

PERMIT IS

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0887 Issue Date: OCT 21 CBL: E-15-16
294 B019001 PAJ 910

Location of Construction: 19 Ardmore St	Owner Name: Gallant, Anthony	Owner Address: 19 Ardmore St	Phone: 2078261621
Business Name: n/a	Contractor Name: Anthony Gallant	Contractor Address: 244 Bancroft Street Portland	Phone: 2078261621
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: R-3

Past Use: Vacant	Proposed Use: New Single Family / 2,500 sq. ft. of living area with 22' x 22' attached 1 1/2 car garage and 23' x 6' covered porch.	Permit Fee: \$1,141.00	Cost of Work: \$150,000.00	CEO District: 1
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Proposed Project Description: 2,500 sq. ft. New Single Family with 21' x 22' attached garage and 23' x 6' covered porch. <i>revised 8/20/02</i>	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:
	Signature:	Signature:

Permit Taken By: jmy	Date Applied For: 08/06/2002	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or/Reviews <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 17 zone</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2002-0171</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with conditions</i> Date: <i>8/20/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

62-0887

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

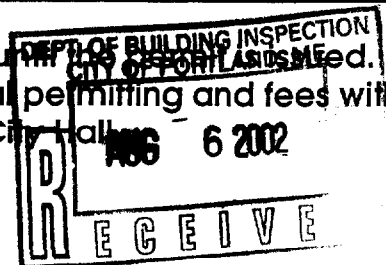
Location/Address of Construction: <u>19 Ardmore St.</u>		
Total Square Footage of Proposed Structure <u>Living Area = 2500 SF Footprint = 1841 SF</u>	Square Footage of Lot <u>7592 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>244</u> Block# <u>E</u> Lot# <u>15-16- some of 10</u>	Owner: <u>Anthony Gallant</u>	Telephone: <u>828-1621</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Anthony Gallant 244 Bancroft St. Portland, Me. 04102 828-1621</u>	Cost Of Work: \$ <u>150,000</u> Fee: \$ <u>1,073.00</u> <u>Bldg. \$ 470.00</u>
Current use: <u>Vacant Land</u>		Site <u>300.00</u>
If the location is currently vacant, what was prior use: <u>Land</u>		<u>copy 75.00</u>
Approximately how long has it been vacant: <u>? forever</u>		<u>Total 1,448.00</u>
Proposed use: <u>New Home S/F</u>		<u>23' x 6 covered porch</u>
Project description: <u>2,500 SF living area w/ 1 1/2 22' x 22' attached garage</u>		
Contractor's name, address & telephone: <u>Anthony Gallant</u>		
Who should we contact when the permit is ready: <u>Anthony Gallant</u>		
Mailing address: <u>244 Bancroft St. Portland, Me. 04102</u> <u>Call 828-1621 / 415-3590</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Anthony Gallant</u>	Date: <u>8-1-02</u>
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This is NOT a permit, you may not commence ANY work until you receive a permit from the DEPT OF BUILDING INSPECTION CITY OF PORTLAND, ME. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall.



Application ID Number: 2-0887

Delete Save Close

Department: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 10/21/2002

Comments:

Given On Date: 08/22/2002

OK to Issue Permit Name: Jeanine Bourke Date: 10/21/2002 Date 2: []

Conditions Section:

Add New Condition from Add New Condition Delete Condition

Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Separate permits are required for any electrical or plumbing work.

Specs must be submitted on all engineered Lam Beams and LVL's

Create Date: 08/08/2002 By: jmy Update Date: 10/21/2002 By: jmb

Application ID Number: 2-0887

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 19-23 Ardmore Street - shows 57 sq. Ft. Over the max lot coverage - also a question about the status of the unnamed side street- is it abandoned? This would affect the side setback (20' required instead of the 15.8'). Left message with owner. 8/19/02

Approval Date: 08/20/2002

Given On Date: 08/12/2002

OK to Issue Permit Name: Marge Schmuckal Date: 08/20/2002 Date 2:


Conditions Section:

This permit is being approved on the basis of the revised plans submitted on 8/20/02. Any deviations shall require a separate approval before starting that work.

It is understood by your revised plans that 1 foot is being taken off the front of the garage and that 1 foot is being taken off the full length of the rear of the building. By doing this reduction, this structure now meets the maximum lot coverage requirements within the R-3 residential zone.

Please note that your proposed structure is 10 feet short of the maximum lot coverage requirements. This office shall not be able to approve any future decks or sheds.

Create Date: 08/08/2002 By: jmy Update Date: 08/20/2002 By: mes

Soil type/Presumptive Load Value (Table 401.4.1) ?	Component	Plan Reviewer	Inspection/Date/Findings
	STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2) 		min. 19" base on soils/width min. 6" thick min. 2" for projections - shall not exceed footing thickness
	Foundation Drainage Dampproofing (Section 406) Interior/Exterior w/drain sock 2" x 2" x 2" foundation coating 2 50A tube under porch		
	Ventilation (Section 409.1) Crawls Space ONLY both NO ceiling windows shown 1208. Natural ventilation.		OK
	Anchor Bolts/Straps (Section 403.1.4) ? 1/2" anchor bolts min. 6" @ 12" corners min 2" into wall		
	Lally Column Type, Spacing and footing sizes (Table 502.3.4(2)) 12" x 2' x 2' pads 28 wide 6'0" @ 6'6" + 5'10"		26" x 26" pad 7'1" max
	Built-Up Wood Center Girder Dimension/Type 3 - 2 x 12 7'1"		
	Sill/Band Joist Type & Dimensions (Table 502.3.4(2)) ?		
	First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1)) 13" open web Trusses 7' max. spacing		OK
	Second Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1)) open web Trusses		OK

Header Schedule	Garage 3 - 2x10 x 16' R.O. 5'0" 01 Rows 6x8 0'10" ? Lam Beams Power vent side wall LP Gas system FHA	6'0 bearing = 3 - 2x10 5'0 bearing = 3 - 2x8	Garage non bearing
Type of Heating System			
Stairs			
Number of Stairways	2 possible 3		
Interior	2 possible 3		
Exterior	2 F4R		
Treads and Risers (Section 314)	7 3/4' x 10"		
Width	3'+		
Headroom	Min 6'8"		
Guardrails and Handrails (Section 315)	handrails 36" NOEXT shown ? Guards/wall ?		
Smoke Detectors Location and type/Interconnected			
Plan Reviewer Signature			

See Chimney Summary Checklist

11x17 AS Bufts indicating reduction in Building size. *AK*

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2002-0171

Application I. D. Number

08/06/2002

Application Date

19 Ardmore Street

Project Name/Description

Gallant, Anthony

Applicant

19 Ardmore Street, Portland, ME

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 828-1621 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

19 - 19 Ardmore St, Portland, Maine

Address of Proposed Site

294 e015001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1841 sq. ft.

7592 sq. ft.

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 08/12/2002

DRC Approval Status:

Approved Denied

Approval Expiration 08/23/2003

Extension to _____

Additional Sheets Attached

Condition Compliance

Jay Reynolds
signature

08/22/2002
date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____
date amount expiration date
- Inspection Fee Paid _____
date amount
- Building Permit Issue _____
date
- Performance Guarantee Reduced _____
date remaining balance signature
- Temporary Certificate of Occupancy _____
date Conditions (See Attached) expiration date
- Final Inspection _____
date signature
- Certificate Of Occupancy _____
date
- Performance Guarantee Released _____
date signature
- Defect Guarantee Submitted _____
submitted date amount expiration date
- Defect Guarantee Released _____
date signature

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0171

Application I. D. Number

08/06/2002

Application Date

19 Ardmore Street

Project Name/Description

Gallant, Anthony

Applicant

19 Ardmore Street, Portland, ME

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 828-1621 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

19 - 19 Ardmore St, Portland, Maine

Address of Proposed Site

294 e015001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 19 ARDMORE STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2002-0170
Application I. D. Number

08/07/2002
Application Date

Farmhouse Lane
Project Name/Description

J.S. Wyse Builders, Inc.
Applicant
9 Wild Flower Lane, Windham, ME 04062
Applicant's Mailing Address

Farm House Ln , Portland, Maine
Address of Proposed Site
376 A054001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Applicant Ph: (207) 893-0857 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) Attached Garage & Deck

Proposed Building square Feet or # of Units 18,781 Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 08/08/2002

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2002-0170
Application I. D. Number

08/07/2002
Application Date

Farmhouse Lane
Project Name/Description

J.S. Wyse Builders, Inc.
Applicant
9 Wild Flower Lane, Windham, ME 04062
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 893-0857 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Farm House Ln , Portland, Maine
Address of Proposed Site
376 A054001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **Attached Garage & Deck**

Proposed Building square Feet or # of Units 18,781 Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 08/08/2002

Insp Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions** See Attached **Denied**

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|--|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature | |

Applicant: Anthony Gallant

Date: 8/19/02

Address: 19-23 Ardmore St

C-B-L: 294-E-05,016; Part of 10

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot - END of street - Question as to SE side of this prop

Proposed Use/Work - construct new single family with attached 22x22 garage and 6'x23' covered porch

Sewage Disposal - City

Lot Street Frontage - 50' req. - 75.80' shown

Front Yard - 25' min req. - 25.5' shown

Rear Yard - 25' min req. - 28.5' shown

Side Yard - 14' req. - 15.8' shown

? side yard on unnamed side st. - NO NOT APPLICABLE

Projections - front porch - rear porch

Width of Lot - 75' req. - 75.80' shown

Height - 35' MAX - 29.5' to ridge

Lot Area - 6,500 sq ft min 7,592 sq ft given

Lot Coverage/Impervious Surface - 25% (1898 sq ft)

Area per Family - 6,500 sq ft

Off-street Parking - 2 pkg spaces req.

Loading Bays - N/A

Site Plan - mmoy/mmoy #2002-0171

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 Zone X

Jim Robbins in the street vault looked at the Avalon Heights subdivision. This makes the city lost all rights in the paper of THAT Adjusts the SE side of this prop

34' 782
23 x 35' = 805
44' 968
22 x 44' = 968
front porch 6' x 23' = 138
1000
57 over

WARRANTY DEED
Maine Statutory Short Form

KNOW ALL PERSONS BY THESE PRESENTS That we, **Richard T. Carr, Jr.** and **Pamela S. Angell** of Portland, Cumberland County, State of Maine, for consideration paid, grant to **Anthony J. Gallant**, with a mailing address of 24 Bancroft Street, Portland, ME 04102 WITH WARRANTY COVENANTS, the following:

A certain lot or parcel of land situated in the City of Portland, County of Cumberland and State of Maine, and being more particularly described on Exhibit A attached hereto and made a part hereof.

IN WITNESS WHEREOF, the said Richard T. Carr, Jr. and Pamela S. Angell have caused this instrument to be executed this 16th day of July, 2002

Richard T. Carr

Pamela S. Angell

State of Maine
County of Cumberland

July 16, 2002

Personally appeared the above named Richard T. Carr, Jr. and Pamela S. Angell and acknowledged the foregoing instrument to be their free act and deed.

Before me,

Adam N. Gozalez, Esq.
Attorney at Law

Exhibit A

A certain lot or parcel of land located on the west side of Ardmore Street and south of remaining land of McKelvy described in a deed recorded in the Cumberland County Registry of Deeds in Book 15786, Page 330, in the City of Portland, Cumberland County and the State of Maine and being more particularly described as follows:

Beginning at a 5/8 inch rebar set with cap at the southeast corner of Lot 21 of Avalon Highlands subdivision recorded in said Registry in Plan Book 12, Page 11 and also being S31°-56'-03"E two hundred ninety one and eighty hundredths 291.80' feet along the west bounds of Ardmore Street from the intersection of the south bounds of Avalon Road and the west bounds of Ardmore Street.

- 1) Thence S57°-55'-22"W one hundred and zero hundredths 100.00' feet along the south bounds of Lot 21 to a 5/8 inch rebar set on the southeast corner of Lot 35.
- 2) Thence N31°-56'-03"W seventy six and five hundredths 76.05' feet along the east bounds of Lot 35, 34 and a portion of Lot 33 and also land formerly of Richard T. Carr, Jr. and Pamela S. Angell to a 5/8 inch rebar set with cap at the northwest corner of a four 4' foot strip of land conveyed by McKelvy to Pamela S. Angell and Richard T. Carr, Jr. and more particularly described in a deed dated July 10, 2002 and recorded in said Registry of Deeds in Book 17836, Page 324.
- 3) Thence N58°-03'-57"E one hundred and zero hundredths 100.00' feet along remaining land of McKelvy described in a deed recorded in said Registry of Deeds in Book 15786, Page 330, to a 5/8 inch rebar set with cap on the west bounds of Ardmore Street.
- 4) Thence S31°-56'-03"E along the west bounds of Ardmore Street to the point of beginning.

Containing 7,592 square feet and being a portion of land of Angell and Carr described in a deed recorded in said Registry of Deeds in Book 12532, Page 86 and being Lot 21 and Lot 22 of Avalon Highlands subdivision. Also a four 4' foot strip of land on the south end of Lot 23, being the four 4' foot strip of land conveyed by McKelvy to Pamela S. Angell and Richard T. Carr, Jr. and more particularly described in a deed dated July 10, 2002 and recorded in said Registry of Deeds in Book 17836, Page 324. .

Also conveying all right, title and interest, if any, in an unnamed paper street located South of the above-described parcel and North of New Main Properties described in a deed recorded in said Registry of Deeds in Book 11975, Page 261.

Beginning at a 5/8 inch rebar set with cap on the southeast corner of Lot 21 as noted on Avalon Highlands a subdivision recorded in said Registry of Deeds in Plan Book 12, Page 11 and also being S31°-56'-03"E two hundred ninety one and eighty hundredths 291.80' feet along the west bounds of Ardmore Street from the intersection of the south bounds of Avalon Road and the west bounds of Ardmore Street.

- 1) Thence S31°-56'-03"E twenty and eighty four hundredths 20.84' feet across the paper street to a point on the north bounds of land of New Maine Properties described in a deed recorded in said Registry of Deeds in Book 11975 Page 261.
- 2) Thence S57°-55'-21"W one hundred and zero hundredths 100.00' feet along the north bounds of New Maine properties to a point.
- 3) Thence N31°-56'-03"W twenty and eighty four hundredths 20.84' feet across the paper street to a 5/8 inch rebar set with cap on the southwest corner of Lot 21.
- 4) Thence N57°-55'-22"E one hundred and zero hundredths 100.00' feet along the south bounds of Lot 21 to a 5/8 inch rebar set with cap at the point of beginning.

Containing 2,084 square feet and being a portion of the unnamed paper street.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2002-0171
Application I. D. Number
08/06/2002
Application Date
19 Ardmore Street
Project Name/Description

Gallant, Anthony
Applicant
19 Ardmore Street, Portland, ME
Applicant's Mailing Address

Consultant/Agent
Applicant Ph: (207) 828-1621 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

19 - 19 Ardmore St, Portland, Maine
Address of Proposed Site
294 D019001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1841 sq. ft. **7592 sq. ft.**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **08/12/2002**

Insp Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

This is to show how I am going to vent
Furnace.

Proposal
2002036

Bottom Line Mechanical Systems, Inc.

A Maine Corporation.

Box 366 Plummers Landing Rd. Bridgton, Me. 04009
Voice, Fax & Message: (207) 892-9316 Pager: 851-2442

Proposal Submitted To: Tony Gallant		Phone: 828-1621	Date: 7/18/02
Street: 244 Bancroft St.		Job Name: Lp Gas Fired FHA Heating System	
City, State & Zip: Portland, Me. 04102		Job Location:	
<p>BLMS, Inc. hereby submits specifications and estimates for: Bottom Line Mechanical Systems, Inc. is pleased to provide a quote to install a high efficiency Lp gas fired forced hot air heating system in the residence listed above. Work to consist of the following:</p> <p>Provide and install one, 80,000 btuh input, high efficiency (92% AFUE) Lp gas fired condensing furnace with one, 3 ton cooling coil, duct mounted at furnace. Furnace to be floor mounted in mechanical room. Provide and install supply and return duct of galvanized metal with registers, diffusers and grilles to service the first and second floor areas. All duct shall be fabricated and installed per SMACNA standards. All duct in unconditioned spaces shall be insulated with fiberglass insulation with vapor barrier.*</p> <p>Provide and install 1 thermostat with related 24 volt control wiring from thermostat to furnace.</p> <p>Provide and install gas piping of black iron from regulator mounted on dwelling to furnace. Pressure test gas piping per NFPA-54 code. <u>Fuel storage tank and regulator provided by gas company.</u></p> <p>Provide and install flue and vent piping of PVC plastic from furnace to outside and condensate removal piping to nearest suitable drain.</p> <p>Start and test system, one year warrantee on materials and workmanship. Project Price: \$7,360.00</p> <p>*Note: Soffits and chaseways will be required to facilitate installation of duct system. Soffit and chaseway construction are excluded from this quote.</p> <p>Option A: To install one electronic air cleaner Add \$525.00 _____ initial here to indicate acceptance of Option A.</p> <p>Option B: To install one humidifier with remote wall mounted humidistat Add \$230.00 _____ initial here to indicate acceptance of Option B.</p> <p>Option C: To install gas piping to devices other than furnace, Add \$240.00 per device. _____ Initial here to indicate acceptance of Option C. indicate number of extra devices here _____.</p> <p>Exclusions: Adequacy of existing systems, power wiring, electrical panels, disconnects and switches, cutting, patching, painting, roofing, carpentry, chaseways, soffits, structural, chimney, masonry, plumbing, dumpster rental, disposal fees, temporary heat and/or cooling, and asbestos.</p>			
BLMS, Inc. hereby proposes to furnish material and labor in accordance with above specifications, for the sum of			\$7,360.00
Payment to be made as follows: \$2,453.00 at contract acceptance; remainder progress billing, net 15 days.			
If payment is not made as outlined above, a service charge of 1.5% per month on the overdue balance plus all reasonable costs of collection, including attorney's fees will be paid.			
<p>All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements made contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Note: This proposal may be withdrawn by BLMS, Inc. if not accepted within <u>30</u> days.</p>		<p>Authorized Signature: <i>Craig Stephens, V.P.</i></p>	
<p>Acceptance of Proposal: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.</p>			
Date of acceptance: _____		Signature _____	



PURCHASE AND SALE AGREEMENT - LAND ONLY

June 17, 2002

Effective Date
Effective Date is defined in Paragraph 20 of this Agreement.

1. PARTIES: This Agreement is made between ANTONY J. GALLANT and _____ (hereinafter called "Buyer") of CARR/ANGELL (hereinafter called "Seller") of _____
LOT 15-16 ARDMORE AT PORTLAND, MAINE

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth, Seller agrees to sell and Buyer agrees to buy (all) part of () the premises situated in municipality of PORTLAND, County of CUMBERLAND, State of Maine, located at ARDMORE ST and described in deed(s) recorded at said County's Registry of Deeds Book(s) 12532, Page(s) 86. If "part of" see Other Conditions (paragraph 22) for explanation.

3. CONSIDERATION: For such Deed and conveyance Buyer is to pay the sum of PRICE \$ 50,000.00
of which DEPOSIT \$ 1,000.00
is included herewith as an earnest money deposit, and an additional amount of DEPOSIT \$ _____
will be paid by (date) _____. The balance due amount of ... BALANCE DUE \$ 49,000.00
is to be paid by certified or bank check, upon delivery of the Deed.

This Purchase and Sale Agreement is subject to the following conditions:

4. EARNEST MONEY/ACCEPTANCE: COLDWELL BANKER H B ("Agency") shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until June 18, 2002 (date) 4
 AM PM; and, in the event of Seller's non-acceptance, this earnest money shall be returned promptly to Buyer. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to recover reasonable attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

5. TITLE AND CLOSING: A deed, conveying good and merchantable title in accordance with the Standards of Title adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on July 31, 2002 (closing date) or before, if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days, from the time Seller is notified of the defect, unless otherwise agreed to by both Buyer and Seller, to remedy the title, after which time, if such defect is not corrected so that there is a merchantable title, Buyer may, at Buyer's option, withdraw said earnest money and be relieved from all obligations. Seller hereby agrees to make a good-faith effort to cure any title defect during such period.

6. DEED: The property shall be conveyed by a WARRANTY deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not materially and adversely affect the continued current use of the property.

7. POSSESSION: Possession of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

8. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Buyer shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in substantially the same condition as on the date of this Agreement.

9. PRORATIONS: The following items, where applicable, shall be prorated as of the date of closing: rent, association fees, (other) _____ . Real estate taxes shall be prorated as of the date of closing (based on municipality's fiscal year). Seller is responsible for any unpaid taxes for prior years. If the amount of said taxes is not known at the time of closing, they shall be apportioned on the basis of the taxes assessed for the preceding year with a reapportionment as soon as the new tax rate and valuation can be ascertained, which latter provision shall survive closing. Buyer and Seller will each pay their transfer tax as required by State of Maine.

10. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form and is encouraged to seek information from professionals regarding any specific issue or concern.

11. INSPECTIONS: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

Rev. 2002

Page 1 of 4 - P&S-LO

Buyer(s) Initials AG

Seller(s) Initials _____

era home sellers 118 maine mall rd, south portland ME 04106

Fax: (207) 774-2523

Vinton A. Savage, III

Phone: (207) 774-5766

Produced with ZipForm™ by RE FormsNet, LLC 18025 Fifteen Mile Road, Clinton Township, Michigan 48035, (800) 363-9805

T6867621 ZFX

Agent makes no warranties regarding the condition, permitted use or value of Seller's real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY Purpose: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	10	SELLER	SELLER
2. SOILS TEST Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
3. LOCAL PERMITS Purpose: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	21	BUYER	BUYER
4. HAZARDOUS WASTE REPORTS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. SUB-DIVISION APPROVAL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. DEP/LURC APPROVALS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. ZONING VARIANCE Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. MDOT DRIVEWAY/ ENTRANCE PERMIT Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
9. OTHER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>			

Further specifications regarding any of the above:

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

Page 2 of 4 - P&S-LO Buyer(s) Initials AM Seller(s) Initials _____

FINANCING: This Agreement is subject to Buyer obtaining an approved CONVENTIONAL mortgage of 80.000 % of purchase price, at an interest rate not to exceed 8.000 % and amortized over a period of 30 years.

- a. Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within 7 days from the Effective Date of the Agreement.
- b. Buyer to provide Seller with mortgage commitment letter from lender showing that Buyer has secured the loan commitment within 21 days of the Effective Date of the Agreement.
- c. If either of these conditions is not met within said time periods, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
- d. After (a) and (b) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed with the financing. Any failure by Buyer to notify Seller within 48 hours of receipt by Buyer of notice from the lender shall be a default under this Agreement.
- e. Buyer agrees to pay no more than 0 points. Seller agrees to pay \$ 0 toward points and/or Buyer's closing costs.

13. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following agency relationships:

GEOFFRY MACLEAN/JEAN MARIE CAT of COLDWELL BANKER HARNDEN BEECHER represents SELLER
Listing Agent Agency

VINTON A. SAVAGE, III of ERA HOME SELLERS represents BUYER
Selling Agent Agency

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

14. MEDIATION: Any dispute or claim arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules of the American Arbitration Association. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA: Yes Explain: _____ No

20. EFFECTIVE DATE: This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated to Buyer and Seller or to their agents. Agent is authorized to complete Effective Date on Page 1 of this Agreement. The use of "by (date)" or "within _____ days" shall refer to calendar days being counted from the Effective Date as noted on Page 1 of the Agreement, beginning with the first day after the Effective Date and ending at 5:00 p.m. Eastern Time on the last day counted.

21. CONFIDENTIALITY: Buyer and Seller understand that the terms of this Agreement are confidential but authorize the disclosure of the information herein to the agents, attorneys, lenders, appraisers, inspectors and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the parties and their agents to receive a copy of the entire closing statement.

Page 3 of 4 - P&S-LO Buyer(s) Initials AN Seller(s) Initials _____

OTHER CONDITIONS: THIS OFFER SUBJECT TO SELLER PROVIDING TO PURCHASER ALL DOCUMENTS SUPPORTING THE FACT THAT SUBJECT PROPERTY IS A LEGAL BUILDABLE LOT TO BE CONFIRMED WITH THE CITY OF PORTLAND, MAINE WITHIN 14 DAYS OF THE EFFECTIVE DATE.

A copy of this Agreement is to be received by Buyer and Seller and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Bureau of Taxation.

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

Anthony J. Gallant
BUYER
ANTONY J. GALLANT

604-50-5215
SS# OR TAXPAYER ID#

BUYER

SS# OR TAXPAYER ID#

Buyer's Mailing address is 244 - Bancroft St. Portland, Me 04102

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay Agency a commission for services as specified in the listing agreement. If the earnest money is forfeited by Buyer, it shall be distributed as follows:

Signed this _____ day of _____

SELLER

SS# OR TAXPAYER ID#

SELLER

SS# OR TAXPAYER ID#

Seller's Mailing address is _____

Offer reviewed and refused on _____ SELLER

SELLER

EXTENSION: The time for the performance of this Agreement is extended until _____ DATE

Anthony J. Gallant
BUYER
ANTONY J. GALLANT
6-17-02
DATE

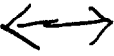
SELLER DATE

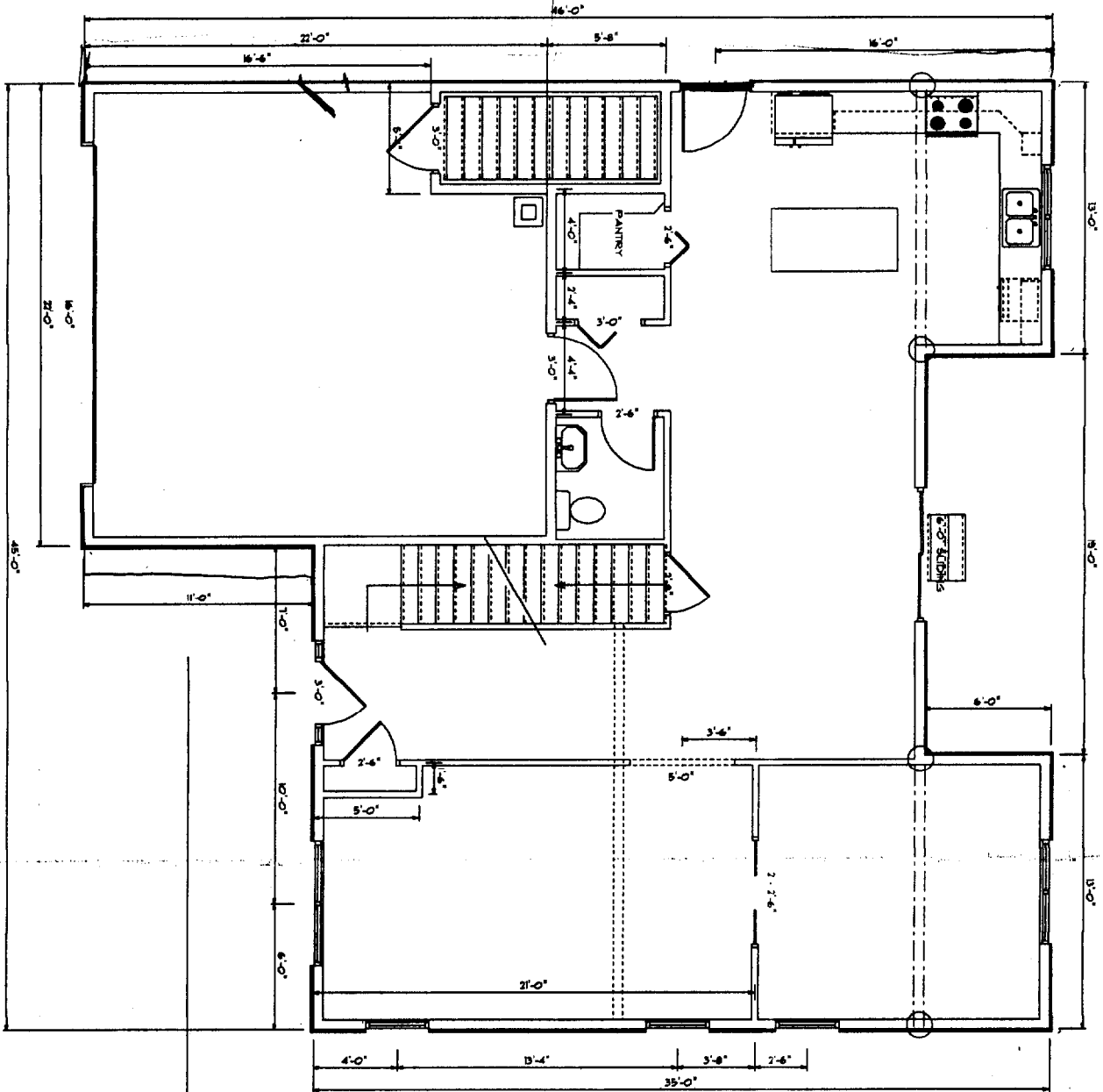
BUYER DATE

SELLER DATE

Maine Association of REALTORS®/ Rev. 2002
All Rights Reserved.



25' 6" 



Foot print

24.25%

include
Porch

1841 SF

Ardmore St Anthony Gallant



LORANGER DOOR & WINDOW
881 FOREST AVE.
PORTLAND, ME. 04103
P. 772-2223
F. 773-3261



QUOTE: 000043 QUOTE DATE: 08/22/2002 PRINT DATE: 08/22/2002

CUSTOMER: Gallant
PO#:
SALESREP: Fran Loranger
PROJECT: 000043
TERMS: 5% 10th Prox.
PICKUP/DELIVERY: Delivery

Billing Information

CONTACT: Joe Gallant
PHONE: 772-9876
FAX: 415-4078 cell
ADDRESS: 15 Rochester st.

Westbrook, Maine 04092

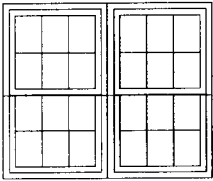
Shipping Information

CONTACT: Tony Gallant
PHONE: 415-3590
FAX:
ADDRESS: 244 Bancroft St.
Jobsite: Ardmore St., Portland
Portland, Maine 04103

COMMENTS:

Line Item #: 0001 Line Item Qty: 1
 Location: Living room
 RO Size = 6' 0" W x 5' 0" H Unit Size = 5' 11 1/2" W x 4' 11 1/2" H

Initial: _____



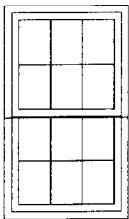
200 Series, MDH Double-wide Units
 Unit Code/Item Size: 244DH3050-2
 Operation/Handing: AAAA
 Part Number: 0883932
 Frame Depth: 3" (Drywall Return)
 Exterior Color: White
 Interior Color: Pre-finished White
 Glass Type: Low E Glass
 Interior Grille: Grille, Interior, Removable, Colonial, 3/4", Maple - Prefinished
 Interior/Prefinished Exterior, Chamfer, White
 Insect Screens: Insect Screen, White
 Hardware Color: Andersen 200 Series - White

Comments:

	<u>Total Price</u>	<u>Extended Price</u>
	\$ 494.87	\$ 494.87

Line Item #: 0002 Line Item Qty: 7
 Location: Bdrms
 RO Size = 3' 0" W x 5' 0" H Unit Size = 2' 11 1/2" W x 4' 11 1/2" H

Initial: _____



200 Series, MDH Single Units
 Unit Code/Item Size: 244DH3050
 Operation/Handing: AA
 Part Number: 0884532
 Frame Depth: 3" (Drywall Return)
 Exterior Color: White
 Interior Color: Pre-finished White
 Glass Type: Low E Glass
 Interior Grille: Grille, Interior, Removable, Colonial, 3/4", Maple - Prefinished
 Interior/Prefinished Exterior, Chamfer, White
 Insect Screens: Insect Screen, White
 Hardware Color: Andersen 200 Series - White

Comments:

	<u>Total Price</u>	<u>Extended Price</u>
	\$ 229.41	\$ 1,605.87

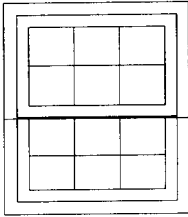
Line Item #: 0003 Line Item Qty: 1

Location: Bthrm

Initial: _____

RO Size = 2' 8" W x 3' 0" H

Unit Size = 2' 7 1/2" W x 2' 11 1/2" H



200 Series, MDH Single Units
Unit Code/Item Size: 244DH2830
Operation/Handing: AA
Part Number: 0884519
Frame Depth: 3" (Drywall Return)
Exterior Color: White
Interior Color: Pre-finished White
Glass Type: Low E Glass
Interior Grille: Grille, Interior, Removable, Colonial, 3/4", Maple - Prefinished
Interior/Prefinished Exterior, Chamfer, White
Insect Screens: Insect Screen, White
Hardware Color: Andersen 200 Series - White

Comments:

	<u>Total Price</u>	<u>Extended Price</u>
	\$ 164.89	\$ 164.89

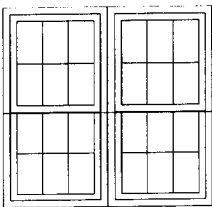
Line Item #: 0004 Line Item Qty: 1

Location: Den

Initial: _____

RO Size = 5' 4" W x 5' 0" H

Unit Size = 5' 3 1/2" W x 4' 11 1/2" H



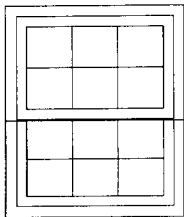
200 Series, MDH Double-wide Units
Unit Code/Item Size: 244DH2850-2
Operation/Handing: AAAA
Part Number: 0883924
Frame Depth: 3" (Drywall Return)
Exterior Color: White
Interior Color: Pre-finished White
Glass Type: Low E Glass
Interior Grille: Grille, Interior, Removable, Colonial, 3/4", Maple - Prefinished
Interior/Prefinished Exterior, Chamfer, White
Insect Screens: Insect Screen, White
Hardware Color: Andersen 200 Series - White

Comments:

	<u>Total Price</u>	<u>Extended Price</u>
	\$ 476.91	\$ 476.91

Line Item #: 0005 Line Item Qty: 1
 Location: Kitchen
 RO Size = 3' 0" W x 3' 6" H Unit Size = 2' 11 1/2" W x 3' 5 1/2" H

Initial: _____



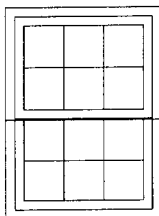
200 Series, MDH Single Units
 Unit Code/Item Size: 244DH3036
 Operation/Handing: AA
 Part Number: 0884528
 Frame Depth: 3" (Drywall Return)
 Exterior Color: White
 Interior Color: Pre-finished White
 Glass Type: Low E Glass
 Interior Grille: Grille, Interior, Removable, Colonial, 3/4", Maple - Prefinished
 Interior/Prefinished Exterior, Chamfer, White
 Insect Screens: Insect Screen, White
 Hardware Color: Andersen 200 Series - White

Comments: Optional Casement window = \$460.00

	Total Price	Extended Price
\$	187.87	\$ 187.87

Line Item #: 0006 Line Item Qty: 1
 Location: Over tub bthrm
 RO Size = 3' 0" W x 4' 0" H Unit Size = 2' 11 1/2" W x 3' 11 1/2" H

Initial: _____



200 Series, MDH Single Units
 Unit Code/Item Size: 244DH3040
 Operation/Handing: AA
 Part Number: 0891029
 Frame Depth: 3" (Drywall Return)
 Exterior Color: White
 Interior Color: Pre-finished White
 Glass Type: Low E Tempered Glass ✓
 Interior Grille: Grille, Interior, Removable, Colonial, 3/4", Maple - Prefinished
 Interior/Prefinished Exterior, Chamfer, White
 Insect Screens: Insect Screen, White
 Hardware Color: Andersen 200 Series - White

Comments:

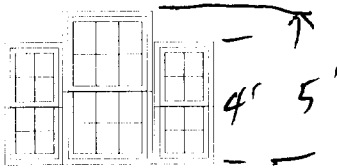
	Total Price	Extended Price
\$	236.78	\$ 236.78

Line Item #: 0007 Line Item Qty: 1

Location: Over garage

Initial: _____

RO Size = W x H Unit Size = W x H



7'0"

Custom Composite Unit
 Mulling Location: Shop (Warehouse)
 Unit Code/Item Size: 244DH2040-244DH3050-244DH2040
 Operation/Handling: AAAAAA

Comments: Shop mulled window

Total Price	Extended Price
\$ 69.80	\$ 69.80

200 Series, MDH Single Units
 Unit Code/Item Size: 244DH2040
 Operation/Handling: AA
 Part Number: 0884605
 Frame Depth: 3" (Drywall Return)
 Exterior Color: White
 Interior Color: Pre-finished White
 Glass Type: Low E Glass
 Interior Grille: Grille, Interior, Removable, Colonial, 3/4", Maple - Prefinished
 Interior/Prefinished Exterior, Chamfer, White
 Insect Screens: Insect Screen, White
 Hardware Color: Andersen 200 Series - White

Total Price	Extended Price
\$ 167.10	\$ 167.10

200 Series, MDH Single Units
 Unit Code/Item Size: 244DH3050
 Operation/Handling: AA
 Part Number: 0884632
 Frame Depth: 3" (Drywall Return)
 Exterior Color: White
 Interior Color: Pre-finished White
 Glass Type: Low E Glass
 Interior Grille: Grille, Interior, Removable, Colonial, 3/4", Maple - Prefinished
 Interior/Prefinished Exterior, Chamfer, White
 Insect Screens: Insect Screen, White
 Hardware Color: Andersen 200 Series - White

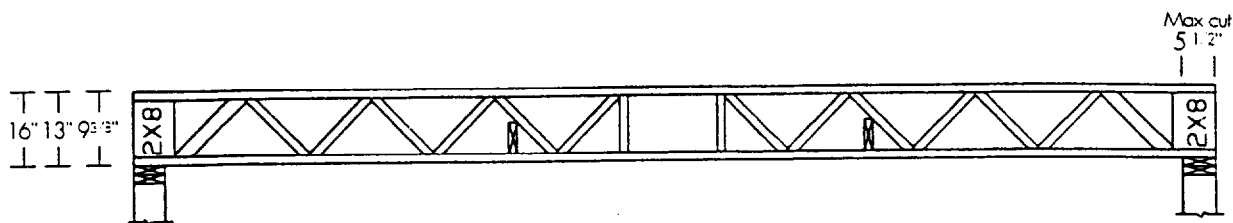
Total Price	Extended Price
\$ 229.41	\$ 229.41

200 Series, MDH Single Units
 Unit Code/Item Size: 244DH2040
 Operation/Handing: AA
 Part Number: 0884605
 Frame Depth: 3" (Drywall Return)
 Exterior Color: White
 Interior Color: Pre-finished White
 Glass Type: Low E Glass
 Interior Grille: Grille, Interior, Removable, Colonial, 3/4", Maple - Prefinished
 Interior/Prefinished Exterior, Chamfer, White
 Insect Screens: Insect Screen, White
 Hardware Color: Andersen 200 Series - White

	<u>Total Price</u>	<u>Extended Price</u>
	\$ 167.10	\$ 167.10
		<u>\$ 633.41</u>

SUBMITTED BY: _____	SUBTOTAL	\$	3,800.60
	TAXES(5.000 %)	\$	190.03
ACCEPTED BY: _____	GRAND TOTAL	\$	3,990.63
DATE: _____			

OPEN JOIST 2000



FEATURES	BENEFITS
SOLID SAWN SELECTED KILN DRIED CHORDS	<ul style="list-style-type: none"> -WIDE NAILING SURFACE 2.5 AND 3.5 INCHES WIDE -QUIET FLOOR -EASY TO INSTALL <p style="text-align: right;">LABOR SAVINGS</p>
SOLID SAWN SELECTED KILN DRIED WEBS	<ul style="list-style-type: none"> -2 X 2 WEBS -MOST EFFECTIVE USE OF WOOD -UNRESTRICTED STRONGBACK POSITIONING -ACCESSIBILITY <p style="text-align: right;">LABOR SAVINGS</p>
SOLID SAWN SELECTED KILN DRIED END BLOCK	<ul style="list-style-type: none"> -NO STIFFENERS (SQUASH BLOCKS) REQUIRED -FIRE CUT POSSIBLE -RIM BOARD NAILED TO SOLID PIECES -NO FILLERS FOR HANGERS <p style="text-align: right;">LABOR SAVINGS</p>
WATERPROOF GLUED FINGER JOINTS	<ul style="list-style-type: none"> -ACCURACY -NO PLATE CORROSION -NO PLATE DAMAGE TO ELECTRICAL WIRING -PLUMBING ACCESS -HEATING ACCESS -SOLID SAWN LUMBER QUALITY <p style="text-align: right;">LABOR SAVINGS</p>
PROVEN TRIANGULATED CONFIGURATION	<ul style="list-style-type: none"> -OPEN SPACE FOR CONDUITS -LIGHT IN HANDLING (TOP CHORD GRIPPING) PLATED FLOOR TRUSS=4.5LBS/FT. 16"DEPTH JOIST =3.7LBS/FT. OPEN JOIST 2000 =3.5LBS/FT. -EASY TO INSTALL STRONGBACKS FOR MAXIMUM RIGIDITY OF THE FLOOR <p style="text-align: right;">LABOR SAVINGS</p>
BUILT IN CAMBER	<ul style="list-style-type: none"> -STRAIGHT CEILING -NO FLOOR SAGGING UNDER DEAD LOAD -SIMPLE SPANS ARE EASIER TO HANDLE ON SITE <p style="text-align: right;">LABOR SAVINGS</p>
TESTED TO OVER TWICE THE DESIGN LOAD	<ul style="list-style-type: none"> -QUALITY GUARANTEED -LONGER SPANS -PERFORMANCE IS INSURED <p style="text-align: right;">LABOR SAVINGS</p>
THIRD PARTY INSPECTIONS	<ul style="list-style-type: none"> -CERTIFIABLE BY AN ENGINEER -JOISTS ARE CODE APPROVED (BOCA/NER 502) <p style="text-align: right;">LABOR SAVINGS</p>

SEE YOUR LOCAL DISTRIBUTOR FOR MORE INFORMATION



STATE OF THE ART TECHNOLOGICAL INNOVATION IN THE PERFORMANCE OF FLOOR JOISTS.

1. Manufactured entirely of Kiln-Dried solid lumber and Waterproof glue which increases on-site protection against bad weather.
2. Open-web design facilitates the installation of mechanical and electrical conduits without damage due to metal parts.
3. Job site length adjustment of 11" minimizes material waste and assures a security buffer for the builder.
4. To assure a 100% quality product, every single joist is tested to over double its printed design load before being shipped to a job site.
5. Finally, a recognized international third party independent engineering firm inspects and approves the manufacturing plant on a monthly basis.

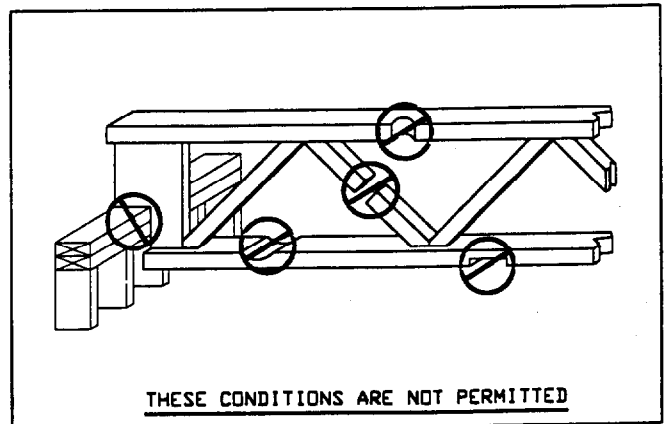
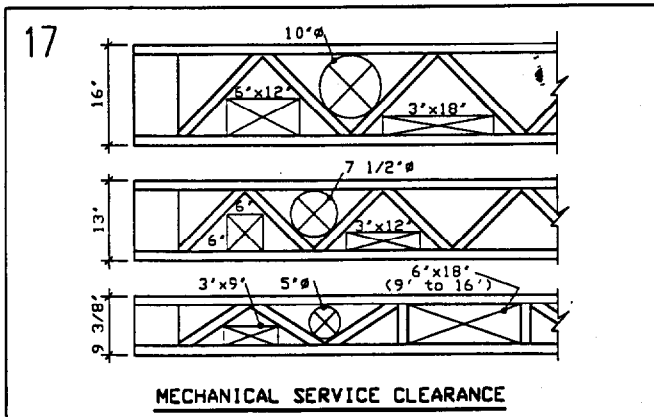
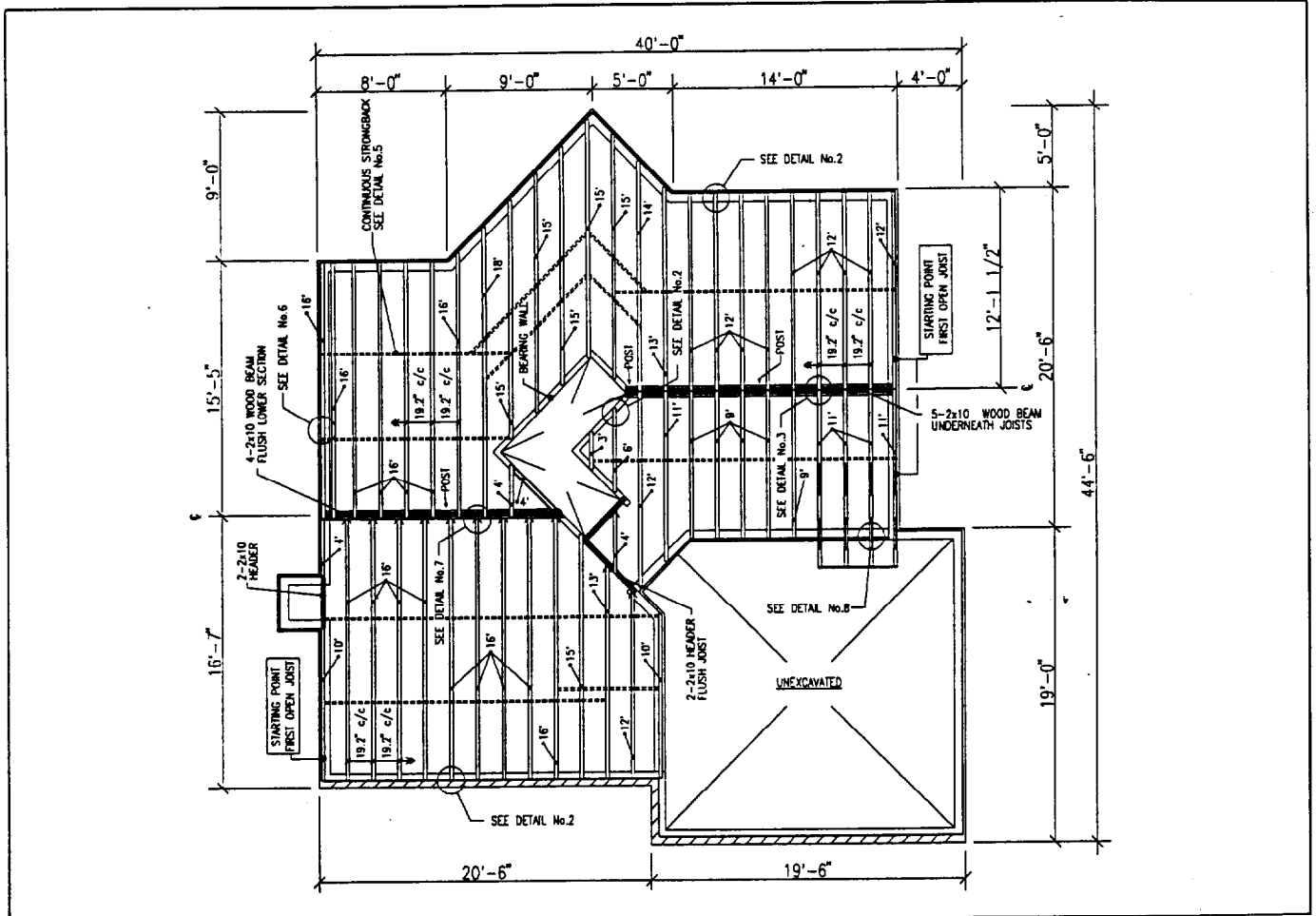
Warnock Hersey



Canadian Evaluation
CCMC
12118-R

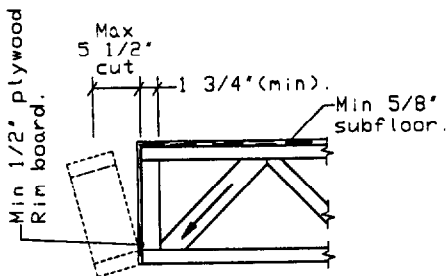
United States Evaluation
NER-502
BOCA, ICBO and SBCCI

WTCA
Wood Truss Council
of America



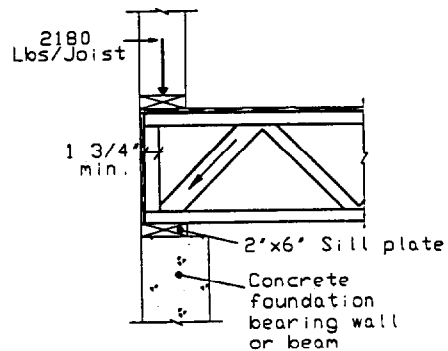
FRAMING DETAIL SUGGESTIONS

TYPICAL



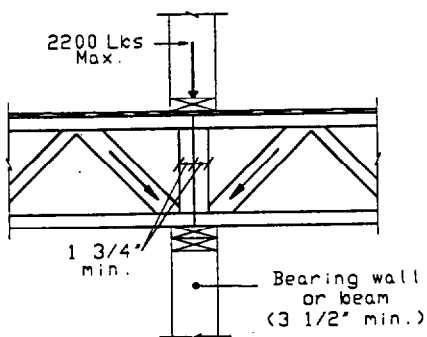
**JOIST ADJUSTMENT TOLERANCE
SUBFLOOR AND RIM BOARD**

2



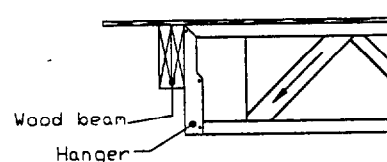
BEARING WALL

3



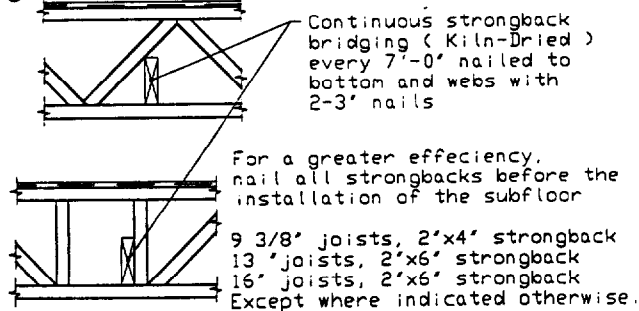
END-TO-END JOISTS

4



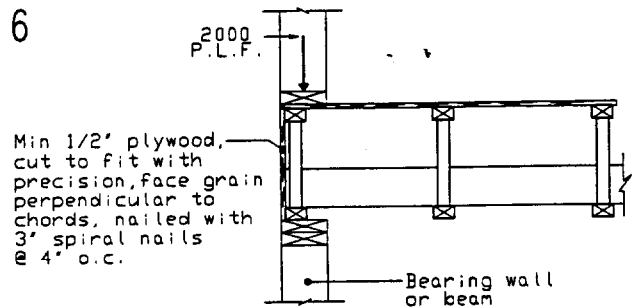
**JOIST TO BEAM WITH
APPROPRIATE HANGER**

5



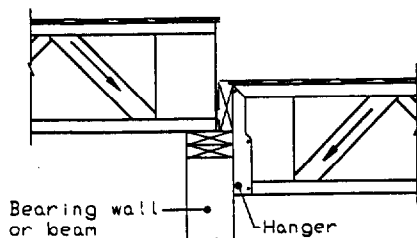
CONTINUOUS STRONGBACK BRIDGING

6



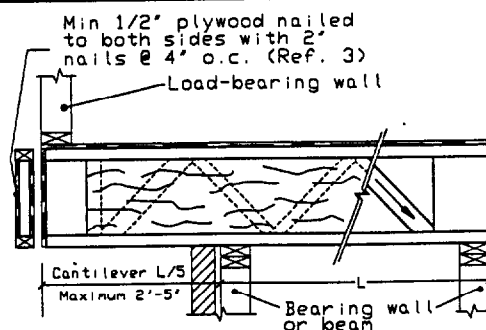
**LONGITUDINAL MULTI STORY
BEARING WALL**

7



MULTI LEVEL FLOOR

8

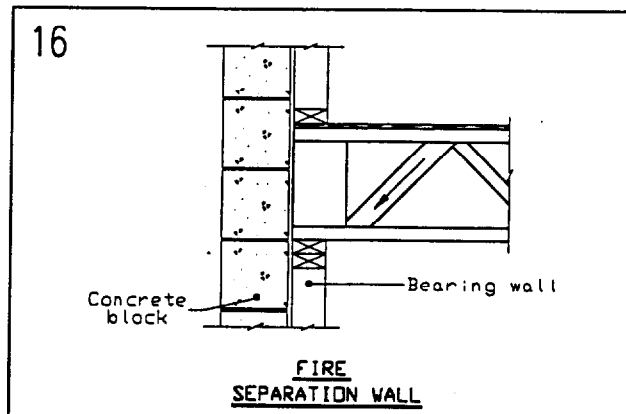
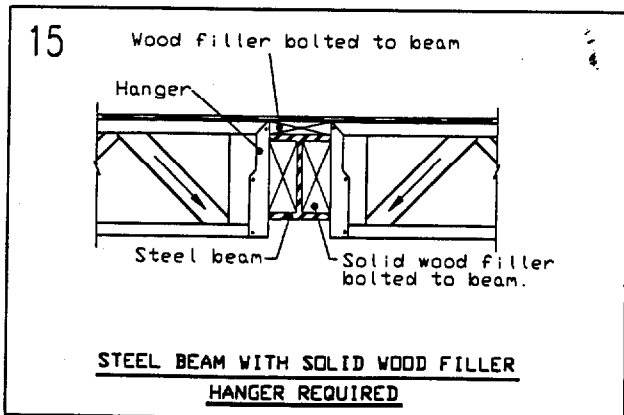
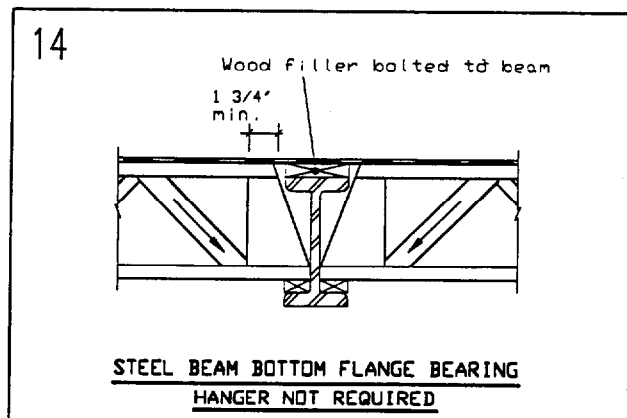
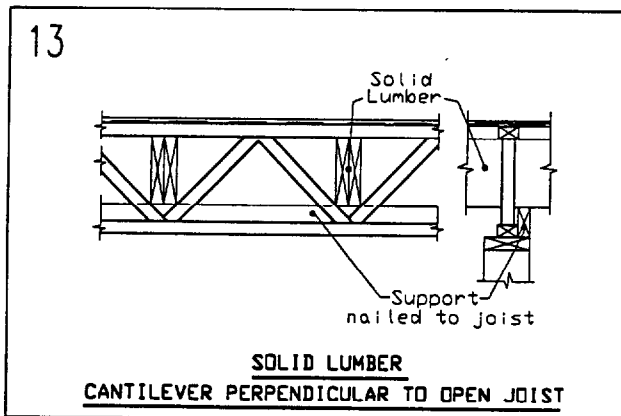
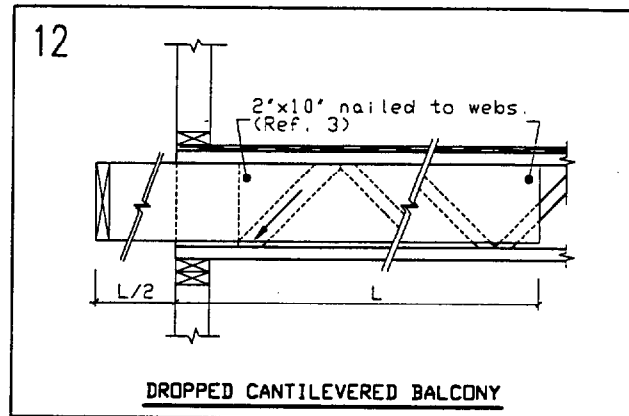
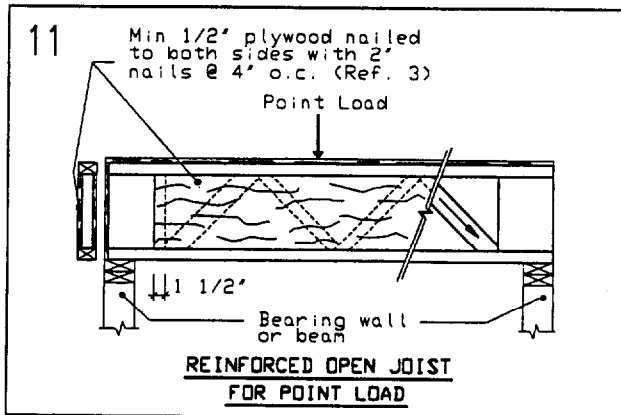
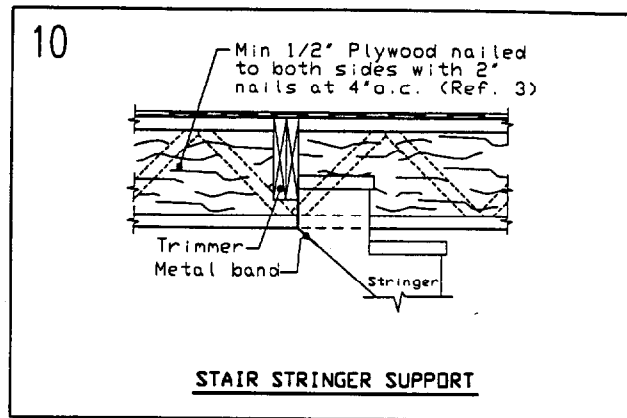
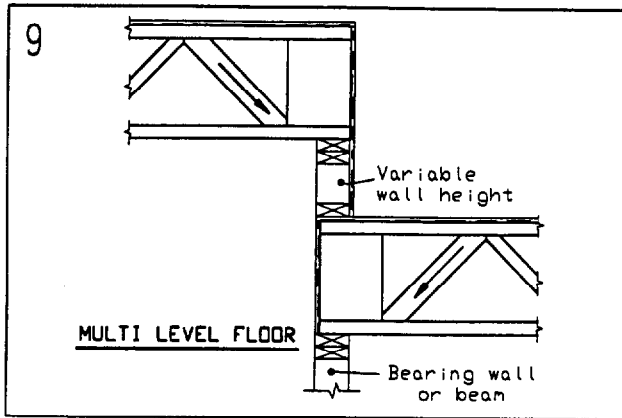


**CANTILEVER SUPPORTING
LOAD BEARING WALL**



- ILLUSTRATIONS 4-7-15:**
The joists must be supported by special hangers.
ALL NAIL HOLES MUST BE FILLED (Joist and Beam).
- ILLUSTRATION 13:**
The perpendicular cantilever must comply with the current Building Code.

- ILLUSTRATIONS 8-10-11-12:**
All material added to the joists must be solidly nailed with 2" nails at 4" o.c. to all available webbing. See engineer.
- FOR ALL OTHER ILLUSTRATIONS:**
Nailing must comply with the current Building Code.



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE

CITY OF PORTLAND

BUILDING DIVISION

PERMIT

PERMIT WORKED

OCT 21 2002

Permit Number: 020887

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Gallant, Anthony/Anthony C Grant
 has permission to 2,500 sq. ft. New Single Family with 22' x 2' attached garage and 23' x 6' covered porch.
 AT 19 Ardmore St Portland, OR 97204 DOB19001 E-015-016-AMT/gd

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or enclosed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
Department Name

Jeanie Bourke 10/21/02
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD