

293-C-003

102 Bishop St

Bishop St (Lodge Addition)

Deering Lodge post 3183

651 Forest Ave, Portland, ME 04101

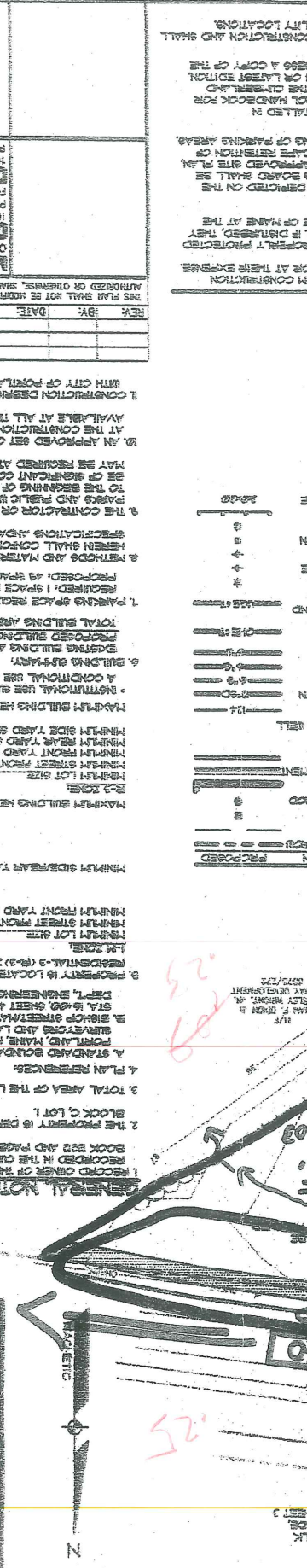
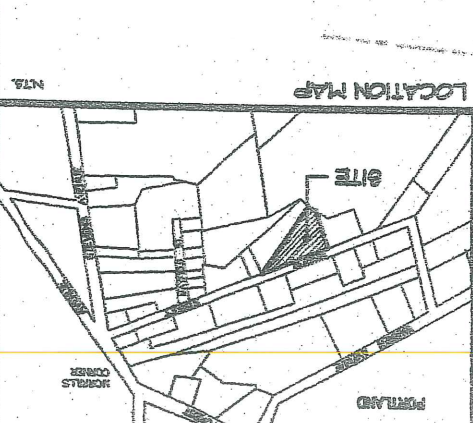
POST DEV. WATERSHED MAP

DESIGN NO.	100-155
DATE	1-15-99
DESIGNER	SEAN W. WILSON
CHECKED BY	SEAN W. WILSON
SCALE	1" = 30'
PROJECT NO.	100-155
PROJECT NAME	DEERING LODGE #103 BUILDING EXPANSION

MINOR SITE PLAN
 DEERING LODGE #103 BUILDING EXPANSION
 102 BISHOP STREET
 PORTLAND, MAINE

GENERAL NOTES:

1. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND AND PUBLIC WORKS DEPARTMENT OF ANY CONSTRUCTION ACTIVITIES THAT WILL BE OCCURRING ON THE PROJECT SITE AT LEAST 14 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF PORTLAND AND PUBLIC WORKS DEPARTMENT TO REVIEW THE PLAN AND SPECIFICATIONS AND TO DISCUSS THE CITY'S CONCERNS AND REQUIREMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PORTLAND AND PUBLIC WORKS DEPARTMENT, THE STATE OF MAINE, AND ANY OTHER AGENCIES THAT MAY HAVE JURISDICTION OVER THE PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES THAT ARE LOCATED ON THE PROJECT SITE OR ADJACENT TO IT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE PROJECT SITE TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION IS COMPLETE.

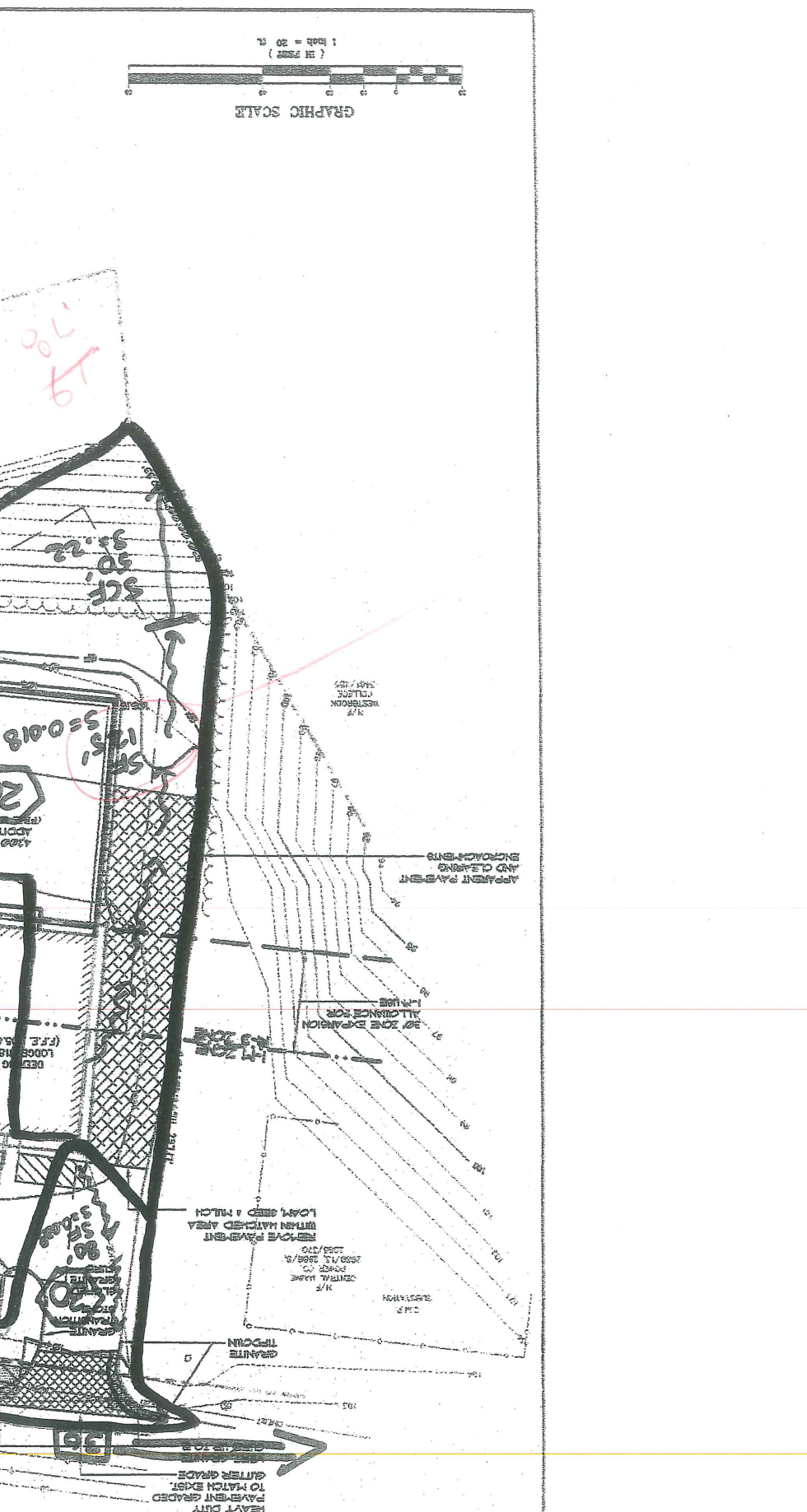
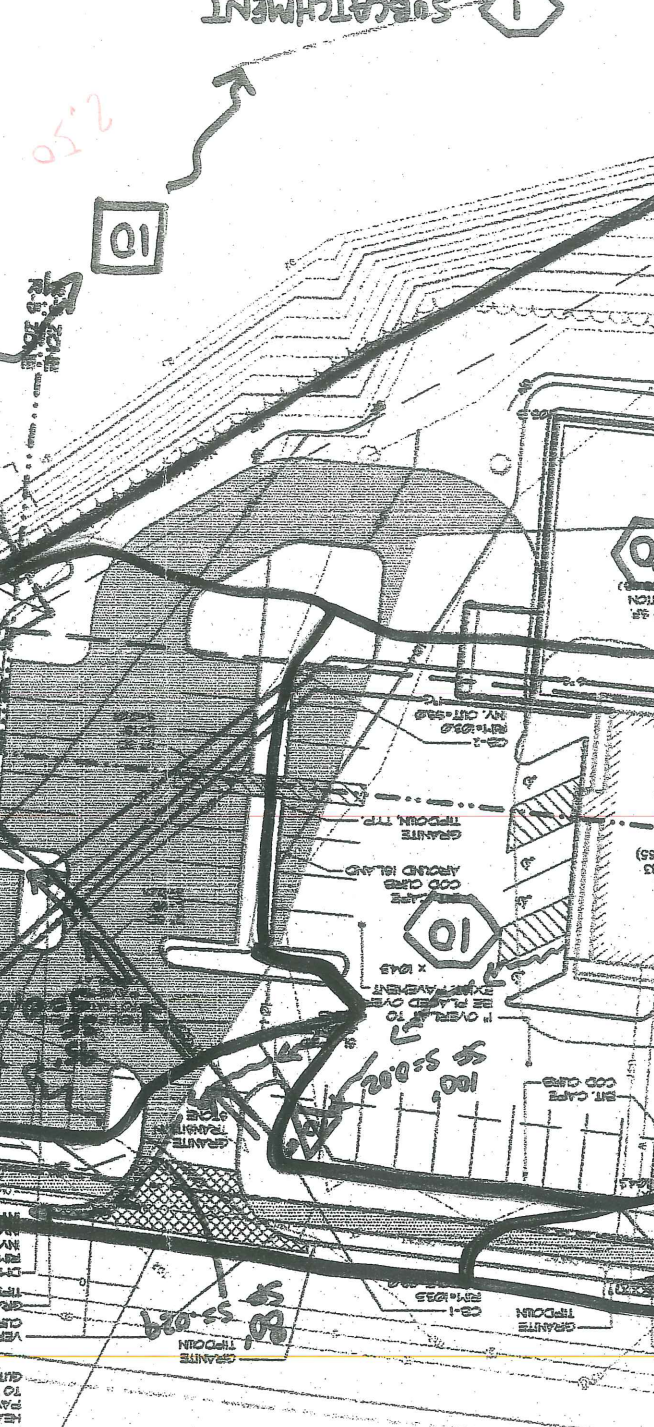
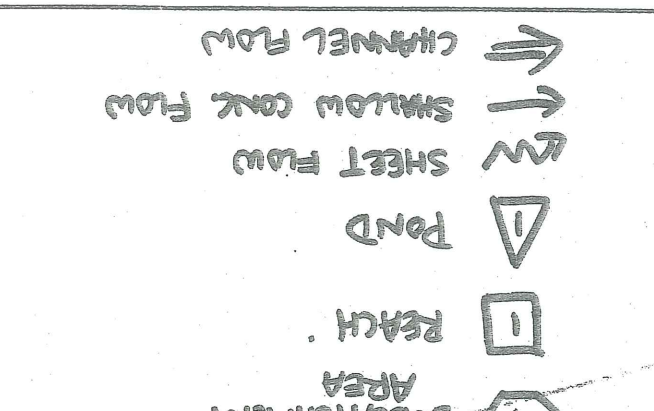


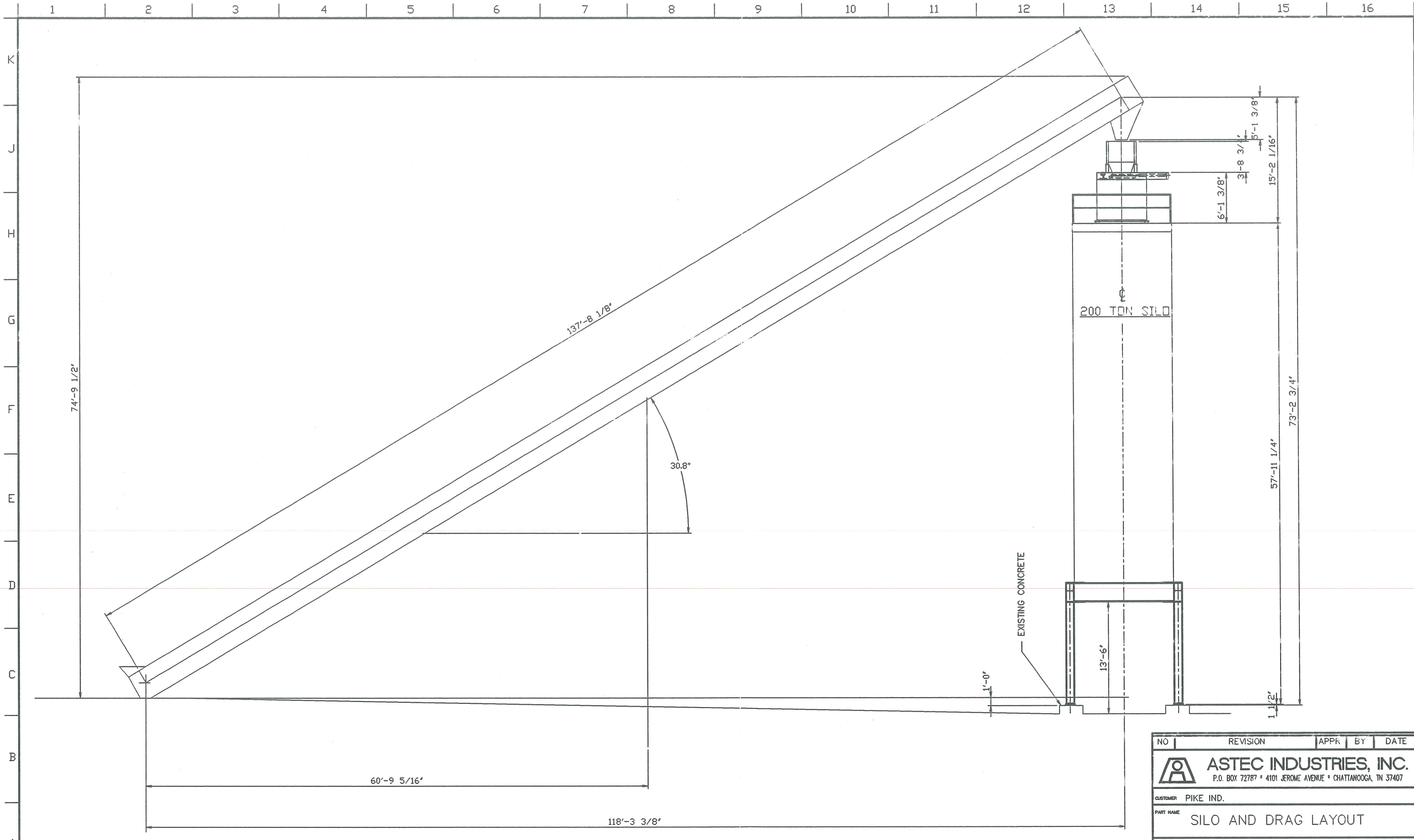
LEGEND


1	PROPERTY BOUNDARY
2	PROPERTY LINE
3	EXISTING BUILDING
4	PROPOSED BUILDING
5	EXISTING DRIVE/STREET
6	PROPOSED DRIVE/STREET
7	EXISTING UTILITY (WATER, GAS, SEWER, ELEC.)
8	PROPOSED UTILITY (WATER, GAS, SEWER, ELEC.)
9	EXISTING STORM DRAIN
10	PROPOSED STORM DRAIN
11	EXISTING DRIVE/STREET (PROPOSED WIDENING)
12	PROPOSED DRIVE/STREET (PROPOSED WIDENING)

GENERAL NOTES (CONT.)

1. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR OWN EXPENSE.
2. PROPERTY MARKERS AND STREET LANE MARKERS SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION TO MAINTAIN THEIR ACCURACY. IF DAMAGED, THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE DEVELOPER'S/CONTRACTOR'S EXPENSE.
3. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE PLAN APPROVED BY THE PLANNING AUTHORITY OR PLANNING BOARD. NO ALTERATIONS OR DEVIATIONS FROM THE APPROVED PLAN SHALL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE PROJECT SITE TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION IS COMPLETE.



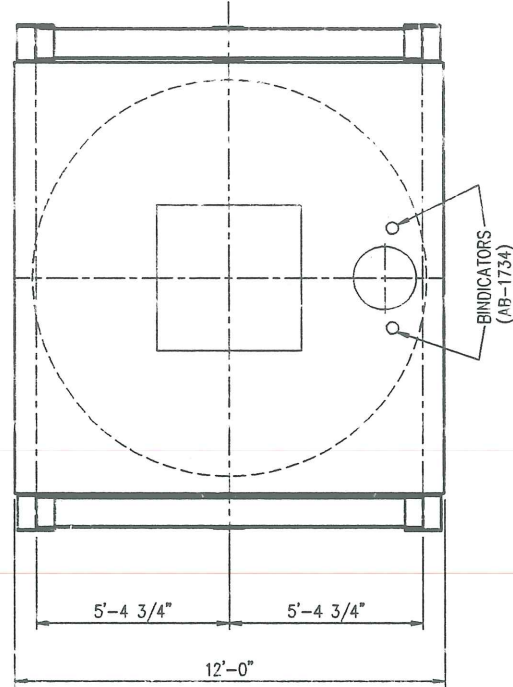
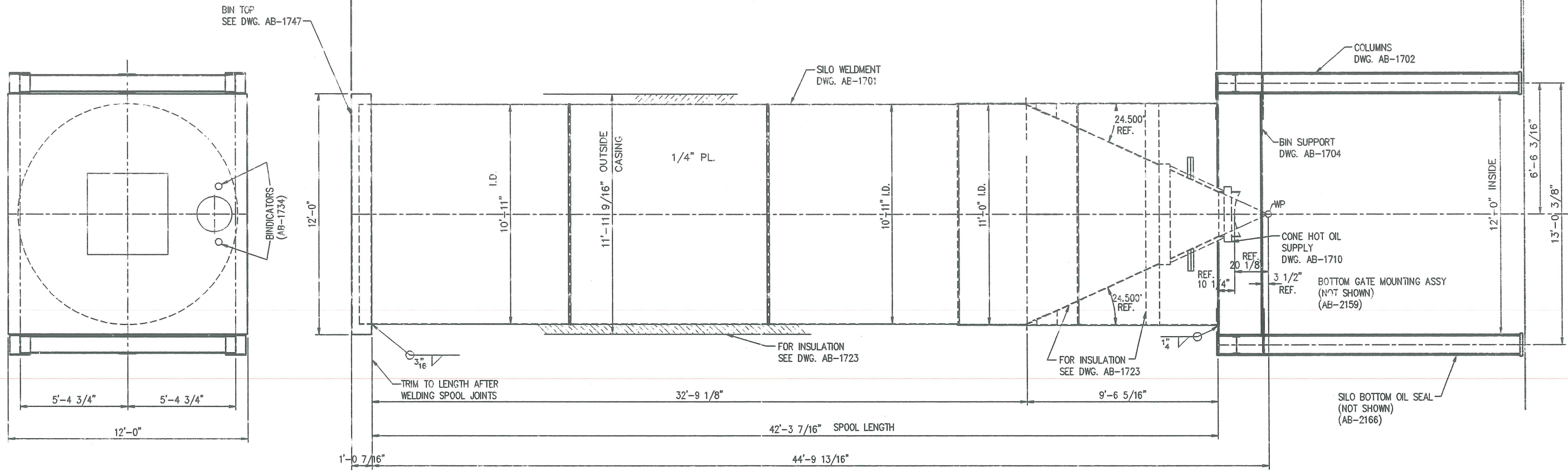


NO	REVISION	APPK	BY	DATE
 ASTEC INDUSTRIES, INC. P.O. BOX 72787 • 4101 JEROME AVENUE • CHATTANOOGA, TN 37407				
CUSTOMER: PIKE IND.				
PART NAME: SILO AND DRAG LAYOUT				
MACHINE: PORTLAND ME.				
DWG	CHKD	APPK	DATE: 2-18-99	
JOB NO	SHEET	SCALE: 3/16"=12"	DWG NO	REV
			P-1650	0

THIS DRAWING AND THE DESIGN SHOWN THEREIN IS THE PROPERTY OF ASTEC INDUSTRIES, INC. AND USE OR COPIES THEREOF CANNOT BE MADE WITHOUT WRITTEN CONSENT. H:\P\1650

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

K
J
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THIS DRAWING AND THE DESIGN SHOWN THEREIN IS THE PROPERTY OF ASTEC INDUSTRIES, INC. AND USE OR COPIES THEREOF CANNOT BE MADE WITHOUT WRITTEN CONSENT

AB-1700

NO	REVISION	APPR	BY	DATE
ASTEC INDUSTRIES, INC. P.O. BOX 72787 * 4101 JEROME AVENUE * CHATTANOOGA, TN 37407				
CUSTOMER				
PART NAME SILO ASSY.				
MACHINE 200 TON				
DWR E. PICKETT	CHKD	APPR	DATE	9-30-93
JOB NO	SHEET	SCALE 3/8" = 1'-0"	DWG NO AB-1700	REV 0

POST DEV. WATERSHED MAP

DESIGN: J.V. 788; DRAWN BY: S.H.; CHECKED BY: S.H.; DATE: 1-12-59; SCALE: 1"=20'; TITLE: DEERING LODGE #103 BUILDING EXPANSION; PROJECT NO.: 66-53; CLIENT: BEDARCO COMPANY; DESIGNER: Sedago Technics

Table with columns: REV., BY., DATE, STATUS. Rows for revision tracking.

1. CONSTRUCTION SHALL BE CONTINUED AND COMPLETED IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE, CHAPTER 12...

2. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT... AT LEAST 15 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION...

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES WHICH ARE LOCATED ON THE SITE...

4. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION... PROTECT MARKERS AND STREET LINES MUST BE PROPERLY PROTECTED...

5. CONTRACTOR SHALL GEAR UP ALL UTILITIES TO CONSTRUCTION AND SHALL NOTIFY DISTRICT 7 HOURS PRIOR TO EXCAVATION TO MARK UTILITY LOCATIONS...

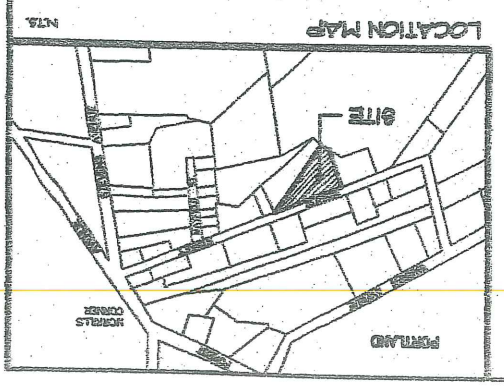
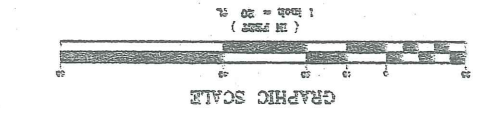
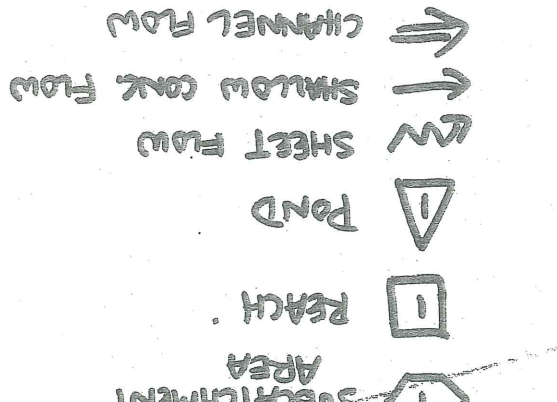
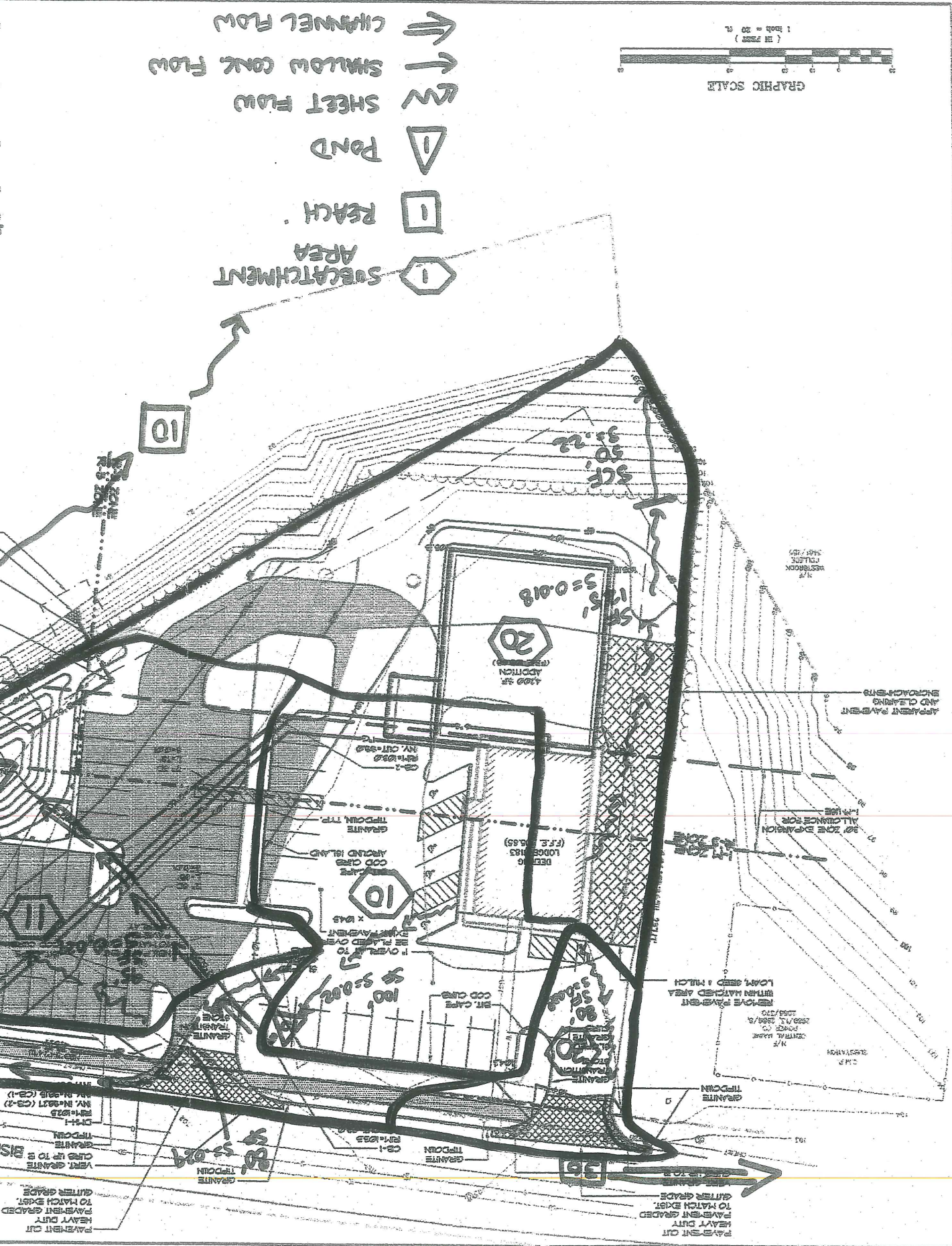
GENERAL NOTES (CONT.)
1. THE SITE SHALL BE DEVELOPED AND MAINTAINED AS DEPICTED ON THE SITE PLAN APPROVED BY THE PLANNING AUTHORITY...
2. ANY DAMAGES TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR...

GENERAL NOTES (CONT.)
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL AREAS AND SERVICES OF ADJACENT AREAS...
4. THE CONTRACTOR SHALL GEAR UP ALL UTILITIES TO CONSTRUCTION AND SHALL NOTIFY DISTRICT 7 HOURS PRIOR TO EXCAVATION TO MARK UTILITY LOCATIONS...

GENERAL NOTES (CONT.)
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL AREAS AND SERVICES OF ADJACENT AREAS...
6. THE CONTRACTOR SHALL GEAR UP ALL UTILITIES TO CONSTRUCTION AND SHALL NOTIFY DISTRICT 7 HOURS PRIOR TO EXCAVATION TO MARK UTILITY LOCATIONS...

Table with columns: SYMBOL, DESCRIPTION, DIMENSIONS. Lists various site features and their specifications.

GENERAL NOTES (CONT.)
7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL AREAS AND SERVICES OF ADJACENT AREAS...
8. THE CONTRACTOR SHALL GEAR UP ALL UTILITIES TO CONSTRUCTION AND SHALL NOTIFY DISTRICT 7 HOURS PRIOR TO EXCAVATION TO MARK UTILITY LOCATIONS...



Free. Dev. Watershed Map

Babago Technicals
Engineering & Planning for the Future
12 WESTBROOK, ME 04094-1212
(207) 858-2777

DEERING LODGE #103 BUILDING EXPANSION
OF
DEERING LODGE #103
PORTLAND, MAINE
102 BISHOP STREET
PORTLAND, MAINE

LARGER SITE PLAN

REV. BY: DATE: STATUS:

DESIGN BY: NAL
CHECKED BY: SJE
DATE: 1-13-89
SCALE: 1" = 20'
SHEET NO. 48-03
PROJECT NO. 88-038

1. RECORD OWNER OF THE PROJECT IS DEERING LODGE BUILDING CORP. BY A DEED RECORDED IN THE CLERK AND COUNTY REGISTRY OF DEEDS (CCRD) IN PLAN BOOK 303 AND PAGE 914.

2. THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND AND ASSOCIATES MAP NO. 235, BLOCK G, LOT 1.

3. TOTAL AREA OF THE LOT IS 6,870 SF.

4. PLAN REFERENCES:
A. STANDARD BOUNDARY SURVEY FOR THE TICONDEROGA OFFICE SITE, 79-10 BISHOP STREET, PORTLAND, MAINE, RECORDED IN PLAN BOOK 261, PAGE 113, L.T. & B.T. 2.
B. SHIMPO STREET/HEMLOCK STREET SEPARATION PLAN & REPORT, CITY OF PORTLAND, MAINE PARKS AND PUBLIC WORKS DEPT., ENGINEERING DIVISION, MAY/JUNE 1988.
C. 57A, 57B, SHEET 1 OF 3 BY CITY OF PORTLAND, MAINE PARKS AND PUBLIC WORKS DEPT., ENGINEERING DIVISION, MAY/JUNE 1988.

5. PROPERTY IS LOCATED IN THE HOOPERVILLE SPACED INDUSTRIAL (H-1) ZONE AND RESIDENTIAL-3 (R-3) ZONE WITH THE FOLLOWING SPACE AND BULK REQUIREMENTS:

MINIMUM LOT SIZE: NONE
MINIMUM STREET FRONTAGE: 60'-0"
MINIMUM FRONT YARD SETBACK: MINIMUM FRONT YARD SETBACK SHALL BE SET BACK 1 FT. FROM THE FRONT BOUNDARY AND ACCESSORY STRUCTURES.
MINIMUM SIDE/REAR YARD SETBACK: MINIMUM SIDE/REAR YARD SETBACK SHALL BE SET BACK 1 FT. FROM EACH PT. OF THE FRONT BOUNDARY AND ACCESSORY STRUCTURES.
MINIMUM SIDE/REAR YARD SETBACK: MINIMUM SIDE/REAR YARD SETBACK SHALL BE 5 FT. (1 STORY), 10 FT. (2 STOREY), 15 FT. (3 STOREY), 20 FT. (4 STOREY).
MINIMUM BUILDING HEIGHT: 35'-0"
MINIMUM USE: SUCH AS A PRIVATE CLUB OR RECREATION ORGANIZATION REQUIRES A CONDITIONAL USE APPROVAL GRANTED BY THE PORTLAND PLANNING BOARD.
BUILDING SUB-TYPE: BUILDING SUB-TYPE
BUILDING BUILDING AREA: 2,600 SF
PROPOSED BUILDING AREA: 2,600 SF
TOTAL BUILDING AREA: 5,000 SF

6. PARKING SPACE REQUIREMENTS:
REQUIRED: 1 SPACE PER 100 SF BLDG. SPACE + 42 SPACES
PROPOSED: 48 SPACES INCLUDING 4 HANDICAPPED SPACES

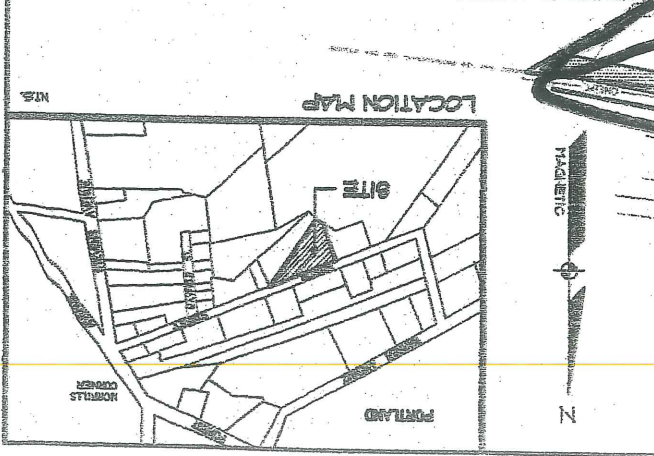
7. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT MDOT STANDARDS AND SPECIFICATIONS.

8. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT IN WRITING 14 DAYS PRIOR TO THE BEGGINING OF CONSTRUCTION (9:00 A.M.) AND TO ATTEND THE PERMITS MEETING. A PERMITS MEETING SHALL BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.

9. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE THROUGHOUT THE CONSTRUCTION PERIOD. THE SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.

10. CONSTRUCTION DEWAS SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE, CHAPTER 12.

11. THE PLAN SHALL NOT BE MOVED WITHOUT PERMISSION FROM BABAGO TECHNICALS, INC. ANY AMENDMENTS OR CHANGES SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BABAGO TECHNICALS, INC.



GENERAL NOTES (CONT.)

12. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.

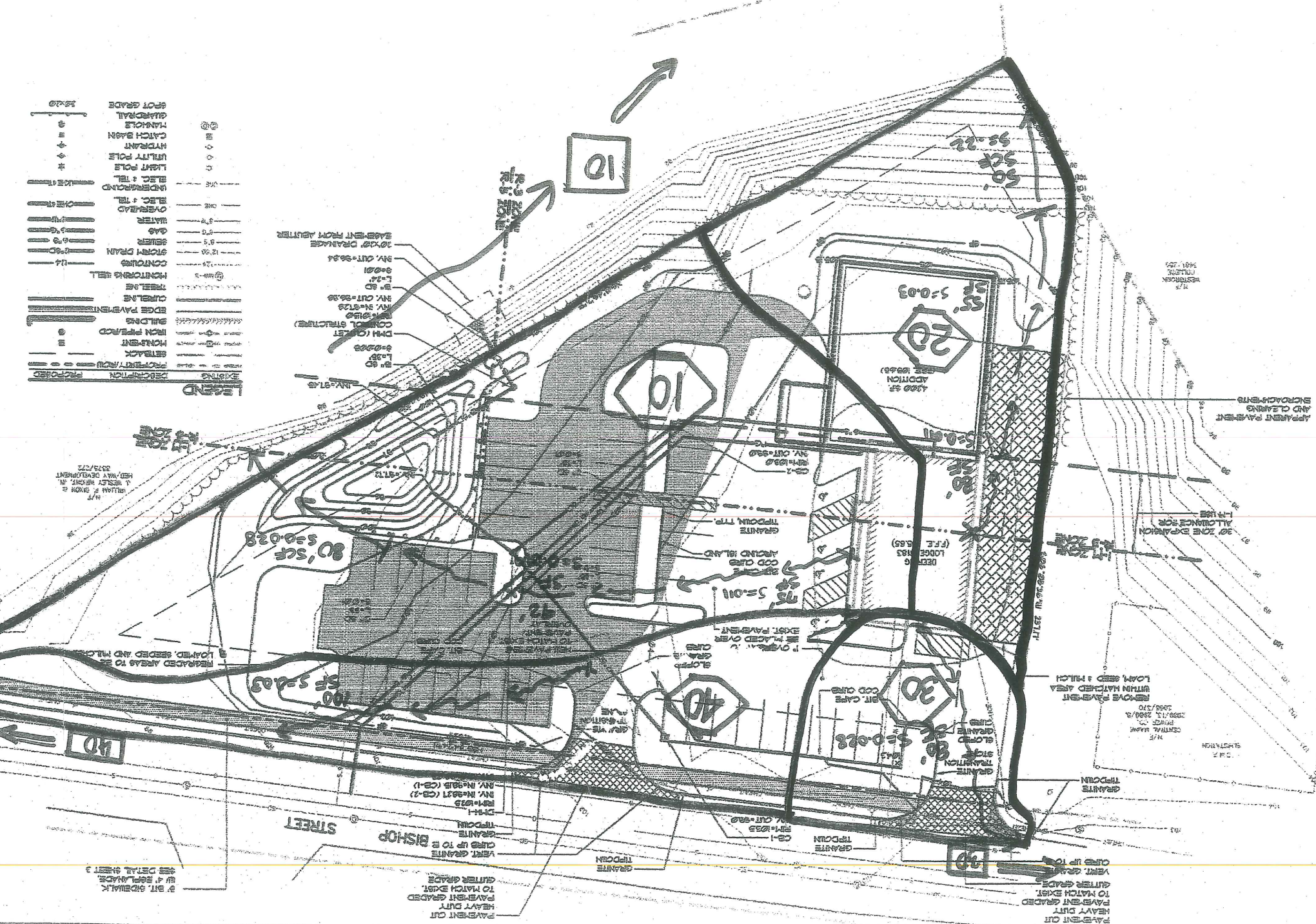
13. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION TO ENSURE THEIR INTEGRITY. IF DAMAGED, THEY SHALL BE REPAIRED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.

14. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY DEVIATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN. REVISIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE A COPY OF THE CONTRACTOR BEST MANAGEMENT PRACTICES (BMP) CHECKED BY THE CLERK AND COUNTY REGISTRY OF DEEDS AND MAINE DEP, MAINE 88-107 OR LATEST EDITION. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS TO EXCAVATION TO CONSTRUCTION AND SHALL NOTIFY DIG-811 8 HOURS PRIOR TO EXCAVATION TO MARK UTILITY LOCATIONS.

LEGEND

SYMBOL	DESCRIPTION
①	SUBATTACHMENT AREA
□	REACH
△	POND
~	SHEET FLOW
→	SHALLOW CONK. FLOW
⇐	CHANNEL FLOW

GRAPHIC SCALE
1 inch = 20 ft.



MINOR SITE PLAN
DEERING LODGE #183 BUILDING EXPANSION
 102 BISHOP STREET
 PORTLAND, MAINE

REV.	BY	DATE	STATUS
A	JRS	5-3-99	REVISED POND OUTLET PIPE

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

GENERAL NOTES:

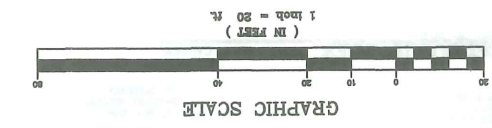
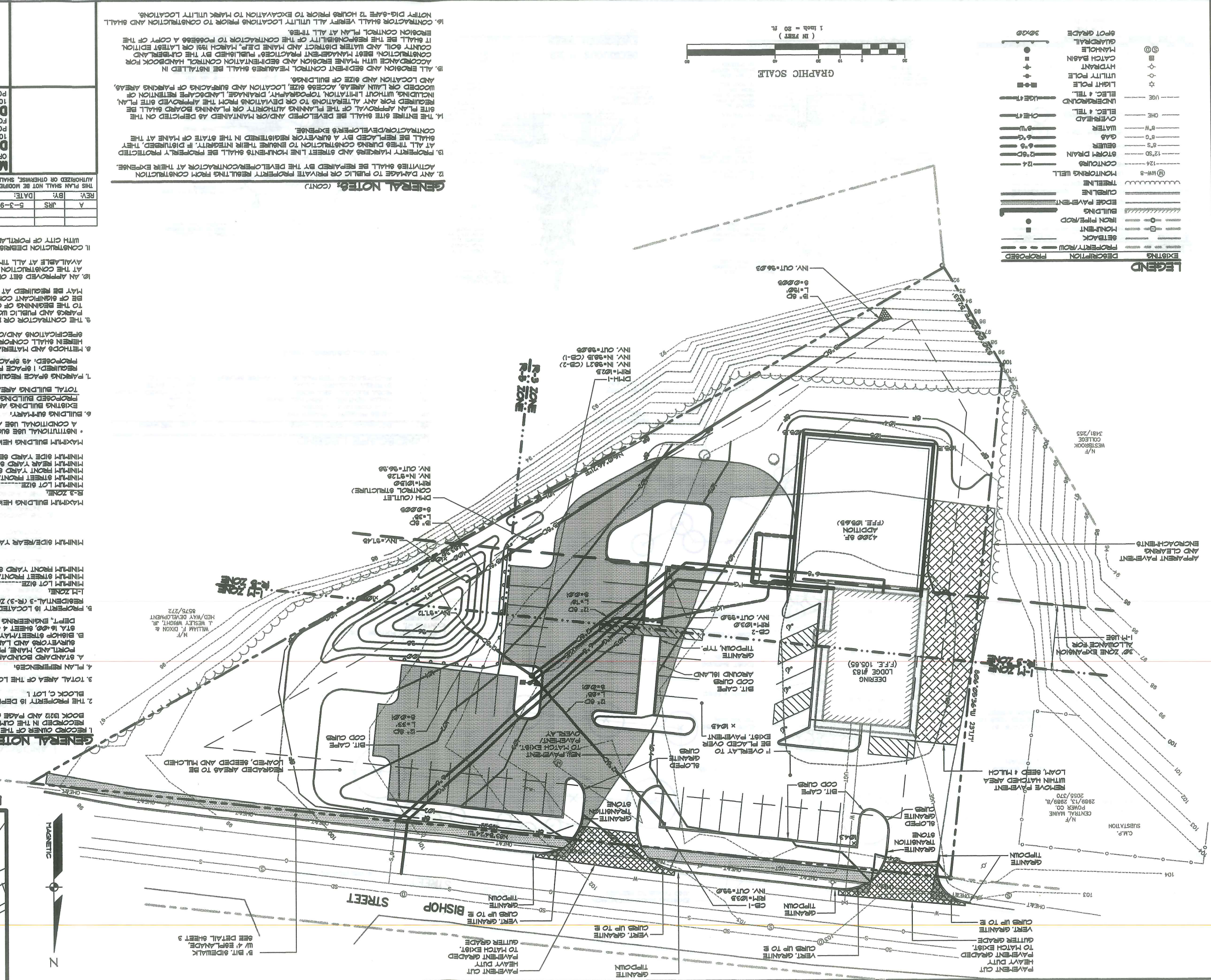
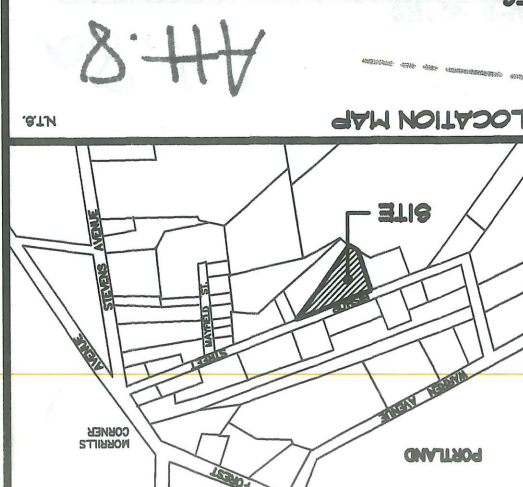
- RECORD OWNER OF THE PROPERTY IS DEERING LODGE BUILDING CORP. BY A DEED RECORDED IN THE CAMBERLAND COUNTY REGISTER OF DEEDS (CORP) IN PLAN BOOK 822 AND PAGE 614.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND ASSESSORS MAP NO. 233, BLOCK C, LOT 1.
- TOTAL AREA OF THE LOT IS 63,070 SF.
- PLAN REFERENCES:
 - STANDARD BOUNDARY SURVEY 'FORMER TILCON OFFICE SITE' 18-10 BISHOP STREET, PORTLAND, MAINE PREPARED FOR THE INDUSTRIAL, INC. BY TECHNICAL SERVICES, INC. 6/10/87.
 - BLUPOD STREET/MAINTFIELD STREET SEWER SEPARATION PLAN & PROFILE, 67A, 102 TO 67A, 100 SHEET 4 OF 9, BY CITY OF PORTLAND, MAINE PARKS AND PUBLIC WORKS DEPT., ENGINEERING DIVISION, JANUARY 1993.
- PROPERTY IS LOCATED IN THE MODERATE IMPACT INDUSTRIAL (I-M) ZONE AND RESIDENTIAL-3 (R-3) ZONE WITH THE FOLLOWING SPACE AND BULK REQUIREMENTS:

MAXIMUM BUILDING HEIGHT	79-FT. (4 STORIES)
MAXIMUM BUILDING HEIGHT	39-FT.
MINIMUM SIDE YARD SETBACK	14-FT. (1 STORY)
MINIMUM REAR YARD SETBACK	29-FT.
MINIMUM STREET FRONTAGE	N/A
MINIMUM LOT SIZE	NONE
MINIMUM FRONT YARD SETBACK	69-FT.
MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT & FOR EACH FT. OF BLDG. HEIGHT
MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT & FOR EACH FT. OF BLDG. HEIGHT
MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT & FOR EACH FT. OF BLDG. HEIGHT
- EXISTING BUILDING AREA: 2,400 SF.
 PROPOSED BUILDING AREA: 4,200 SF.
 TOTAL BUILDING AREA: 6,600 SF.
- PARKING SPACE REQUIREMENTS:
 REQUIRED: 49 SPACES FOR BLDG. SPACE + 42 SPACES REQUIRED, 1 SPACE PER 100 SF. BLDG. SPACE.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT TYPICAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND AND PUBLIC WORKS INSPECTION DIVISION IN WRITING 3 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (874-3300 EXT. 8930), SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA. PRE-CONSTRUCTION MEETINGS MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.
- ANY APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER OR AN AUTHORIZED AGENT MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE, CHAPTER 12.

GENERAL NOTES:

- RECORD OWNER OF THE PROPERTY IS DEERING LODGE BUILDING CORP. BY A DEED RECORDED IN THE CAMBERLAND COUNTY REGISTER OF DEEDS (CORP) IN PLAN BOOK 822 AND PAGE 614.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND ASSESSORS MAP NO. 233, BLOCK C, LOT 1.
- TOTAL AREA OF THE LOT IS 63,070 SF.
- PLAN REFERENCES:
 - STANDARD BOUNDARY SURVEY 'FORMER TILCON OFFICE SITE' 18-10 BISHOP STREET, PORTLAND, MAINE PREPARED FOR THE INDUSTRIAL, INC. BY TECHNICAL SERVICES, INC. 6/10/87.
 - BLUPOD STREET/MAINTFIELD STREET SEWER SEPARATION PLAN & PROFILE, 67A, 102 TO 67A, 100 SHEET 4 OF 9, BY CITY OF PORTLAND, MAINE PARKS AND PUBLIC WORKS DEPT., ENGINEERING DIVISION, JANUARY 1993.
- PROPERTY IS LOCATED IN THE MODERATE IMPACT INDUSTRIAL (I-M) ZONE AND RESIDENTIAL-3 (R-3) ZONE WITH THE FOLLOWING SPACE AND BULK REQUIREMENTS:

MAXIMUM BUILDING HEIGHT	79-FT. (4 STORIES)
MAXIMUM BUILDING HEIGHT	39-FT.
MINIMUM SIDE YARD SETBACK	14-FT. (1 STORY)
MINIMUM REAR YARD SETBACK	29-FT.
MINIMUM STREET FRONTAGE	N/A
MINIMUM LOT SIZE	NONE
MINIMUM FRONT YARD SETBACK	69-FT.
MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT & FOR EACH FT. OF BLDG. HEIGHT
MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT & FOR EACH FT. OF BLDG. HEIGHT
MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT & FOR EACH FT. OF BLDG. HEIGHT
- EXISTING BUILDING AREA: 2,400 SF.
 PROPOSED BUILDING AREA: 4,200 SF.
 TOTAL BUILDING AREA: 6,600 SF.
- PARKING SPACE REQUIREMENTS:
 REQUIRED: 49 SPACES FOR BLDG. SPACE + 42 SPACES REQUIRED, 1 SPACE PER 100 SF. BLDG. SPACE.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT TYPICAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND AND PUBLIC WORKS INSPECTION DIVISION IN WRITING 3 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (874-3300 EXT. 8930), SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA. PRE-CONSTRUCTION MEETINGS MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.
- ANY APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER OR AN AUTHORIZED AGENT MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE, CHAPTER 12.



LEGEND

EXISTING	DESCRIPTION	PROPOSED
(Symbol)	PROPERTY/ROW	(Symbol)
(Symbol)	SETBACK	(Symbol)
(Symbol)	MONUMENT	(Symbol)
(Symbol)	IRON PIPE/ROD	(Symbol)
(Symbol)	BUILDING	(Symbol)
(Symbol)	EDGE PAVEMENT	(Symbol)
(Symbol)	CURBLINE	(Symbol)
(Symbol)	TREELINE	(Symbol)
(Symbol)	MONITORING WELL	(Symbol)
(Symbol)	CONTIGUOUS	(Symbol)
(Symbol)	STORM DRAIN	(Symbol)
(Symbol)	SEWER	(Symbol)
(Symbol)	GAS	(Symbol)
(Symbol)	WATER	(Symbol)
(Symbol)	OVERHEAD	(Symbol)
(Symbol)	ELEC. & TEL.	(Symbol)
(Symbol)	UNDERGROUND	(Symbol)
(Symbol)	UNDERGROUND	(Symbol)
(Symbol)	ELEC. & TEL.	(Symbol)
(Symbol)	UTILITY POLE	(Symbol)
(Symbol)	HYDRANT	(Symbol)
(Symbol)	CATCH BASIN	(Symbol)
(Symbol)	MANHOLE	(Symbol)
(Symbol)	QUADRANT	(Symbol)
(Symbol)	SPOT GRADE	(Symbol)

GENERAL NOTES:

- RECORD OWNER OF THE PROPERTY IS DEERING LODGE BUILDING CORP. BY A DEED RECORDED IN THE CAMBERLAND COUNTY REGISTER OF DEEDS (CORP) IN PLAN BOOK 822 AND PAGE 614.
- THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND ASSESSORS MAP NO. 233, BLOCK C, LOT 1.
- TOTAL AREA OF THE LOT IS 63,070 SF.
- PLAN REFERENCES:
 - STANDARD BOUNDARY SURVEY 'FORMER TILCON OFFICE SITE' 18-10 BISHOP STREET, PORTLAND, MAINE PREPARED FOR THE INDUSTRIAL, INC. BY TECHNICAL SERVICES, INC. 6/10/87.
 - BLUPOD STREET/MAINTFIELD STREET SEWER SEPARATION PLAN & PROFILE, 67A, 102 TO 67A, 100 SHEET 4 OF 9, BY CITY OF PORTLAND, MAINE PARKS AND PUBLIC WORKS DEPT., ENGINEERING DIVISION, JANUARY 1993.
- PROPERTY IS LOCATED IN THE MODERATE IMPACT INDUSTRIAL (I-M) ZONE AND RESIDENTIAL-3 (R-3) ZONE WITH THE FOLLOWING SPACE AND BULK REQUIREMENTS:

MAXIMUM BUILDING HEIGHT	79-FT. (4 STORIES)
MAXIMUM BUILDING HEIGHT	39-FT.
MINIMUM SIDE YARD SETBACK	14-FT. (1 STORY)
MINIMUM REAR YARD SETBACK	29-FT.
MINIMUM STREET FRONTAGE	N/A
MINIMUM LOT SIZE	NONE
MINIMUM FRONT YARD SETBACK	69-FT.
MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT & FOR EACH FT. OF BLDG. HEIGHT
MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT & FOR EACH FT. OF BLDG. HEIGHT
MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT & FOR EACH FT. OF BLDG. HEIGHT
- EXISTING BUILDING AREA: 2,400 SF.
 PROPOSED BUILDING AREA: 4,200 SF.
 TOTAL BUILDING AREA: 6,600 SF.
- PARKING SPACE REQUIREMENTS:
 REQUIRED: 49 SPACES FOR BLDG. SPACE + 42 SPACES REQUIRED, 1 SPACE PER 100 SF. BLDG. SPACE.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT TYPICAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND AND PUBLIC WORKS INSPECTION DIVISION IN WRITING 3 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (874-3300 EXT. 8930), SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA. PRE-CONSTRUCTION MEETINGS MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.
- ANY APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER OR AN AUTHORIZED AGENT MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
- CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE, CHAPTER 12.

MINOR SITE PLAN

OF:
DERING LODGE #183 BUILDING EXPANSION

FOR:
 PORTLAND, MAINE
 102 BISHOP STREET

OR:
 PORTLAND, MAINE
 102 BISHOP STREET

REV.	DATE	BY	STATUS
B	6-8-99	ARS	ADD BUREROY SPILLWAY, LEVEL SPREADER, REVERSE SIDEWALK ALONG BISHOP ST
A	5-3-99	ARS	REVISE POND OUTLET PIPE

THIS PLAN SHALL NOT BE WORKED WITHOUT WRITING PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

1. RECORD OWNER OF THE PROPERTY IS DERING LODGE BUILDING CORP. BY A DEED RECORDED IN THE CURBERLAND AND COUNTY REGISTRY OF DEEDS (CORD) IN PLAN BOOK 13212 AND PAGE 014.

2. THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND ADDRESSORS MAP NO. 239, BLOCK C, LOT 1.

3. TOTAL AREA OF THE LOT IS 63,070 SF.

4. PLAN REFERENCES:

A. STANDARD BOUNDARY SURVEY: FORMER TILCON OFFICE SITE, '78-10 BISHOP STREET, PORTLAND, MAINE, PREPARED FOR PIKE INDUSTRIES, INC. BY TECHNICAL SERVICES, INC. SURVEYORS AND LAND USE CONSULTANTS, JULY 9, 1991.

B. BISHOP STREET/MAYFIELD STREET SEWER SEPARATION PLAN # PROFILE, STA. 1450 TO STA. 1600, SHEET 4 OF 9, BY CITY OF PORTLAND, MAINE PARKS AND PUBLIC WORKS DEPT., ENGINEERING DIVISION, JANUARY 1993.

5. PROPERTIES IN THE MODERATE IMPACT INDUSTRIAL (I-M) ZONE AND RESIDENTIAL-3 (R-3) ZONE WITH THE FOLLOWING SPACE AND BULK REQUIREMENTS:

I-M ZONE:
 MINIMUM LOT SIZE: NONE
 MINIMUM STREET FRONTAGE: 60 FT.
 MINIMUM FRONT YARD SETBACK: PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT B FOR EACH FT. OF BLDG. HEIGHT.
 MINIMUM SIDE/REAR YARD SETBACK: PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FOR EACH FT. OF BLDG. HEIGHT.
 MAXIMUM BUILDING HEIGHT: 15-FT. (4 STORIES)

R-3 ZONE:
 MINIMUM LOT SIZE: N/A
 MINIMUM STREET FRONTAGE: N/A
 MINIMUM FRONT YARD SETBACK: 25-FT.
 MINIMUM REAR YARD SETBACK: 25-FT.
 MINIMUM SIDE YARD SETBACK: 8-FT. (1 STORY)
 14-FT. (2 STORY)
 MAXIMUM BUILDING HEIGHT: 35-FT.
 A CONDITIONAL USE SUCH AS A PRIVATE CLUB OR RECREATION ORGANIZATION REQUIRES A CONDITIONAL USE APPROVAL GRANTED BY THE PORTLAND PLANNING BOARD.

6. BUILDING SUMMARY:
 EXISTING BUILDING AREA: 4,200 SF.
 PROPOSED BUILDING AREA: 2,400 SF.
 TOTAL BUILT-UP AREA: 6,600 SF.

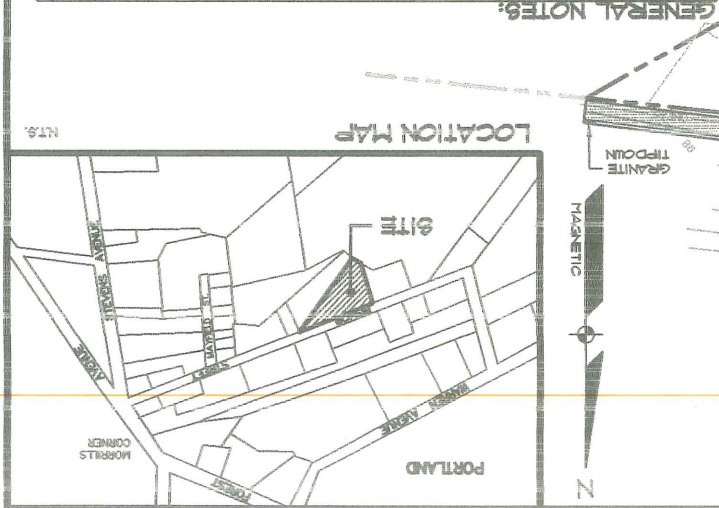
7. PARKING SPACE REQUIREMENTS:
 REQUIRED: MEETING AREA - 1 SPACE/100 SF. = 336/1000 = 34 SPACES
 DINING AREA - 1 SPACE/50 SF. = 162/750 = 11 SPACES
 TOTAL REQUIRED SPACES: 45 SPACES
 PROPOSED: TOTAL SPACES = 49, INCLUDING 4 HANDICAPPED SPACES

8. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT H.D.O.T. STANDARDS AND SPECIFICATIONS.

9. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PARKS AND PUBLIC WORKS INSPECTION DIVISION IN WRITING 3 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (914-9300 EXT. 6633) SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONSEQUENCE OR IN A SENSITIVE AREA. A PRE-CONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.

10. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER OR AN AUTHORIZED AGENT MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.

11. CONSTRUCTION DEBRIS SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE, CHAPTER 12.



GENERAL NOTES: (CONT.)

1. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.

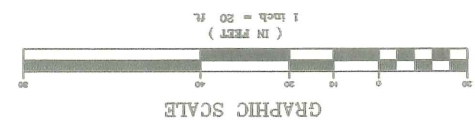
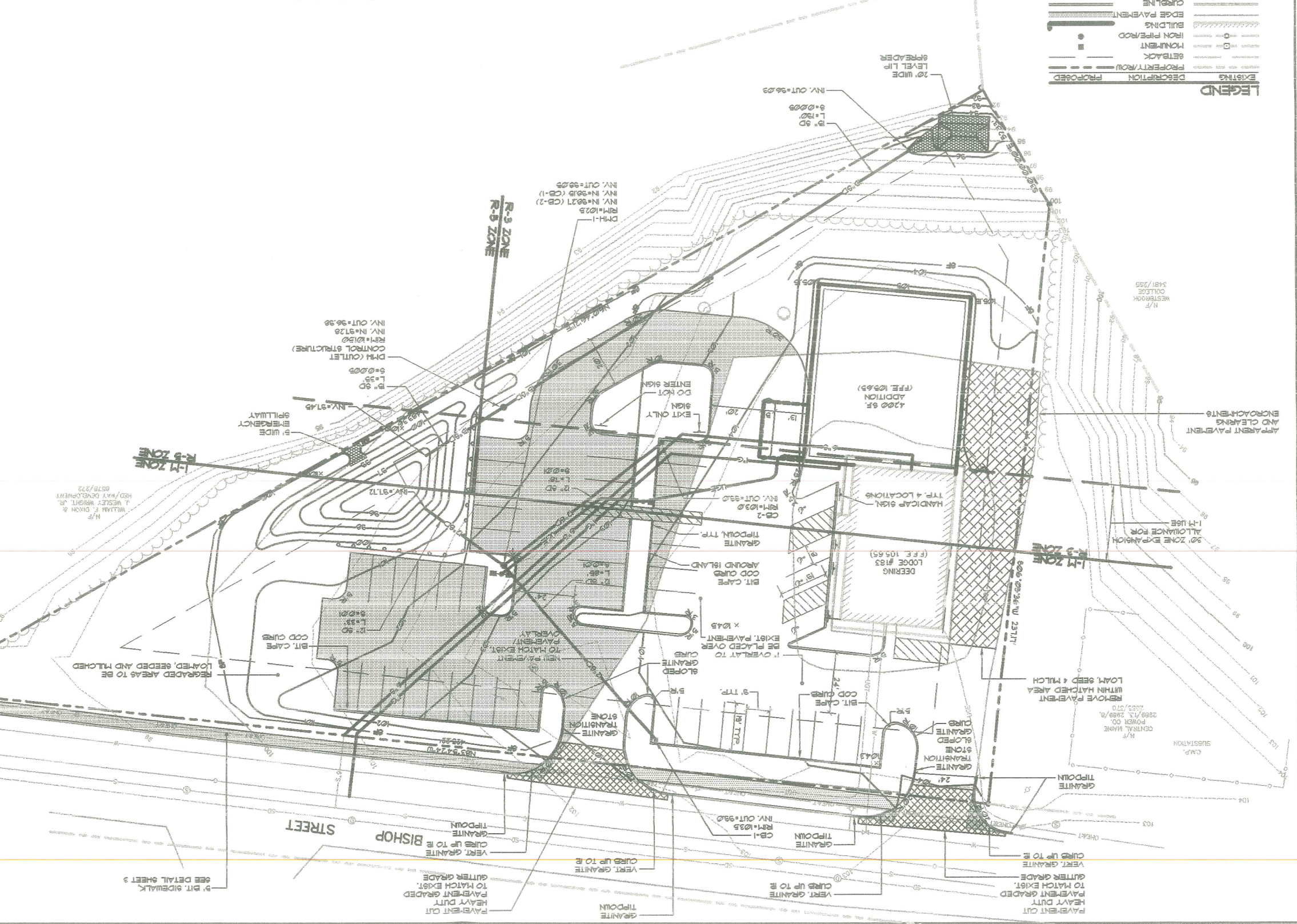
2. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO MAINTAIN THEIR INTEGRITY. IF DISTURBED, THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.

3. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN APPROVED BY THE PLANNING BOARD OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPE RETENTION OR WOODS OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.

4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CURBERLAND COUNTY SOIL AND WATER DISTRICT, MARCH 1991 OR LATEST EDITION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

5. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY DIS-SAFE 72 HOURS PRIOR TO EXCAVATION TO MARK UTILITY LOCATIONS.



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	TRAILLINE	---
---	MONITORING WELL	---
---	CONTOURS	---
---	STORM DRAIN	---
---	SEWER	---
---	GAS	---
---	WATER	---
---	OVERHEAD ELEC. & TEL.	---
---	UNDERGROUND ELEC. & TEL.	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYPHANT	---
---	CATCH BASIN	---
---	MANHOLE	---
---	QUADRAIL	---
---	SPOT GRADE	---

DESIGN BY: WTC
 DRAWN BY: MAL
 CHECKED BY: WTC
 DATE: 3-25-99
 SCALE: 1"=20'
 FIELD BK: 657
 PROJ. NO: 98630
 DRAWING: 98630

Sebago Technics
 Engineering & Planning for the Future
 12 WESTBROOK COMMON
 WESTBROOK, ME 04098-1339
 TEL (207) 896-0277

LANDSCAPE PLAN
 OF:
DEERING LODGE #183 BUILDING EXPANSION
 FOR:
 PORTLAND, MAINE
 102 BISHOP STREET
 PORTLAND, MAINE

THIS PLAN SHALL NOT BE MOVED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, ADDITIONS OR OMISSIONS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

REV.	BY:	DATE:	STATUS:

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.

2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "USA STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.

4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WINDFENCE, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.

5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.

6. ALL GRAZE, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM EXISTING AREAS PRIOR TO PLANTING.

7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR OR UTILITY, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.

9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BARK MULCH.

10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SEED. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.

11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION SIZE QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT AND MUNICIPAL AUTHORITY, IF APPLICABLE, PRIOR TO INSTALLATION ON SITE.

12. WHERE INDICATED ON PLANT LISTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORIZONTAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED HUMUS OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

LANDSCAPE NOTES

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "USA STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WINDFENCE, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRAZE, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM EXISTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR OR UTILITY, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SEED. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION SIZE QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT AND MUNICIPAL AUTHORITY, IF APPLICABLE, PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLANT LISTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORIZONTAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED HUMUS OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

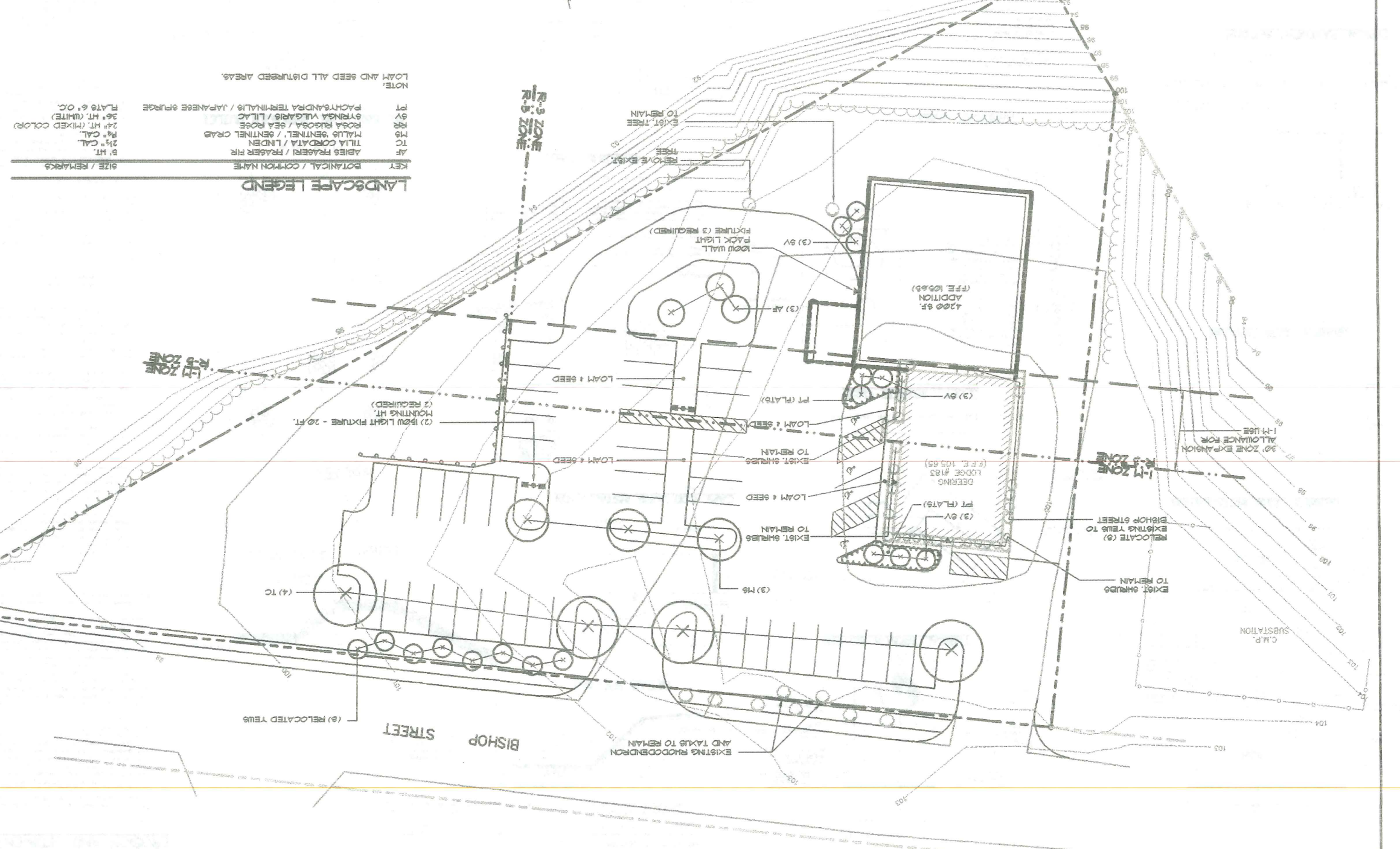
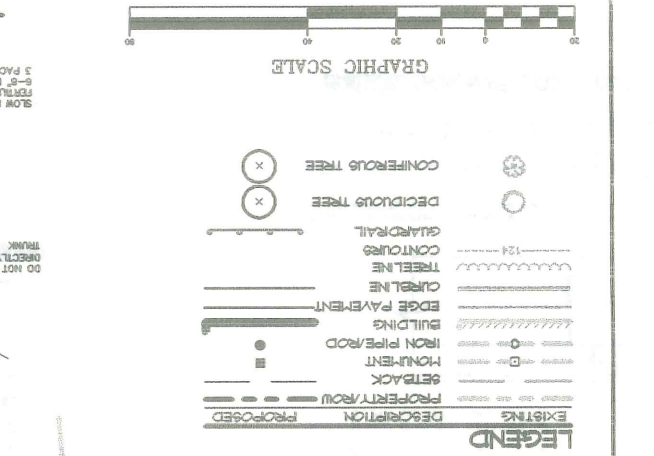
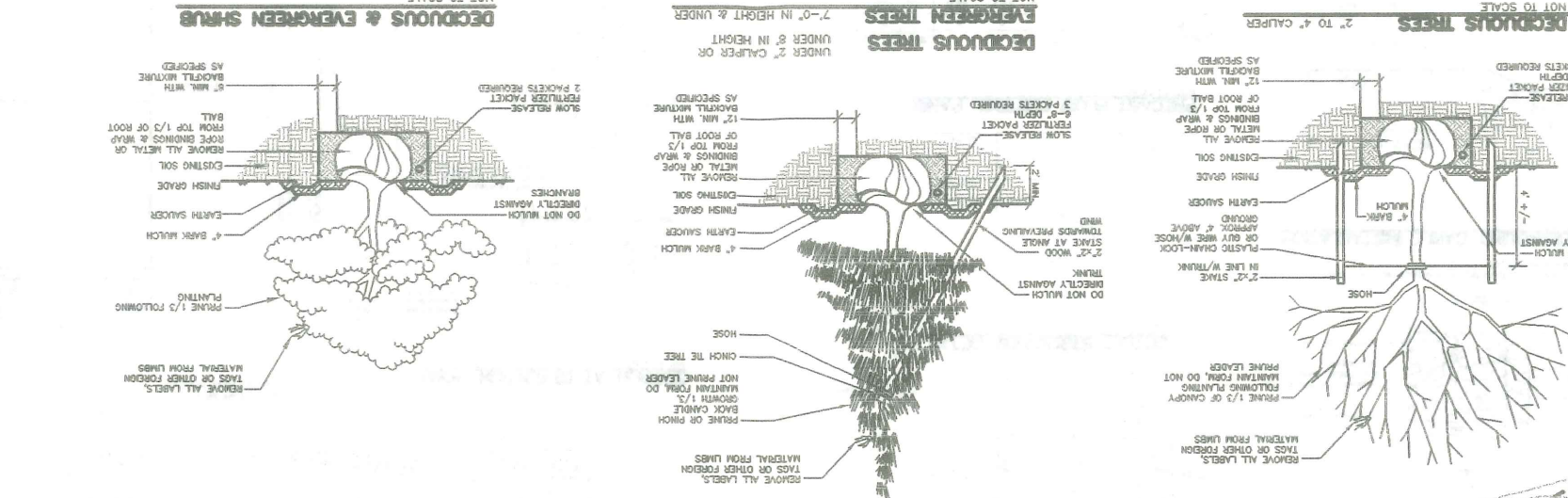
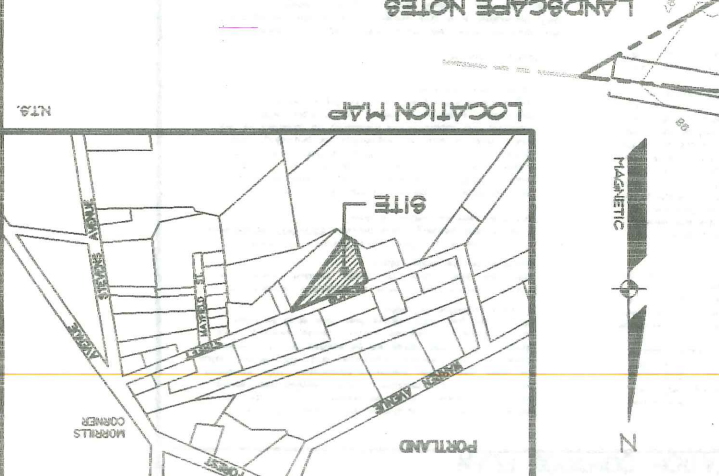
LANDSCAPE LEGEND

KEY	BOTANICAL / COMMON NAME	SIZE / REMARKS
AF	ABIES FRASERI / FRASER FIR	8' HT.
TC	TILIA CORNATA / LINDEN	2 1/2" CAL.
M6	MAHUA BENTENI / BENTENAL CRAB	1 1/2" CAL. (TIKED COLOR)
RF	ROSA rugosa / SEA ROSE	3 1/2" HT. (WHITE)
9V	SYRINGA VILGARIS / LILAC	3 1/2" HT. (WHITE)
P1	PAHYANDRA TERMINALIS / JAPANESE SPURGE	PLATE 6 4" O.C.

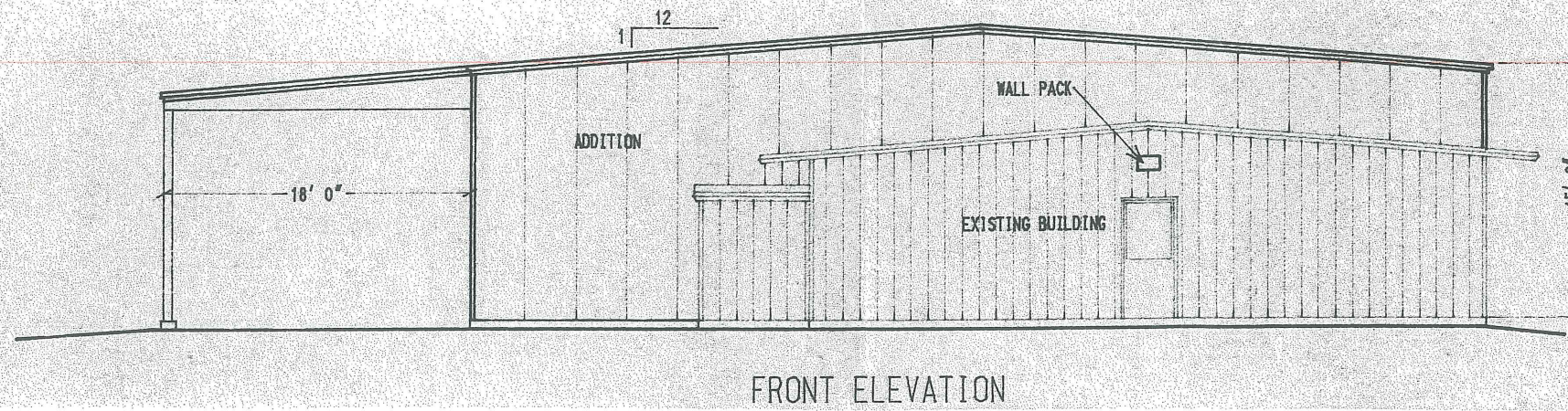
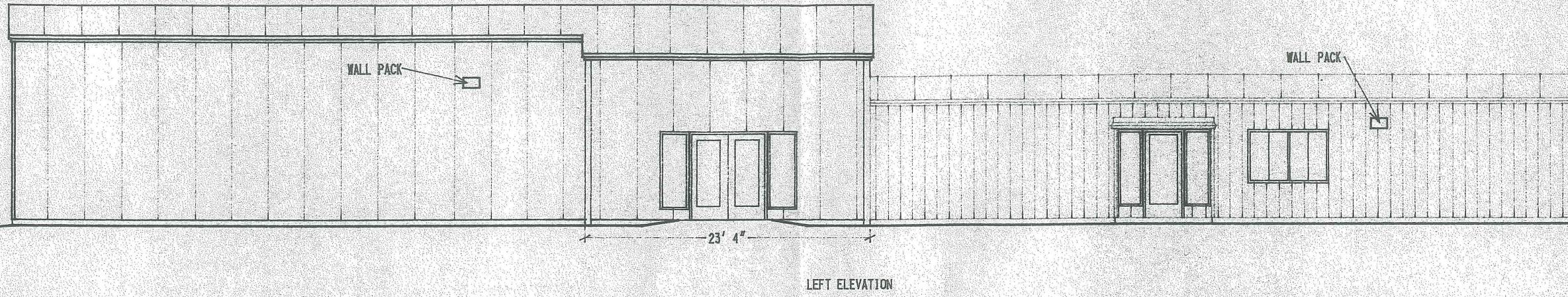
NOTE:
 LOAM AND SEED ALL DISTURBED AREAS.

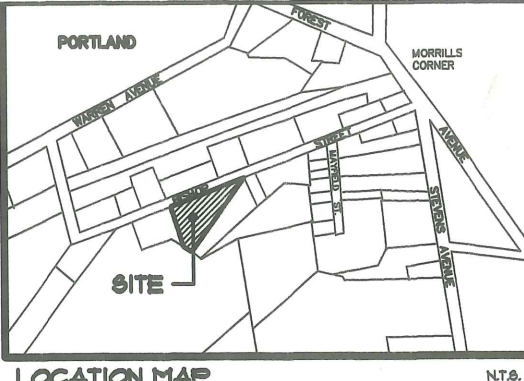
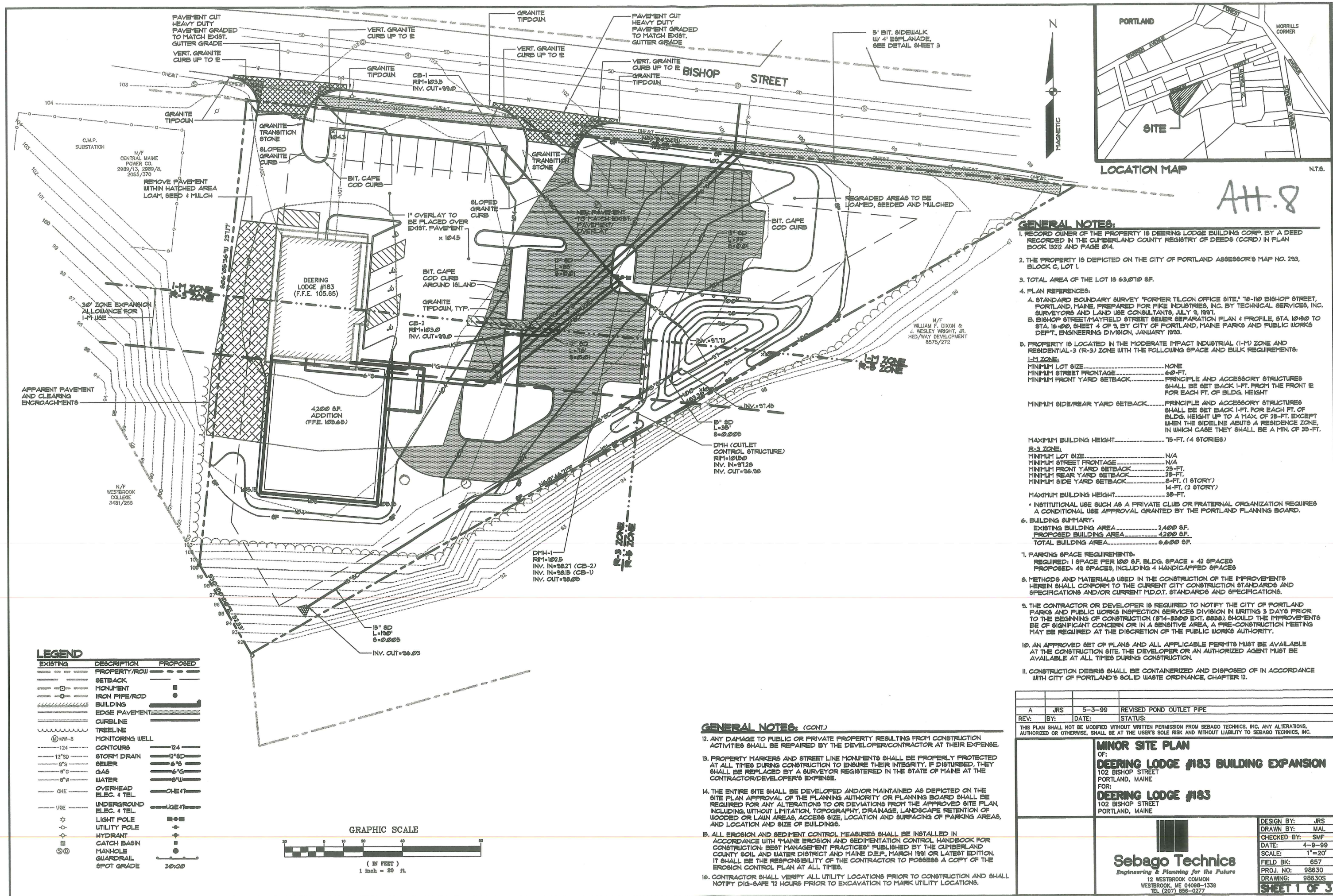
LANDSCAPE LEGEND

KEY	BOTANICAL / COMMON NAME	SIZE / REMARKS
AF	ABIES FRASERI / FRASER FIR	8' HT.
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9V	SYRINGA VILGARIS / LILAC	3 1/2" HT. (WHITE)
P1	PAHYANDRA TERMINALIS / JAPANESE SPURGE	PLATE 6 4" O.C.



11a





AT-8

- GENERAL NOTES:**
- RECORD OWNER OF THE PROPERTY IS DEERING LODGE BUILDING CORP. BY A DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD) IN PLAN BOOK 1921 AND PAGE 014.
 - THE PROPERTY IS DEPICTED ON THE CITY OF PORTLAND ASSESSOR'S MAP NO. 293, BLOCK C, LOT 1.
 - TOTAL AREA OF THE LOT IS 63,970 SF.
 - PLAN REFERENCES:
 - STANDARD BOUNDARY SURVEY "FORMER TILCON OFFICE SITE," 16-110 BISHOP STREET, PORTLAND, MAINE, PREPARED FOR PIKE INDUSTRIES, INC. BY TECHNICAL SERVICES, INC. SURVEYORS AND LAND USE CONSULTANTS, JULY 9, 1997.
 - BISHOP STREET/MAYFIELD STREET SEWER SEPARATION PLAN & PROFILE, STA. 10+00 TO STA. 16+00, SHEET 4 OF 9, BY CITY OF PORTLAND, MAINE PARKS AND PUBLIC WORKS DEPT., ENGINEERING DIVISION, JANUARY 1993.
 - PROPERTY IS LOCATED IN THE MODERATE IMPACT INDUSTRIAL (I-M) ZONE AND RESIDENTIAL-3 (R-3) ZONE WITH THE FOLLOWING SPACE AND BULK REQUIREMENTS:

I-M ZONE:	MINIMUM LOT SIZE	NONE
	MINIMUM STREET FRONTAGE	60-FT.
	MINIMUM FRONT YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FROM THE FRONT IE FOR EACH FT. OF BLDG. HEIGHT
	MINIMUM SIDE/REAR YARD SETBACK	PRINCIPLE AND ACCESSORY STRUCTURES SHALL BE SET BACK 1-FT. FOR EACH FT. OF BLDG. HEIGHT UP TO A MAX. OF 25-FT. EXCEPT WHEN THE SIDELINE ADJUTS A RESIDENCE ZONE, IN WHICH CASE THEY SHALL BE A MIN. OF 35-FT.
	MAXIMUM BUILDING HEIGHT	15-FT. (4 STORIES)
R-3 ZONE:	MINIMUM LOT SIZE	N/A
	MINIMUM STREET FRONTAGE	N/A
	MINIMUM FRONT YARD SETBACK	25-FT.
	MINIMUM REAR YARD SETBACK	25-FT.
	MINIMUM SIDE YARD SETBACK	0-FT. (1 STORY) 14-FT. (2 STORY)
	MAXIMUM BUILDING HEIGHT	35-FT.

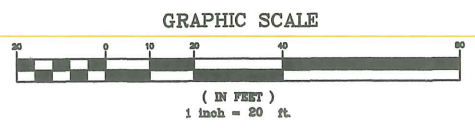
* INSTITUTIONAL USE SUCH AS A PRIVATE CLUB OR FRATERNAL ORGANIZATION REQUIRES A CONDITIONAL USE APPROVAL GRANTED BY THE PORTLAND PLANNING BOARD.
 - BUILDING SUMMARY:

EXISTING BUILDING AREA	2,400 SF.
PROPOSED BUILDING AREA	4,200 SF.
TOTAL BUILDING AREA	6,600 SF.
 - PARKING SPACE REQUIREMENTS:

REQUIRED:	1 SPACE PER 100 SF. BLDG. SPACE = 42 SPACES
PROPOSED:	49 SPACES, INCLUDING 4 HANDICAPPED SPACES
 - METHODS AND MATERIALS USED IN THE CONSTRUCTION OF THE IMPROVEMENTS HEREIN SHALL CONFORM TO THE CURRENT CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS AND/OR CURRENT M.D.O.T. STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PARKS AND PUBLIC WORKS INSPECTION SERVICES DIVISION IN WRITING 5 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION (874-8500 EXT. 8899), SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC WORKS AUTHORITY.
 - AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER OR AN AUTHORIZED AGENT MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
 - CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH CITY OF PORTLAND'S SOLID WASTE ORDINANCE, CHAPTER 12.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
■	MONUMENT	■
○	IRON PIPE/ROD	○
▭	BUILDING	▭
▭	EDGE PAVEMENT	▭
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
Ⓜ MW-8	MONITORING WELL	Ⓜ MW-8
---	CONTOURS	---
---	12" SD	---
---	8" S	---
---	6" G	---
---	8" W	---
---	OVERHEAD ELEC. & TEL.	---
---	UNDERGROUND ELEC. & TEL.	---
☆	LIGHT POLE	☆
○	UTILITY POLE	○
○	HYDRANT	○
⊕	CATCH BASIN	⊕
⊙	MANHOLE	⊙
---	GUARDRAIL	---
---	SPOT GRADE	---



- GENERAL NOTES (CONT.)**
- ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.
  - PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO ENSURE THEIR INTEGRITY. IF DISTURBED, THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.
  - THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPE RESTORATION OF WOODED OR LAWN AREAS, ACCESS SIZE, LOCATION AND SURFACING OF PARKING AREAS, AND LOCATION AND SIZE OF BUILDINGS.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEP., MARCH 1991 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
  - CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY DIG-846 12 HOURS PRIOR TO EXCAVATION TO MARK UTILITY LOCATIONS.

A	JRS	5-3-99	REVISED POND OUTLET PIPE
REV. BY:	DATE:	STATUS:	

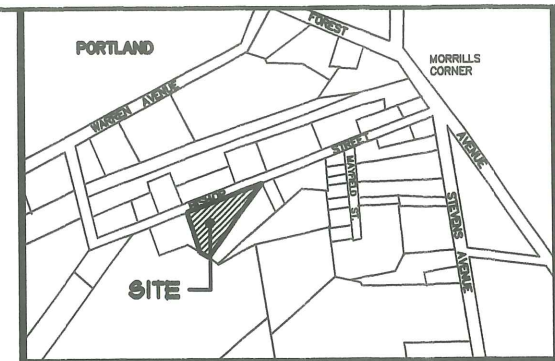
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

**MINOR SITE PLAN**  
OF:  
**DEERING LODGE #183 BUILDING EXPANSION**  
102 BISHOP STREET  
PORTLAND, MAINE  
FOR:  
**DEERING LODGE #183**  
102 BISHOP STREET  
PORTLAND, MAINE

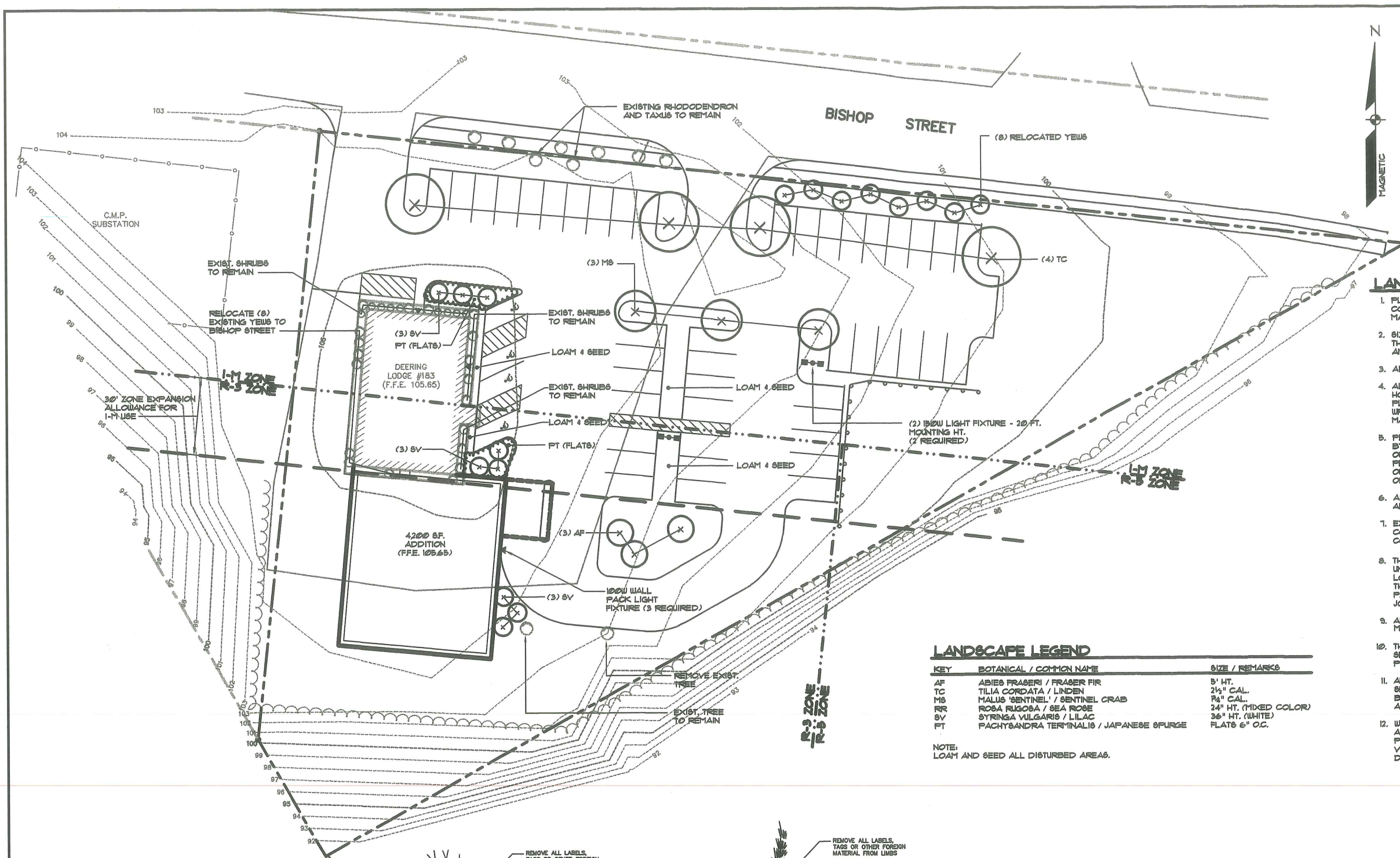
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FIELD BK:	657
PROJ. NO:	98630
DRAWING:	98630S

**Sebago Technics**  
Engineering & Planning for the Future  
12 WESTBROOK COMMON  
WESTBROOK, ME 04090-1339  
TEL (207) 856-0277

**SHEET 1 OF 3**



NT.S.  
**Alt. 8a**



**LANDSCAPE NOTES**

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SEEDED. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

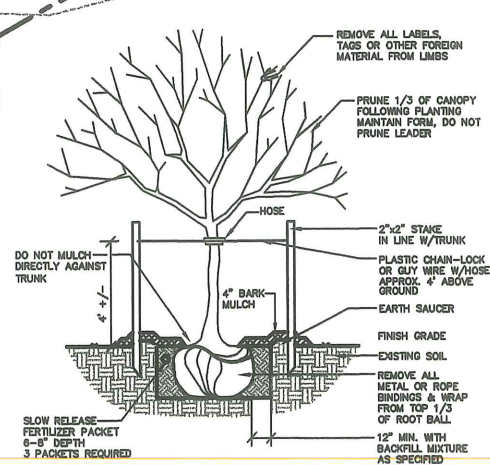
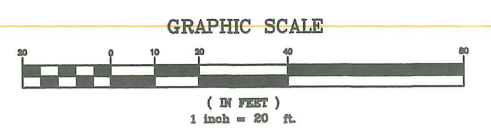
**LANDSCAPE LEGEND**

KEY	BOTANICAL / COMMON NAME	SIZE / REMARKS
AF	ABIES FRASERI / FRASER FIR	5' HT.
TC	TILIA CORDATA / LINDEN	2 1/2" CAL.
MS	MALUS 'SENTINEL' / SENTINEL CRAB	7/8" CAL.
RR	ROSA RUGOSA / SEA ROSE	24" HT. (MIXED COLOR)
BV	SYRINGA VULGARIS / LILAC	36" HT. (WHITE)
PT	PACHYSANDRA TERMINALIS / JAPANESE SPURGE	PLANTS 6" O.C.

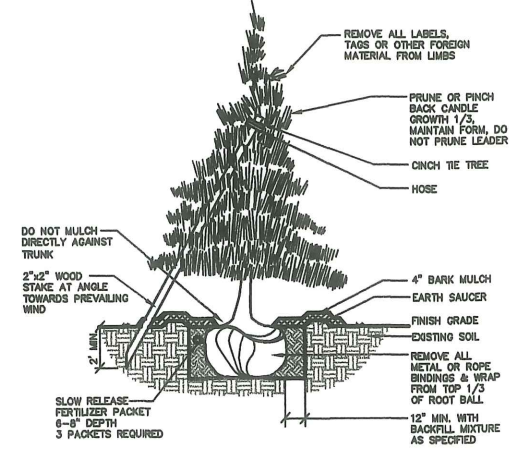
NOTE: LOAM AND SEED ALL DISTURBED AREAS.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	BUILDING	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	TREELINE	---
---	CONTOUR	---
---	GUARDRAIL	---
○	DECIDUOUS TREE	○
⊗	CONIFEROUS TREE	⊗

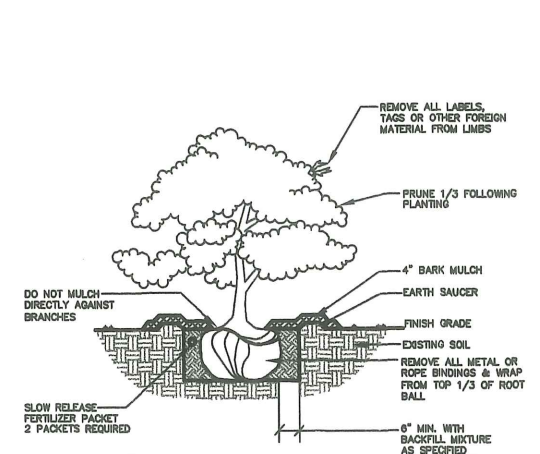


**DECIDUOUS TREES**  
 2" TO 4" CALIPER  
 NOT TO SCALE



**DECIDUOUS TREES**  
 UNDER 2" CALIPER OR UNDER 8' IN HEIGHT

**EVERGREEN TREES**  
 7'-0" IN HEIGHT & UNDER  
 NOT TO SCALE

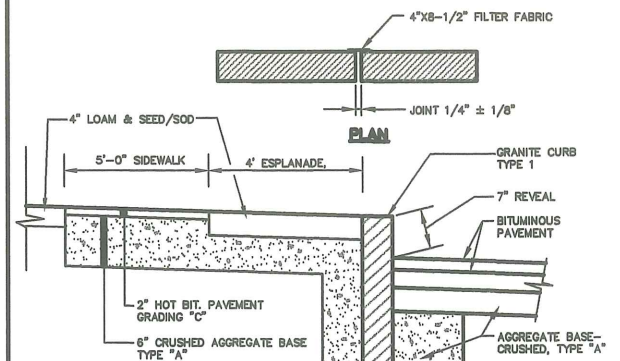


**DECIDUOUS & EVERGREEN SHRUB**  
 NOT TO SCALE

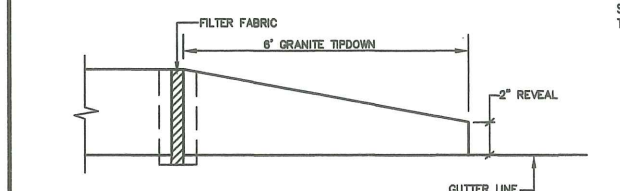
REV:	BY:	DATE:	STATUS:
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.			
<b>LANDSCAPE PLAN</b>			
OF: <b>DEERING LODGE #183 BUILDING EXPANSION</b> 102 BISHOP STREET PORTLAND, MAINE			
FOR: <b>DEERING LODGE #183</b> 102 BISHOP STREET PORTLAND, MAINE			
DESIGN BY:	WTC		
DRAWN BY:	MAL		
CHECKED BY:	WTC		
DATE:	3-25-99		
SCALE:	1"=20'		
FIELD BK:	657		
PROJ. NO:	98630		
DRAWING:	98630L		
<b>Sebago Technics</b> Engineering & Planning for the Future 12 WESTBROOK COMMON WESTBROOK, ME 04098-1339 TEL (207) 856-0277			
<b>SHEET 2 OF 3</b>			

**EROSION AND SEDIMENTATION CONTROL PLAN**

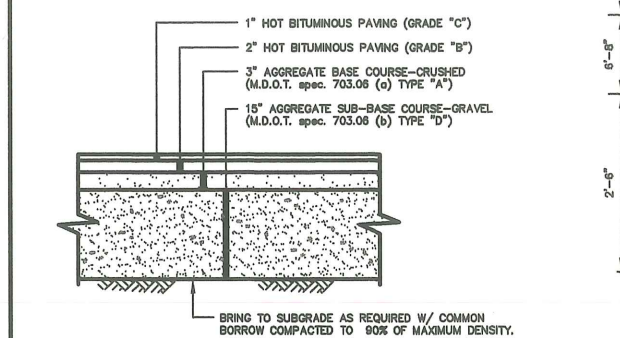
11-85



**GRANITE CURB INSTALLATION**  
NOT TO SCALE



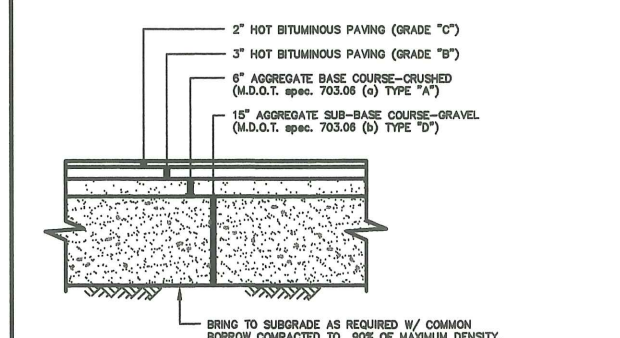
**GRANITE CURB TIPDOWN**  
NOT TO SCALE



**HANDICAP SIGNS**  
NOT TO SCALE

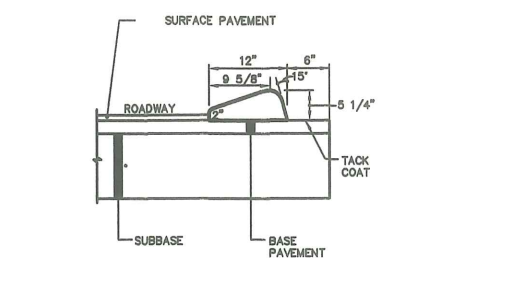
- NOTE:**
1. COMPACT GRAVEL SUB-BASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUB-BASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE

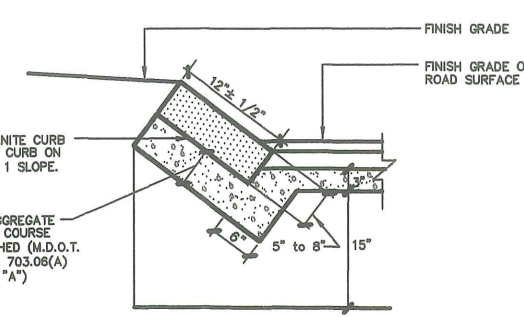


**HEAVY DUTY PAVEMENT SECTION**  
NOT TO SCALE

- NOTE:**
1. COMPACT GRAVEL SUB-BASE, BASE COURSE TO 92% OF MAXIMUM DENSITY USING HEAVY ROLLER COMPACTION.
  2. CONTRACTOR SHALL SET GRADE STAKES MARKING SUB-BASE AND FINISH GRADE ELEVATIONS FOR CONSTRUCTION REFERENCE.

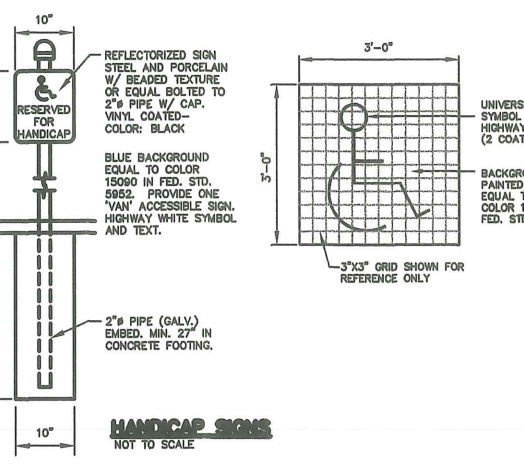


**CAPE COD CURB INSTALLATION**  
NOT TO SCALE

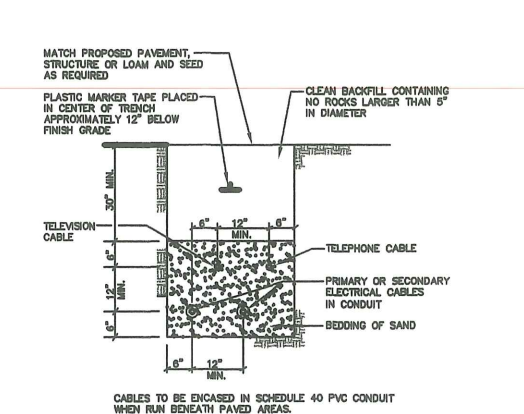


**SLOPED GRANITE CURB**  
NOT TO SCALE

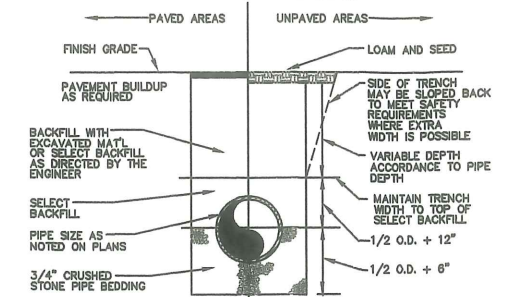
NOTE: REUSE EXISTING GRANITE CURB WHEN POSSIBLE



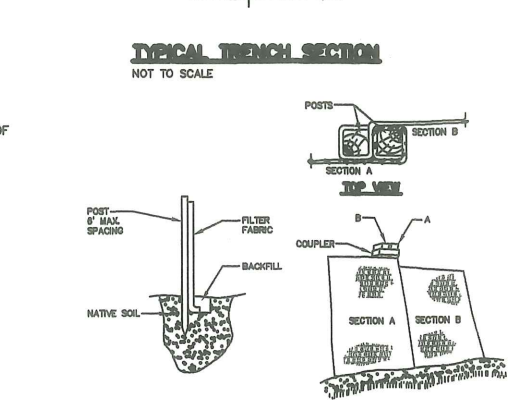
**UNDERGROUND CABLE INSTALLATION**  
NOT TO SCALE



**RIPRAP CULVERT INLET/OUTLET**  
NOT TO SCALE

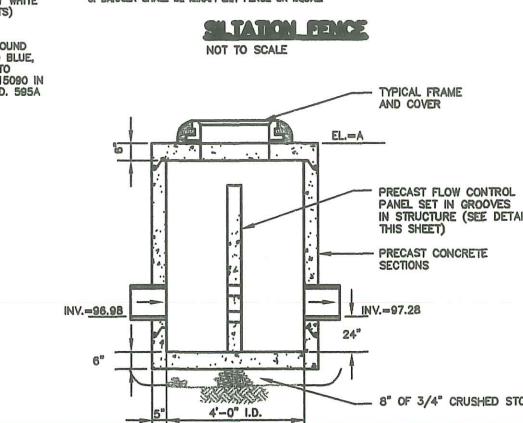


**TYPICAL TRENCH SECTION**  
NOT TO SCALE

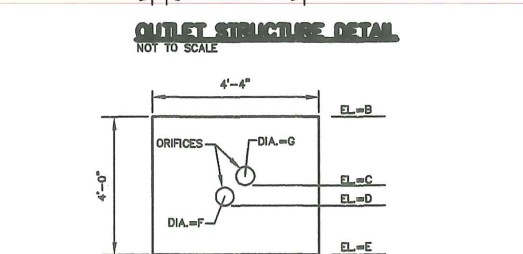


**SILTATION FENCE**  
NOT TO SCALE

- INSTALLATION:**
1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  5. JOIN SECTION AS SHOWN ABOVE.
  6. BARRIER SHALL BE MIRAFIX SILT FENCE OR EQUAL.



**PRECAST FLOW CONTROL PANEL**  
NOT TO SCALE



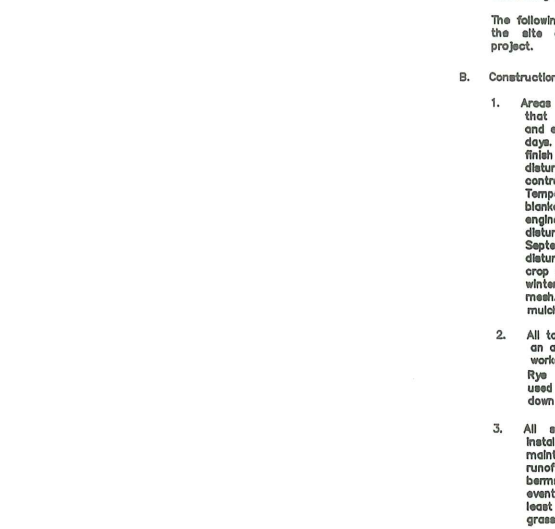
**OUTLET STRUCTURE DETAIL**  
NOT TO SCALE

DETENTION BASIN	ELEVATION (ft.)						ORIFICE Ø (IN)
	A	B	C	D	E	F	
1	101.5	99.3	98.0	97.2	94.0	4.0	6.0

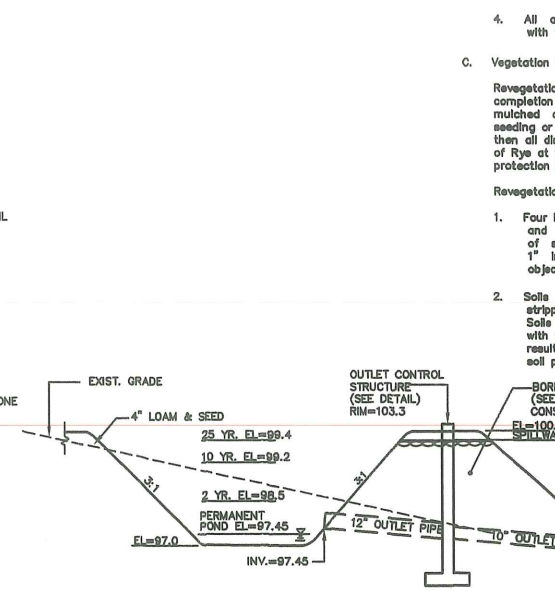
**OUTLET CONTROL STRUCTURE SCHEDULE**



**SECTION AT DETENTION POND**  
NOT TO SCALE



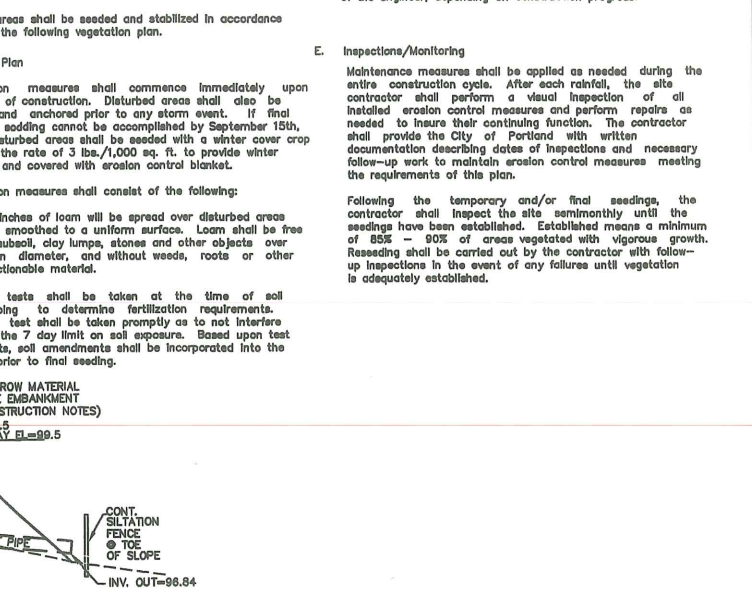
**PRESSURE TREATED WOOD GUARD RAIL**  
NOT TO SCALE



**PRECAST FLOW CONTROL PANEL**  
NOT TO SCALE

- A. Pre-Construction Phase**
- Prior to the beginning of any construction, a combination erosion control berm and filter fabric fencing will be staked across the slope(s), on the contour, at or just below the limits of clearing or grubbing and/or just above any adjacent property line or watercourse to protect against construction related erosion. The placement of silt fences and erosion control berms shall be completed in accordance with guidelines established in Best Management Practices and in accordance with the site plan. This network is to be maintained by the contractor until all exposed slopes have at least 85%-90% vigorous perennial vegetative cover to prevent erosion.
- Prior to any construction at the site, representatives of the general contractor, site contractor and the site design engineer shall arrange for, and meet with the Director of Public Works and Town Engineer to discuss the scheduling of the site construction. On or before that meeting, the contractor will prepare a detailed schedule and marked up site plan indicating areas and components of the work and lay dates showing date of disturbance and completion of the work. Three copies of the schedule and marked up site plan shall be provided to the Town. Special attention shall be given to the 14 day limit of disturbance in the schedule addressing temporary and permanent vegetation measures.
- The following erosion control measures shall be followed by the site contractor(s) throughout construction of this project.
- B. Construction and Post-Construction Phase**
1. Areas undergoing actual construction shall only expose that amount of mineral soil necessary for progressive and efficient site construction and shall not exceed 14 days. Areas that will not be completed (covered and/or finish graded and protected) within fourteen (14) days of disturbance shall be protected with temporary erosion control measures. Temporary erosion control shall include erosion control blanket, netting or mulch as directed by the inspecting engineer and as shown on the design plans. If disturbed areas do not receive final seeding by September 15th of the year of construction, then all disturbed areas shall be seeded with a winter cover crop of Rye at the rate of 3 lbs./1,000 S.F. to provide winter protection and covered with erosion control mesh. All slopes greater than 8% shall be netted over mulch & seed if final seeding is not completed by Sept. 15.
  2. All topsoil shall be collected and stockpiled offsite at an approved location to be determined by the public works director. Stockpiled loam shall be seeded with Rye at 3 lbs./1,000 S.F., and mulched on-site and re-used as required. Siltation fencing shall be placed down gradient from stockpiled loam.
  3. All silt fences and erosion control berms shall be installed according to this plan. These shall be maintained during development to remove sediment from runoff water. All the silt fences and erosion control berms shall be inspected after any rainfall or runoff event, maintained and cleaned until all areas have at least 85%-90% vigorous perennial vegetative cover of grasses.
  4. All areas shall be seeded and stabilized in accordance with the following vegetation plan.
- C. Vegetation Plan**
- Revegetation measures shall commence immediately upon completion of construction. Disturbed areas shall also be mulched and anchored prior to any storm event. If final seeding or sodding cannot be accomplished by September 15th, then all disturbed areas shall be seeded with a winter cover crop of Rye at the rate of 3 lbs./1,000 sq. ft. to provide winter protection and covered with erosion control blanket.
- Revegetation measures shall consist of the following:
1. Four inches of loam will be spread over disturbed areas and smoothed to a uniform surface. Loam shall be free of subsoil, clay lumps, stones and other objects over 1" in diameter, and without weeds, roots or other objectionable material.
  2. Soils tests shall be taken at the time of soil stripping to determine fertilization requirements. Soils test shall be taken promptly as to not interfere with the 7 day limit on soil exposure. Based upon test results, soil amendments shall be incorporated into the soil prior to final seeding.
- D. Construction Schedule**
- Site improvements will most likely begin in spring of 1997, depending upon final project approval and the selection of a site contractor. Based upon a spring construction start, the following schedule has been prepared.
- | Schedule                                                                       | Completion Dates              |
|--------------------------------------------------------------------------------|-------------------------------|
| 1. Estimated construction time:                                                | May 10, 1999 - Oct. 1999      |
| *2. Erosion control measures placed                                            | May 10, 1999 - Oct. 15, 1999  |
| 3. Site clearing, grubbing, excavation and filling.                            | May 13, 1999 - May 5, 1999    |
| 4. Rough grading, utility improvements, building and parking lot construction. | May 15, 1999 - June 1, 1999   |
| 5. Start final seedings on prepared areas.                                     | June 15, 1999                 |
| *6. Biweekly monitoring of temporary and permanent vegetative growth.          | July 1, 1999 - Oct. 15, 1999  |
| *7. Re-seeding of areas, if needed.                                            | Aug. 15, 1999 - June 30, 2000 |
| *8. Removal of erosion control devices.                                        | July 30, 1999                 |
| *9. Mulch spread for winter erosion control, if needed.                        | Sep. 15 to April 1            |
- * Dates are subject to change at the discretion of the engineer, depending on construction progress.
- E. Inspections/Monitoring**
- Maintenance measures shall be applied as needed during the entire construction cycle. After each rainfall, the site contractor shall perform a visual inspection of all installed erosion control measures and perform repairs as needed to insure their continuing function. The contractor shall provide the City of Portland with written documentation describing dates of inspections and necessary follow-up work to maintain erosion control measures meeting the requirements of this plan.
- Following the temporary and/or final seedings, the contractor shall inspect the site semi-monthly until the seedings have been established. Established means a minimum of 85% - 90% of areas vegetated with vigorous growth. Re-seeding shall be carried out by the contractor with follow-up inspections in the event of any failures until vegetation is adequately established.

- REVEGETATION MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUING FUNCTION. THE CONTRACTOR SHALL PROVIDE THE CITY OF PORTLAND WITH WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND NECESSARY FOLLOW-UP WORK TO MAINTAIN EROSION CONTROL MEASURES MEETING THE REQUIREMENTS OF THIS PLAN.**
- Following the temporary and/or final seedings, the contractor shall inspect the site semi-monthly until the seedings have been established. Established means a minimum of 85% - 90% of areas vegetated with vigorous growth. Re-seeding shall be carried out by the contractor with follow-up inspections in the event of any failures until vegetation is adequately established.



REV:	BY:	DATE:	STATUS:

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**DETAILS OF:**  
**DEERING LODGE #183 BUILDING EXPANSION**  
102 BISHOP STREET  
PORTLAND, MAINE  
FOR:  
**DEERING LODGE #183**  
102 BISHOP STREET  
PORTLAND, MAINE

DESIGN BY: JRS  
DRAWN BY: MAL  
CHECKED BY: SMF  
DATE: 3-25-99  
SCALE: AS SHOWN  
FIELD BK: 657  
PROJ. NO: 98630  
DRAWING: 98630D  
**SHEET 3 OF 3**

**Sebago Technics**  
Engineering & Planning for the Future  
12 WESTBROOK COMMON  
WESTBROOK, ME 04098-1339  
TEL (207) 856-0277