

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070807

PERMIT ISSUED

AUG 20 2007

This is to certify that HAYMAN FRED M JR & NANCY JTS owner

has permission to 16' x 16' sunporch addition

AT 29 HEMINGWAY ST

CALL 295 A009001

CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or enclosed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas N. Manthey 8/20/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call **874-8703** or **874-8693 (ONLY)**

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete —
- Re-Bar Schedule Inspection: Prior to pouring concrete —
- Foundation Inspection: Prior to placing ANY backfill —
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Fred M. Hargrave
Signature of Applicant/Designee Date 8-20-07

[Signature]
Signature of Inspections Official Date

CBL 295-A009 Building Permit #: 070897

City of Portland, Maine - Building or Use Permit Application

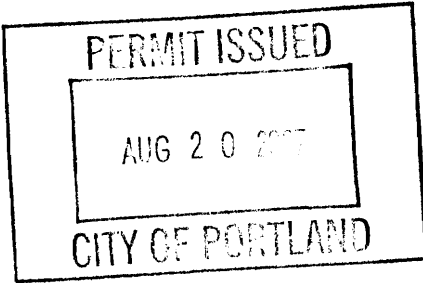
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0897	Issue Date:	CBL: 295 A009001
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Location of Construction: 29 HEMINGWAY ST	Owner Name: HAYMAN FRED M JR & NANCY	Owner Address: 35 HEMINGWAY ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone: 2077976148
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3 Primary

Past Use: Single Family	Proposed Use: Single Family 16' x 16' sunporch addition	Permit Fee: \$90.00	Cost of Work: \$7,000.00	CEO District: 5	Small B-A close to WARR
Proposed Project Description: 16' x 16' sunporch addition		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003 Signature: Jm 8/20/07		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:			

Permit Taken By: dmartin	Date Applied For: 07/26/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/7/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0897	Date Applied For: 07/26/2007	CBL: 295 A009001
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Location of Construction: 29 HEMINGWAY ST	Owner Name: HAYMAN FRED M JR & NANCY	Owner Address: 35 HEMINGWAY ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone (207) 797-6148
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family 16' x 16' sunporch addition	Proposed Project Description: 16' x 16' sunporch addition
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 07/30/2007

Note: **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 08/20/2007

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems.
Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



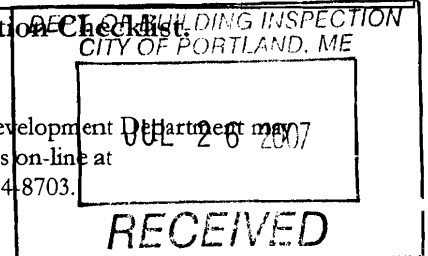
General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 Hemmingway St.</u>		
Total Square Footage of Proposed Structure <u>19256 sq ft.</u>		Square Footage of Lot <u>70095 sq ft.</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>296A F 20-21</u>	Owner: <u>Fred M. Hayman Jr.</u>	Telephone: <u>7976148</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Fred M. Hayman Jr. 35 Hemmingway St Portland 7976148</u>	Cost Of Work: \$ <u>7,000</u> Fee: \$ <u>90.00</u> Cost of O Fee: \$ <u>N/A</u>
Current legal use (i.e. single family) <u>SF</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Sun porch Addition 16x16</u>		
Contractor's name, address & telephone: <u>Property owner</u> Who should we contact when the permit is ready: <u>Fred</u> Mailing address: _____ Phone: <u>7976148</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

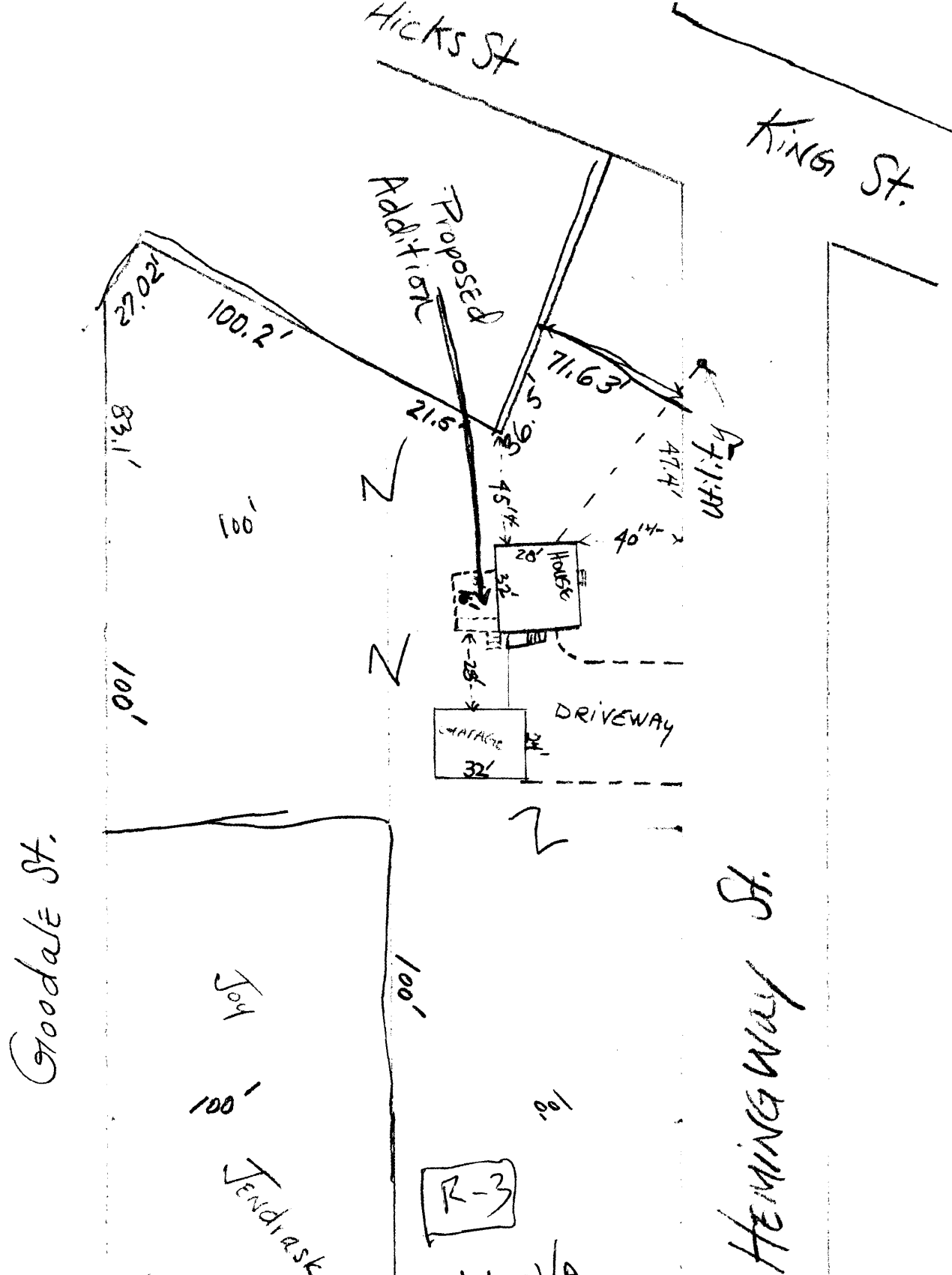
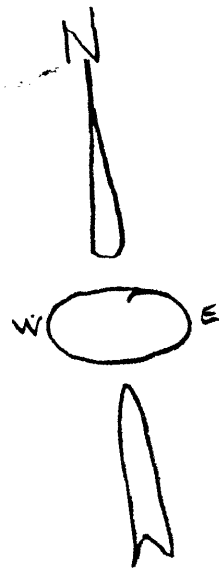


I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Fred M. Hayman Jr. Date: 7-26-07

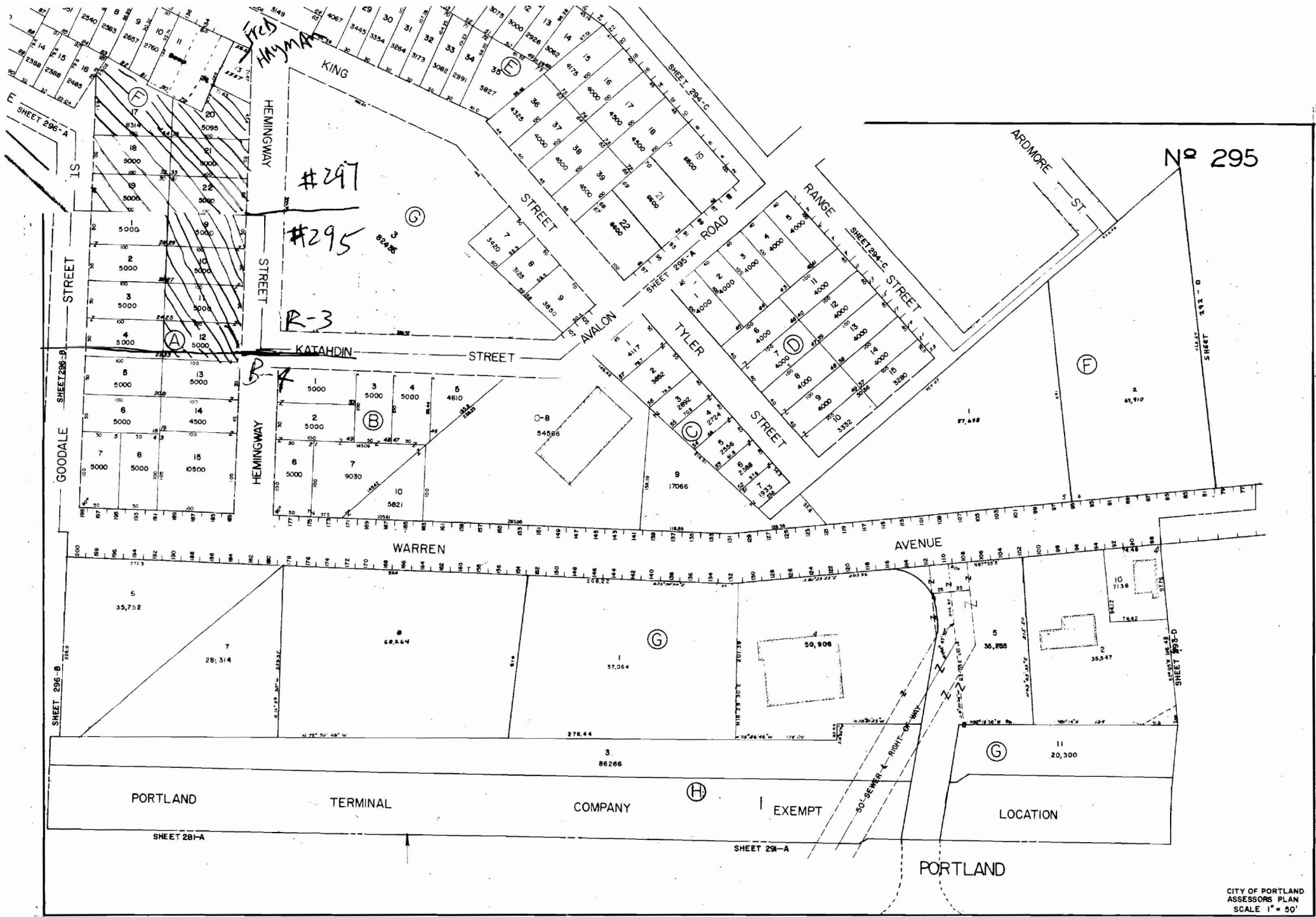
This is not a permit; you may not commence ANY work until the permit is issued.

CC



Fred Hayman
 35 Hemingway St.
 Portland, Me. 04103
 Proposed Addition

R-3
 Front: N/A
 Sides: 8' min - 45' shown
 Rear: 25' min - 100'+ shown
 lot cov. ok



No 295



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	295 A009001
Location	29 HEMINGWAY ST
Land Use	SINGLE FAMILY
Owner Address	HAYMAN FRED M JR & NANCY JTS 35 HEMINGWAY ST PORTLAND ME 04103

Book/Page

Legal

295-A-9 TO 12
~~- 297-F-17 TO 22~~
 GOODALE ST
 HEMINGWAY ST 52562 SF

Current Assessed Valuation

Land	Building	Total
\$99,600	\$128,600	\$228,200

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1920	Colonial	2	1680	1.207	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
5	1		8	Unfin	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1984	24X31	D	A

Sales Information

Date	Type	Price	Book/Page
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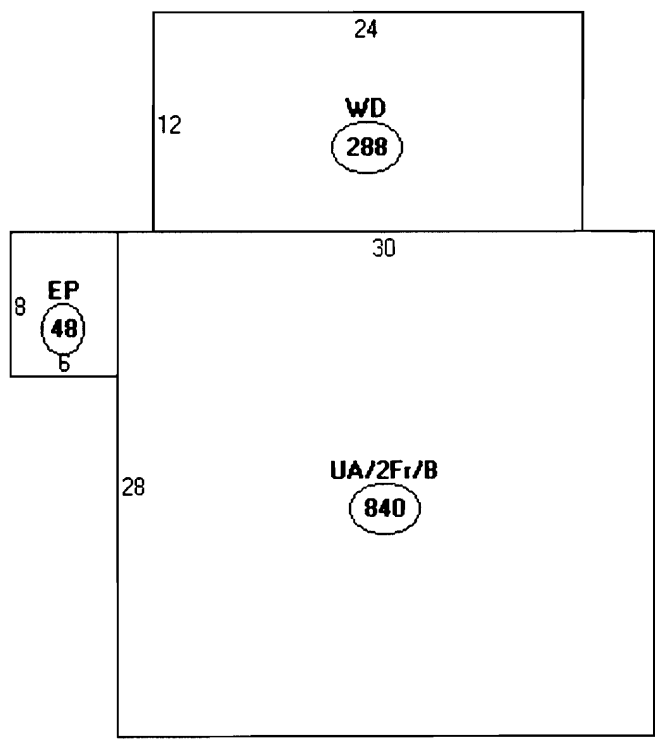
Picture and Sketch

Picture	Sketch	Tax Map
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Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Descriptor/Area

A: UA/2Fr/B
840 sqft
B: EP
48 sqft
C: WD
288 sqft

22
840
48
288

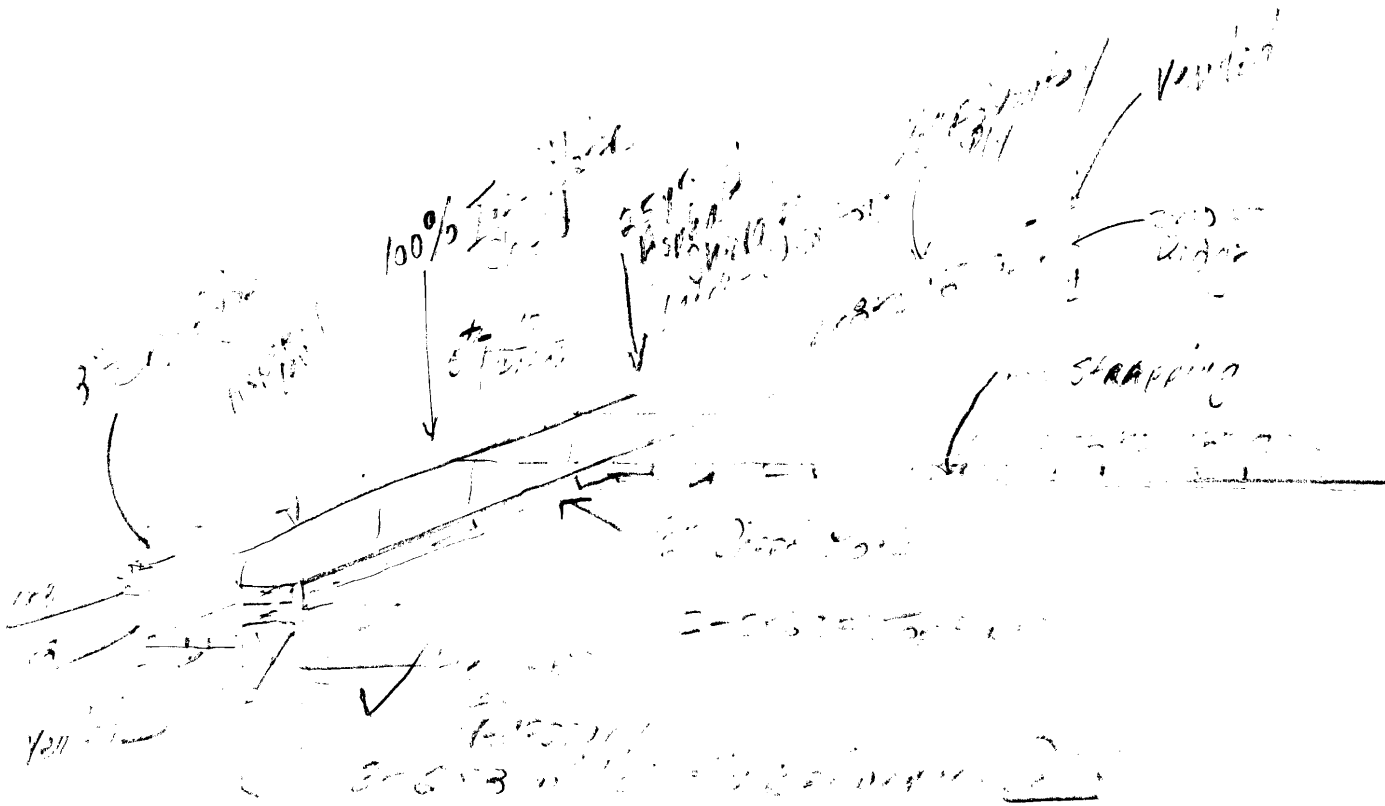
R-3
Garage
24x31 = 744
1920 #

Sun porch
16x16 = 256
2,176 #

lot size
52,562 # x 35% = 18,396.7 # max lot cov

100%
 3/12
 7/12

Framing Sectionals



note: Roof Pitch

$\frac{7}{12}$

there are 2 windows
 on the back side of
 the main house that
 the new addition needs
 to land between.
 Home owner will V.I.F.
 Roof/Shingles will come
 no closer than 6" to windows



Address:

3' - 0" min. to window

depends on the pitch of roof - the
 steeper the roof pitch the higher
 the ceiling ht.

all T&C framing plans

