

Location of Construction: 1445 Forest Ave		Owner: Kenneth E Rodgers	Phone: 878-5069	Permit No: 970171
Owner Address: 1445 Forest Ave- P11d ME 04101		Lessee/Buyer's Name:	Phone:	BusinessName:
Contractor Name: OWNER		Address:		Phone:
Past Use: 2-fam dwlg	Proposed Use: 2-fam w addition	COST OF WORK: \$ 20,000	PERMIT FEE: \$ 120	Permit Issued: MAR - 5 1997 CITY OF PORTLAND Zone: CBL 274-C-11
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <i>R3</i> Type <i>50</i> <i>MCA-96</i> Signature: <i>[Signature]</i>	
Proposed Project Description: construct addition 26'x28'		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zoning Approval:
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Permit Taken By: L Chase	Date Applied For: 2/27/97	Signature: _____ Date: _____		Zoning Appeal
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..				<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
				Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review

PERMIT ISSUED WITH REQUIREMENTS

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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

[Signature]
SIGNATURE OF APPLICANT

ADDRESS:

27 FEB 97
DATE:

PHONE:

PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

#7
[Signature]

BUILDING PERMIT REPORT

DATE: 5/march/97 ADDRESS: 1446 Forest Ave.

REASON FOR PERMIT: To Construct Addition

BUILDING OWNER: Kenneth E. Rodgers

CONTRACTOR: owner

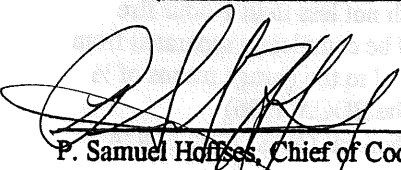
PERMIT APPLICANT: APPROVAL: *1 *2 *3 *5 *7 *8 *9
DENIED: *10 *15 *25

CONDITION OF APPROVAL

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
*2. Before concrete for foundation is placed, approvals from the Development Review coordinator and Inspection Services must be obtained.
*3. Precaution must be taken to protect concrete from freezing.
*4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
*5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly...
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
*7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces...
*8. Headroom in habitable space is a minimum of 7'6".
*9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise.
*10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
12. Each apartment shall have access to two (20 separate, remote and approved means of egress.
13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's.
14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
*15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19.
In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and

I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
18. The Sprinkler System shall maintained to NFPA #13 Standard.
19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- ~~25. Please read and implement items #6 of The Attached Land-use zoning report.~~
26. _____
27. _____



P. Samuel Hoffiss, Chief of Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal

LAND USE - ZONING REPORT

ADDRESS: 1446 Forest Ave DATE: 3/5/97

REASON FOR PERMIT: construct Addition on Rear - Demo car port

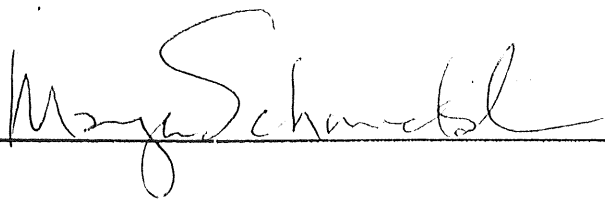
BUILDING OWNER: Kenneth E Rodgers C-B-L: 294-C-11923

PERMIT APPLICANT: owner

APPROVED: with conditions #6 DENIED: _____

CONDITION(S) OF APPROVAL

1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
2. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the garage in place and in phases.
5. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
6. Our records indicate that this property has a legal use of 2 units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage.
8. Separate permits shall be required for future decks and/or garage.
9. Other requirements of condition _____



Marge Schmuckal, Zoning Administrator,
Asst. Chief of Code Enforcement



FRONT ELEVATION

26'-0" DEEP
TWO-BEDROOM APARTMENT GARAGE

26'-0" WIDE
TWO SINGLE GARAGE DOORS WITH PERSONNEL DOOR

3'-0" x 3'-0" x 4" CONCRETE STOOP

SCALE: 1/4" = 1'-0"

CONTINUOUS RIDGE VENT

COMPOSITION SHINGLES

1x6 FASCIA

1x12 TRIM

1x4 TRIM @ CORNERS & WINDOWS

REFER TO DETAIL DT FOR WINDOW

OPTIONAL FLOWER BOXES W/ RS BRACKETS

1x12 TRIM

1x4 TRIM

LIGHT FIXTURE

1x4 TRIM @ DOORS REFER TO DETAIL ET FOR GARAGE DOOR

T 1-11 SIDING

1x12 TRIM

GRADE

16" O.C.

CONTINUOUS 2x6 2x6 LADDER RAFTER 2x10 RIDGE BOARD

12" TYP

3'-0" x 3'-0" x 4"
CONCRETE STOOP

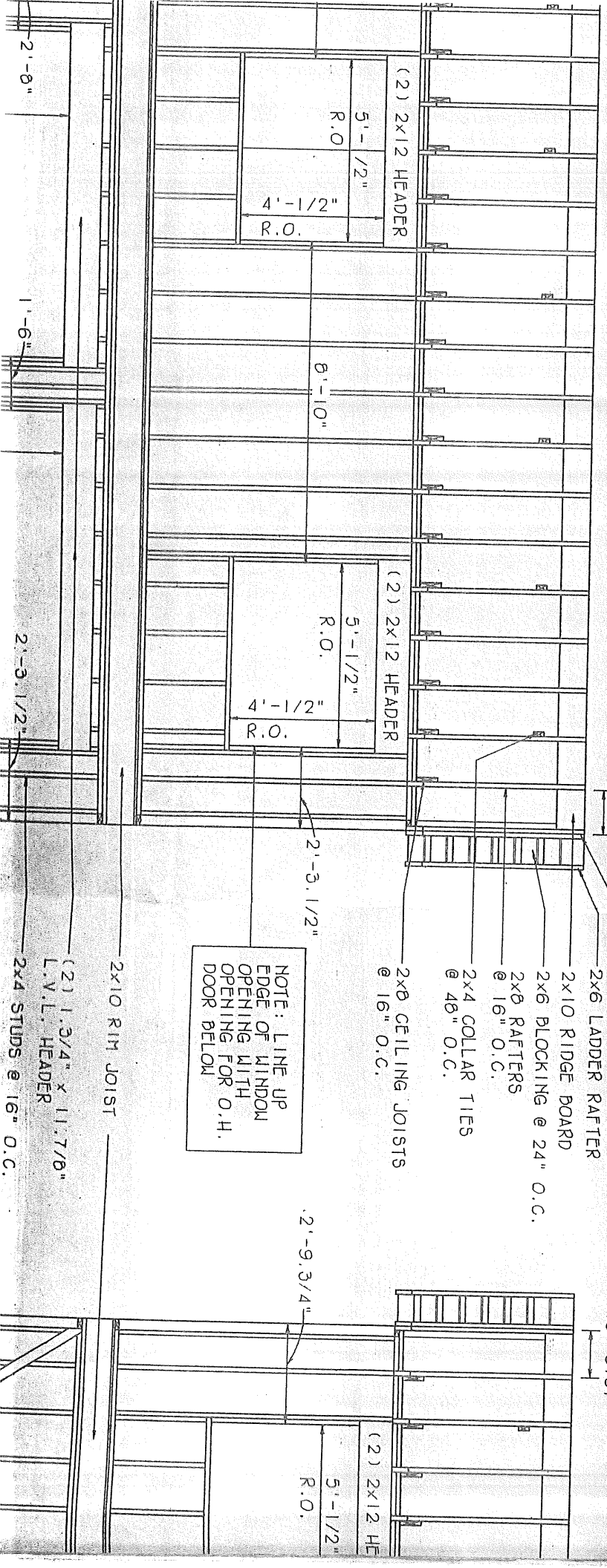
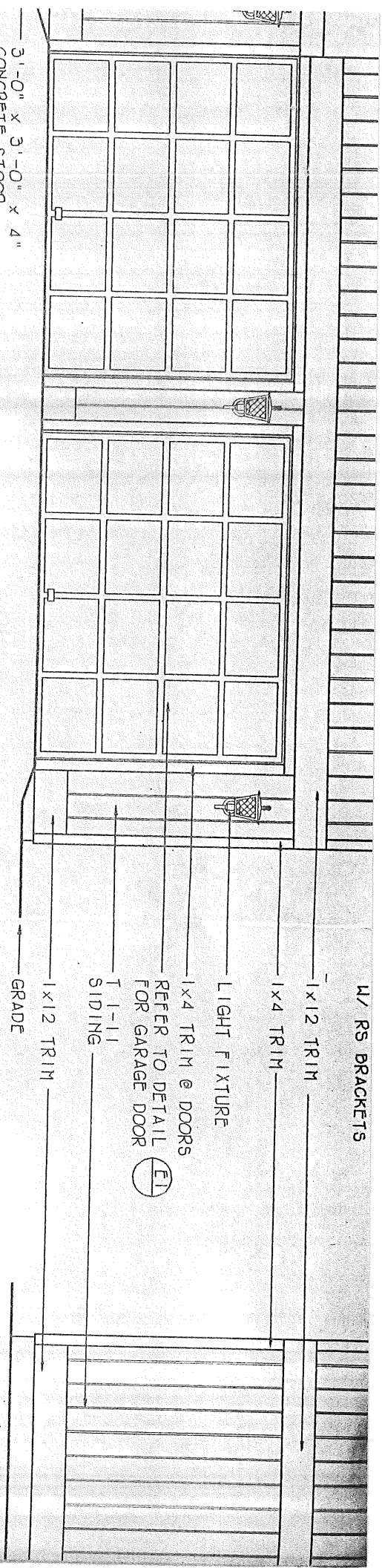
SCALE: 1/4" = 1'-0"

APARTMENT GARAGE
TWO SINGLE GARAGE DOORS WITH PERSONNEL DOOR

20'-0" WIDE

REAR ELEVATION

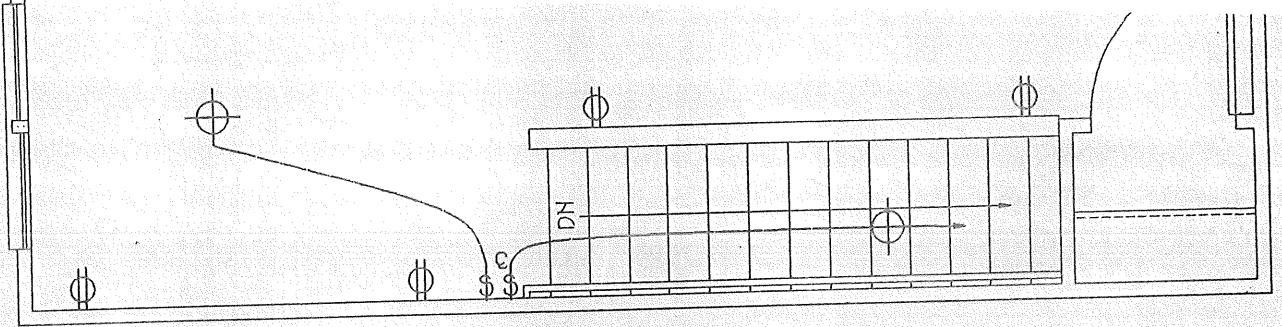
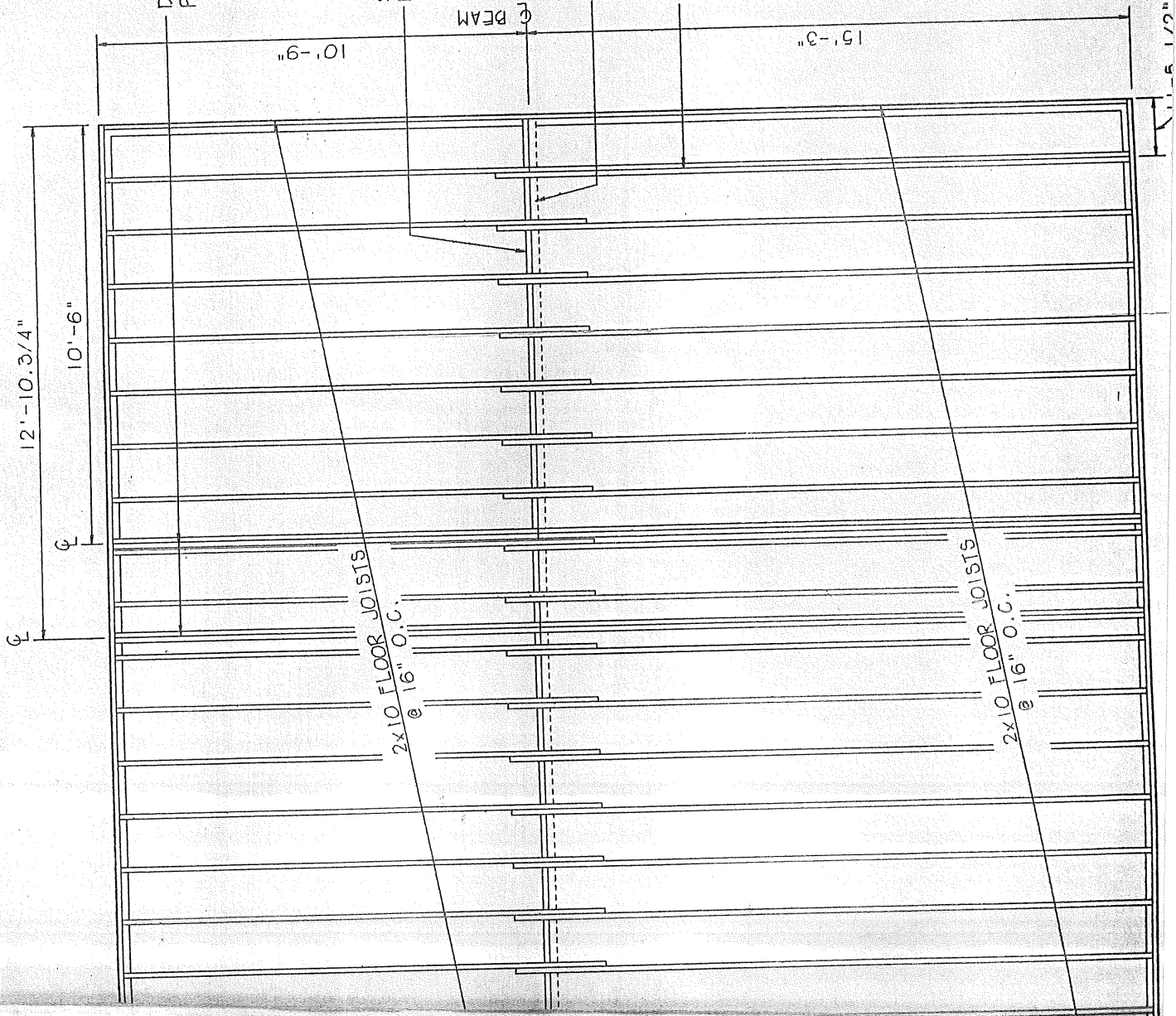
26'-0" DEEP
TWO-BEDROOM APARTMENT



NOTE: LINE UP
EDGE OF WINDOW
OPENING WITH
OPENING FOR O.H.
DOOR BELOW

WINDOW SCHEDULE

SYMBOL	MANUFACTURER	MODEL #	UNIT DIMENSION	ROUGH OPENING	REMARKS
A	ANDERSEN	G33	3'-0" x 3'-0"	3'-0.1/2" x 3'-0.1/2"	
B	ANDERSEN	G54	5'-0" x 4'-0"	5'-0.1/2" x 4'-0.1/2"	



K
1
5

All lumber specified is to be #2 or better with a minimum modulus of elasticity (E) of 1.4 x 10⁶ p.s.i. & a Fiber Stress in Bending factor (F_b) of 875 p.s.i. BASE VALUE

SIZE

#3
#4
6 x 6 10/10
20' x 50'

8" x 8" x 16"
1/2" x 18"
80 lb.

16" x 8"
#5
8" x 8" x 16"

1/2" x 18"
4"
6 x 6 10/10
20' x 50'

1/2" x 4"

16" x 8"
#5
8" x 4"
1/2" x 10"
4"
20' x 50'
6 x 6 10/10

1/2" x 4"

3" x 8'
2 x 10'
10'
6d
16d
6d
6d

1-3/4"x11-7/8"x28'

2 x 10 x 14'
2 x 10 x 10'
2 x 10 x 12'
2 x 10 x 16'
3/4" x 4' x 8'
2 x 10 x 12'

2 x 12 x 8'
2 x 12 x 12'
2 x 6 x 8'
2 x 6 x 12'
2 x 6 x 14'

FRAMING MATERIALS

Interior Header	2	ea.	2 x 10 x 8'
LVL Garage Header	4	ea.	1-3/4"x11-7/8"x10'
Top & Bottom Plates	4	ea.	2 x 4 x 10'
Top & Bottom Plates	10	ea.	2 x 4 x 12'
Top & Bottom Plates	22	ea.	2 x 4 x 14'
Top & Bottom Plates	4	ea.	2 x 4 x 18'
Pressure Treated Bottom Plate	1	ea.	2 x 4 x 10'
Pressure Treated Bottom Plate	2	ea.	2 x 4 x 12'
Pressure Treated Bottom Plate	4	ea.	2 x 4 x 14'
Pressure Treated Bottom Plate	4	ea.	2 x 4 x 92-5/8"
Pre-cut Studs	363	shts.	1/2" x 4' x 8'
CDX Plywood @ Front Wall	12	ea.	2 x 4 x 12'
Gable End Studs	9	ea.	2 x 8 x 12'
Back Ceiling Joists	22	ea.	2 x 8 x 16'
Front Ceiling Joists	22	ea.	2 x 8 x 16'
Rafters	44	ea.	2 x 4 x 10'
Collar Ties	7	shts.	1/2" x 4' x 8'
CDX Plywood (Roof Sheathing)	30	shts.	3/8" x 4' x 8'
AC Plywood @ Gable Overhang	2	ea.	2 x 2 x 8'
Nailer	8	ea.	2 x 6 x 16'
Ladder Rafter & Overhang Blocking	8	ea.	2 x 6 x 14'
Overhang Blocking	4	ea.	2" x 8'
Continuous Soffit Vent	8	ea.	2 x 10 x 16'
Ridge Board	2	ea.	2 x 4 x 10'
Temporary Bracing	12	ea.	1 x 4 x 10'
Let In Bracing	10	ea.	1 x 8 x 16'

EXTERIOR TRIM

Fascia @ Gable	4	ea.	1 x 8 x 16'
AC Plywood (Soffit)	2	shts.	3/8" x 4' x 8'
Fascia Trim	6	ea.	1 x 2 x 10'
Fascia	4	ea.	1 x 8 x 10'
Fascia	1	ea.	1 x 8 x 12'
Fascia	1	ea.	1 x 2 x 8'
Rake Trim	8	ea.	1 x 4 x 8'
Trim @ Doors & Window Corners	21	ea.	1 x 4 x 10'
Trim @ Doors & Window Corners	2	ea.	1 x 4 x 12'
Trim @ Doors & Window Corners	2	ea.	1 x 4 x 16'
Trim @ Doors & Window Corners	4	ea.	1 x 12 x 8'
Frieze Board Trim	1	ea.	1 x 12 x 10'
Frieze Board Trim	12	ea.	1 x 12 x 12'
Frieze Board Trim	2	ea.	1 x 12 x 14'
Frieze Board Trim	12	ea.	1 x 12 x 14'

SIDING MATERIALS

T1-11 (Lower Siding)	30	shts.	5/8" x 4' x 8'
T1-11 (Upper Siding)	27	shts.	5/8" x 4' x 9'
Coated/Galvanized Nails	50	lbs.	6d

ROOFING MATERIALS

15 lb. Felt Paper	3	rolls	(432sq.ft./roll)
Composition Shingles	33	bndls.	
Galvanized Roofing Nails	25	lbs.	1-1/4"
Ridge Vent	7	ea.	4'
Ridge Vent End Caps	2	ea.	10'
Galvanized Rake Edge	7	ea.	10'
Galvanized Drip Edge	7	ea.	10'

THERMAL & MOISTURE

Unfaced R-30	28	rolls	(58.7 sq.ft.)
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1/2" DIA X 10" ANCHOR BOLTS
@ 4'-0" O.C. EMBEDDED PER LOCAL CODE

WALL AT GARAGE

4" CONC. SLAB W/6 X 6 10/10 WWM

8" MIN.

6 MIL. POLY VAPOR BARRIER

4" SAND CUSHION OR CRUSHED STONE

1/2" EXPANSION JOINT

SLOPE GRADE AWAY FROM
FOUNDATION 6" IN FIRST 10'-0" (TYP.)

8" POURED CONCRETE WALL
W/#5 REBARS VERT. A 4'-0" O.C.
W/ (4) #5 REBARS HORIZ.

#5 X 18" DOWELS @ 4'-0" O.C.

TO BELOW LOCAL FROSTLINE
CHECK LOCAL CODE 2' MIN.

2 #5 REBARS CONT.

1'-4"

8"

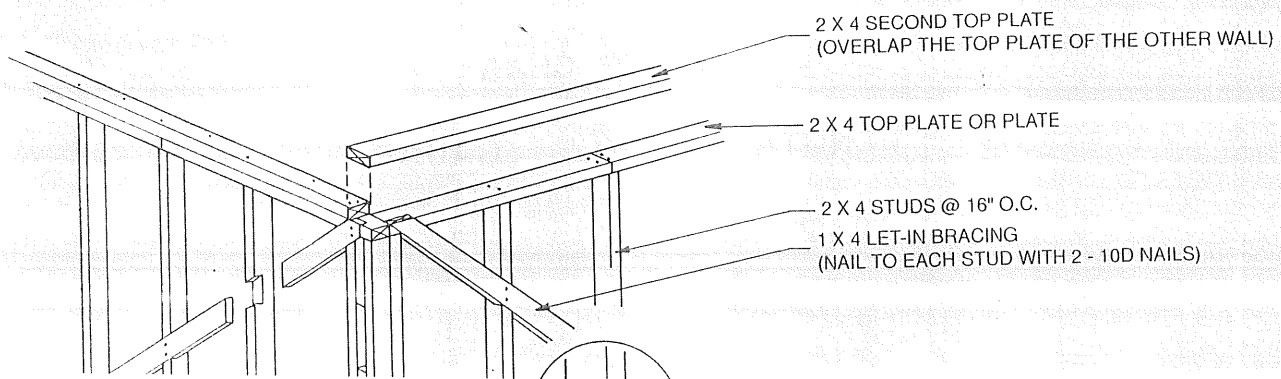
**B - CONCRETE
BLOCK STEM WALL**

NOT TO SCALE

26'-0" DEEP

20'-0" WIDE

4/12 ROOF PITCH



SECTION A-A

SCALE: 1/4" = 1'-0"

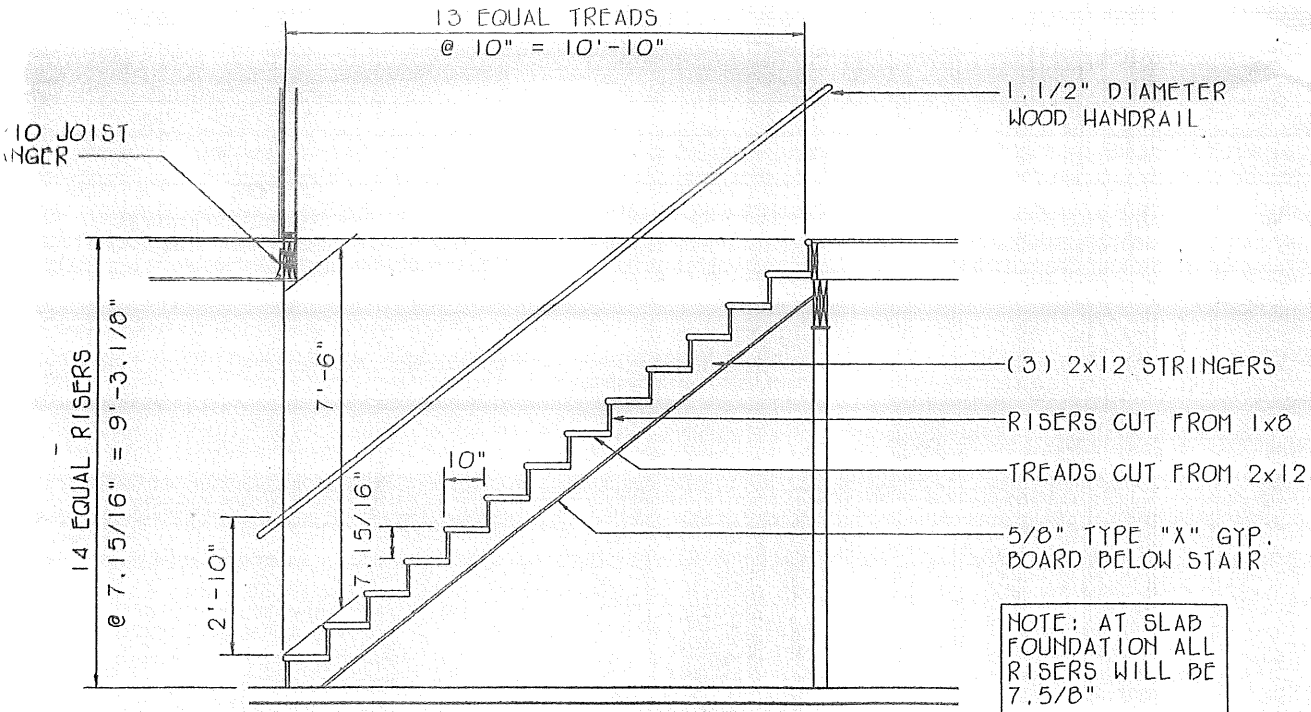
26'-0" DEEP

20'-0" WIDE

TWO-BEDROOM APARTMENT GARAGE

8'-0" HIGH WALLS SHOWING 7'-0" HIGH GARAGE DOOR AT FRONT

DOUBLE FLOOR JOIST AT STAIR

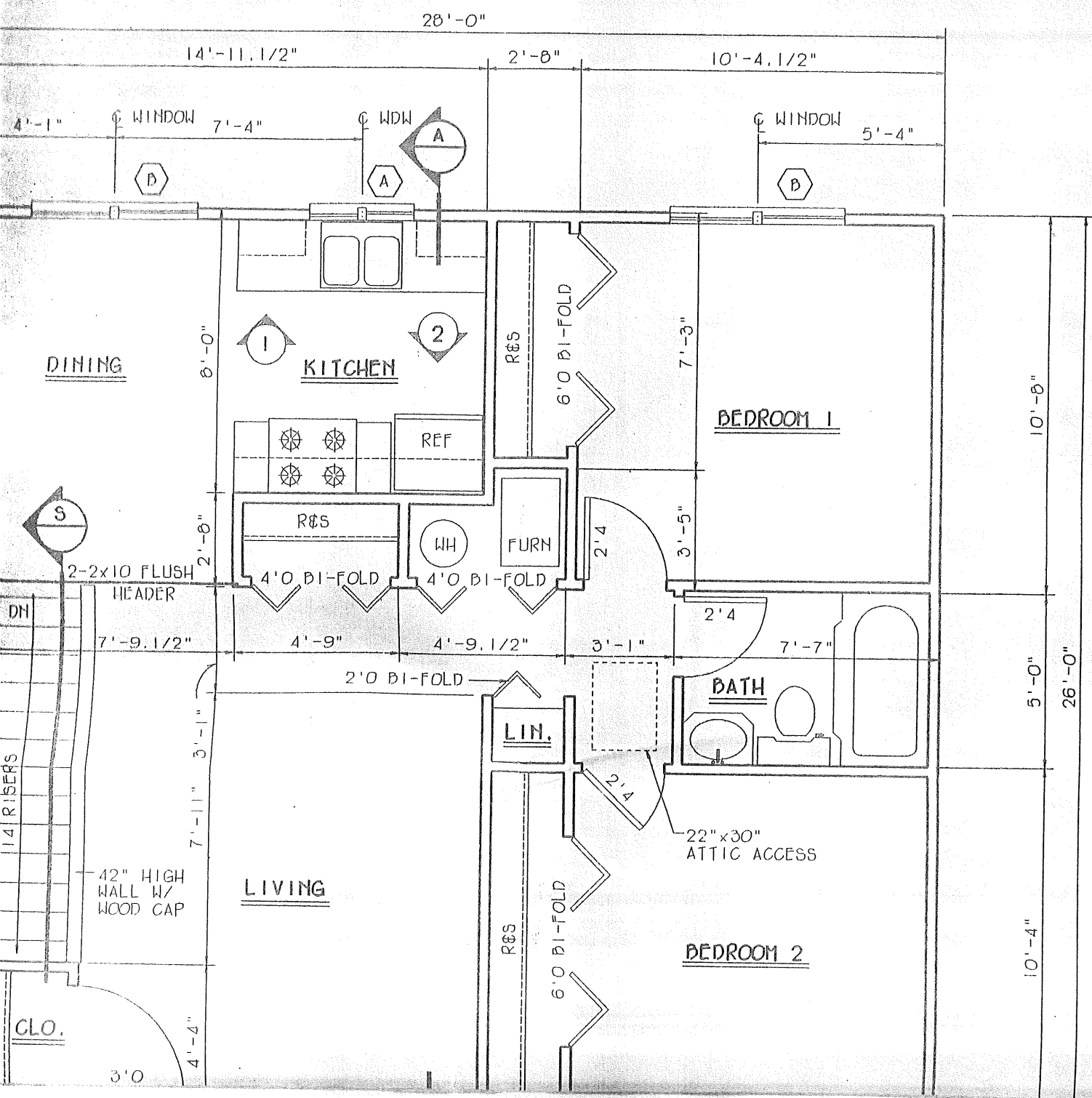


DOUBLE HEADER AT STAIR OPENING

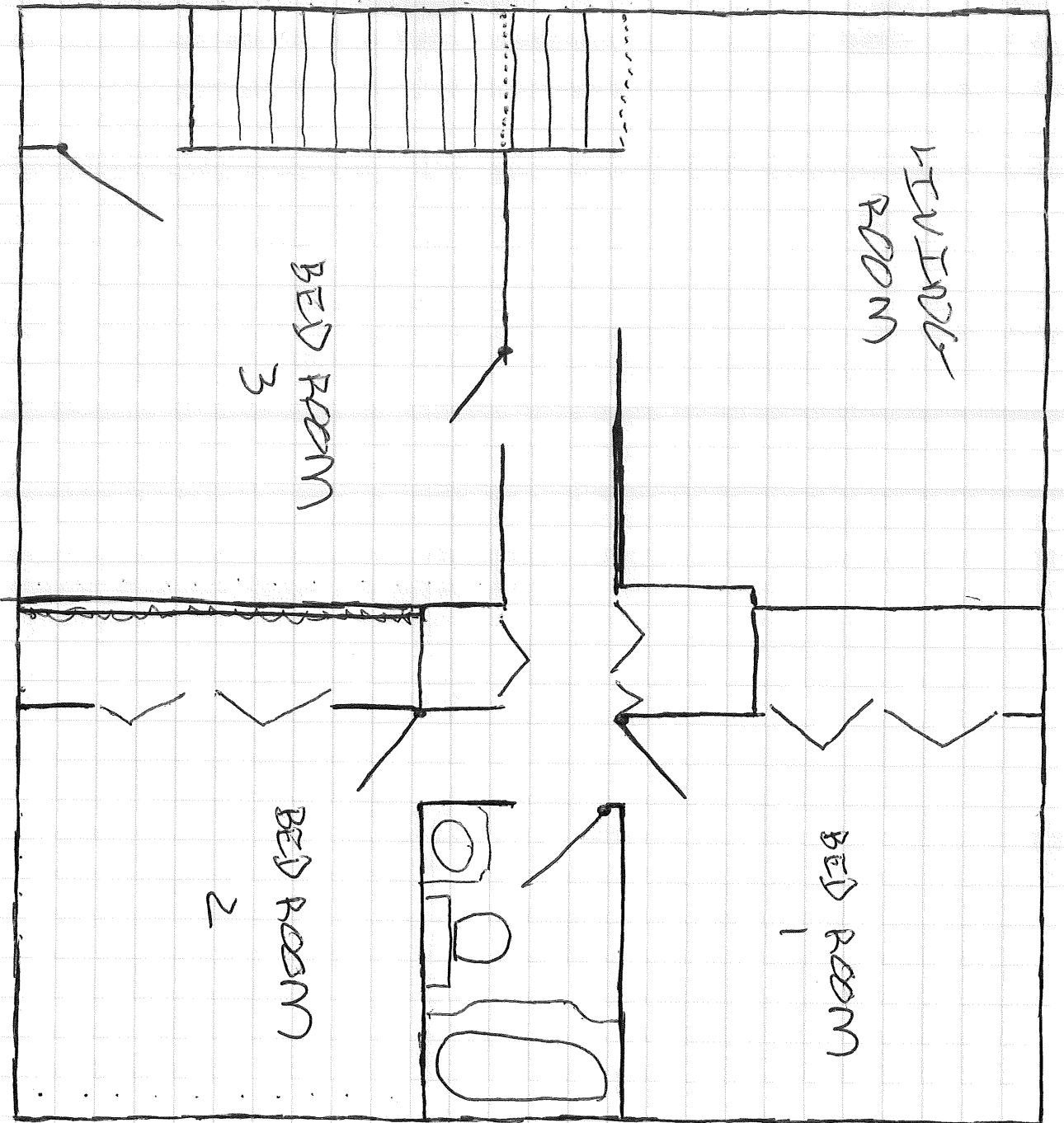
2x10 JOIST HANGER

STAIR SECTION S

SCALE: 1/4" = 1'-0"







Applicant: Kenneth E. Rodgers
Address: 1446 Forest Ave

Date: 3/4/97
C-B-L: 294-C-11 & 23

CHECK-LIST AGAINST ZONING ORDINANCE

Date - existing 2 unit (was R-5 previously, per microfiche)

Zone Location - R-3

Interior or corner lot - corner lot corner of Hicks

Proposed Use/Work - construct 26' x 28' Addition

Sewage Disposal - city

Lot Street Frontage -

Front Yard - N/A

Rear Yard - 25' req - 39' shown

Side Yard - ^{close line} 20' on streetside (Hicks) req & 14' on other side - 16' shown
→ 20' shown exactly req

Projections -

Width of Lot -

Height - 2 story

Lot Area - 6,500 req - ~~6,240 per Assessor's maps~~ 8,789[#] per C.A.M.A

Lot Coverage/ Impervious Surface - 25% max = ~~1560[#] max~~

Area per Family -

Off-street Parking - removing carport, bldg garage above
OK 4 SPACES shown ?

Loading Bays -

Site Plan - N/A

Shoreland Zoning/ Stream Protection -

Flood Plains - N/A

2197.25[#] MAX
20' x 55' = 1100
New 26 x 28 = 700
Removing carport on rear = 1800[#]

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

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Contractor Name: owner		Address:		Phone:		Zone: R-3 CBL: 294-C-1132
Past Use: 2-fam dwlg		Proposed Use: 2-fam w addition		COST OF WORK: \$ 20,000		
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2. Building permits do not include plumbing, septic or electrical work.
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

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[Signature]
SIGNATURE OF APPLICANT

ADDRESS: _____ DATE: 27 FEB 97 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____