be conveyed by a Maine Short Form Deeds Act Quit Claim with Covenant Deed free and clear of all liens, claims and encumbrances except those that do not materially and adversely affect the use and enjoyment of the Property as contemplated by Purchaser and for which affirmative title insurance coverage is available to Purchaser and subsequent purchasers at no additional cost. Provided however that in no event shall Seller be required to pay Buyer's title insurance coverage cost.
3. Sections 6 and 11 of the Contract are hereby deleted in their entirety.
4. The words "free and clear of all leases, tenancies and occupancies by any party" are added to Section 7 after the words "immediately at closing." The following sentence is added at the end of Section 7: "The premises shall be in substantially the same condition at closing as at the time of the inspections."
5. Section 12 of the Contract is hereby deleted and the following is inserted in its place:

"Purchaser's obligation to close is conditioned upon Purchaser's receipt of written commitments from both an institutional lender and from the United States Small Business Administration under its 504 Loan Program committing to Purchaser's acquisition and renovation of the Premises in an aggregate amount not less than \$,000 and upon terms and conditions satisfactory to Purchaser in Purchaser's sole discretion. Purchaser agrees to use good efforts to secure such financing."
6. Section 14 of the Contract is hereby modified by deleting the first two sentences thereof and replacing them with the following:

"In the event Purchaser defaults under this Contract, Seller's sole legal and equitable remedy shall be to retain the deposit and terminate this Agreement. In the event of

Seller's default hereunder, Purchaser shall have available all remedies at law and in equity, including without limitation the right of specific performance."

WJP 6/2/10
WJP 6-1-10
1070

7. A new Section 24 of the Contract is hereby added, to read as follows: "Buyer agrees to give, and Seller agrees to hold, the balance of the purchase price in the form of a promissory note in the original principal amount of \$) to be secured by other mutually acceptable collateral. Said note must be acceptable to the lender. Terms of said note shall be at an annual interest rate of. payable in quarterly installments beginning October 1, 2010 and prorated for any partial quarter. Annual principal payments of \$ shall be due and payable on April 1, 2011 and annually thereafter for 2012, 2013 & 2014. The note may be prepaid, in whole or in part, without penalty and may not be assumed without the written consent of Seller subject to any required approval of the lender."

8. A new Section 25 is hereby added, to read as follows: "Prior to closing, all personal property, with the exception of all appliances, counters and shelving which are affixed to the Premises, window treatments, and phone system shall be removed from the Premises at Seller's sole expense. Seller will have up to 10 days after closing to clean out building. Seller will provide \$2000 deposit to be held in escrow until clean up is complete. Deposit will be returned to Seller once Buyer has approved that clean up is done."

WJP 6-1-10
WJP 6/2/10

9. A new Section 26 is hereby added, to read as follows: "Prior to closing, all debris, trash and other materials in and around the rear of the Premises, including within the fenced area, shall be removed from the Premises at Seller's sole expense. The fence and fence posts on the Premises shall also be removed at Seller's expense prior to closing."

10. Buyer shall have 10 business days from June 1, 2010 to complete inspections.

This Addendum is an integral part of the Contract. The provisions of this Addendum supersede conflicting provisions in the Contract.

Dated: 6-1-, 2010


Walter J. Pochebit, Seller

Poulin Financial Services, LLC, PA,
Purchaser

By: 
Marc M. Poulin, its Member

STATE OF MAINE
Department of the Secretary of State
Bureau of Corporations, Elections and Commissions
101 State House Station
Augusta, Maine 04333-0101

July 1, 2010

POULIN FINANCIAL SERVICES, LLC, PA
ATTN: MARC M. POULIN
276 CANCO ROAD
PORTLAND ME 04103

ATTESTED COPIES
WR DCN: 2101811900036

Enclosed please find copies of documents recently placed on file with our office. Each copy has been attested as a true copy of the original and serves as your evidence of filing. We recommend that you retain these permanently with your records.

Charter#: 20103631DC Legal Name: POULIN PROPERTY HOLDINGS LLC

ARTICLES OF ORGANIZATION

DCN: 2101811900037 Page(s) 3

Total Pages 3



MAINE

Department of the Secretary of State
Bureau of Corporations, Elections and Commissions

Corporate Name Search

Information Summary

[Subscriber activity report](#)

This record contains information from the CEC database and is accurate as of: Thu Jul 01 2010 09:09:17. Please print or save for your records.

Legal Name	Charter Number	Filing Type	Status
POULIN PROPERTY HOLDINGS LLC	20103631DC	LIMITED LIABILITY COMPANY (DOMESTIC)	GOOD STANDING

Filing Date	Expiration Date	Jurisdiction
06/29/2010	N/A	MAINE

Other Names (A=Assumed ; F=Former)

NONE

Clerk/Registered Agent

MARC M. POULIN
276 CANCO ROAD
PORTLAND, ME 04103

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Obtain additional information:

Certificate of Existence (more info)	Short Form without amendments (\$30.00)	Long Form with amendments (\$30.00)
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POULIN PROPERTY HOLDINGS LLC

OPERATING AGREEMENT

This Operating Agreement of "POULIN PROPERTY HOLDINGS LLC" (the "Company"), formed under the Maine Limited Liability Company Act, 31 M.R.S.A. Section 601 et seq. (the "Act") is entered into as of June 28, 2010 by Marc M. Poulin, the Sole Member, and the Company.

FOR VALUABLE CONSIDERATION, the receipt and sufficiency of which are hereby acknowledged, the sole Member and the Company agree as follows:

ARTICLE 1

Business

The Company is formed for the purpose of acquiring, developing, operating, leasing, selling, exchanging and otherwise disposing of real estate and personal property, and any other business permitted under Maine law and approved by the Sole Member. The Company, acting through its Sole Member, shall have all authority and powers necessary or convenient to carry out its business. The Company's principal business location shall be in Portland, Maine or such other location as the Sole Member shall select from time to time.

ARTICLE 2

Members

The Sole Member is Marc M. Poulin. No additional Members may be admitted without the written consent of the Sole Member. As a condition to the admission of additional Members, the Members shall enter into a comprehensive operating agreement relative to their respective rights and obligations, including, as appropriate, waiver of the Act's default rules relative to per capita voting and per capita distributions.

ARTICLE 3

Membership Interests; Capital Contributions

The Sole Member shall make an initial cash contribution to the Company of One Hundred Dollars (\$100.00) and shall transfer the value of start up activities, including travel and other business expenses, as shall be documented on the beginning balance sheet of the Company. The Sole Member shall not be obligated to make any additional contribution to the Company. The Sole Member shall own one hundred percent (100%) of the interests of the Company ("Membership Interest").

Maine Secretary of State



2010 Annual Report Electronic Filing Acknowledgment

For Limited Liability Companies on file as of December 31, 2009

Charter Number: 20000010DC

DCN Number: 2100019033880

Legal Name: POULIN FINANCIAL SERVICES, LLC, PA

Registered Agent's Name and Address:

MARC M. POULIN
276 CANCO ROAD
PORTLAND, ME 04103

Brief statement of the character of the business:

ACCOUNTING, TAX PREPARATION AND FINANCIAL SERVICES.

Name and Address of Member:

MARC M. POULIN
28 DOWNEAST LANE, SCARBOROUGH, ME 04074

Date of Filing: March 2, 2010

Name and Capacity of Authorizing Party:

MARC M. POULIN, REGISTERED AGENT

DOMESTIC
LIMITED LIABILITY COMPANY

STATE OF MAINE

ARTICLES OF ORGANIZATION

Filing Fee \$175.00

File No. 20103631DC Pages 3
Fee Paid \$ 175
DCN 2101811900037 LTLC
FILED
06/29/2010

Julie R. Flynn
Deputy Secretary of State

A True Copy When Attested By Signature

Julie R. Flynn
Deputy Secretary of State

Pursuant to 31 MRSA §622, the undersigned executes and delivers the following Articles of Organization

FIRST: The name of the limited liability company is

Poulin Property Holdings LLC

(The name must contain one of the following "Limited Liability Company", "L.L.C." or "LLC" - see 31 MRSA §601-A)

SECOND: (Check only if applicable)

This is a professional limited liability company* formed pursuant to 13 MRSA Chapter 22-A to provide the following professional services

(Type of professional services)

THIRD: The Registered Agent is a (select either a Commercial or Noncommercial Registered Agent)

Commercial Registered Agent

CRA Public Number _____

(name of commercial registered agent)

Noncommercial Registered Agent

Marc M. Poulin

(name of noncommercial registered agent)

276 Canco Road, Portland, ME 04103

(physical location, not P O Box - street, city, state and zip code)

SAME

(mailing address if different from above)

FOURTH: Pursuant to 5 MRSA §108 3, the registered agent as listed above has consented to serve as the registered agent for this limited liability company

FIFTH: (Check one box only)

A. The management of the company is vested in a member or members

B. 1 The management of the company is vested in a manager or managers

The minimum number shall be _____ managers and the maximum number shall be _____ managers.

2 If the initial managers have been selected, the name and business, residence or mailing address of each manager is

* Do not complete this list of Managers if Item A (member managed) is selected above*

Names of Managers

Address

<u>Names of Managers</u>	<u>Address</u>

Names and addresses of additional managers are attached as Exhibit _____, and made a part hereof

SIXTH: Other provisions of these Articles, if any, that the members determine to include are set forth in the attached Exhibit _____ and made a part hereof

Organizer(s) **

Dated June 28, 2010

Marc M. Poulin
(Signature)

Marc M. Poulin
(Type or print name)

(Signature)

(Type or print name)

(Signature)

(Type or print name)

Offices for Poulin Financial Services 171 Warren Avenue Portland, Maine

DRAWING LIST

ARCHITECTURAL

G1 Title Sheet & General Notes
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A1 First & Second Floor Plans
A2 South & West Elevations
A3 North & East Elevations & Partial Basement Plan
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STRUCTURAL

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S2 Main Level Framing Plan
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DEMOLITION NOTES

- DEMOLISH EXTERIOR WALLS, FOUNDATIONS, FLOOR SLAB IN INTERIOR PARTITIONS, FLOORS, CEILING, EXTERIOR, AND BUILDING COMPONENTS DESIGNATED TO BE REMOVED.
- BEFORE CUTTING OR REMOVING STRUCTURAL COMPONENTS, EXPOSE AFFECTED AREAS OF EXISTING STRUCTURE FOR INSPECTION BY THE ARCHITECT.
- PROTECT PORTIONS OF BUILDING ADJACENT TO OR AFFECTED BY SELECTIVE DEMOLITION. PROTECT EXISTING DEMOLITION UNTIL TEMPORARY DUST PARTITION HAS BEEN INSTALLED AND APPROVED BY OWNER.
- REMOVE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS OFF-SITE.
- ASBESTOS AND HAZARDOUS MATERIALS DEMOLITION OR REMOVAL WORK IS NOT PART OF THIS CONTRACT.
- DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. ITEMS OF SALVAGE VALUE AND NOT INCLUDED ON SCHEDULE OF SALVAGE ITEMS TO BE REMOVED TO OWNER MAY BE REMOVED FROM STRUCTURE, STORAGE OR SALE OF ITEMS AT PROJECT SITE IS PROHIBITED.
- CEASE OPERATIONS IF PUBLIC SAFETY OF REMAINING STRUCTURES ARE ENDANGERED BEFORE TEMPORARY PROTECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
- CONTRACTOR WILL BE RESPONSIBLE FOR BUILDING SECURITY AND WEATHER PROTECTION THROUGHOUT CONSTRUCTION.
- ITEMS TO BE REMOVED FROM SITE BY CONTRACTOR:
 - PORTIONS OF BUILDING AS NOTED
 - SELECTED PARTITIONS AS NOTED
 - MISCELLANEOUS ITEMS OF EXISTING CONSTRUCTION AS NOTED
- ITEMS TO REMAIN IN PLACE AND PROTECTED FOR REUSE:
 - ALL ITEMS NOT SCHEDULED TO BE REMOVED
- ITEMS TO BE BALANCED FOR REINSTALLATION IN THIS PROJECT:
 - ITEMS IDENTIFIED BY OWNER

GENERAL NOTES

- BEFORE BEGINNING WORK AT THE SITE, AND THROUGHOUT THE COURSE OF THE WORK, CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES. WORK UNDER THIS CONTRACT AND ADJACENT UNDEVELOPED AREAS SHALL BE PROTECTED FROM WORK RELATED TO THAT BEING INSPECTED.
- THE ARCHITECTURAL DRAWINGS SHOW MEASUREMENTS AND DIMENSIONS AS NECESSARY TO ACCURATELY LOCATE THE CONTRACT WORK. CONTRACTOR SHALL VERIFY THE ACCURACY OF AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO PART OF THIS CONTRACT. RESPECT THOSE AREAS. ADDITIONAL WORK SHALL BE IDENTIFIED BY CONTRACTOR AND APPROVED BY ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS, AT NO ADDITIONAL COST.
- DIMENSIONS TO EXISTING SURFACES ARE TO FINISHED FACE. DIMENSIONS TO NEW PARTITIONS AND WALLS ARE TO FINISHED FACE, UNLESS OTHERWISE NOTED.
- DO NOT DRILL OR CUT EXISTING FLOOR JOISTS, BEAMS, COLUMNS, OR OTHER STRUCTURAL MEMBERS UNLESS SPECIFICALLY INDICATED.
- PROTECT EXISTING WORK TO REMAIN FROM DAMAGE.
- REPAIR, PATCH, AND FINISH, OR REFINISH AS APPLICABLE, TO MATCH ADJACENT EXISTING FINISHES. THOSE EXISTING SURFACES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF THE WORK.
- EXCEPT IN SPACES WHERE NO WORK UNDER THIS CONTRACT IS REQUIRED, ENCLOSE EXISTING AND NEW CONDUITS, DUCTS, PIPES, AND SIMILAR ITEMS IN PLUMBING WHERE SUCH ITEMS ARE NOT TO BE REMOVED. UNLESS OTHERWISE INDICATED, UNLESS OTHERWISE INDICATED IN UNLESS OTHERWISE INDICATED.
- WHERE CONSULTS, WELLS, PIPES, AND SIMILAR ITEMS ARE TO BE INSTALLED IN EXISTING WALLS OR PARTITIONS, HEAVILY CHASE THE WALLS OR PARTITIONS. INSTALL THE ITEMS, AND FINISH THE WALLS OR PARTITIONS TO MATCH THE DETAILING NOTED IN THE CONTRACT. FINISHED WORK.
- WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, AS APPROPRIATE TO THE NOTE, SHALL MATCH THE EXISTING IN EVERY PARTICULAR.

WEATHER MEASURES NOTES

- PROVIDE COMPLETE WEATHER BARRIER IN EXTERIOR ENVELOPE BY MEANS OF IMPERMEABLE AND OUTSHEAR MEMBRANE.
- REAL ALL APHS AND PENETRATIONS OF INTERIOR VAPOR BY MEANS OF EXPANDED FOAM OR ELASTOMERIC SEALANT. THIS INCLUDES GAPS AND PENETRATIONS THROUGH SUBFLOOR INTO CONDENSED.

MECHANICAL SYSTEMS NOTES

- PROVIDE MODIFICATIONS TO EXISTING HEATING AND HVAC SYSTEMS TO PROVIDE HEATING AND COOLING OF NEW ADDITION AND COOLING OF EXISTING SECOND FLOOR.
- PROVIDE EXHAUST FANS FOR BATH ROOMS, DUCTED TO THE OUTSIDE. EQUAL TO PANASONIC FV-11V2B W/SPERCEILING TO CPU CEILING MOUNTED FAN ON TIMER SWITCH
- SUBMIT DESIGN PLANS AND SPECIFICATIONS TO THE OWNER FOR REVIEW

PLUMBING SYSTEMS NOTES

- PROVIDE NEW SUPPLY DRAIN, WASTE, AND VENT PIPING SYSTEMS AND FIXTURES AND FITTINGS FOR TOILET ROOM AND COFFEE BAR AS SHOWN ON ARCHITECTURAL PLANS.
- MAINTAIN PIPING AND CONNECTIONS TO EXISTING PLUMBING FIXTURES WHICH ARE TO REMAIN.
- PROVIDE MODIFICATIONS TO DOMESTIC HOT WATER SYSTEM AS NECESSARY TO PROVIDE ADEQUATE HOT WATER TO NEW LAYOUT.
- PROVIDE NEW ADA COMPLIANT PLUMBING FIXTURES AS SELECTED BY OWNER
- SUBMIT DESIGN PLANS AND SPECIFICATIONS TO THE OWNER FOR REVIEW

ELECTRICAL SYSTEMS NOTES

- PROVIDE MODIFICATIONS AND ADDITIONS TO ELECTRICAL SYSTEM AS NEEDED IN REPORTED AND NEWLY CONSTRUCTED AREAS.
- OWNER TO DETERMINE LOCATIONS AND NUMBERS OF LIGHT FIXTURES AND SWITCHES, AND DESIRED POWER OUTLET LAYOUT.
- LIGHT FIXTURES AS SELECTED BY OWNER.
- SUBMIT DESIGN PLANS TO THE OWNER FOR REVIEW

LIFE SAFETY SYSTEMS NOTES

- PROVIDE MODIFICATIONS AND ADDITIONS TO EXISTING LIFE SAFETY SYSTEM AS NEEDED IN REPORTED AND NEWLY CONSTRUCTED AREA.
- SYSTEM COMPONENTS TO INCLUDE EXIT SIGNS AND EMERGENCY LIGHTS.
- SUBMIT DESIGN PLANS TO THE OWNER FOR REVIEW.

FINISH NOTES

- FINISH MATERIALS AND COLORS AS SELECTED BY OWNER.
- DOOR NOTES:
 - DOOR STYLES, EXTERIOR DOORS AS SHOWN ON ELEVATIONS, FIBERGLASS DOORS WITH WOOD FRAMES, INTERIOR DOORS AND FRAMES TO MATCH EXISTING. SIZES AND TYPES OF DOORS AS NOTED BELOW.
 - DOORS NOT SCHEDULED ARE EXISTING TO REMAIN.
 - FRANCY SETS ON TOILET ROOM DOORS. LOCKSETS ON OFFICE DOORS, LATCHETS ON OTHER DOORS. ALL LEVER HANDLE.
 - REPLACE EXISTING DOOR KNOBS WITH LEVER HANDLES.

DOOR SCHEDULE

NUMBER	SIZE	TYPE	NOTE
001	3'-0" X 2'-0"	8000 LIGHT	FIBERGLASS ENTRY DOOR
002	3'-0" X 2'-0"	8000	1-HOUR RATED
101	3'-0" X 2'-0"	SOLID CORE	1-HOUR RATED ENTRY DOOR
102	3'-0" X 2'-0"	SOLID CORE	1-HOUR RATED
103	3'-0" X 2'-0"		
104	3'-0" X 2'-0"		
105	3'-0" X 2'-0"		
106	3'-0" X 2'-0"		
107	3'-0" X 2'-0"		
108	3'-0" X 2'-0"		
109	3'-0" X 2'-0"		
201	3'-0" X 2'-0"	SOLID CORE	FIBERGLASS ENTRY DOOR
202	3'-0" X 2'-0"		1-HOUR RATED

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Title
GENERAL NOTES

Scale: AS NOTED

Date: 8/17/10

Revisions

Sheet
G1

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Title
 1ST & 2ND FLOOR DEMOLITION PLANS

Scale: 1/4" = 1'-0"

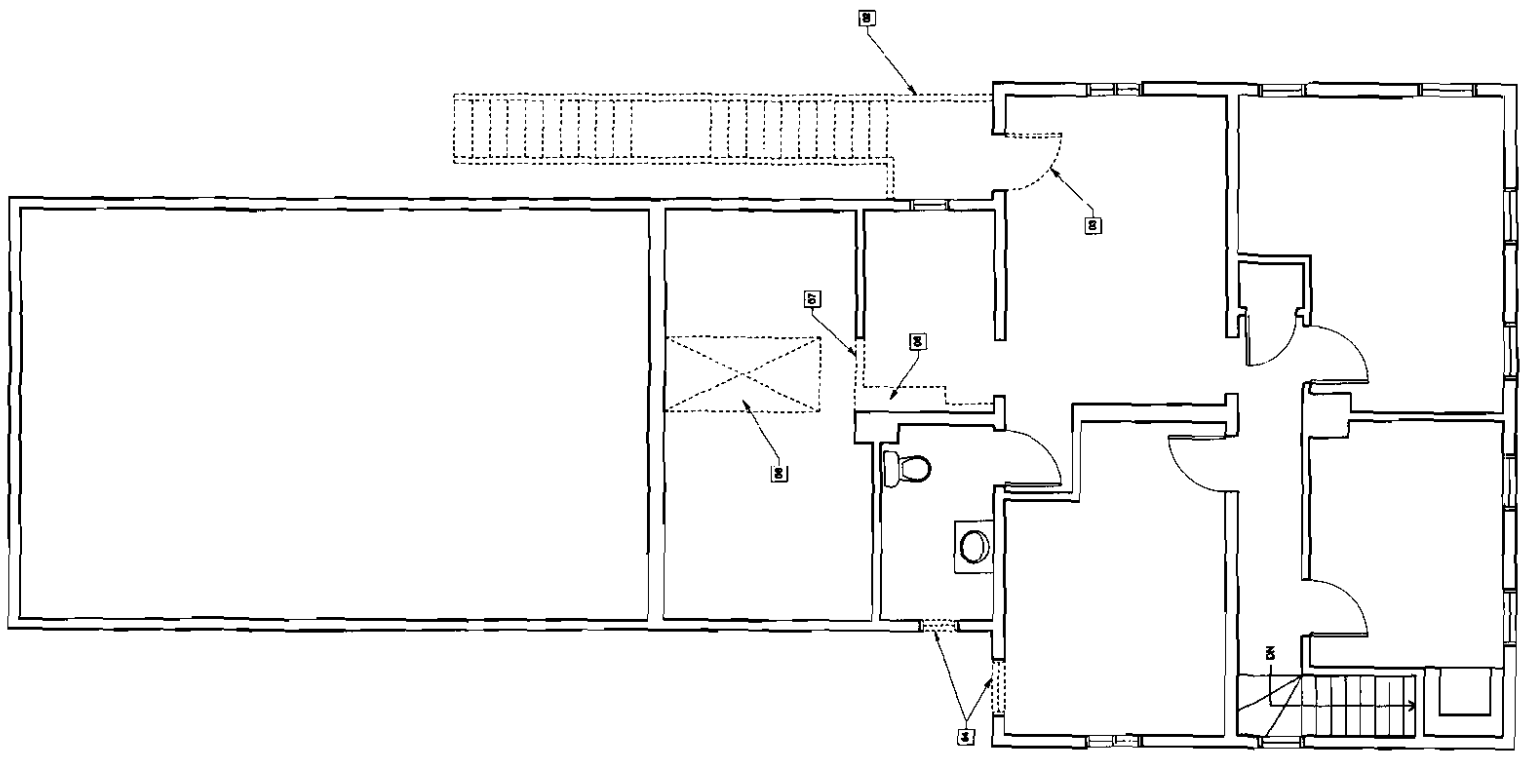
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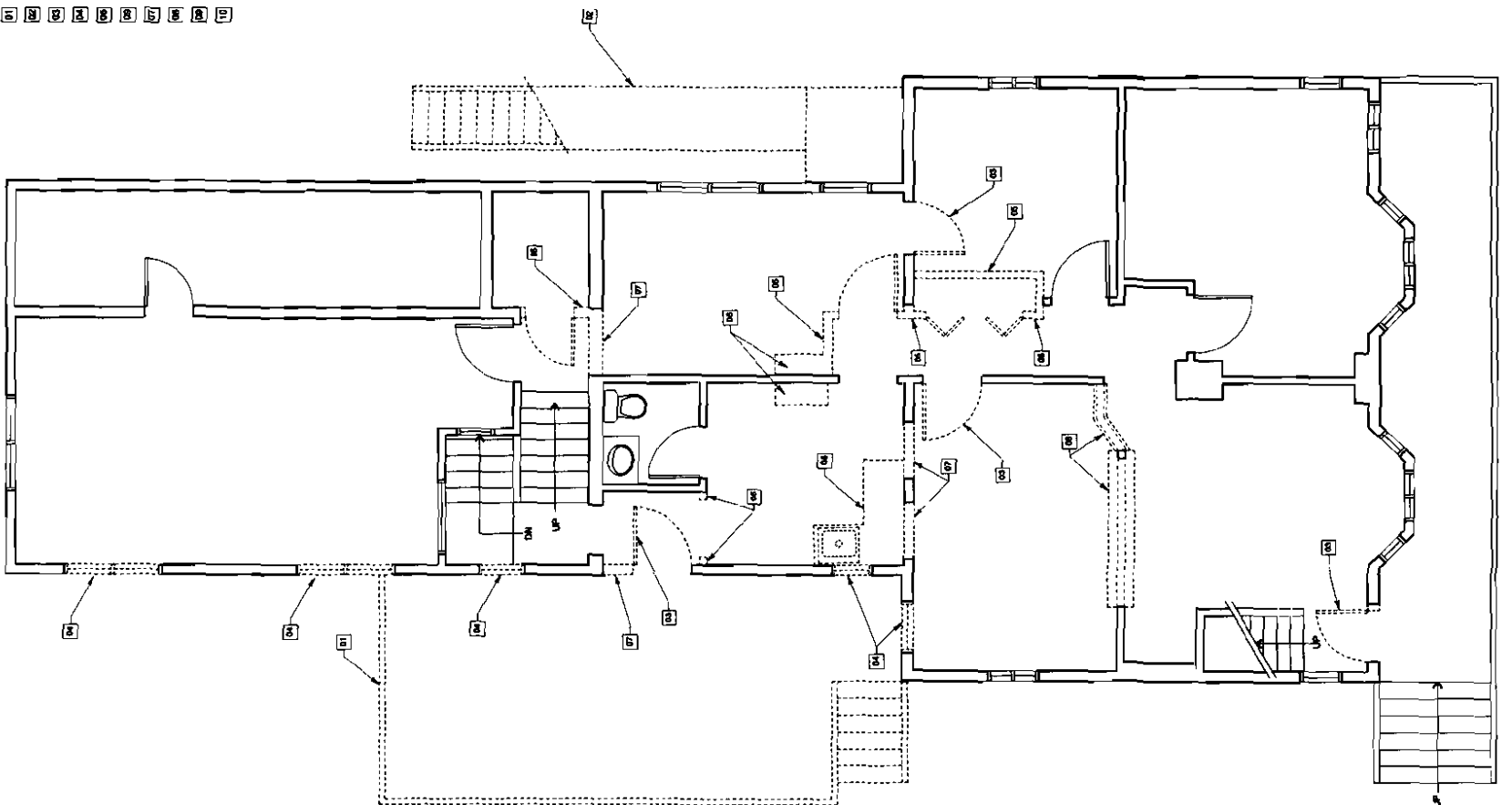


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2 SECOND FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 1' 2' 3' 4' 5' 6' 7' 8' 9' 10'

- KEYNOTES - APPLY TO THIS SHEET ONLY**
- 01 REMOVE EXISTING DECK AND STAIR
 - 02 REMOVE EXISTING EGRESS STAIRWAY
 - 03 REMOVE EXISTING DOOR AND FRAME
 - 04 REMOVE EXISTING WINDOW
 - 05 REMOVE EXISTING PARTITION
 - 06 REMOVE EXISTING CHIMNEY
 - 07 CUT OPENING IN WALL
 - 08 REMOVE CASWORK AND SINK
 - 09 CUT OPENING IN FLOOR AND ROOF FOR STAIR
 - 10 REMOVE COUNTER ON TOP OF STAIR WALL



1 FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 1' 2' 3' 4' 5' 6' 7' 8' 9' 10'

PARTITIONS/WALLS KEY
 ——— EXISTING TO REMAIN
 - - - - - EXISTING TO BE REMOVED

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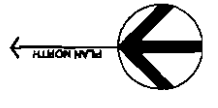
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Title
 FIRST AND SECOND FLOOR PLANS

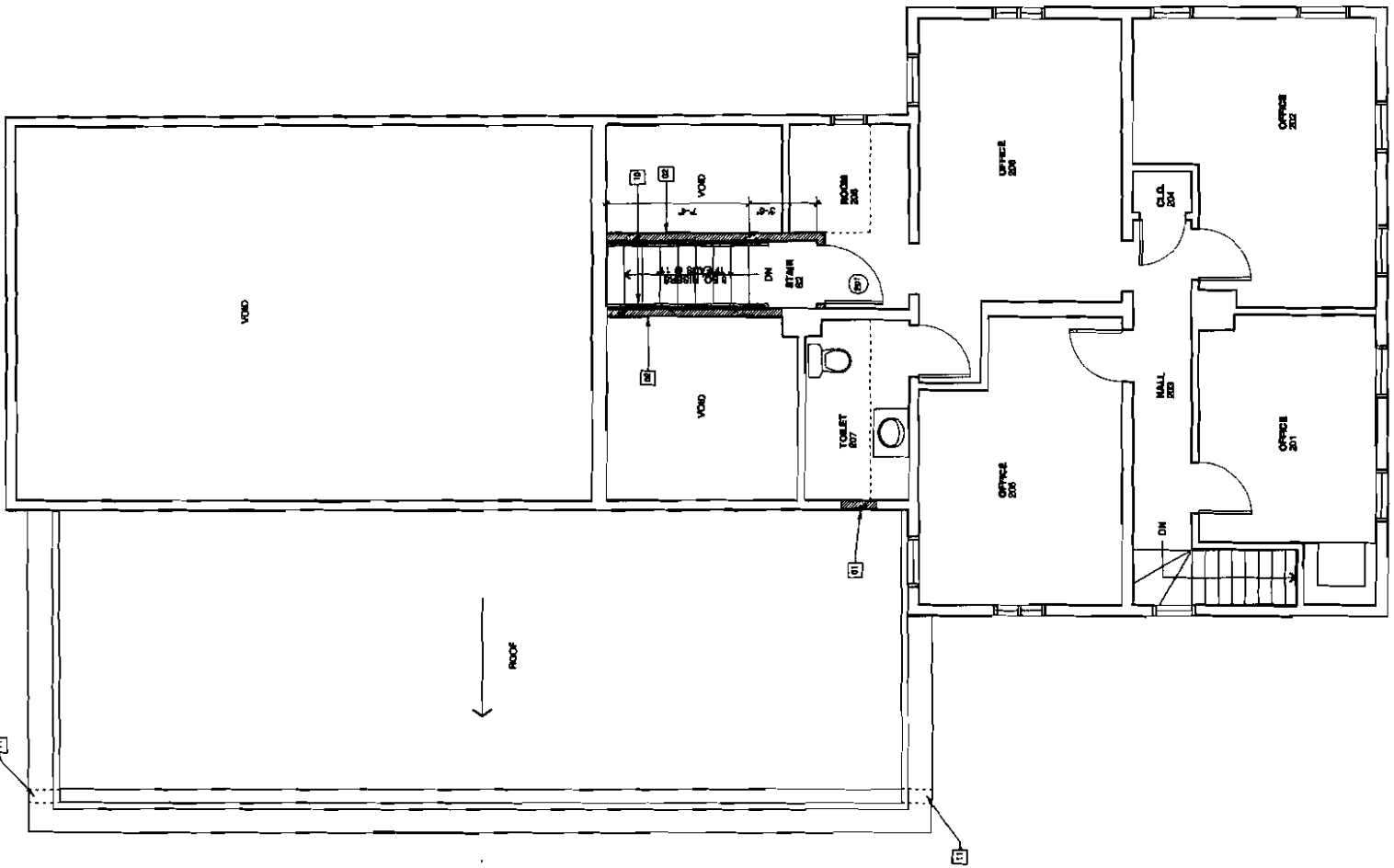
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Date: 8/17/10

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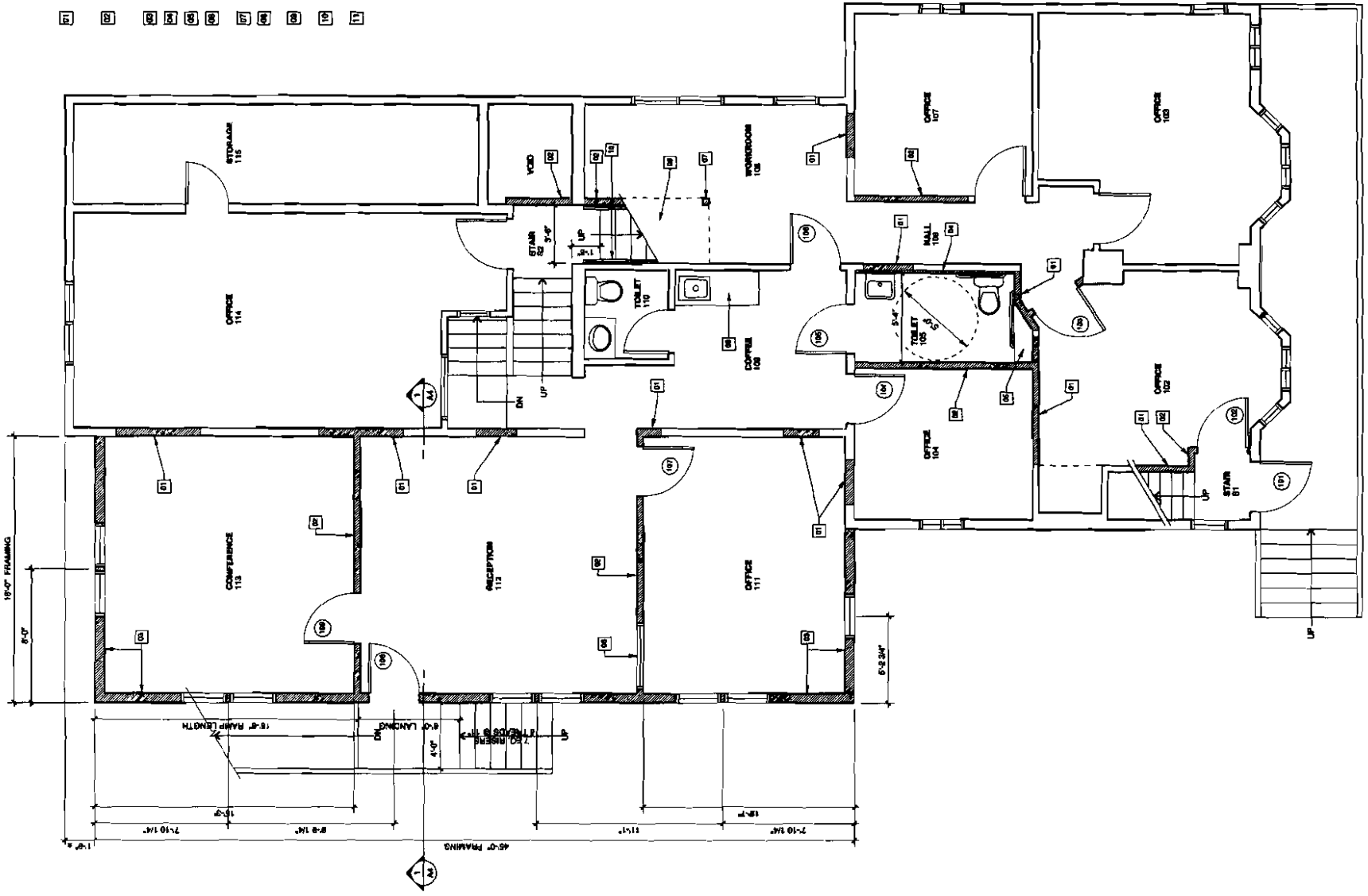


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2 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- KEYNOTES - APPLY TO THIS SHEET ONLY
- FRAME IN OPENING AND FINISH TO MATCH ADJACENT WALL FINISHES ON BOTH SIDES OF WALL. ONE HOUR RATING AT ENCLOSED STAIRS.
- NEW PARTITION: 2 X 4 STUDS @ 16" O.C., 5/8" GYPSUM BOARD BOTH SIDES, ACoustICAL INSULATION IN WALL FULL HEIGHT, ONE HOUR RATING AT ENCLOSED STAIRS.
- NEW EXTERIOR WALL - SEE BUILDING SECTIONS
- FLUOR WALL FINISHING TO 8" FOR PLUMBING
- LOW WALL FOR GRAB BAR SUPPORT
- FRAMED GLASS WINDOW 4'-0" WIDE, 8'-6" HIGH, SET HEAD AT 7'-0" A.F.F.
- SUPPORT POST FOR STAIR FRAMING
- PROVIDE GYPSUM BOARD FINISH UNDER STAIR TO MAKE ONE-HOUR RATING
- PROVIDE BARE CABINET AND BAR SINK FOR COFFEE SERVICE
- CONTINUOUS HANDRAIL BOTH SIDES OF STAIR AT 36" ABOVE WOODING
- METAL SUPPORT SCALM TO CURABLE DETAIL U-19-4



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

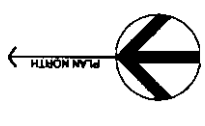
PARTITIONS/WALLS LEFT
 EXISTING TO REMAIN
 NEW PARTITION/WALL

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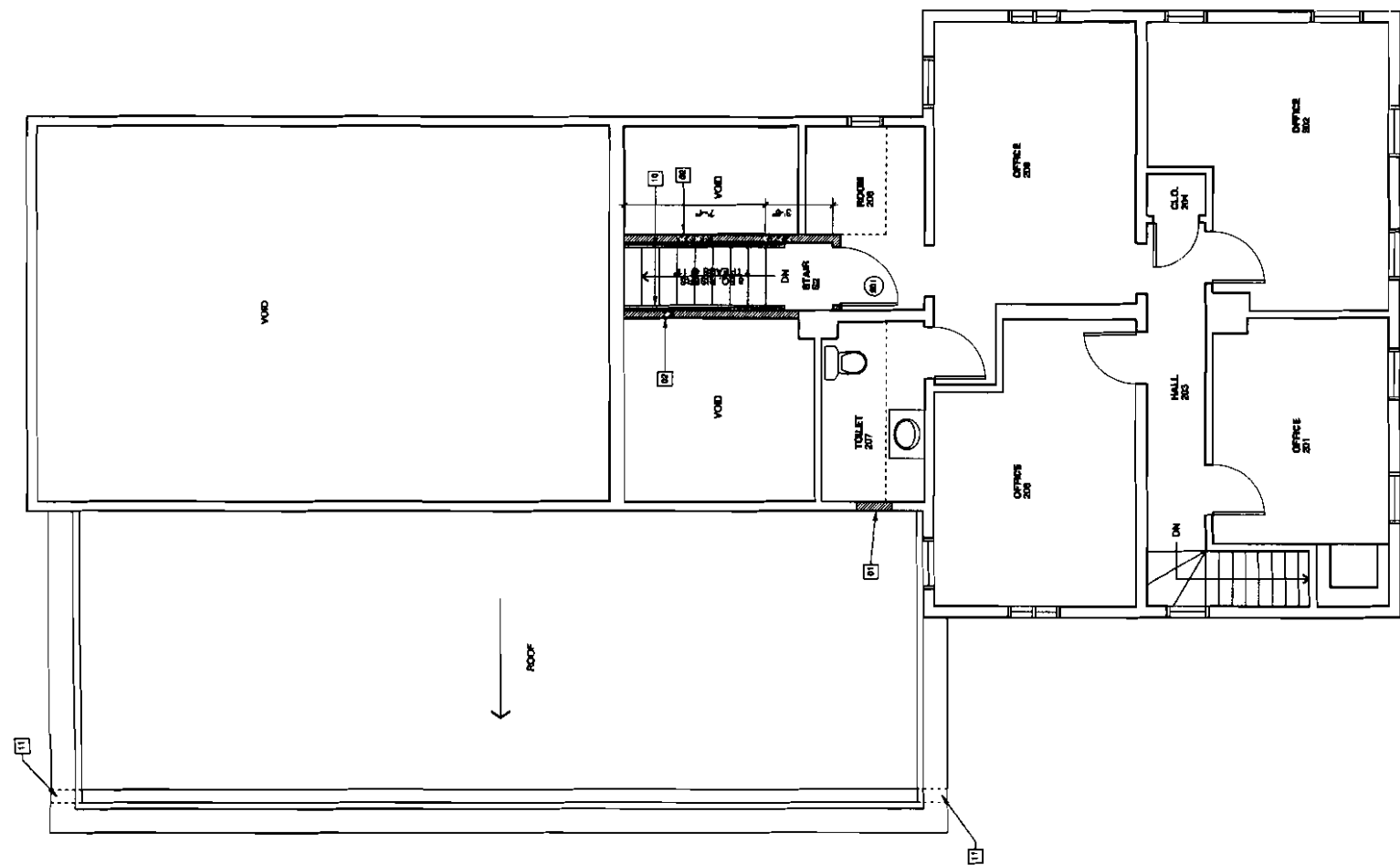
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Title
 FIRST AND SECOND FLOOR PLANS
 Scale: 1/4" = 1'-0"
 Date: 8/17/10
 Revisions

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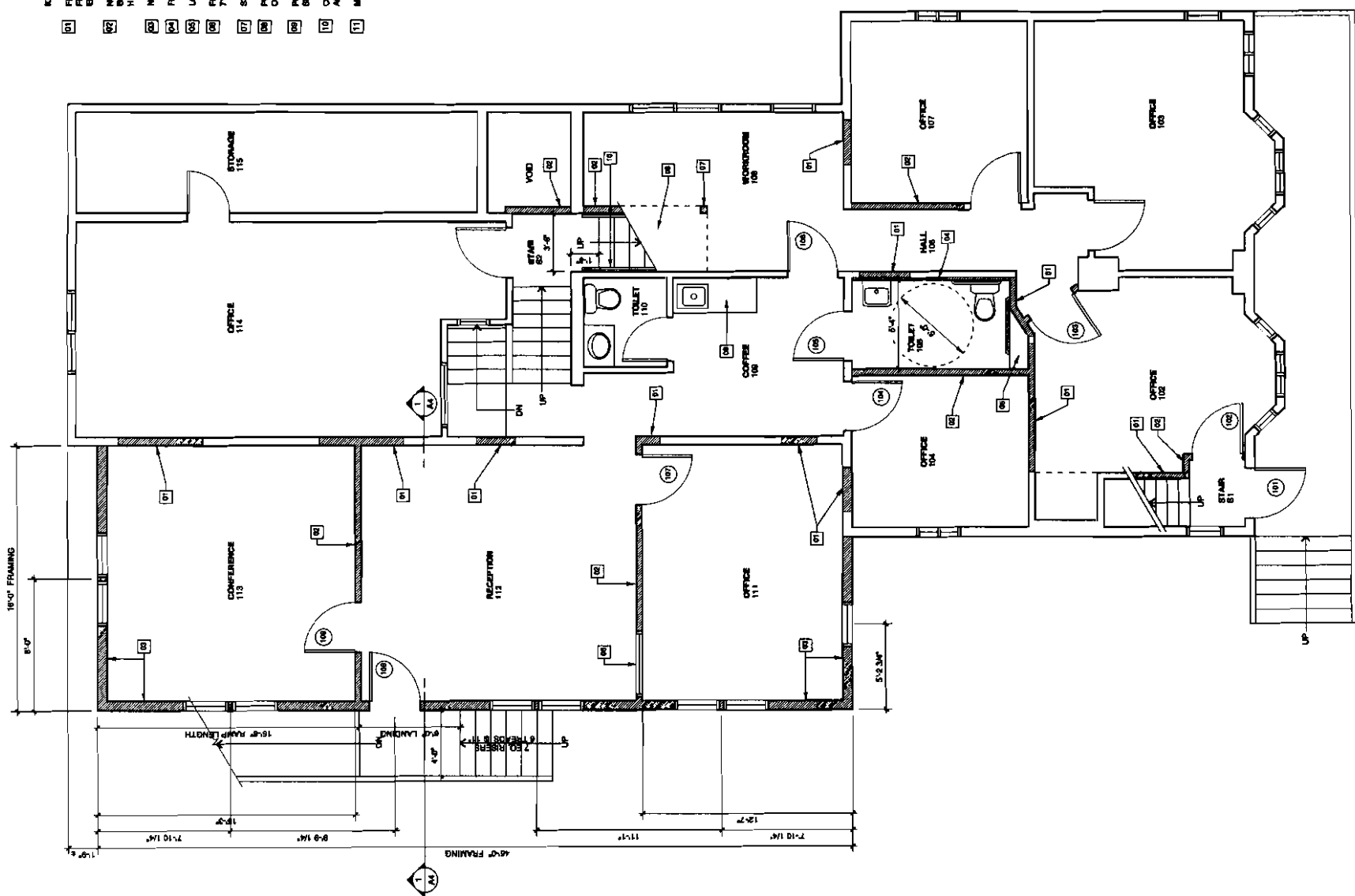
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2 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 1' 2' 4' 8'

- KEYNOTES - APPLY TO THIS SHEET ONLY
- 01 FRAME IN OPENING AND FINISH TO MATCH ADJACENT WALL FINISHES ON BOTH SIDES OF WALL. ONE HOUR RATING AT ENCLOSED STAIRS.
 - 02 NEW PARTITION: 2 1/2 STILES 1/2" O.C. 5/8" STEEL STUD WALL WITH 5/8" ACoustICAL INSULATION IN WALL CAV. HEIGHT: ONE HOUR RATING AT ENCLOSED STAIRS.
 - 03 NEW EXTERIOR WALL - SEE BUILDING SECTIONS
 - 04 FLOOR WALL FRAMING TO 4" FOR PLUMBING
 - 05 LOW WALL FOR GRAB BAR SUPPORT
 - 06 EGGED GLASS WINDOW 4'-0" WIDE, 2'-6" HIGH. SET HEAD AT 7'-0" A.F.T.
 - 07 SUPPORT POST FOR STAIR FRAMING
 - 08 PROVIDE GYPSUM BOARD FINISH UNDER STAIR TO MAKE ONE-HOUR RATING
 - 09 PROVIDE BASE CABINET AND BAR SINK FOR COFFEE SERVICE
 - 10 CONTIGUOUS HANDRAIL BOTH SIDES OF STAIR AT 36" ABOVE FINISH
 - 11 METAL BOUQUET EQUAL TO CURABLE DETAIL U-18-E

PARTITION/WALLS KEY
 DOTTED TO REMAIN
 NEW PARTITION/WALL



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 1' 2' 4' 8'

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Title
ELEVATIONS
S-W

Scale: 1/4" = 1'-0"

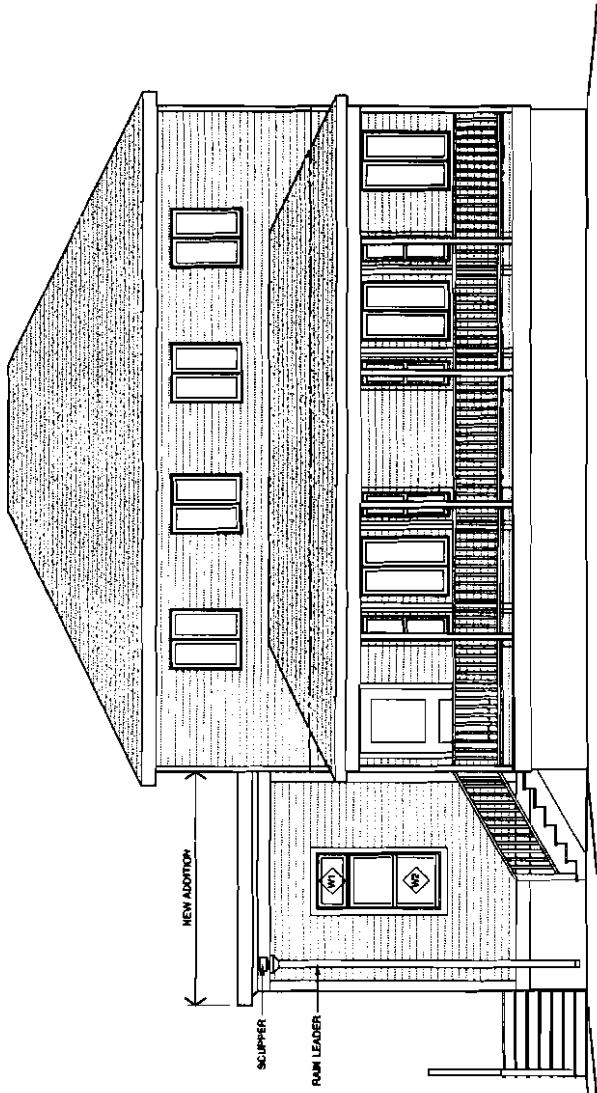
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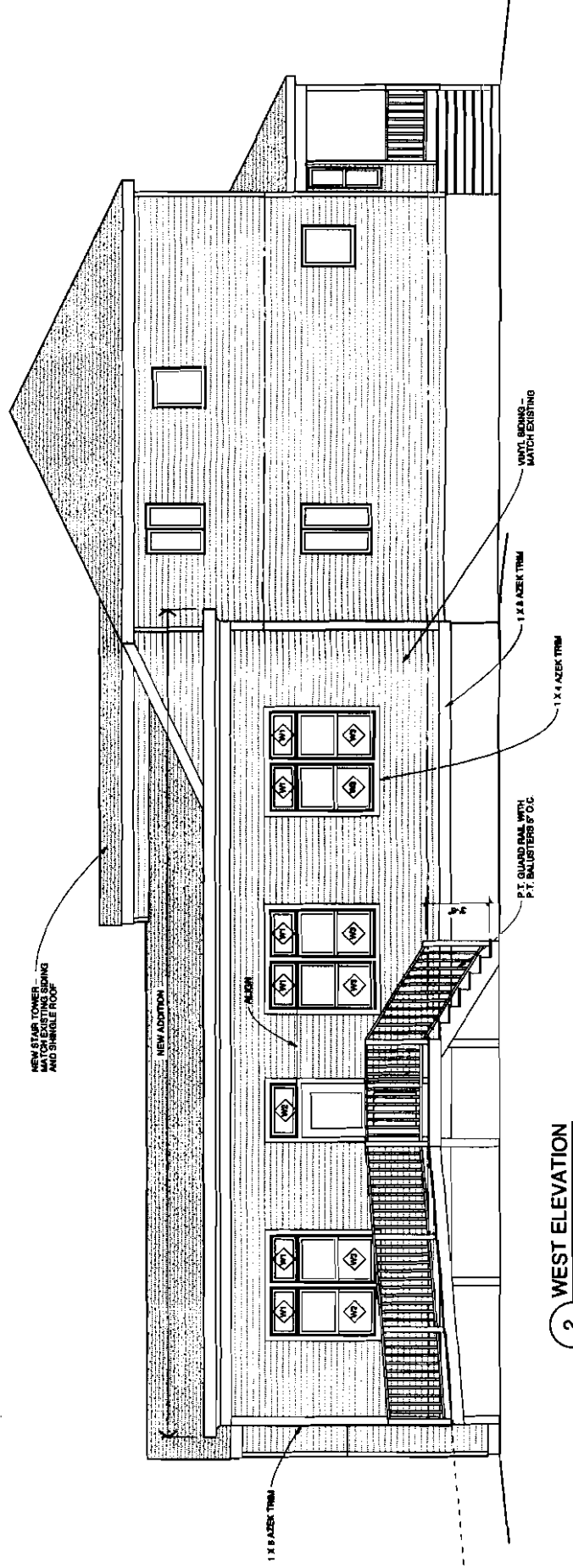


WINDOW SCHEDULE

- 1) T3216
- 2) T3618
- 3) D1224
- 4) D1836
- 5) A3624

1 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



2 WEST ELEVATION

SCALE: 1/4" = 1'-0"



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Title

ELEVATIONS
N.E. PARTIAL
BASEMENT
PLAN

Scale: 1/4" = 1'-0"

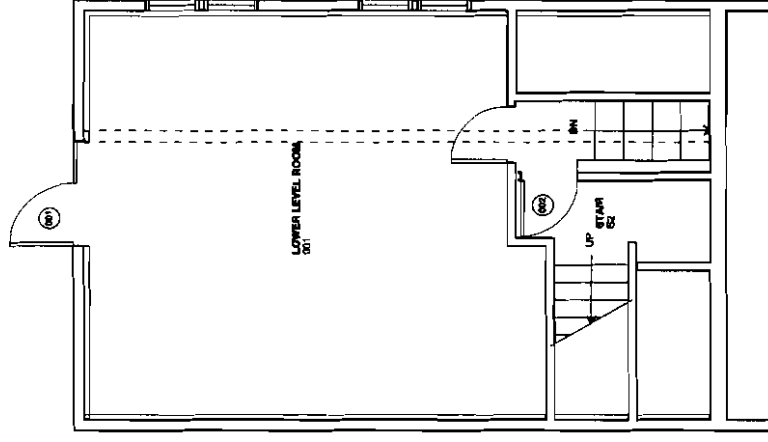
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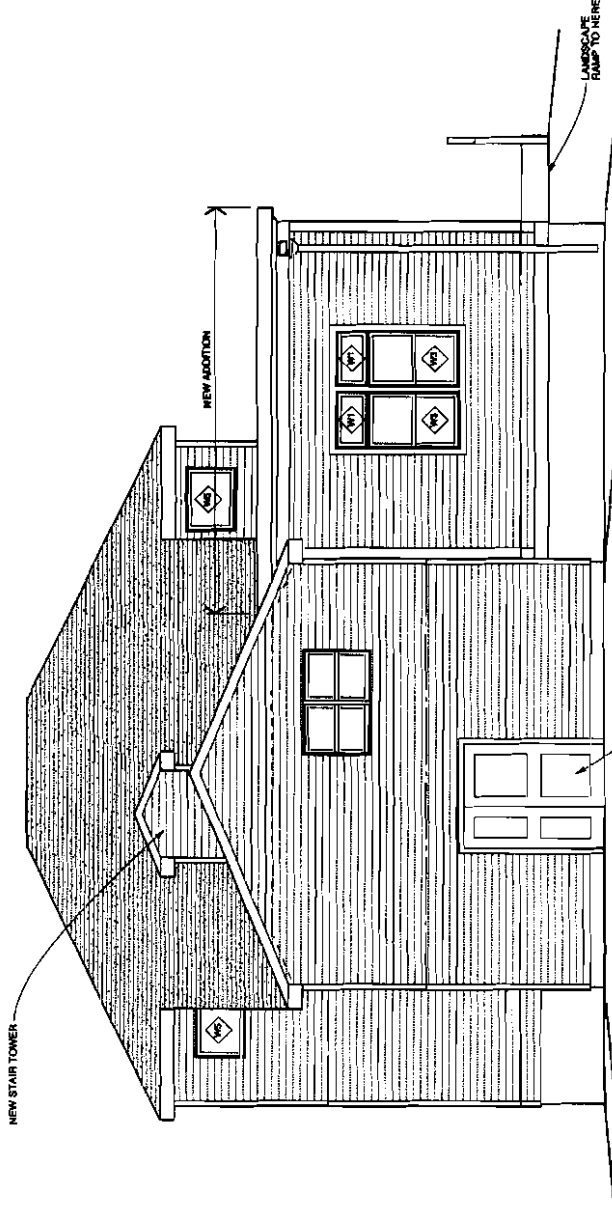
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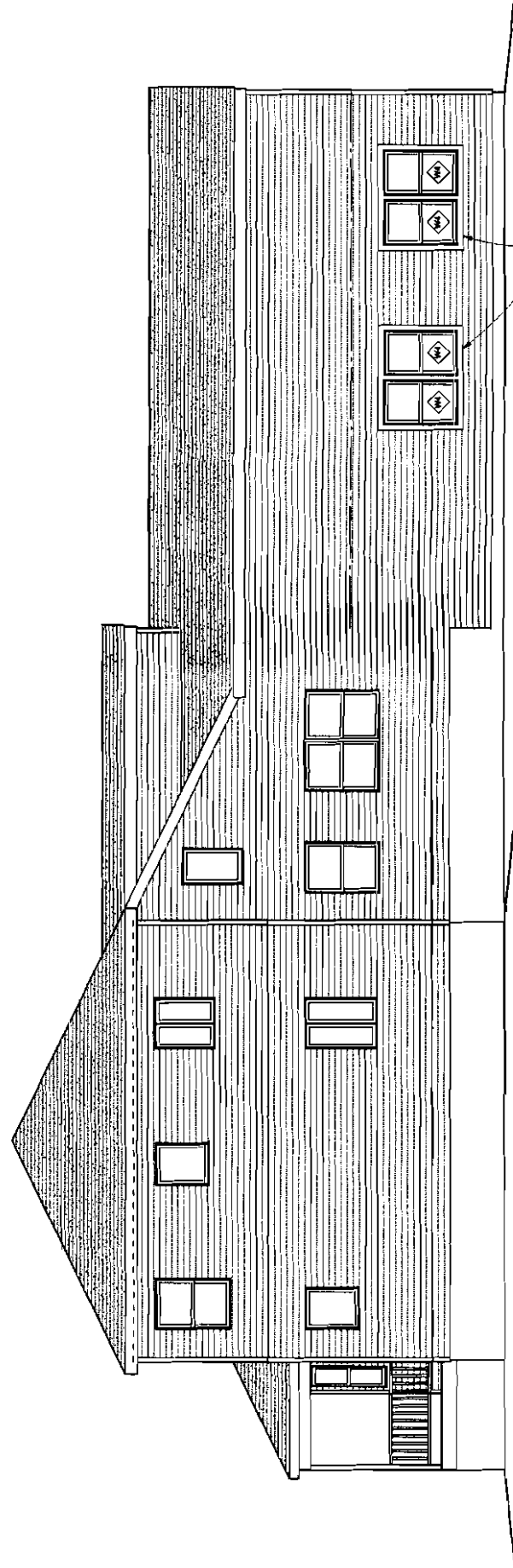
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3 PARTIAL BASEMENT PLAN
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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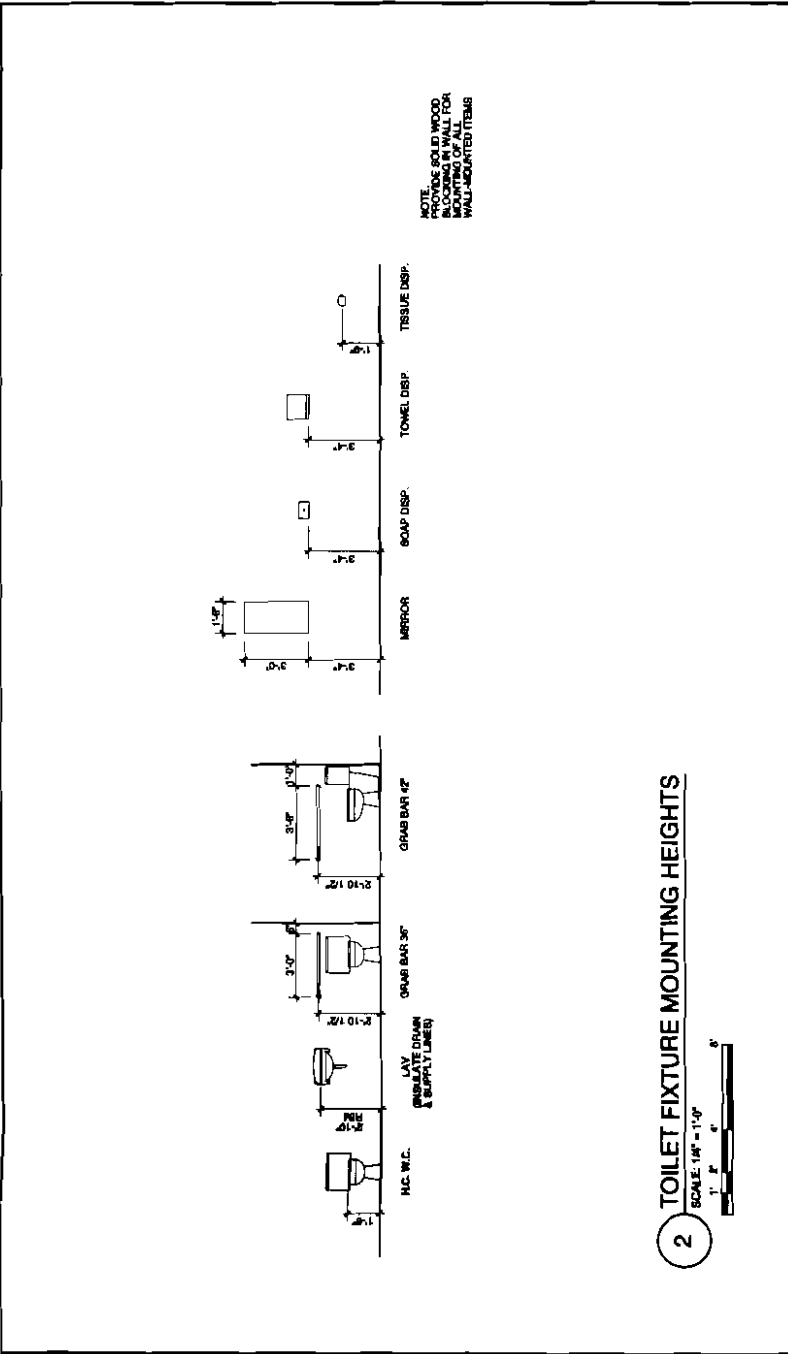
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 SECTIONS
 & DETAILS
 LIFE SAFETY PLANS

Scale: AS NOTED

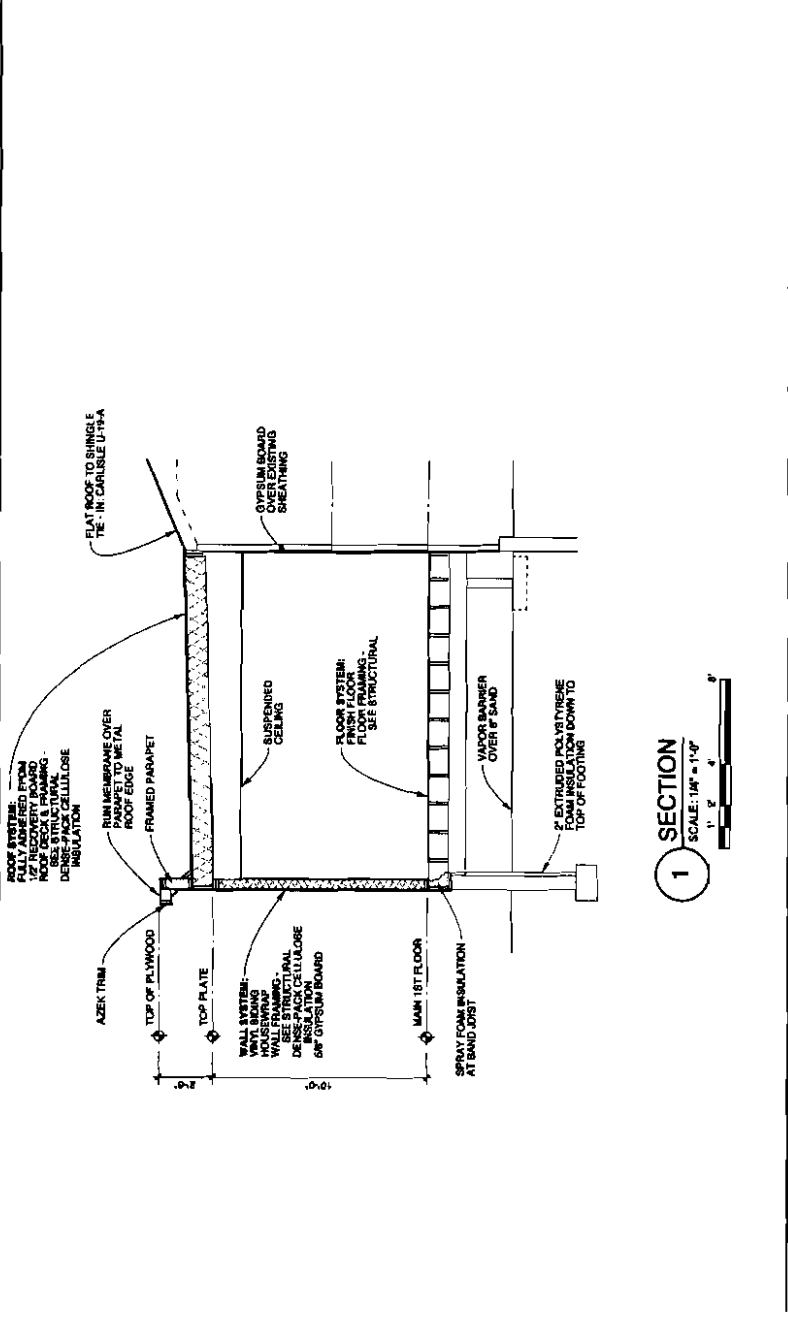
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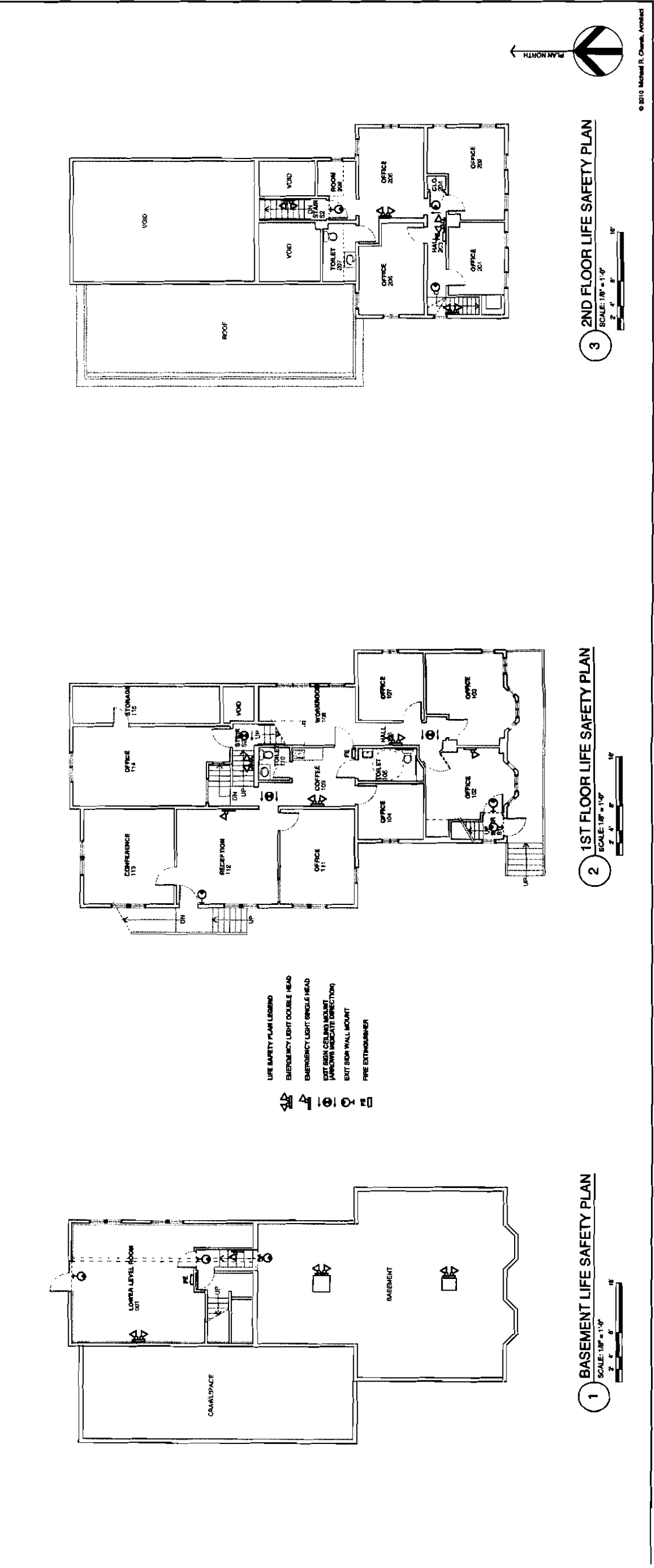
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1 SECTION
 SCALE: 1/4" = 1'-0"



2 TOILET FIXTURE MOUNTING HEIGHTS
 SCALE: 1/4" = 1'-0"



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SI Job # 10-0078
171 Warren Ave Addition
Portland, ME

GENERAL STRUCTURAL NOTES

DESIGN LOADS 2006 IBC, U.O.N.

- * Snow $P_g = 50$ psf
- * Wind 100 mph, exp B, 3 second gust
- * All Floors 80 psf
- * Occupancy Category, Table 1604.5 II Standard
- * Seismic Use Group I
- Importance Factor 1.0
- Spectral Response Acceleration Coefficient
- Short Period $S_s = 0.36 g$ $F_a = 1.5$
- One Second $S_1 = 0.95 g$ $F_v = 2.4$
- Soil Site Class Table 1615.1.1 D

FOUNDATION:

- * Foundations are designed without an engineer's soil investigation. Foundation design criteria was assumed for purposes of foundation design and shall be confirmed by a soils engineer, at owner's expense, prior to construction. (This procedure may require revisions to foundation design, at additional expense to the owner, if soils engineer determines that such design criteria are inappropriate for this building site.)
- * Footings shall be placed on undisturbed natural soil or compacted fill tested and approved by soils engineer.
- * Maximum assumed design soil pressure: 1,500 psf

WALLS:

- * Backfill all retaining walls with free draining granular material except the top two feet.
- * Provide perimeter drain system with invert minimum of 6" below bottom of basement slab. Extend perimeter drain to daylight or to sump.
- * Slope perimeter grade away from building.
- * Place concrete continuously without horizontal cold joints.
- * Basement slab and main level floor joists must be in place prior to backfilling, or provide adequate shoring and bracing.

CONCRETE AND REINFORCEMENT:

- * Concrete shall conform to applicable provisions of ACI-301 and 318.
- Minimum 28 day compressive strength (F_c) as follows:

Footings:	3,000	psi
Foundation Walls:	4,000	psi w/4-6% air entrainment
Interior Slabs:	3,000	psi w/Fibermesh
Exterior Slabs:	4,000	psi w/4-6% air entrainment and Fibermesh
- * Cement Type: I/II
- * Deformed reinforcement: ASTM A615 grade 60, except bars specified to be field-bent, stirrups, and ties which shall be grade 40.
- * Fibermesh: 100% virgin polypropylene, fibrillated fibers as manufactured by Fibermesh Co. per ASTM C-1116 type 111 4.1.3 and ASTM C-1116 performance level one, 1.5 lb. per cubic yard.
- * Welded Wire Fabric (WWF): ASTM A185. See also plan.
- * Typical minimum foundation reinforcing 2 #4 top and bottom, (except as noted) continuous at corners and steps.
- * Reinforcement shall be fabricated and placed per ACI Manual of Standard Practice (ACI-315). At splices, lap bars 50 diameters unless noted otherwise.
- * Minimum 2 #4 around all four sides of all openings, extend min. 2'-0" beyond openings.
- * Concrete cover over reinforcing: 1 1/2" for concrete placed against forms, 3" for concrete placed against earth. See also drawings.
- * In continuous members, splice top bars at mid span and bottom bars over supports.
- * Keep reinforcement clean and free of dirt, oil, and scale. Oil forms prior to placing reinforcement.

STRUCTURAL STEEL:

- * Angles, misc. ASTM A36
- * Anchor Bolts ASTM A307 or A36
- * Connector bolts: ASTM A325
- * Expansion Anchors shall be ICC-ESR approved, installed in accordance with manufacturer specifications.
- In concrete: Wedge Type
- In solid masonry: Sleeve Type
- * Non-shrink grout beneath column base and beam bearing plates shall be non-metallic with minimum compressive strength 5000psi.
- * All structural steel shall be fabricated and erected per the current edition of AISC Steel Construction Manual.
- * Welding by qualified welders. E70XX electrodes. 3/16" fillet welds, unless noted otherwise.
- * All beams shall have full depth web stiffeners each side of webs above and below columns. (3" or as noted)
- * Attach wood nailer plates to beams with 1/2" diameter machine or carriage bolts at maximum 32" o.c., or 3/8" diameter bolts at 32" with glued contact face, or 5/32" diameter powder actuated drive pins at 24" o.c., U.O.N.

WOOD FRAMING:

- * Dimension Lumber is designed and shall be supplied using BASE VALUES Design Criteria.
- * SPP #2 and better (Maximum Moisture Content 19%) U.O.N.
- Plates: Sill plates: Pressure Treated SPP or Southern Pine
- * "Pressure treated lumber" shall be framing material of the specified species which has been pressure treated with a decay and insect resistant solution, meeting all current standards for wood in contact with concrete or earth.
- Sill plates in contact with masonry or concrete foundations, footings or slabs may be treated Timber Strand LSI. (zinc borate treatment). Sodium borate treatment may also be acceptable for sill plate applications when protected from weather.
- Acceptable treatment methods for wood in contact with earth or in exterior applications include ACQ-C and ACQ-D (Alkaline Copper Quaternary) and copper azole (CBA-A and CBA-B).
- DO NOT USE WOODS WHICH HAVE BEEN TREATED WITH AMMONIA BASED CARRIERS.
- All connectors shall meet the recommendations of the pressure treated wood manufacturer, but shall be not less than Hot Dipped Galvanized meeting requirements of ASTM A653, such as Simpson ZMAX (G185). All screws, nails and bolts shall match hangers and other connectors, and shall meet ASTM A123 for individual connectors, and ASTM A153 for fasteners.
- For durability, it is our recommendation that connectors used in exposed conditions with treated lumber be stainless steel.
- Do not mix galvanized and stainless products.
- Do not allow aluminum to contact treated wood.
- Top and Bottom Plates: SPP No 2 and better
- Ham Fir Studs U.O.N: 2 x 4 and 2 x 6 to 8'-0" stud grade
- 2 x 4 over 8'-0" standard and better
- 2x 6 over 8'-0" No. 2 and better

Floor Joists: see plans
Rafters: See plans

- * Laminated Veneer Lumber (LVL): Manufactured 1 3/4" wide MicroLam (ML) by Trus Joist or equivalent
- Pb=2,600 psi, E=1,900,000 psi, Fv=285 psi, depth noted on plans.
- * LSL Rim Joists = 1-1/8" x depth indicated laminated strand lumber or OSB. No substitutions.
- * All plywood and oriented strand board (OSB) sheathing shall be engineered grades with APA grade stamp indicating appropriate maximum spacing of supports.
- Floor sheathing: nominal 3/4", APA Strud-I-floor "24" tongue & groove glued and nailed.
- Roof sheathing: minimum 5/8" CDX plywood, or 19/32" OSB, APA 40/20, nailed.
- Wall sheathing: 1/2" CDX plywood or 1/4" OSB, APA 24/16, blocked and nailed.
- * Nail wall sheathing with 8d commons at 6" o.c. at panel edges, and 12" o.c. intermediate framing U.N.O.
- BLOCK AND NAIL ALL EDGES BETWEEN STUDS.** Sheathing shall be continuous from bottom plate to top plate. Cut in "L" and "T" shapes around openings. Lap sheathing over rim joists min. 4" at all boxes to tie upper and lower stud walls together. Minimum height of sheathing panels shall be 16" to assure that plates are tied to studs. Use minimum 3-8d per stud and nail plates with edge nail spacing.
- * Sole plate at all perimeter walls and at designated shear walls shall be nailed as for braced panels with 3-16d x 3 1/2" long box nails (coated or deformed shank) per 16". 12d nails are not acceptable.

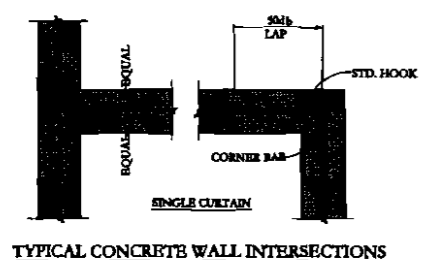


SHEATH ALL EXTERIOR WALLS.

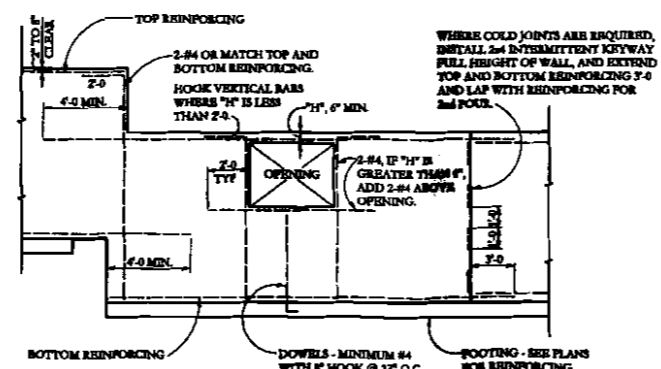
- * Minimum nailing shall comply with IBC Table 2304.9.1 except where more or larger nailing shown on drawings.
- * All roof joists, joists, beams shall be anchored to supports with metal framing anchors.
- * Double joists under partitions where joists are parallel to partitions.
- * Provide continuous wall studs each side of wall openings equal to one half or greater of number of studs interrupted by openings.
- * All wall studs shall be continuous from floor to floor or from floor to roof.
- * Cross bridge all dimension lumber roof and floor joists at midspan and provide solid blocking or rim joists at all joint supports and joint ends.
- * Solid block between rafters at bearings.
- * Metal connectors: Simpson Strong Tie unless otherwise noted, installed with number and type of nails to achieve maximum rated capacity. Note that heavy duty and skewed hangers may require special order.
- * All beams shall be braced against rotation at points of bearing.
- * Drypack grout in full after beams are set.
- * Unless otherwise indicated, install two lengths of solid blocking x joist depth x 12 inches long in floor framing under column loads. Columns must have a continuous load path to foundation.
- * Lead holes for lag bolts shall be 60% to 70% of lag shank diameter in compliance with ATC criteria.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS

- * The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.
- * These plans have been engineered for construction at one specific building site. Builder assumes ALL responsibility for use of these plans at Any Other building site. Plans shall not be used for construction at any other building site without specific review by the engineer.
- * Observations of foundation reinforcing or framing required by the owner, lender, insurer, building department or any other party will be accomplished by the engineer at the owner's expense. At least 24 hours advance notice is requested.
- * All slabs on grade shall be separated from adjacent structural and finish elements to allow free movement of the slab, unless specifically shown and noted otherwise.

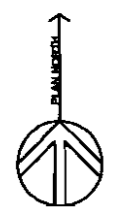


TYPICAL CONCRETE WALL INTERSECTIONS

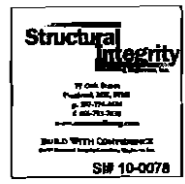


TYPICAL REINFORCING AT STEPS AND OPENINGS
NO SCALE

Structural Drawing Index	
S0	General Notes, Etc.
S1	Foundation Plan
S2	Main Level Framing Plan
S3	Roof Framing Plan
S4	Sections



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Title
GENERAL NOTES, ETC.

Scale: 1/4" = 1'-0"
Date: 8/16/10

Revisions

Sheet
S0

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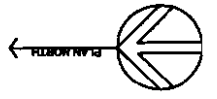
Title
FOUNDATION PLAN

Scale: 1/4" = 1'-0"

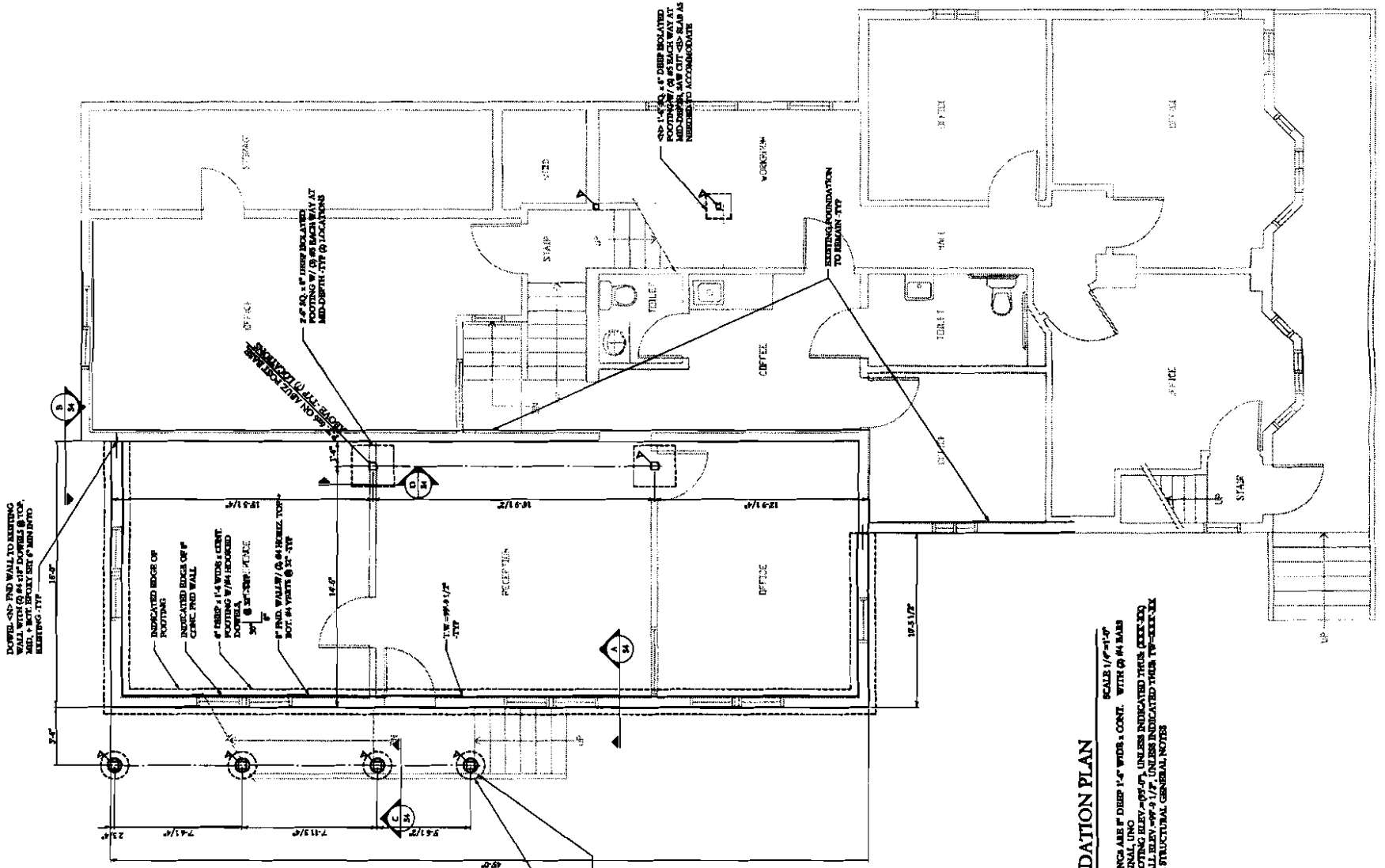
Date: 6/16/10

Revisions

Sheet
S1



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FOUNDATION PLAN
 NOTES
 SCALE 1/4" = 1'-0"
 1. ALL FOOTINGS ARE 12" DEEP 1'-0" WIDE & CONT. WITH #4 BARS LONGITUDINALLY UNO
 2. TOP OF FOOTING ELEV. = 99'-7 1/2", UNLESS INDICATED THUS CHECKED
 3. TOP OF WALL ELEV. = 99'-9 1/2", UNLESS INDICATED THUS CHECKED
 4. SEE 3D FOR STRUCTURAL GENERAL NOTES

T.O. FIN. ELEVATION SHALL BE 4" ABOVE FINISH GRADE VERIFY W/ ARCH AND SITE PLAN. UNO
 8" DIA. CONC. PIPE ON 24" DIA. SIG FOOT FOOTING ROOM W/ 6" DIA. VERT. -TYP @ LOCATIONS

REMOVE AND FILL WITH CONCRETE TO MATCH EXISTING. TYP

INDICATED EDGE OF FOOTING
 INDICATED EDGE OF #4 CONC. PRO WALL
 4" CONC. 1/4" W/ 1/4" CONC. FOOTING W/ #4 REBAR @ 12" DIA. @ 12" VERT. P.C.E.
 8" DIA. WALL / 6" DIA. REBAR TOP NOT. #4 VERT. @ 12" -TYP

2" DIA. 1/4" DEEP ISOLATED FOOTING W/ 6" DIA. BACH W/ AT MID-DEPTH. TYP @ LOCATIONS

DO NOT REMOVE OR ALTER ANY DIMENSIONS INDICATED ON THIS PLAN AS NECESSARY TO ACCOMMODATE

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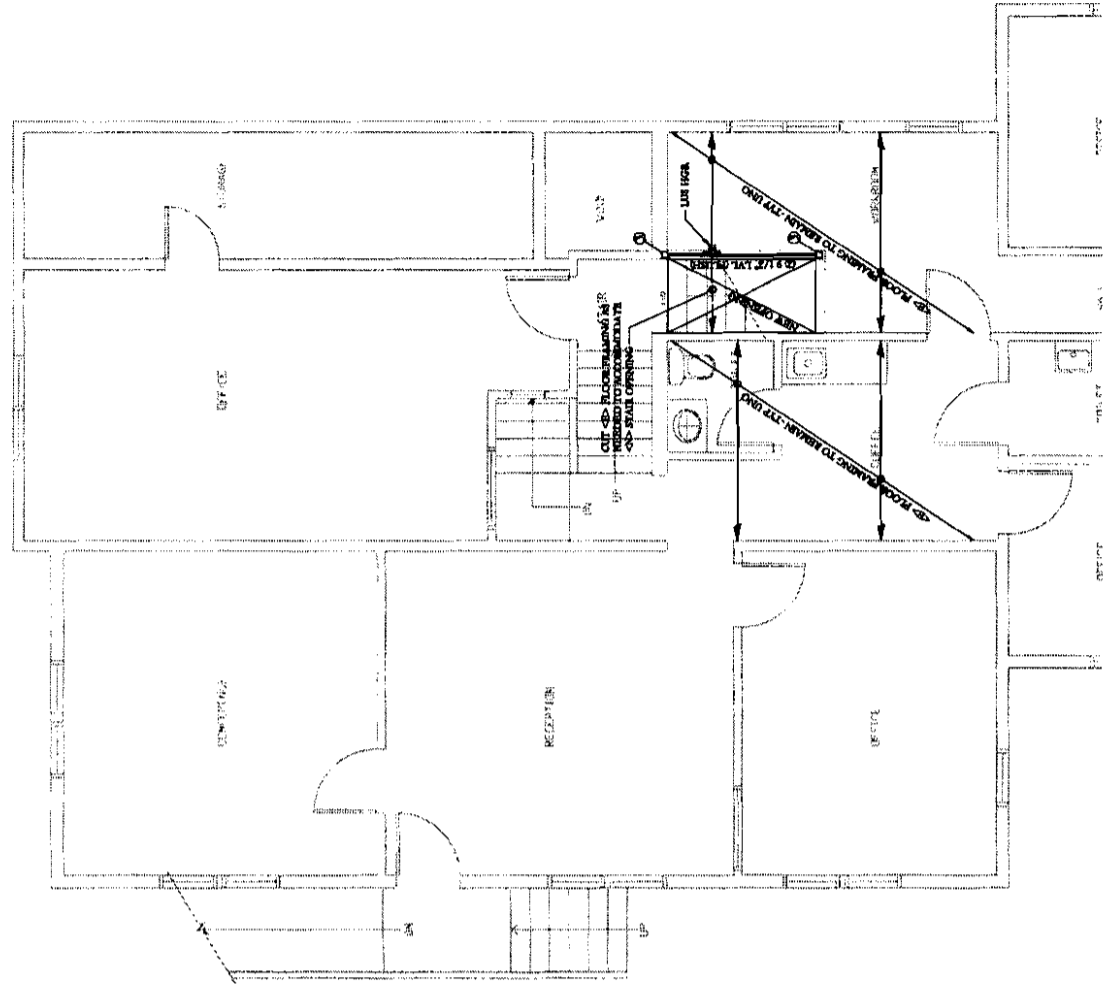
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Title
 MAIN LEVEL AND
 PARTIAL UPPER
 LEVEL FRAMING
 PLAN

Scale: 1/4" = 1'-0"
 Date: 8/19/10

Revisions

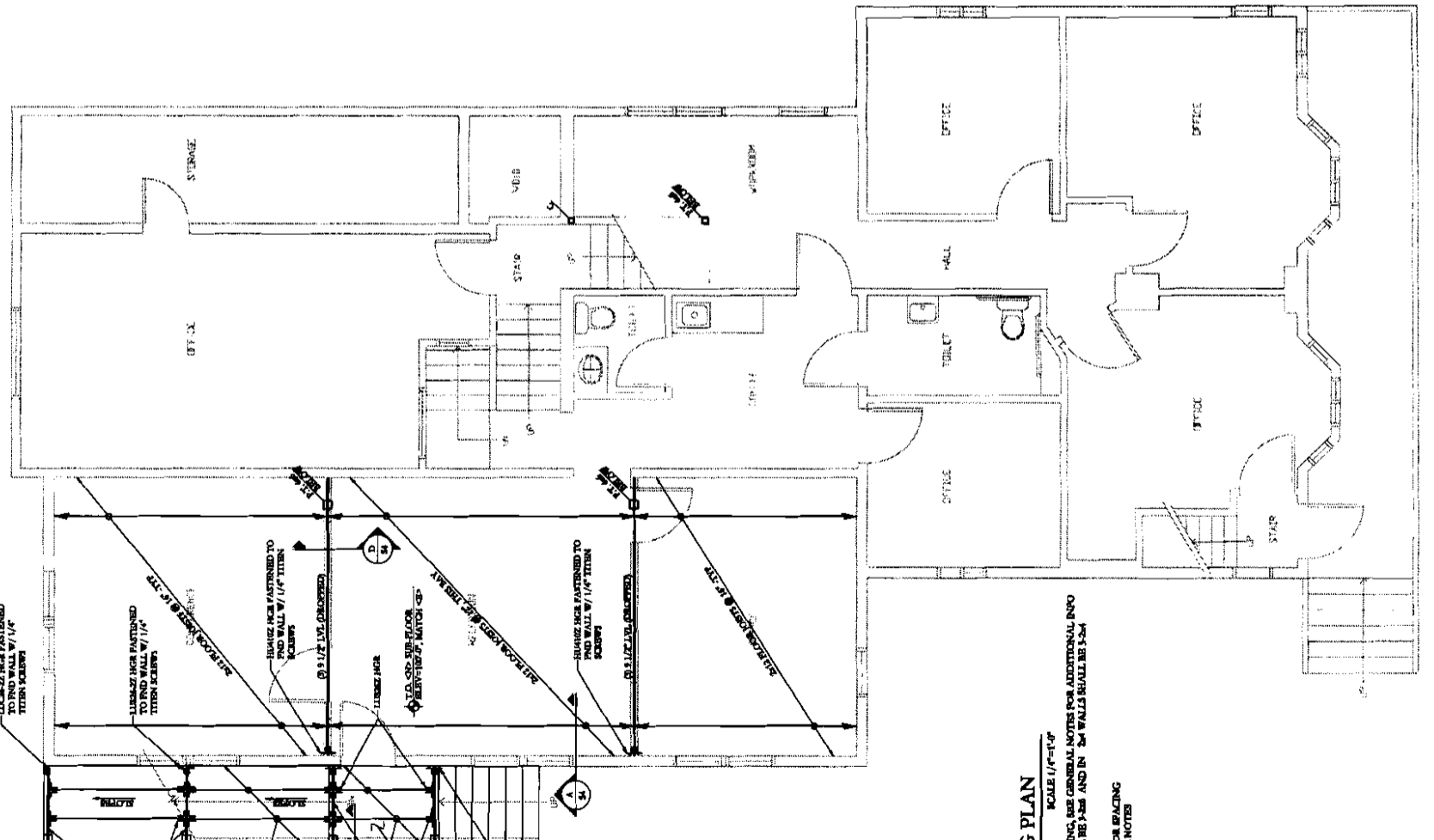
Sheet
 S2



PARTIAL UPPER LEVEL FRAMING PLAN
 SCALE 1/4"=1'-0"

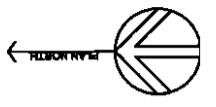
- NOTES
1. ALL WOOD COLUMNS IN 2x4 WALLS SHALL BE 1-2x4 AND IN 2x4 WALLS SHALL BE 1-2x4 UNLESS NOTED OTHERWISE ON PLANS
 2. ALL WOOD BEAMS ARE PLAIN UNO
 3. SEE SHEET S1 FOR GENERAL STRUCTURAL NOTES

FRAMING PLAN SYMBOLS KEY	
○	WOOD POST
□	NUMBER OF WOOD STUDS IN POST BELOW
○	COLUMN ABOVE THIS LEVEL
○	COLUMN CONTIGUOUS THROUGH THIS LEVEL
○	TRIM ON POST BEARING
○	TRIM ON WOOD POST BEARING WITH HANGER
○	WOOD STUD BEARING WALL BRIDGE
○	SEPARATING FRAMING MEMBER
○	NEW FRAMING MEMBER
○	NUMBER OF TRIM STUDS UNDER LEADER
○	NUMBER OF TRIM STUDS ADJACENT TO BRIDGE



MAIN LEVEL FRAMING PLAN
 SCALE 1/4"=1'-0"

- NOTES
1. FLOOR DECK SHALL BE 3/4" TAG BRACKETING, SEE GENERAL NOTES FOR ADDITIONAL INFO
 2. ALL WOOD COLUMNS IN 2x4 WALLS SHALL BE 1-2x4 AND IN 2x4 WALLS SHALL BE 1-2x4 UNLESS NOTED OTHERWISE ON PLANS
 3. ALL WOOD BEAMS ARE PLAIN UNO
 4. ALL FLOOR JOISTS TO BE 2x14, SEE PLAN FOR BRACING
 5. SEE SHEET S1 FOR GENERAL STRUCTURAL NOTES



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Title
ROOF FRAMING PLAN

Scale: 1/4" = 1'-0"
Date: 8/18/10

Revisions

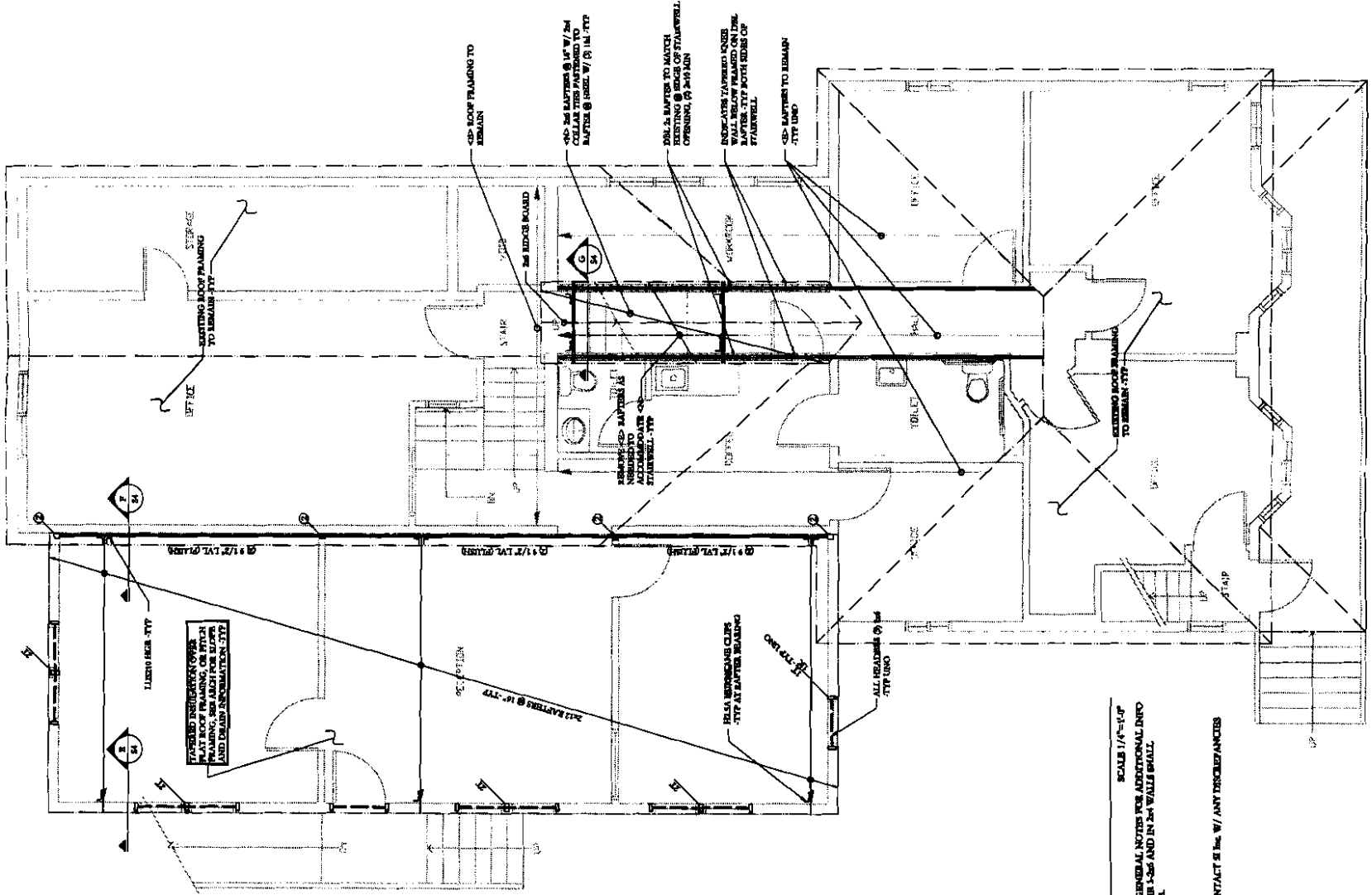
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FRAMING PLAN SYMBOLS KEY	
□	WOOD POST
○	NUMBER OF WOOD STUDS IN FOOT BELOW COLUMN ABOVE THIS LEVEL
A	COLUMN CONTINUOUS THROUGH THIS LEVEL
C	TRUSS OR JOIST BEARING
—	PLUMB FRAMED JOIST BEARING WITH HANGERS
—	WOOD STUD BEARING WALL BELOW SHEAR WALL
—	EXISTING FRAMING MEMBER
—	NEW FRAMING MEMBER
—	NUMBER OF TRIM STUDS UNDER HEADER
—	NUMBER OF KING STUDS ADJACENT TO HEADER



ROOF FRAMING PLAN

- NOTES:
1. ROOF BRACING SHALL BE 5/8" DIA. SEE GENERAL NOTES FOR ADDITIONAL INFO.
 2. ALL WOOD CEILING IN 2nd WALLS SHALL BE 1-3/2" AND IN 3rd WALL SHALL BE 2-1/2" AND IN 4th WALL SHALL BE 3-1/2".
 3. ALL WOOD CEILING IN 1st WALL SHALL BE 1-3/2" AND IN 2nd WALL SHALL BE 2-1/2".
 4. ALL WOOD CEILING IN 5th WALL SHALL BE 2-1/2".
 5. ALL HEADERS ARE 1-3/2" DIA.
 6. ALL ROOF PARTS TO BE 2x12 @ 16" O.C.
 7. VERIFY ALL CONDITIONS IN FIELD, CONTACT S.I.M. W/ ANY DISCREPANCIES.

