

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK PERMIT ISSUED
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BU...TION

PERMIT

PERMIT ISSUED
JUL 14 2009
Permit Number: 090338
CITY OF PORTLAND

This is to certify that MCGILlicuddy Elaine G FRANCIS A JTS/Hap Cleary
has permission to Demolish garage (19'10" x 19'7" and rebuild and relocate it one foot further away from right side property line
AT 62 AVALON RD CB# 294 E001001

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise red-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas M. Mailler 6/24/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

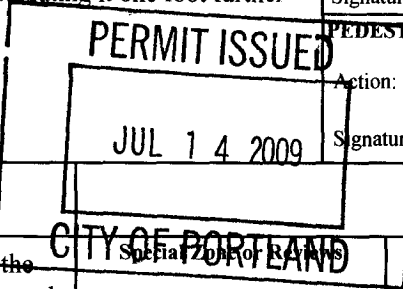
Permit No: 09-0338	Issue Date:	CBL: 294 E001001
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Location of Construction: 62 AVALON RD	Owner Name: MCGILlicuddy ELAINE G & F	Owner Address: 62 AVALON RD	Phone:
Business Name:	Contractor Name: Hap Cleary	Contractor Address: 40 Aldworth St. Portland	Phone 2077970219
Lessee/Buyer's Name	Phone:	Permit Type: Demolition - Building/Rebuild	Zone: R-3

Past Use: Single Family Home Garage	Proposed Use: Single Family Home Garage - Demolish garage (19'10" x 19'7" and rebuild relocating it one foot further away from right side property line	Permit Fee: \$420.00	Cost of Work: \$39,500.00	CEO District: 5
Proposed Project Description: Demolish garage (19'10" x 19'7" and rebuild relocating it one foot further away from right side property line		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	

Signature:	Signature: <i>Jm 6/26/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Ldobson	Date Applied For: 04/21/2009	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OR w/conditions</i> Date: <i>6/23/09</i> <i>ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	SPECIAL ZONING DISTRICTS		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/25/09 - measured garage - 19'¹⁸ x 19' 10" 25

Size - could not measure HT accurately,

OK to issue demo/Building permits,

40m M



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

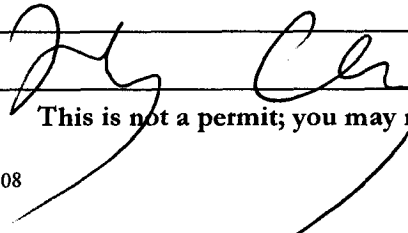
Location/Address of Construction: 62 AVALOW ROAD		
Total Square Footage of Proposed Structure/Area - 400 SQ FT	Square Footage of Lot	Number of Stories 1
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 294 E 1-2	Applicant * must be owner, Lessee or Buyer* Name ELAINE + FRANCIS MCGILICUDDY Address 62 AVALOW ROAD City, State & Zip PORTLAND ME 04103	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 39500 C of O Fee: \$ _____ Total Fee: \$ 420
Current legal use (i.e. single family) GARAGE Number of Residential Units 1 If vacant, what was the previous use? _____ Proposed Specific use: GARAGE Is property part of a subdivision? _____ If yes, please name _____ Project description: REBUILD GARAGE Demo & Rebuild - 19'8" x 19'10" APPROX 400 SQ FT.		
Contractor's name: HAP CLEARY Address: 410 ALDORTH ST City, State & Zip PORTLAND MAINE Telephone: 797 0219 Who should we contact when the permit is ready: HAP CLEARY Telephone: 332-2793 Mailing address: SAME		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

APR 21 2009

Signature:  Date: **4/19/09**

This is not a permit; you may not commence ANY work until the permit is issued

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0338	Date Applied For: 04/21/2009	CBL: 294 E001001
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Location of Construction: 62 AVALON RD	Owner Name: MCGILLICUDDY ELAINE G & F	Owner Address: 62 AVALON RD	Phone:
Business Name:	Contractor Name: Hap Cleary	Contractor Address: 40 Aldworth St. Portland	Phone (207) 797-0219
Lessee/Buyer's Name	Phone:	Permit Type: Demolition - Building/Rebuild	

Proposed Use: Single Family Home Garage - Demolish garage (19'10" x 19'7" and rebuild relocating it one foot further away from right side property line	Proposed Project Description: Demolish garage (19'10" x 19'7" and rebuild relocating it one foot further away from right side property line
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/23/2009

Note: The proposed rebuild is to alter the rear of the roof and make it smaller than the existing roof which will decrease the volume of the garage. **Ok to Issue:**

- 1) Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/26/2009

Note: **Ok to Issue:**

- 1) Demolition permits are valid for a period of 30 days from the date of issuance. A written request must be submitted and granted for an extension to this time period.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

- 4/22/2009-tmm: need complete plot plan - spoke with builder - he will submit required info.
- 6/22/2009-amachado: Received complete plot plan.
- 6/23/2009-amachado: Left vcm fo Hap. Need copy of written notice to neighbors that garage is being demolished and need to know the height of the walls and the ridge of the existing garage.
- 6/23/2009-amachado: Hap dropped off a copy of the notice to demolish letter to the neighbors. Existing height of garage is on the plan.
- 6/23/2009-amachado: Gave permit to Lisa to schedule predemolition inspection.
- 6/9/2009-tmm: rec'd additional info plot plan is not complete as requested /tmm
- 6/9/2009-amachado: Tammy gave permit to me to follow up on the zoning. Left vcm for Hap. Need complete plot plan with all the buildings dimensioned and setbacks. What is actual size of existing garage? Need letter to abutters notifying them of demo.

HAP CLEARY
40 ALDWORTH ST.
PORTLAND, ME 04103
207-797-0219

PROPOSED GARAGE REPLACEMENT FOR
FRANCIS AND ELAINE MCGILLICUDDY
62 AVALON ROAD
PORTLAND MAINE

OVERVIEW

EXISTING CONDITIONS

EXISTING GARAGE IS BUILT INCHES FROM PROPERTY LINE
FOUNDATION AND FLOOR HAVE HEAVED
NEIGHBORS DRIVEWAY GRADE WAS BUILT TO HIGH AND IS ROTTING
THE SOUTH SIDE OF GARAGE

PROPOSED PROJECT

REMOVE OLD GARAGE
SAVE DRIVEWAY
REBUILD GARAGE WITH SAME FOOT PRINT

CHANGES

BUILD WITH FOOTING AND FROST WALL
MOVE STRUCTURE ONE FOOT AWAY FROM NEIGHBORS DRIVEWAY / NEIGHBORS
(ONLY ONE FOOT TO UTILIZE EXISTING DRIVEWAY) *Property line*
UPDATE ELECTRICAL WORK
CHANGE TWO SINGLE DOORS TO SINGLE DOUBLE DOOR
MOVE BACK DOOR TO NORTH SIDE OF EAST WALL
ELIMINATE SOUTH SIDE WINDOWS
INSTALL ONLY ONE AWNING WINDOW ON EAST WALL
FLATTEN ROOF PITCH ON NORTH EAST CORNER AS DRAWN
ROOF DESIGN KEEPS VIEW FROM STREET AND NEIBORS
CONSISTANT WITH CURRENT DESIGN OF HOUSE AND GARAGE
FLAT AREA ALLOWS FOR
INCREASED SOLAR GAIN TO SOLAR HOT AIR COLECTOR ON
SOUTH SIDE OF HOUSE IN WINTER MONTHS
IMPROVED RAIN WATER COLLECTION IN HEAVIE SUMMER
RAINS
POTENTIAL FUTURE GREEN AREA (SEE PERICULTURE
PLOT PLAN)
REMOVE CHIMNY; DO NOT REPLACE



Demolition Call List & Requirements

Site Address: 62 AVALON ROAD

Owner: ELAINE + FRANCIS McGillicuddy

Structure Type: GARAGE

Contractor: HAP CLEARY

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	<u>Kelly Humphry Service Coordinator</u> 4/21
Northern Utilities	<u>207-541-2533</u> 797-8002 ext 6241	<u>Barbra Monti</u> 4/21
Portland Water District	761-8310	<u>GordAN (Dispatch)</u> 4/21
Dig Safe	1-888-344-7233	<u>CONFIRMATION #</u> <u>2009-170-3052</u>

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891
DPW/ Sealed Drain Permit (C. Merritt)	874-8822
Historic Preservation	874-8726
Fire Dispatcher	874-8576
DEP - Environmental (Augusta)	287-2651

TRANSFERRED to C. Merritt 4/21
C. Merritt 4/21
SCOTT HANSON 4/21
Dispatcher Richards 4/21
SANDY MURPHY 4/21

Additional Requirements

- 1) Written notice to adjoining owners ✓
- 2) A photo of the structure(s) to be demolished ✓
- 3) A plot plan or site plan of the property ✓
- 4) Certification from an asbestos abatement company

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 - No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk
US EPA Region I (SEA)
JFK Federal Building
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: [Signature]

Date: 4/21

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Demolitions and Asbestos

1) Overview

In Maine, building demolitions happen on a regular basis. Many of the demolitions occur in older buildings that are likely to contain some asbestos products, particularly in or on heating (HVAC), wall, floor, and ceiling systems. These demolition projects may be happening without the proper protection of employees, the general public, and the environment. It is important to remember that state and federal laws require that owners have buildings inspected and have any asbestos products properly removed prior to demolition. The Maine DEP is forwarding this information to municipal officials in an effort to increase awareness of and compliance with applicable rules, resulting in less asbestos exposure to the general public, demolition site personnel, and environment.

2) What Can Municipalities Do To Help?

Municipalities can greatly assist the people of Maine and the Department by joining with the DEP and the US EPA to ensure that asbestos is properly managed during demolitions. *Specifically, municipalities can hand out appropriate information, issue demolition permits only to persons, who can demonstrate that they will properly handle the asbestos, and mail or fax the building demolition (BDF) report form to the Department.*

The following check-off list can be used.

- A) _____ Provided "Asbestos Fact Sheet" to Applicant
- B) _____ Had applicant fill out "Building Demolition Form" (BDF)
- C) _____ Did not issue Demolition Permit to Applicant not answering "Yes" to three questions on BDF Form (OPTIONAL BUT SUGGESTED)
- D) _____ Municipality faxed (or Mailed) BDF Form to DEP at 287-7826

3) What Are The Rules?

Simply stated state and federal asbestos rules and regulations require that buildings be inspected for asbestos products and have them removed prior to demolition. The inspection and removal operations must be performed by DEP-licensed companies under regulated and controlled conditions.

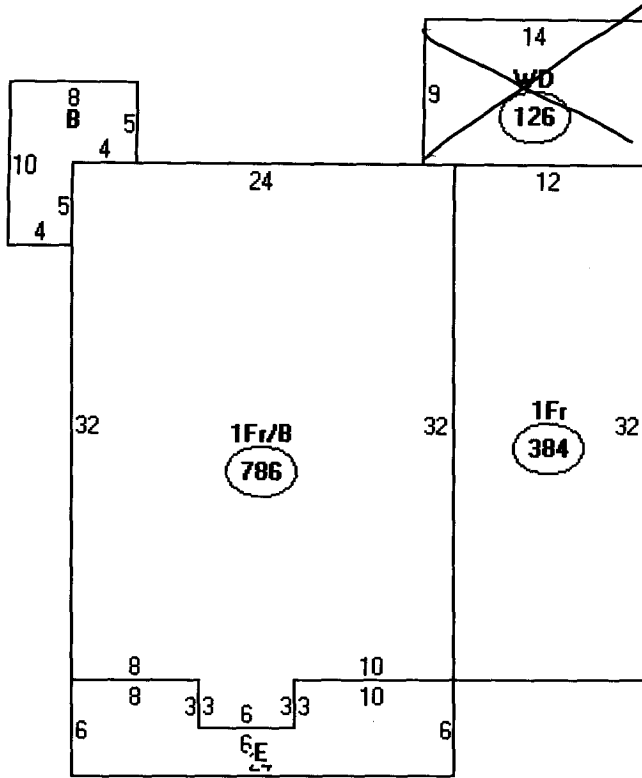
4) Using The Building Demolition Report Form

The purpose of this form is to ensure that an applicant has the correct information to properly remove asbestos from a building prior to demolition. The form has two parts which need to be filled out by the applicant. The first section of the Form, Per-Demolition Building Inspection.

Portland (Southern Maine Regional Office): 207-822-6300; 888-769-1036
Maine Department of Environmental Protection







Descriptor/Area

A: 1Fr/B
786 sqft

B: 1Fr
60 sqft

~~C: WD
126 sqft~~

D: 1Fr
384 sqft

E: OFF
126 sqft

= 1356 sqft

102 deck - 6x17

388.27 garage 19.83x19.58 =

204.75 shed 10.5x19.5 =

291.88 = bulkhead 4.67x6.25

3742.94

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 294 E001001
Location 62 AVALON RD
Land Use SINGLE FAMILY

Owner Address MCGILICUDDY ELAINE G & FRANCIS A JTS
 62 AVALON RD
 PORTLAND ME 04103

Book/Page
Legal 294-E-1-2
 AVALON RD 62-66
 ARDMORE ST
 8000 SF

Current Assessed Valuation

Land	Building	Total
\$62,800	\$120,000	\$182,800

Property Information

Year Built 1902	Style Bungalow	Story Height 1	Sq. Ft. 1230	Total Acres 0.184		
Bedrooms 1	Full Baths 1	Half Baths	Total Rooms 5	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1940	12X19	D	F
GARAGE-WD/CB	1	1940	18X20	C	A

Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19

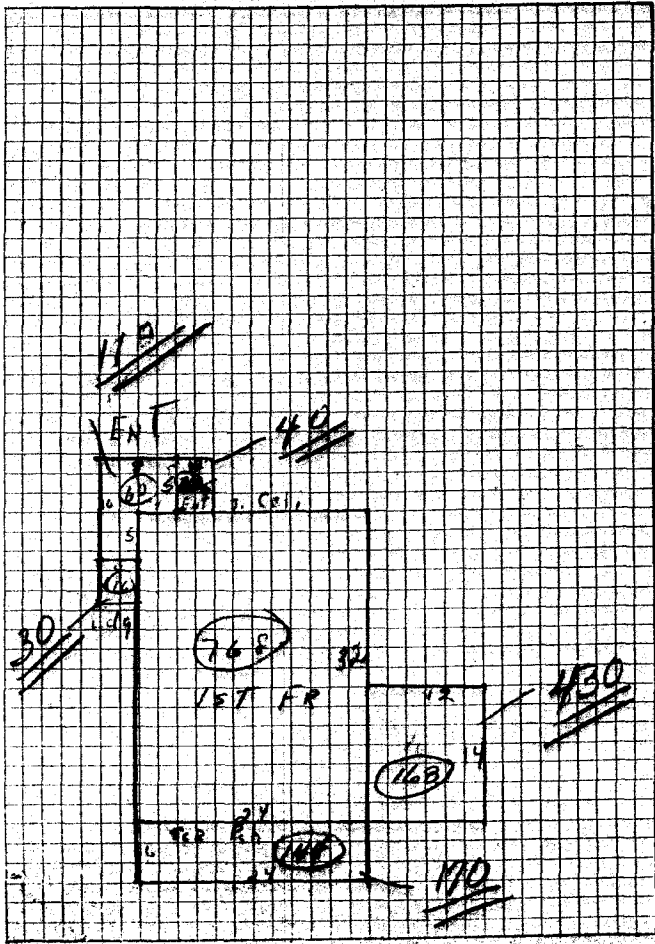
YEAR 19

APR 21 2009

W/182-993-120 - Change of window to 1/2 x 3/4 in window NE

CONSTRUCTION					
FOUNDATION		FLOOR CONST.		PLUMBING	
CONCRETE		WOOD JOIST		BATHROOM	✓
CONCRETE BLOCK	✓	STEEL JOIST		TOILET ROOM	
BRICK OR STONE		MILL TYPE		WATER CLOSET	
PIERS		REIN. CONCRETE		LAVATORY	
CELLAR AREA FULL	✓	FLOOR FINISH		KITCHEN SINK	✓
1/4	3/8		B 1 2 3	STD. WAT. HEAT	
NO. CELLAR		CEMENT	✓	AUTO. WAT. HEAT	✓
EXTERIOR WALLS		EARTH		ELECT. WAT. SYST.	
CLAPBOARDS		PINE		LAUNDRY TUBS	
WIDE SIDING		HARDWOOD	✓	NO PLUMBING	
DROP SIDING		TERRAZZO		TILING	
NO SHEATHING		TILE		BATH FL. & WCOT.	
WOOD SHINGLES	✓	ATTIC FLR. & STAIRS		TOILET FL. & WCOT.	
ASBES. SHINGLES		INTERIOR FINISH		LIGHTING	
STUCCO ON FRAME			B 1 2 3	ELECTRIC	✓
STUCCO ON TILE		PINE	✓	NO LIGHTING	
BRICK VENEER		HARDWOOD		NO. OF ROOMS	
BRICK ON TILE		PLASTER	✓	BSMT.	
SOLID BRICK		UNFINISHED		2ND	
STONE VENEER		METAL CLG.		1ST	3RD
CONC. OR CIND. BL.		HEATING		OCCUPANCY	
TERRA COTTA		PIPELESS FURNACE		SINGLE FAMILY	✓
VITROLITE		HOT AIR FURNACE		TWO FAMILY	
PLATE GLASS		FORCED AIR FURN.		APARTMENT	
INSULATION		STEAM	✓	STORE	
WEATHERSTRIP		HOT WAT. OR VAPOR		THEATRE	
ROOFING		NO HEATING		HOTEL	
ASPH. SHINGLES	✓	GAS BURNER	✓	OFFICES	
WOOD SHINGLES		OIL BURNER		WAREHOUSE	
ASBES. SHINGLES		STOKER		COMM. GARAGE	
SLATE		ECONOMIC CLASS		GAS STATION	
TILE		OVER BUILT			
METAL		UNDER BUILT			
COMPOSITION		DT. 9-2-50 AR. 04			
ROLL ROOFING		LD. 14 PD. 30			
INSULATION		MS. 9 CK. 100			

COMPUTATIONS	
UNIT	1951
768 S. F.	3160
S. F.	
ADDITIONS	+780
BASEMENT	
WALLS	
ROOF	
FLOORS	
ATTIC	
FINISH	
FIREPLACE	
HEATING	+210
PLUMBING	150
TILING	
TOTAL	4200
FACT. 10	320
REP. VAL.	3880



SUMMARY OF BUILDINGS											
OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL. / YR
DWG.	A 1st FR	C	30+		G	3880	400	2330	A	2330	1400.5
Gan	B 2nd FR 20x18	C	30+		F	340	450	190	B	190	125.5
Shed	C 10x19	C	30+		F	-		50	C	50	21.5
D									D		
E									E		
F									F		
G									G		
YEAR	1951	1951 TOTAL BLDGS.						2570	1575		
TAX VAL.	1570	1954-1570						19	19		
OLD VAL.	1570							19	19		
CHANGE	-25							19	19		



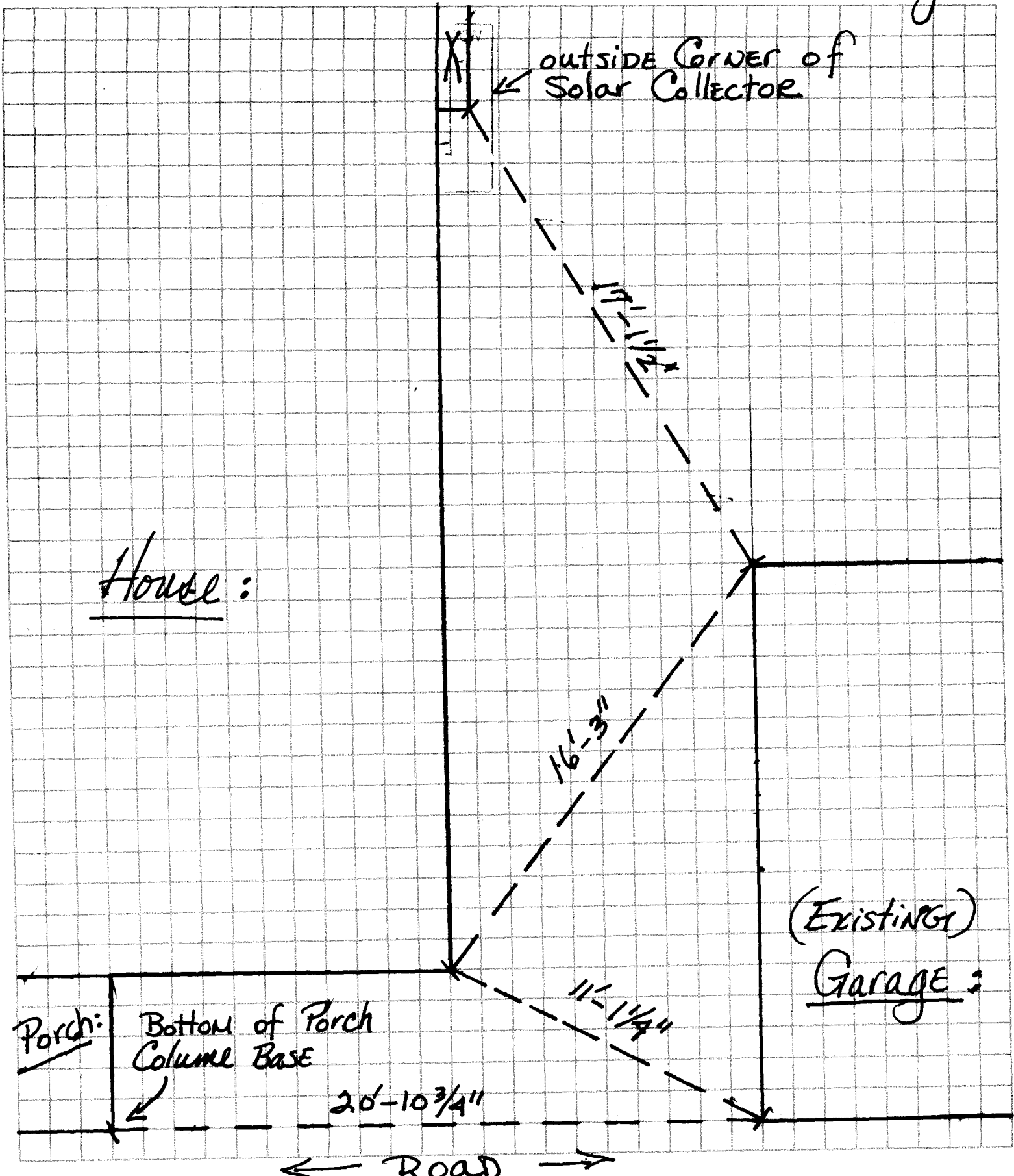
2325 Broadway, Suite 1
 So. Portland, ME 04106-3362
 tel: 207-772-2223 fax: 207-773-3261
 email: sales@lorangerdoor.com

Visit Our
 Retail Showroom

rec 615?
 according to Tammy.



Date: 5/09 Job: McGillicuddy



62 Avalon Road
Portland, Maine 04103
April 21, 2009

Andrew & Julie DeRice
2 Flintlock Lane
Falmouth, ME 04105

Dear Mr & Mrs. DeRice,

We want you to know that the city of Portland has approved our plans to rebuild our now unstable garage.

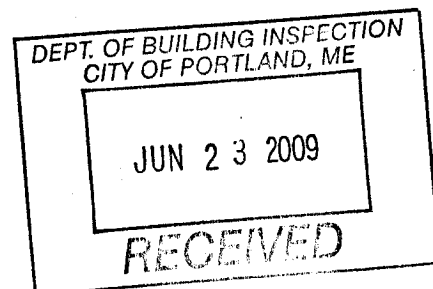
The improvements will affect your property for the better also since the project will actually move our garage away from your driveway and, the grade on your driveway side will be raised.

We have drawings available if you would like to see them.

Our contractor Hap Cleary would also be available to speak with you if you'd like. His cell phone number is 332-2793.

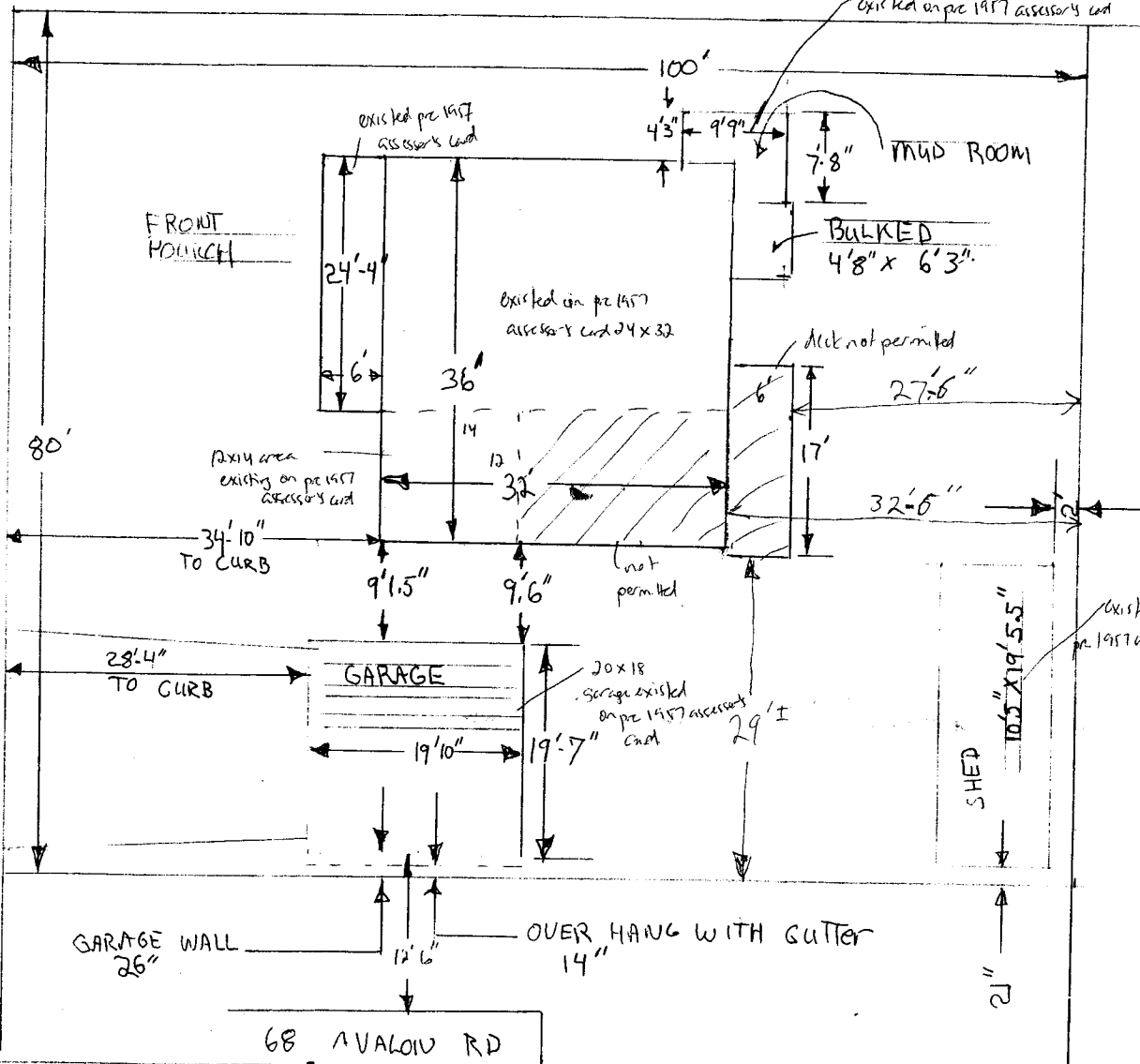
Sincerely,

Elaine & Francis McGillicuddy



ARDMORE STREET

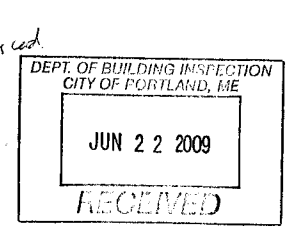
AVALON ROAD



R3 zone
 lot size 8000 sq ft
 land area per 6800 sq ft
 front setback - N/A
 side - ~~10'~~ right side 8' min - 21' to deck ok
 setbacks 20' - N/A
 rear - 25' min - 27.5' to deck
 lot average 35% = 2800 sq ft
 2342 sq ft
 Ok.
 SHED 194.6 SQ FEET
 GARAGE 388.4 SQ FEET
 HOUSE 1391.86 SQ FEET
 DECK 102 SQ FEET

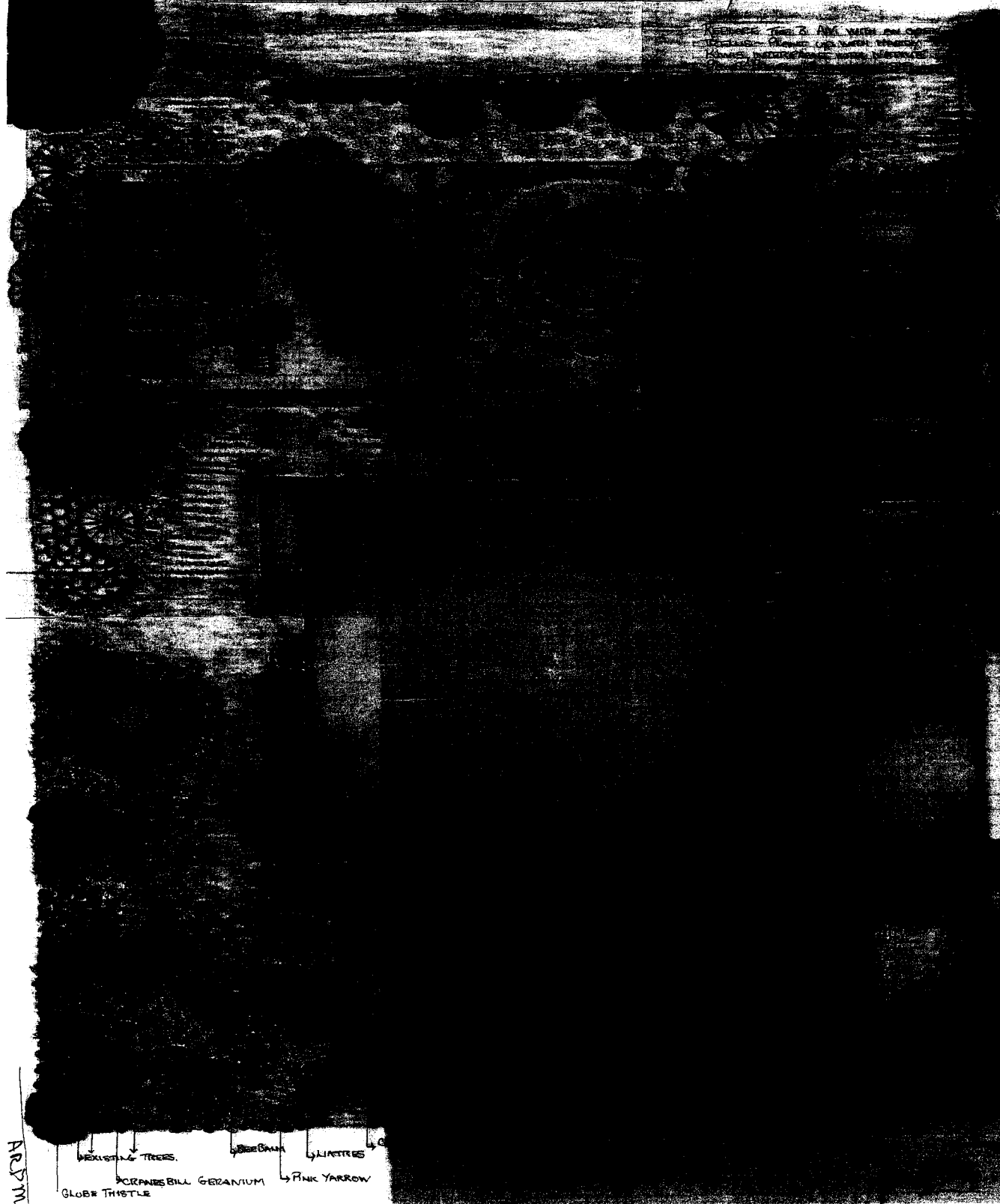
CURB APX 10'-12' FROM BOUNDARY - CALCULATED FROM 6 ARDMORE ST. GRADING PLAN

SIDE YARD BOUNDARY CALCULATED FROM 68 AVALON'S PLOT



PLOT PLAN FOR 62 AVALON ROAD

PERMACULTURE DESIGN BY ELAINE & FRANCIS McSILICUDDY



ARDMORE

- MEADOWS TREES
- BEEBAM
- LIATTRES
- PINK YARROW
- GERANIUM
- GLOBE THISTLE

AVALON

CORNER of ARDMORE ST
AND AVALON ROAD

APR 21 2009

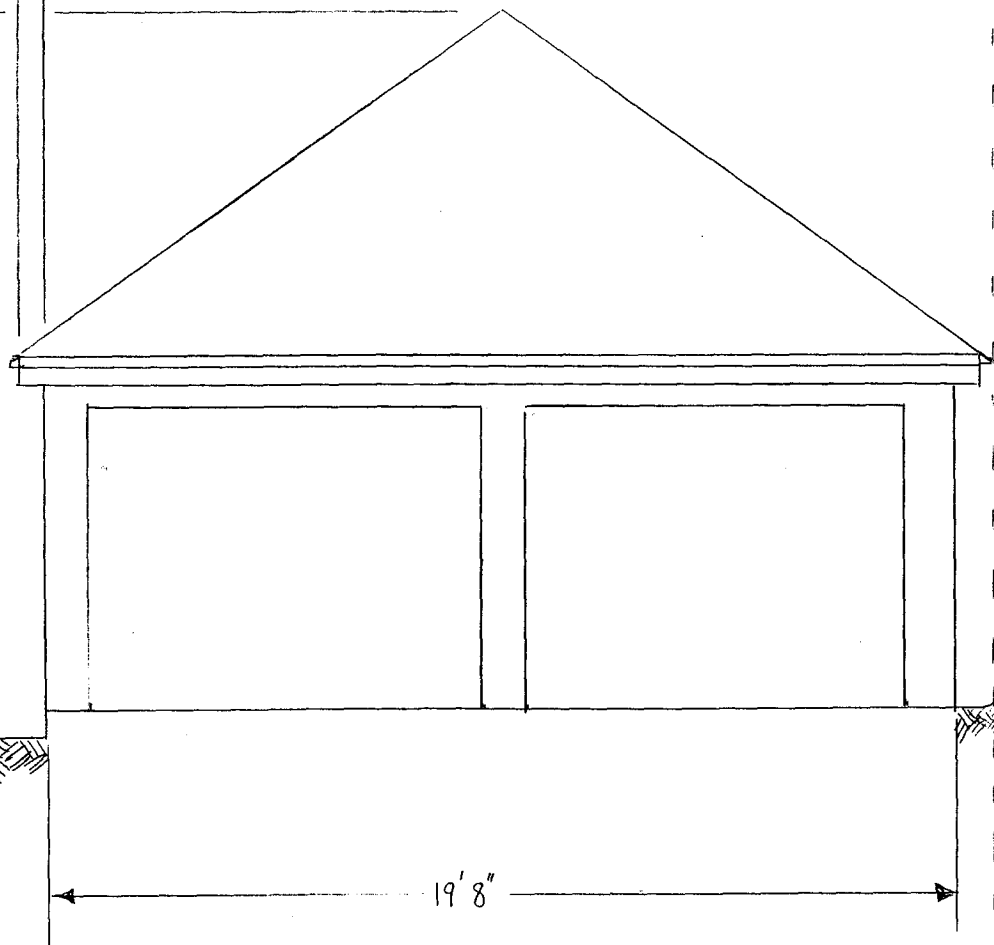
OVERHANG FACIA
TO SHEATHING



7' HIGHT FROM TOP OF
PLATE TO TOP OF
RIDGE

8' HIGHT FROM FLOOR TO
TOP OF PLATE

front
62 AVALON GARAGE EXISTING
VIEWED FROM AVALON ROAD



DRIVEWAY

18 1/2"

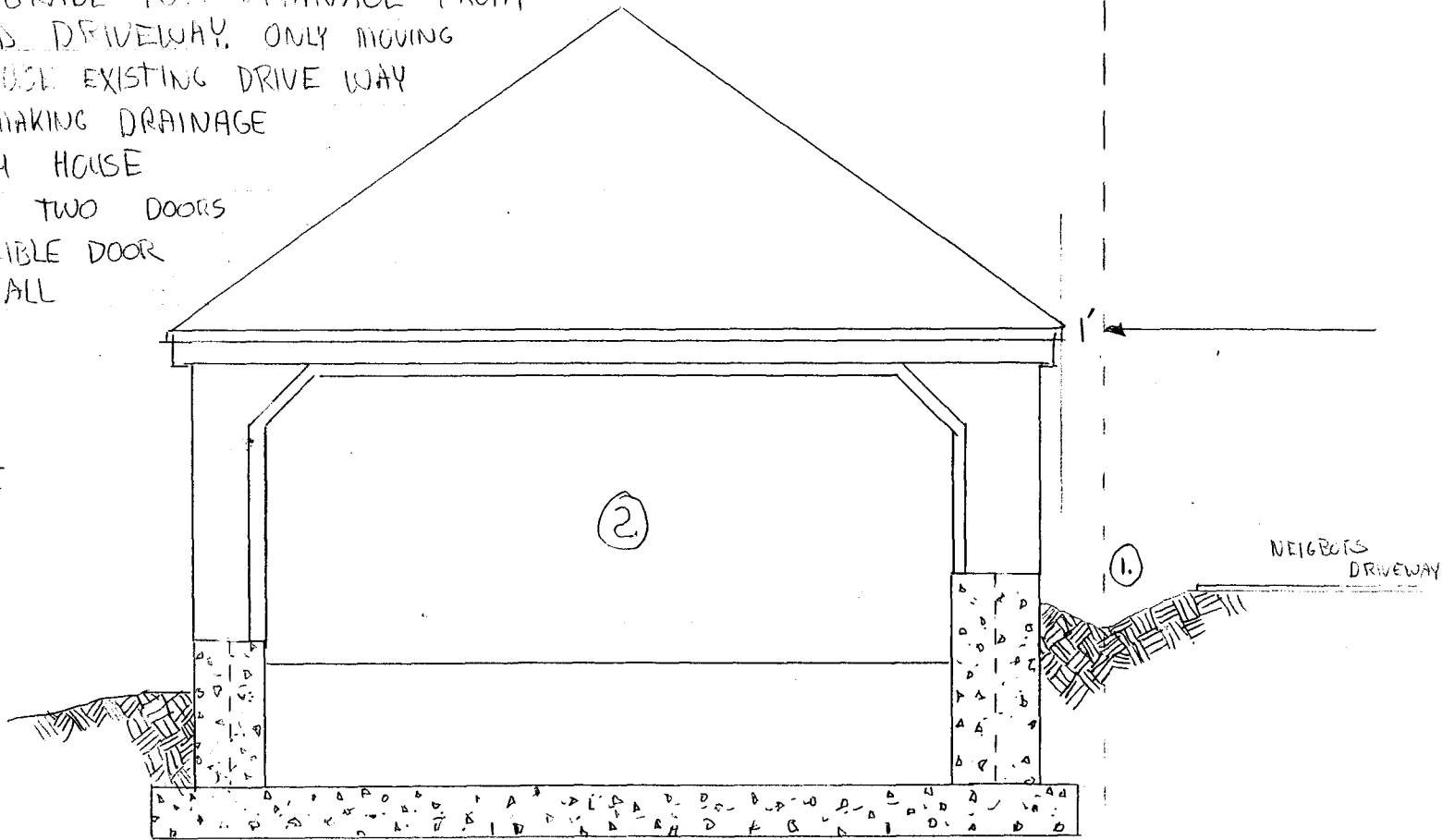
APRX. BOUNDRY
LINE

19' 8"

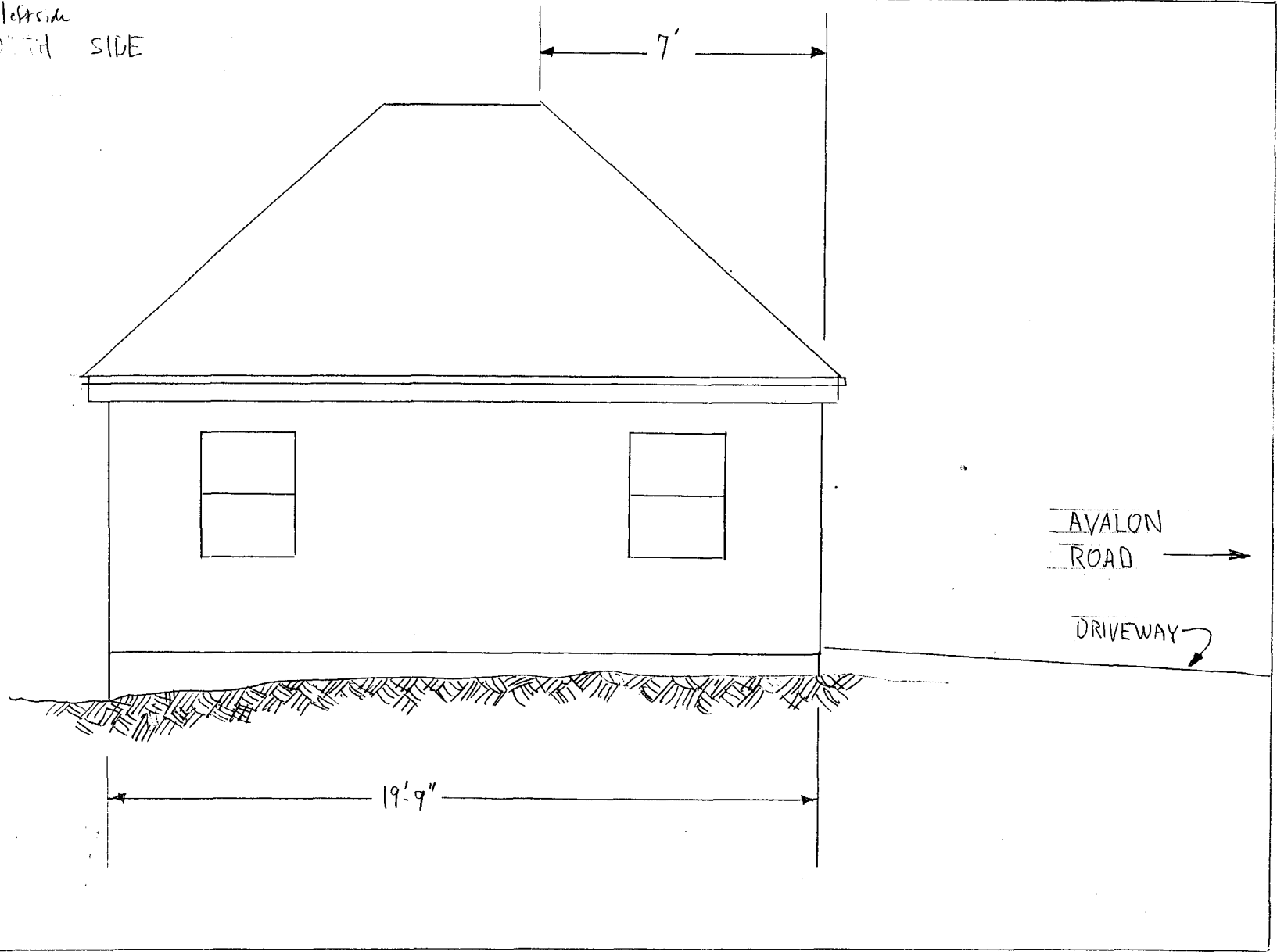
32 AVALON STREET VIEW ^{front} PROPOSED CHANGES

- ① MOVE GARAGE ONE FOOT FEATHER FROM BOUNDARY LINE. GRADE FOR DRAINAGE FROM BOTH GARAGE AND DRIVEWAY. ONLY MOVING ONE FOOT TO USE EXISTING DRIVE WAY AND TO AVOID MAKING DRAINAGE PROBLEMS WITH HOUSE
- ② CHANGE FROM TWO DOORS TO ONE DOUBLE DOOR
- ③ ADD FROST WALL AND FOOTING

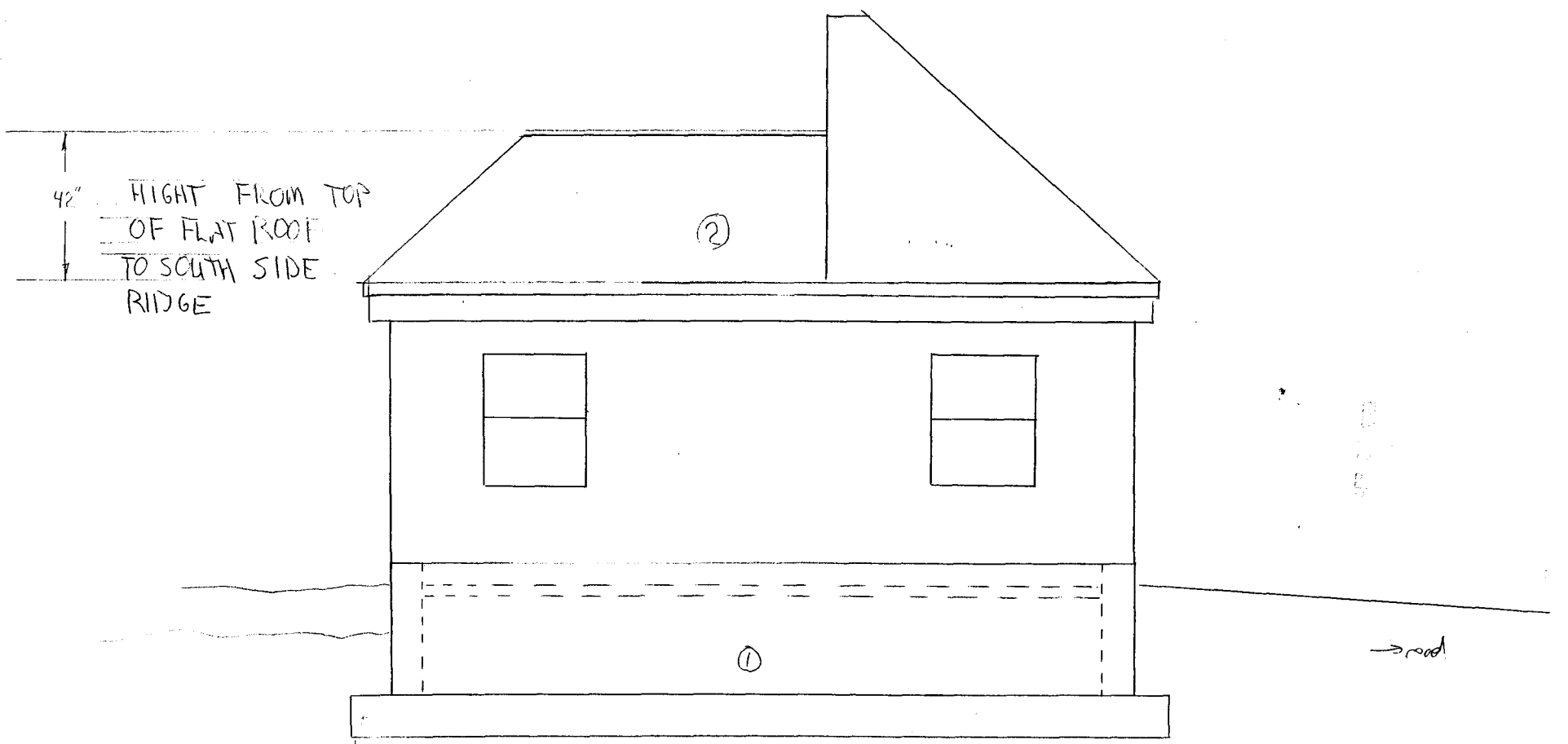
← HOUSE



Left side
VIEW FROM NORTH SIDE
EXISTING



PROPOSED VIEW OF ^{left side} NORTH SIDE
CHANGES ① FROST WALL WITH FOOTING
② CUT OUT ROOF AREA



42" HIGHT FROM TOP
OF FLAT ROOF
TO SOUTH SIDE
RIDGE

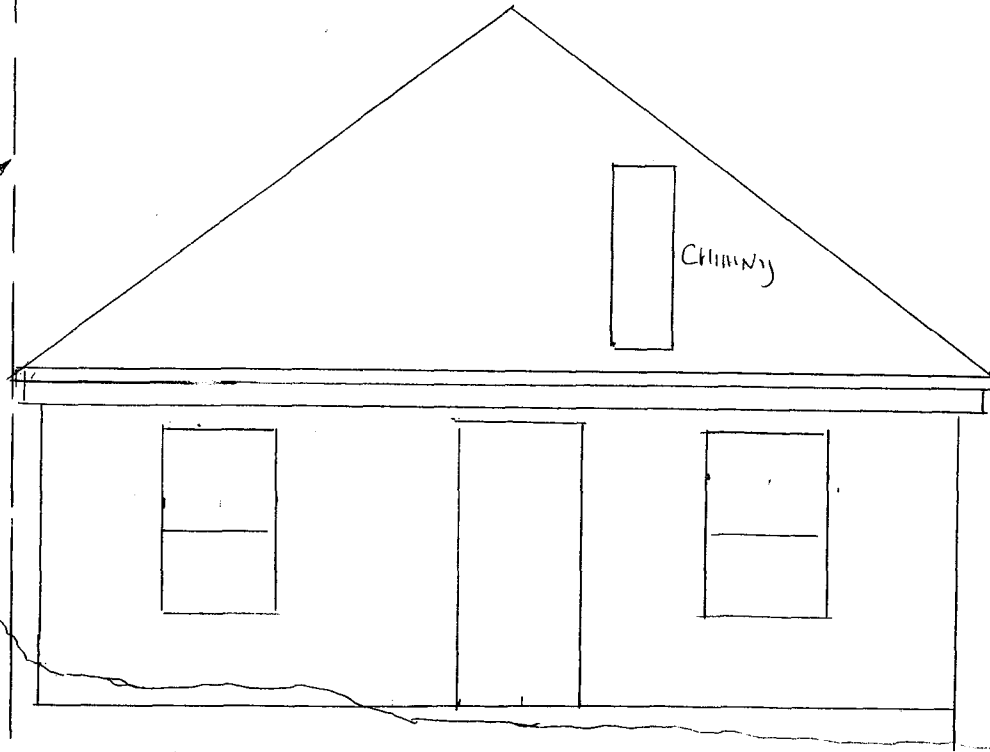
→ road

EXISTING SOUTH SIDE

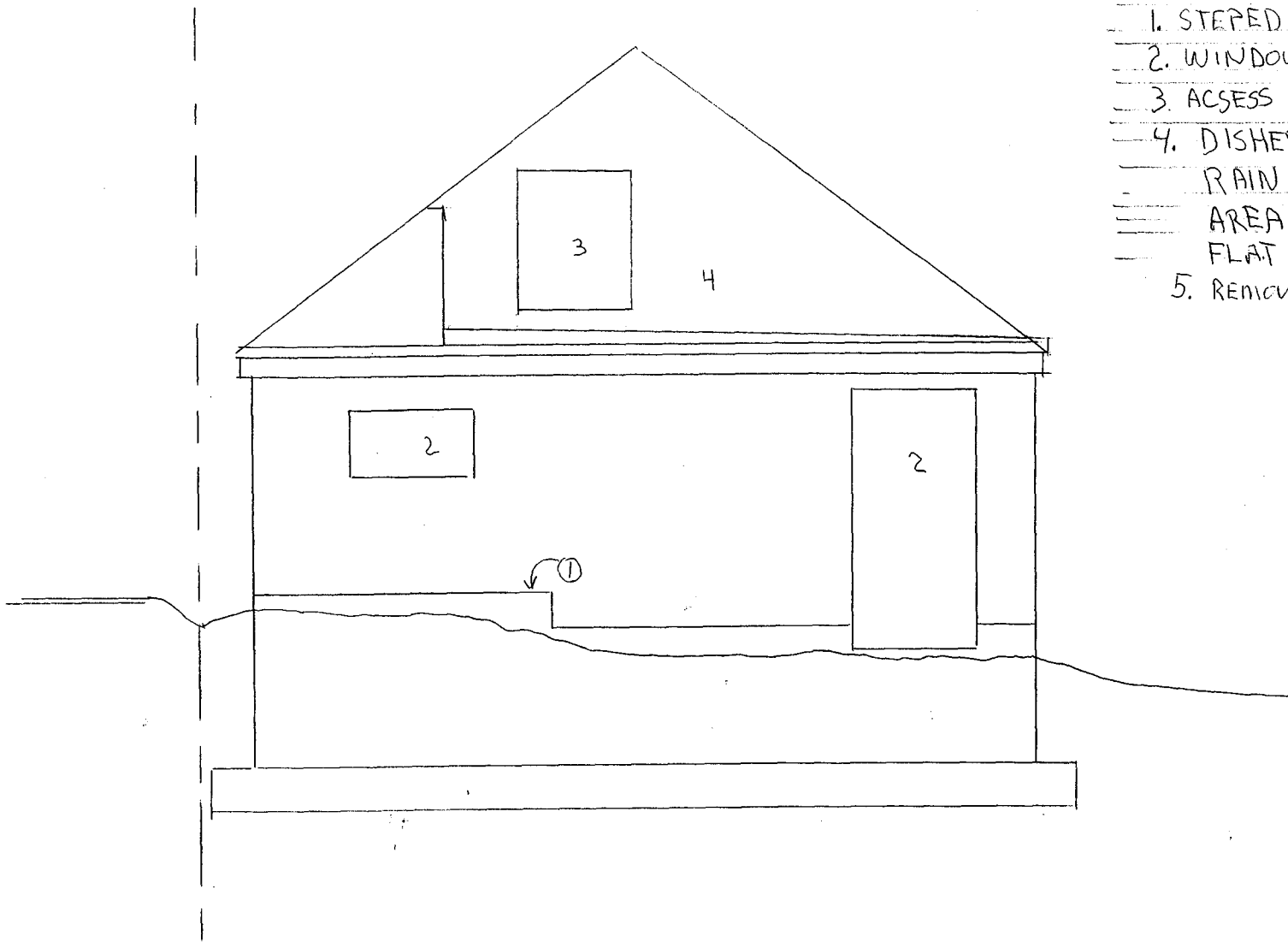
feet

BOUNDARY LINE

NEIGHBORS
DRIVEWAY



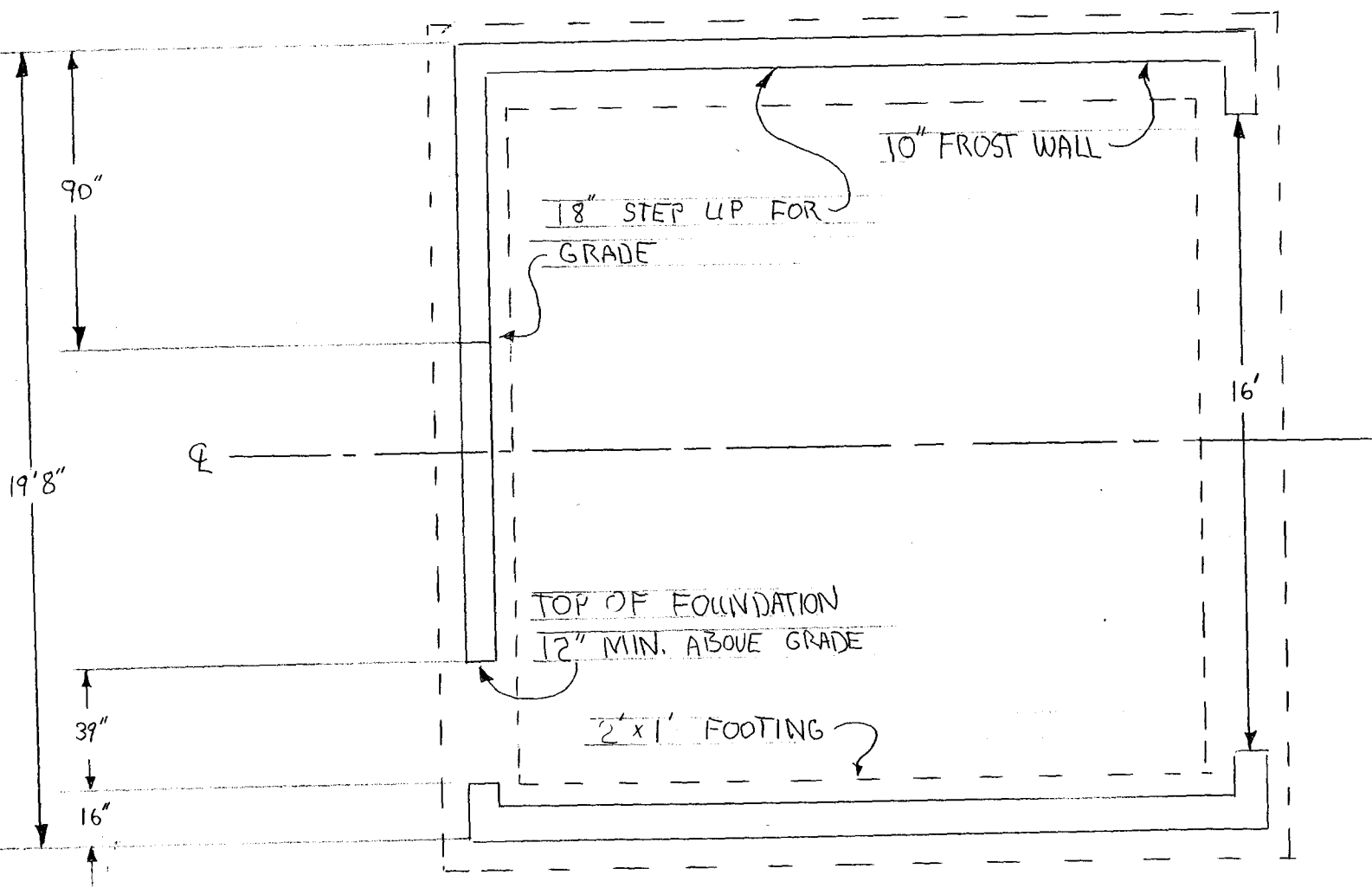
PROPOSED EAST SIDE



CHANGES

- 1. STEPED FOUNDATION
- 2. WINDOW AND DOOR LOCATIONS
- 3. ACSESS PANNLE
- 4. DISHED OUT ROOF FOR RAIN + FUTURE GREEN AREA SIDE WALLS SHINGLED
FLAT AREA RUBBER
- 5. REMOVE CHIMNY

FOUNDATION
PLAN

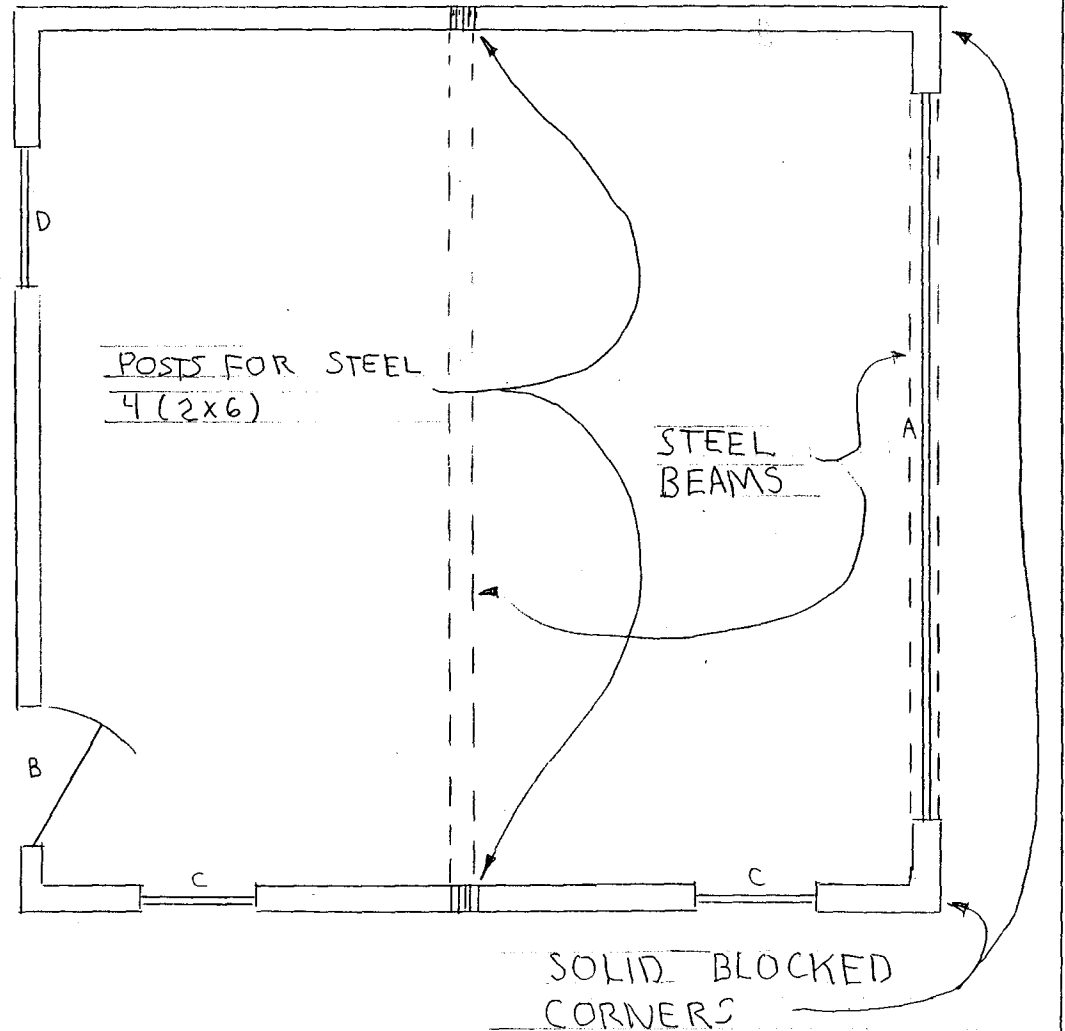


FLOOR PLAN

WINDOW AND DOOR SCHEDULE

- A 7'x16' INSULATED OVERHEAD DOOR
- B 3'-0" ; 6'-8" FIBERGLASS DOOR
- C 32" X 54" DOUBLE HUNG WINDOW
- D 36" X 21" AWNING WINDOW

WALLS PT. 2X6 BOTTOM PLATE
2X6 K.D. STUD WALLS
TRIPLE 2X8 HEADERS WITH 1/2"
PLYWOOD
1/2" PLYWOOD SHEATHING



DECK/JOIST PLAN

2x10 BLOCKING
16" ON CENTER
DOUBLE 2x12'S

STEEL I BEAMS

DOUBLE 2x10'S

HEADED OFF FOR
PULL DOWN STAIRS

(2x12) ONE FOOT
ON CENTER

2x10 JOISTS 16" ON CENTER

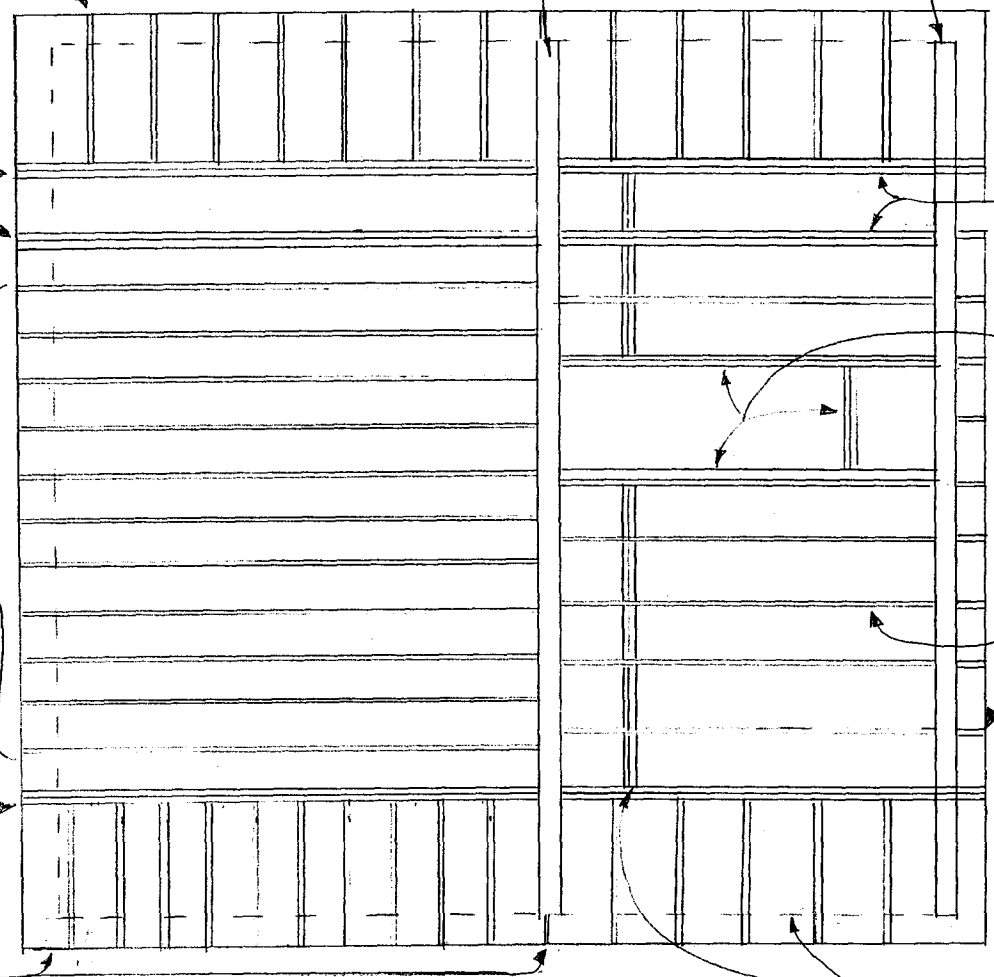
DOUBLE
2x12

BLOCKING FOR OVERHANG

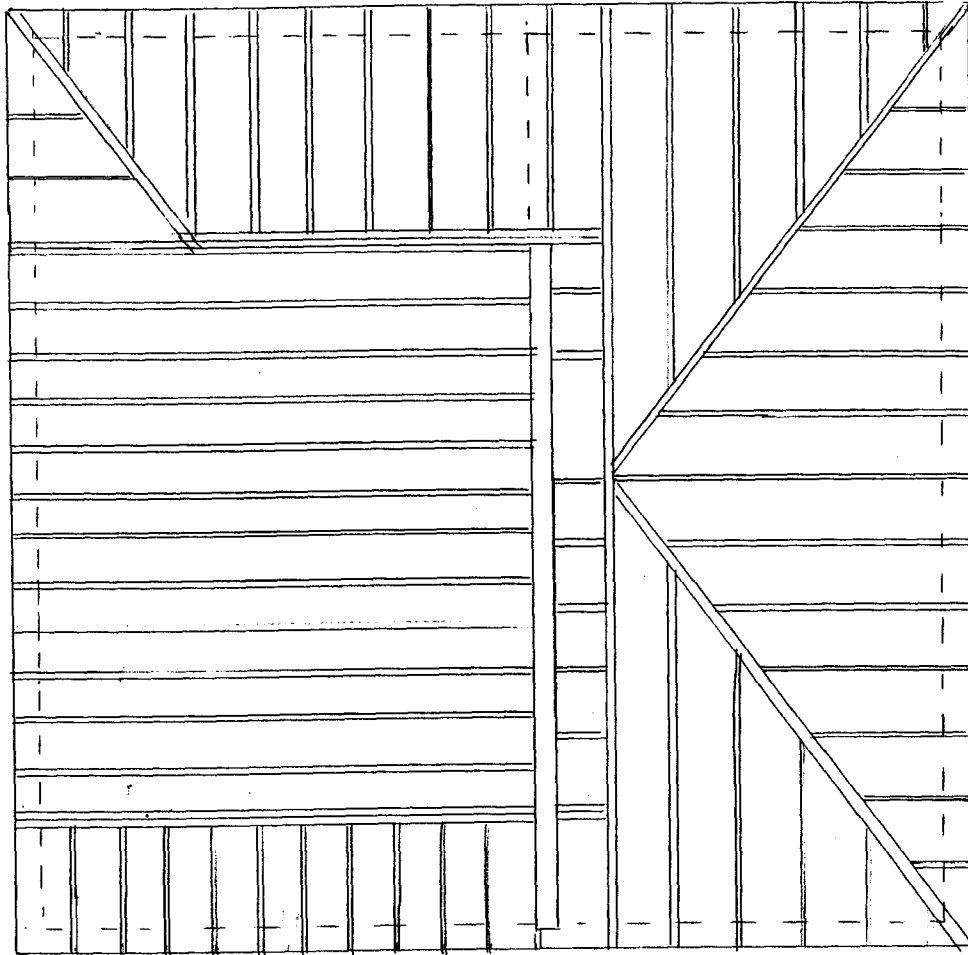
2x12 BLOCKING
ONE FOOT ON
CENTER

BLOCKING FOR NAILING WALL PLATE

OUTSIDE WALL

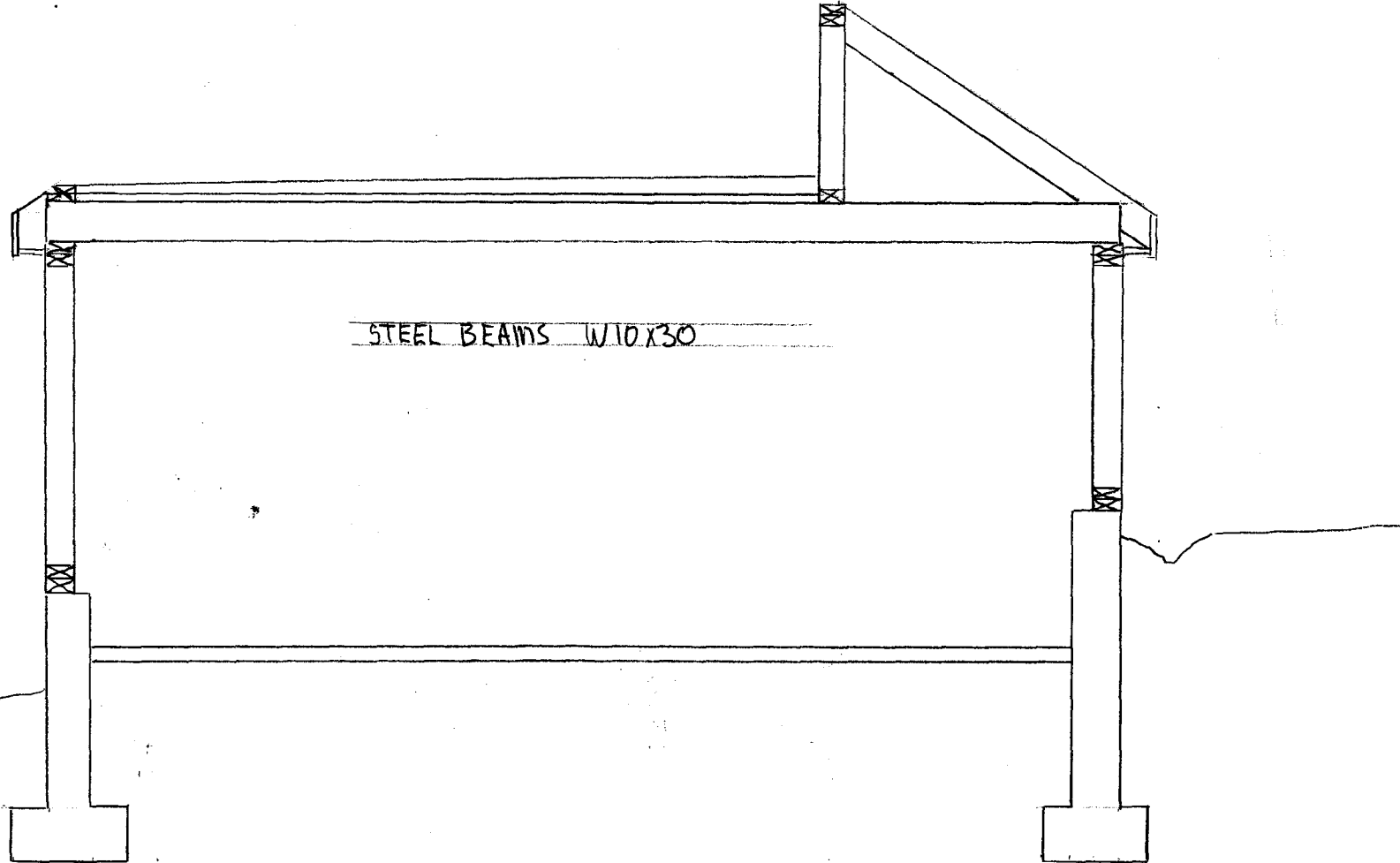


ROOF RAFTER/JOIST PLAN



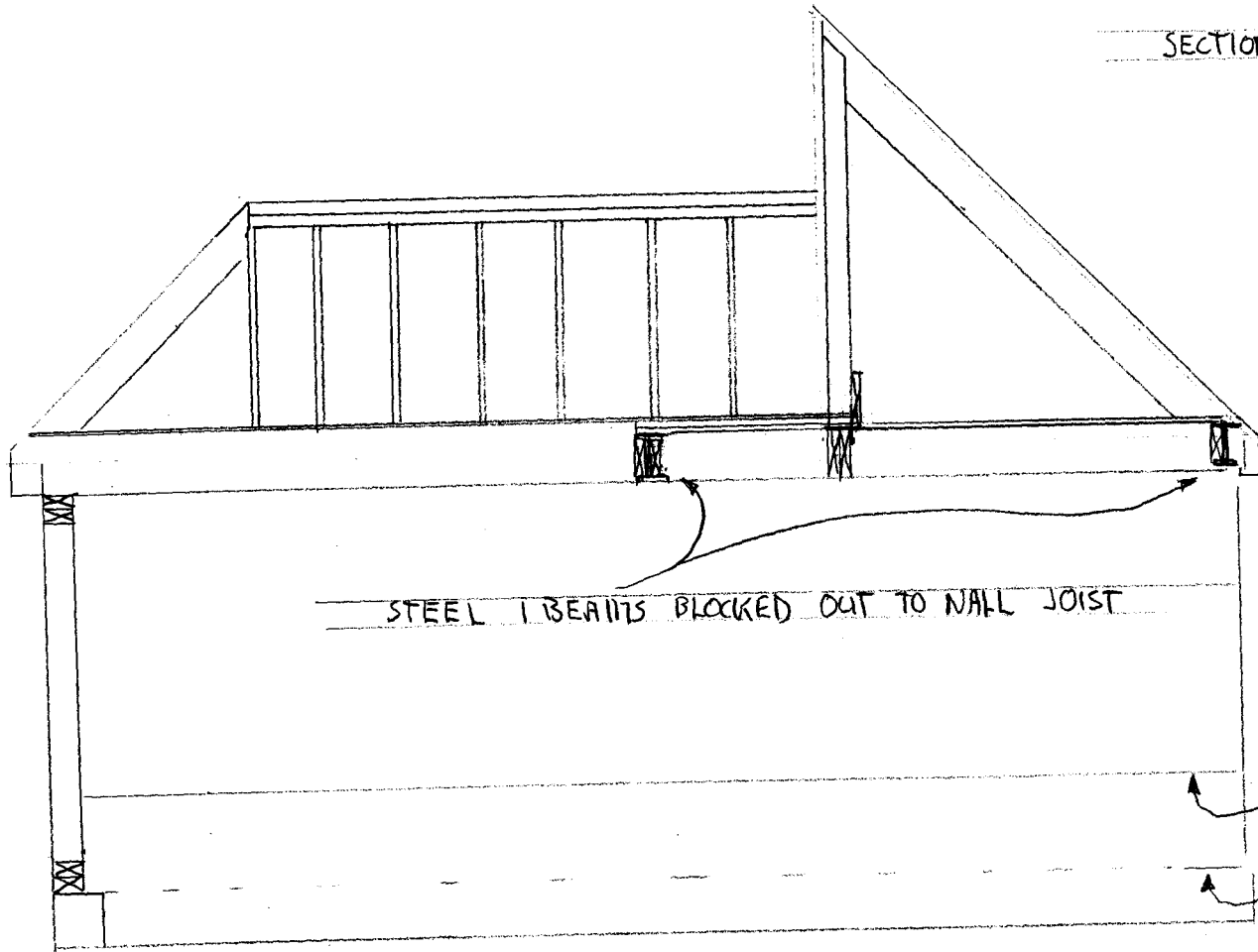
- HIP RAFTERS 2X12'S
- SLOPE RAFTERS 2X8'S ; 16" O.C.
- SOUTH SIDE RIDGE 3-2X10'S
- WITH 1/2" PLYWOOD
- FLAT RAFTERS/JOISTS 2X12 ; 12" O.C.
- 2X10 ; 16" O.C. UNDER HIP
- ROOF - FLAT, VERTICAL, AND SLOPED
- ALL SHEATHED WITH 3/4" PLYWOOD
- ALL JOISTS ATACHED WITH
- JOIST HANGERS

SECTIONAL VIEW A



STEEL BEAMS W10x30

SECTIONAL VIEW B

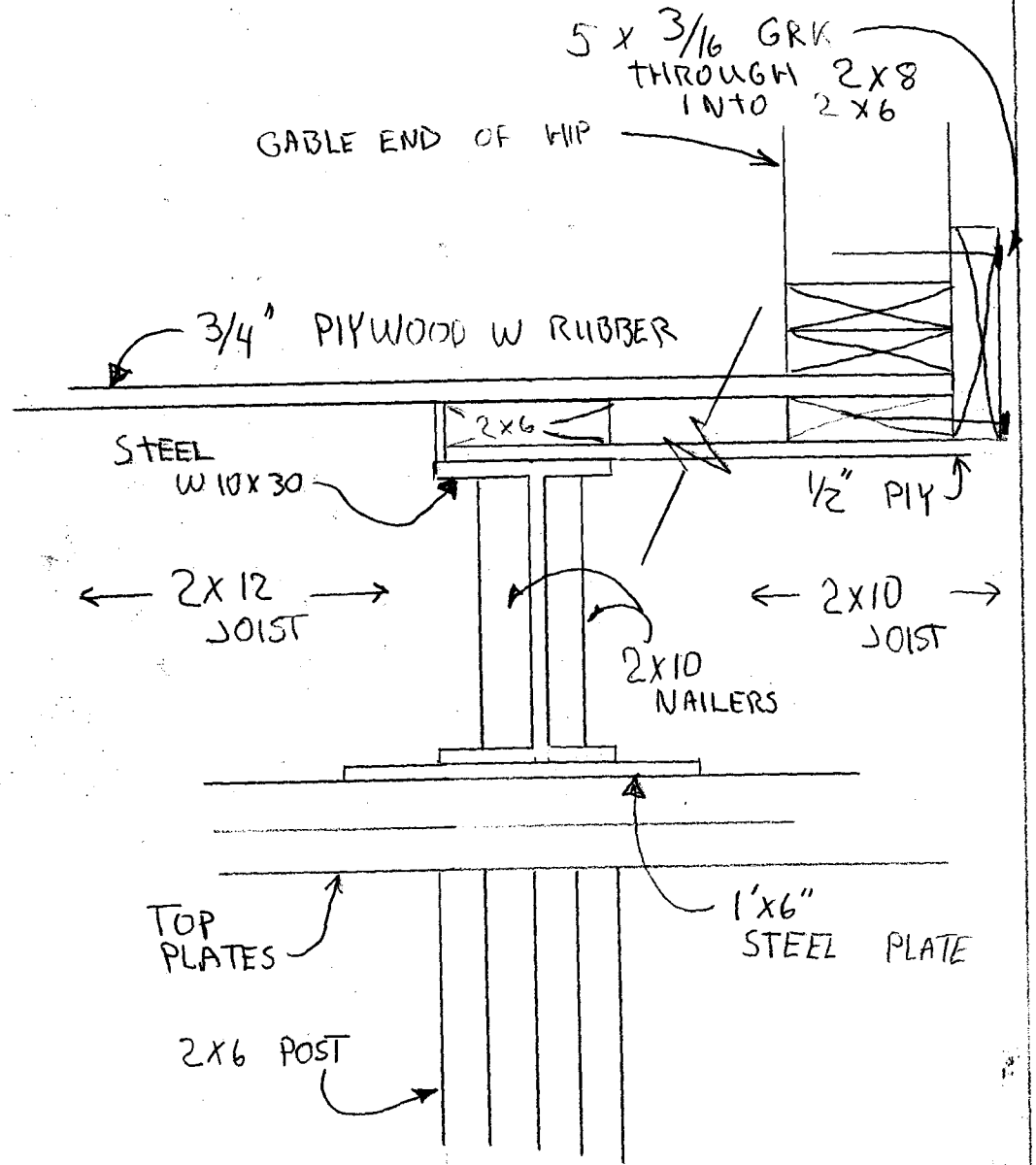


STEEL I BEAMS BLOCKED OUT TO NAIL JOIST

SOUTH SIDE
FROST WALL

NORTH SIDE
FROST WALL

STEEL
2x12
2x10
GABLE
DETAIL





CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

4.21 2009

Received from Nancy Harper

Location of Work 602 Avalon Rd

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ 420 Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 420

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 294-E-12

Check #: 1952 Total Collected \$ 420

No work is to be started until permit issued.
If permit is Withdrawn or Denied, amount of the Refund is based on \$20.00 or 20% of the fee, (whichever is greater)
In order to receive a refund, you **MUST** present the Original Receipt.

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - City Copy
PINK - Permit Copy