

**TREE PROTECTION NOTES:**

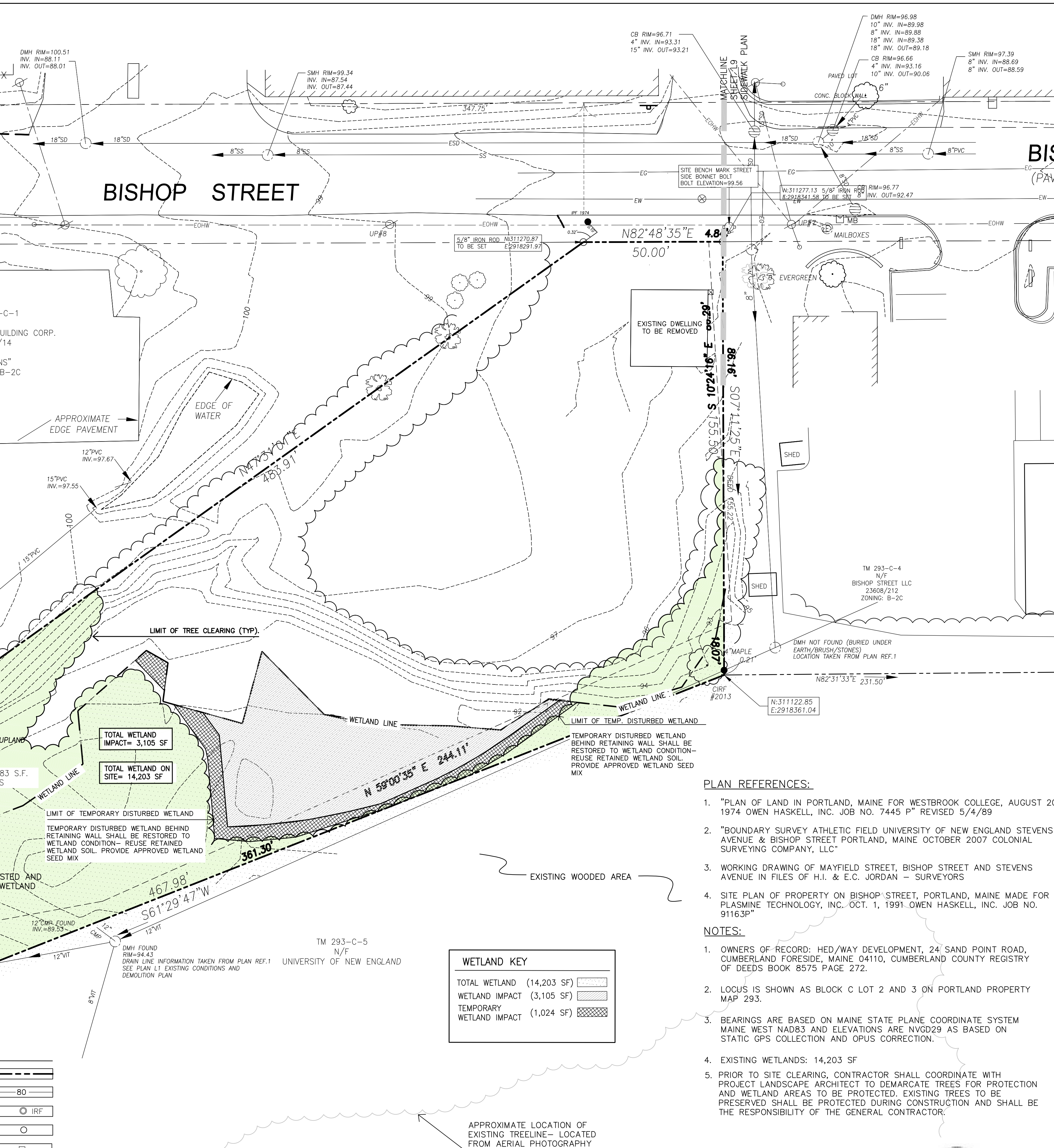
1. PRIOR TO CONSTRUCTION ACTIVITY, THE GENERAL CONTRACTOR AND SITE CONTRACTOR SHALL MEET ON THE SITE WITH MITCHELL & ASSOCIATES AND THE CITY ARBORIST TO IDENTIFY AND ESTABLISH THE PROTECTION REQUIRED FOR EXISTING VEGETATION TO REMAIN. THE LIMIT OF PROTECTION LINE FOR TREES TO REMAIN SHALL BE A MINIMUM OF TEN (10) FEET FROM THE TRUNK OF TREES BEING PROTECTED (SEE STREET TREE PROTECTION REQUIREMENTS BELOW). ALL REASONABLE PRECAUTIONS SHALL BE TAKEN WHERE POSSIBLE TO PROTECT THE ROOT ZONE WITHIN THE DRIP LINE OF TREES BEING PRESERVED. ONLY AUTHORIZED ACTIVITIES SHALL BE ALLOWED WITHIN THE AREA OF PROTECTED VEGETATION.
2. THE CONTRACTOR SHALL INSTALL A FOUR FOOT HIGH SNOW FENCE ALONG THE ESTABLISHED LIMIT OF PROTECTION LINE WHERE REQUIRED. SNOW FENCE SHALL BE SECURED TO METAL FENCE POSTS DRIVEN SECURELY INTO THE GROUND. METAL POSTS SHALL BE A MINIMUM OF EIGHT FEET ON CENTER ALONG THE ENTIRE LENGTH OF FENCE.
3. GRUBBING AND EXCAVATION SHALL OCCUR IN SUCH A MANNER THAT NO DISTURBANCE OCCURS IN THE PROTECTED AREA. STORAGE OF BUILDING MATERIAL OR CONSTRUCTION EQUIPMENT IS PROHIBITED FROM WITHIN THE DRIP LINE OF TREES TO REMAIN. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO WITHIN TEN (10) FEET OF EXISTING TREE TRUNKS UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR AGREED TO IN THE FIELD. PROTECT TREES FROM DAMAGE BY HEAVY EQUIPMENT.
4. FILLING OF AREAS ADJACENT TO PROTECTED VEGETATION SHALL BE CLEARED OF ALL DEBRIS AND INVASIVE PLANT MATERIAL BEFORE PLACEMENT OF RETAINED WETLAND FILL MATERIAL. NO MORE THAN SIX INCHES OF WETLAND FILL SHALL BE PLACED AROUND EXISTING TREE TRUNKS AND FILL WITHIN THE DRIP LINE OF PROTECTED TREES SHALL NOT EXCEED 12 INCHES IN DEPTH.

**SIDEWALK IMPROVEMENTS**

1. LIMIT OF EARTH WORK AROUND EXISTING STREET TREES AS SHOWN ON DRAWINGS SHALL BE REVIEWED WITH MITCHELL & ASSOCIATES AND THE CITY ARBORIST PRIOR TO CONSTRUCTION OF SIDEWALK.
2. PRIOR TO CONSTRUCTION ACTIVITY WITHIN THE RIGHT OF WAY, THE GENERAL CONTRACTOR AND SITE CONTRACTOR SHALL MEET ON THE SITE WITH MITCHELL & ASSOCIATES AND THE CITY ARBORIST TO IDENTIFY AND ESTABLISH THE PROTECTION REQUIRED FOR EXISTING TREES AND OTHER VEGETATION TO REMAIN. THE LIMIT OF PROTECTION LINE FOR TREES TO REMAIN SHALL BE A MINIMUM OF FIVE (5) FEET FROM THE TRUNK OF TREES BEING PROTECTED UNLESS OTHERWISE APPROVED. ALL REASONABLE PRECAUTIONS SHALL BE TAKEN WHERE POSSIBLE TO PROTECT THE ROOT ZONE WITHIN THE DRIP LINE OF TREES BEING PRESERVED. ONLY AUTHORIZED ACTIVITIES SHALL BE ALLOWED WITHIN THE AREA OF PROTECTED VEGETATION.
4. WHERE EXCAVATION IS REQUIRED WITHIN THE DRIP LINE OF TREES TO REMAIN, EXCAVATION OF ROOT ZONE AREA SHALL BE DONE BY HAND OR WITH SMALLER EQUIPMENT TO LIMIT DISTURBANCE. DAMAGED ROOTS SHALL BE CLEAN-CUT BY HAND BEFORE PLACEMENT OF FILL MATERIAL.
5. WHERE PERMITTED, FILL WITHIN THE DRIP LINE EXCEEDS SIX INCHES, IT SHOULD BE PERFORMED IN A MANNER, USING LOOSE GRANULAR MATERIAL WITH A 6" (MAXIMUM) TOPSOIL COVER. FILL AREAS SHALL BE A MAXIMUM OF 3:1 SLOPES UNLESS IT IS DETERMINED IN THE FIELD THAT SLOPES GREATER THAN 3:1 WOULD SIGNIFICANTLY PROTECT EXISTING TREES. FINISH GRADES SHALL DIRECT RUNOFF AWAY FROM TRUNKS OF EXISTING TREES.
6. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A CERTIFIED ARBORIST TO SELECTIVELY PRUNE EXISTING TREES WHERE ROOT ZONE DISTURBANCE IS UNAVOIDABLE TO ADDRESS COMPENSATION OF ROOT LOSS.

**DEMOLITION NOTES:**

1. TREE REMOVAL FOR DEVELOPMENT AREA WILL BE COMPLETED PRIOR TO CONSTRUCTION BY OTHERS. GRUBBING OF CLEARED AREAS SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR SELECTED FOR SITE IMPROVEMENTS.
2. PRIOR TO SITE CLEARING, THE TREE REMOVAL CONTRACTOR SHALL COORDINATE WITH PROJECT LANDSCAPE ARCHITECT TO DEMARCATRE TREES FOR PROTECTION AND WETLAND AREAS TO BE PROTECTED. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING TREE REMOVAL AND DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE TREE REMOVAL CONTRACTOR AND GENERAL CONTRACTOR. - SEE NOTE 10 SHEET L4.
3. REMOVE EXISTING FOUNDATION AND FLOOR SLAB AND BACKFILL WITH COMPACTED GRANULAR BORROW. REFER TO GEOTECHNICAL REPORT.
4. EXISTING UNDERGROUND UTILITY SERVICES: WATER, NATURAL GAS, AND SANITARY SEWER SHALL BE DISCONTINUED AND CAPPED ACCORDING TO UTILITY PROVIDER AND THE CITY OF PORTLAND.
5. GEOTECHNICAL REPORT AND SCOPE OF SITE WORK - REFER TO SECTION 00 30 00 INFORMATION AVAILABLE TO BIDDERS ITEM 1.3.A FOR A REPORT OF SUBSURFACE INVESTIGATIONS AND RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER AND DRAWING G1 FOR DEFINED OVER-EXCAVATION LIMITS TO BE INCLUDED IN THE BASE BID. THE GENERAL CONTRACTOR AND BIDDING SUB-CONTRACTORS SHALL PROVIDE SYSTEMS, MATERIALS AND SCOPE AS RECOMMENDED IN SAID REPORT BY THE GEOTECHNICAL ENGINEER. UNIQUE TO THIS SITE IS THAT A SUBSTANTIAL AMOUNT OF SOILS HAVE BEEN IDENTIFIED THAT REQUIRE REMOVAL, RELOCATION ON-SITE AND/OR REPLACEMENT WITH COMPACTED STRUCTURAL FILL. THE GEOTECHNICAL REPORT DEFINES THE LIMITS OF WORK FOR MATERIALS BELOW GRADE THAT ARE INCLUDED IN THE BASE SCOPE OF WORK. PROVISIONS HAVE BEEN MADE IN THE FORM OF UNIT PRICES AND ALLOWANCES PUBLISHED IN 01 20 00 PRICE AND PAYMENT PROCEDURES 1.3.F ALLOWANCES SCHEDULE AND 1.8.G.9 UNIT PRICE SCHEDULE AND MEASUREMENTS FOR PRICE ADJUSTMENTS RELATIVE TO DEVIATIONS FROM THE BASE BID EXCAVATIONS AS CONFIRMED BY AGREEMENT BETWEEN THE CONTRACTOR'S AND OWNER'S SURVEY OF ACTUAL EXCAVATION LIMITS. IF, IN THE CONTRACTOR'S OPINION CONFLICTS EXIST IN THE CONSTRUCTION DOCUMENTS, REQUEST CLARIFICATION PRIOR TO SUBMITTING BID. REFER TO 00 31 00 1.3.A GEOTECHNICAL REPORT.



**WETLAND KEY**

TOTAL WETLAND (14,203 SF)	[Pattern]
WETLAND IMPACT (3,105 SF)	[Pattern]
TEMPORARY WETLAND IMPACT (1,024 SF)	[Pattern]

**LEGEND**

PROPERTY LINE	[Symbol]
CONTOUR	[Symbol]
IRON ROD FOUND	[Symbol]
MANHOLE	[Symbol]
CATCHBASIN	[Symbol]
WATER VALVE	[Symbol]
HYDRANT	[Symbol]
UTILITY POLE	[Symbol]
LIMIT OF VEGETATION	[Symbol]
CURRENT ZONE LINE	[Symbol]
WETLAND	[Symbol]

**RESOURCE NOTES:**

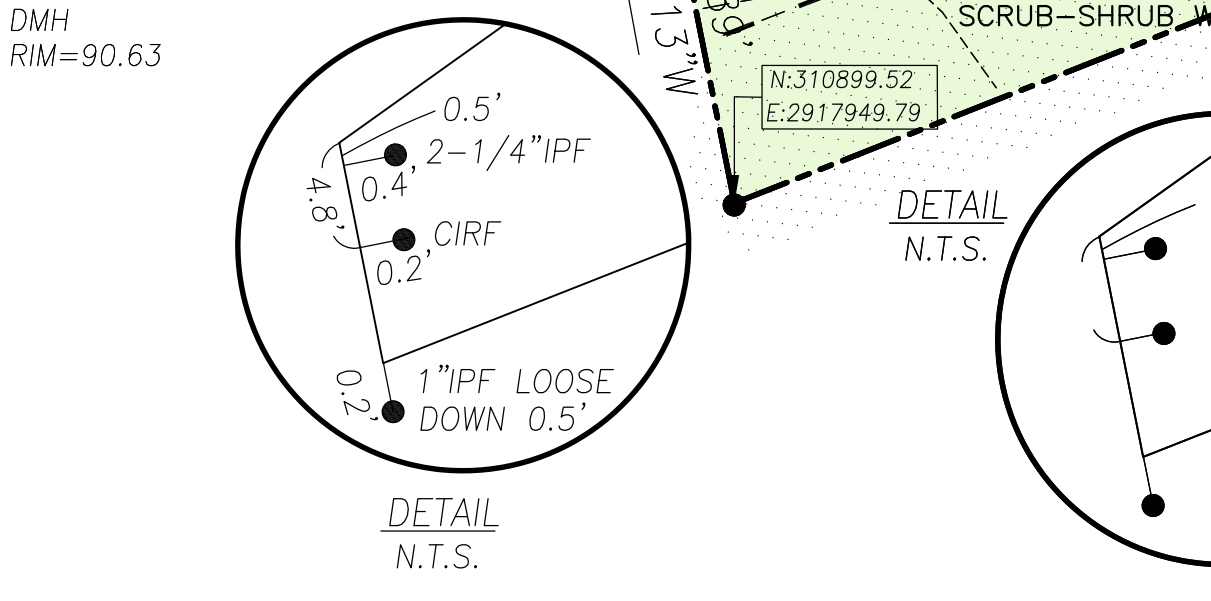
1. WETLANDS AND STREAMS SHOWN HEREON WERE FIELD IDENTIFIED BY CES, INC. IN JULY 2014. WETLANDS WERE FIELD DELINEATED IN GENERAL ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE 2012 NORTHCENTRAL AND NORTHEAST REGIONAL SUPPLEMENT (VERSION 2.0). PROPOSED WETLAND IMPACTS SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. STREAMS WERE FIELD IDENTIFIED IN ACCORDANCE WITH MAINE NATURAL RESOURCES PROTECTION ACT (NRPA) DEFINITIONS.

**PLAN REFERENCES:**

1. "PLAN OF LAND IN PORTLAND, MAINE FOR WESTBROOK COLLEGE, AUGUST 20, 1974 OWEN HASKELL, INC. JOB NO. 7445 P" REVISED 5/4/89
2. "BOUNDARY SURVEY ATHLETIC FIELD UNIVERSITY OF NEW ENGLAND STEVENS AVENUE & BISHOP STREET PORTLAND, MAINE OCTOBER 2007 COLONIAL SURVEYING COMPANY, LLC"
3. WORKING DRAWING OF MAYFIELD STREET, BISHOP STREET AND STEVENS AVENUE IN FILES OF H.I. & E.C. JORDAN - SURVEYORS
4. SITE PLAN OF PROPERTY ON BISHOP STREET, PORTLAND, MAINE MADE FOR PLASMINE TECHNOLOGY, INC. OCT. 1, 1991 OWEN HASKELL, INC. JOB NO. 91163P"

**NOTES:**

1. OWNERS OF RECORD: HED/WAY DEVELOPMENT, 24 SAND POINT ROAD, CUMBERLAND FORESIDE, MAINE 04110, CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 8575 PAGE 272.
2. LOCUS IS SHOWN AS BLOCK C LOT 2 AND 3 ON PORTLAND PROPERTY MAP 293.
3. BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM MAINE WEST NAD83 AND ELEVATIONS ARE NAVD29 AS BASED ON STATIC GPS COLLECTION AND OPUS CORRECTION.
4. EXISTING WETLANDS: 14,203 SF
5. PRIOR TO SITE CLEARING, CONTRACTOR SHALL COORDINATE WITH PROJECT LANDSCAPE ARCHITECT TO DEMARCATRE TREES FOR PROTECTION AND WETLAND AREAS TO BE PROTECTED. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.



Prepared For:  
 Owner:  
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 307 Cumberland Avenue  
 Portland, Maine 04101  
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Prepared By:  
 MITCHELL & ASSOCIATES  
 Landscape Architects  
 The Staples School  
 70 Center Street  
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72 BISHOP STREET  
 Portland, Maine  
 Bishop Street

Date: APRIL 10, 2015

Issued For: ISSUED FOR PERMITTING

Revisions:  
 Rev: 5/22/15  
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 Rev: 12/23/15  
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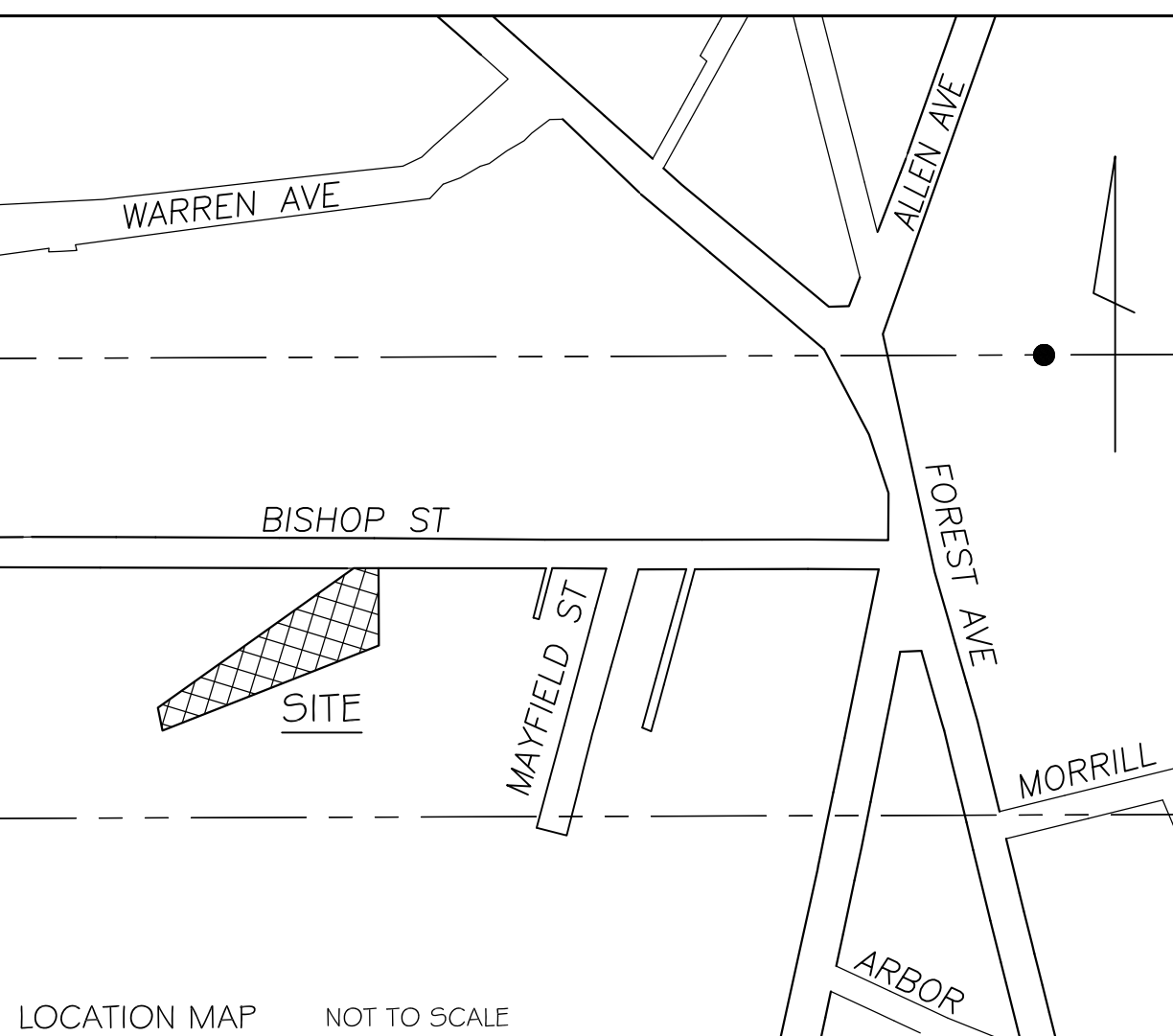
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Title: EXISTING CONDITIONS & DEMOLITION PLAN

Scale: 1"=20'

North: [Symbol]

Sheet No.: L1



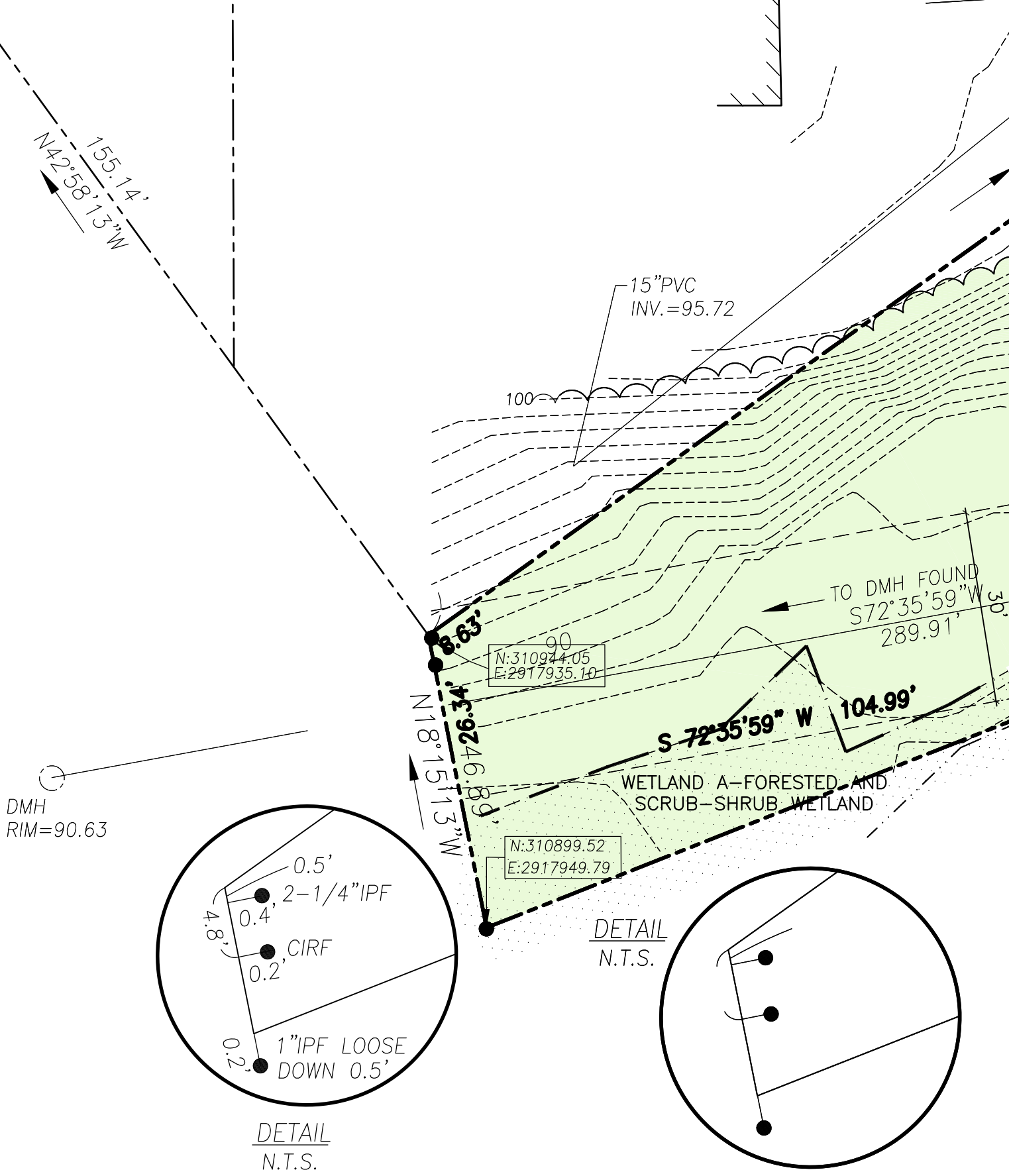
**CONSTRUCTION MANAGEMENT PLAN NOTES**

- IT WILL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO UTILIZE LEGAL CITY OF PORTLAND PARKING SPACES IN THE VICINITY OF THE PROJECT.
- HOURS OF CONSTRUCTION: 6:30 AM -- 5:00 PM, MONDAY THROUGH FRIDAY.
- SITE WILL HAVE SECURITY LIGHTING AT NIGHT.
- STREETS MUST MAINTAIN A 20' WIDTH FOR FIRE DEPARTMENT ACCESS AT ALL TIMES.
- FIRE HYDRANTS SHALL NOT BE BLOCKED OR ENCLOSED BY FENCING. A 3' CLEARANCE MUST BE KEPT AT ALL TIMES AROUND THE FIRE HYDRANT.
- IF GATES ARE LOCKED, A PORTLAND FIRE DEPARTMENT KNOX PADLOCK MUST BE PURCHASED BY THE APPLICANT TO ALLOW ACCESS TO THE FIRE DEPARTMENT.
- THE CONSTRUCTION COMPANY EMERGENCY CONTACT INFORMATION SHALL BE POSTED ON THE PROPERTY IN CASE OF AN AFTER HOUR EMERGENCY.
- ALL CONSTRUCTION SHALL COMPLY WITH 2009 NFPA 1 CHAPTER 16 SAFEGUARDS DURING BUILDING CONSTRUCTION, ALTERNATION, AND DEMOLITION OPERATIONS.
- ANY CUTTING AND WELDING DONE WILL REQUIRE A HOT WORK PERMIT FROM FIRE
- PRIOR TO SITE CLEARING, CONTRACTOR SHALL COORDINATE WITH PROJECT LANDSCAPE ARCHITECT TO DEMARCATÉ TREES FOR PROTECTION AND WETLAND AREAS TO BE PROTECTED. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- SITE CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTLAND TO ESTABLISH CONSTRUCTION MANAGEMENT REQUIREMENTS FOR INSTALLATION OF NEW SIDEWALK AND GRANITE CURBING ALONG BISHOP STREET AS SHOWN ON PLAN SHEETS L9, L9.1, L9.2.

TM 293-C-1  
N/F  
DEERING LODGE BUILDING CORP.  
13212/14  
"MASONS"  
ZONING: B-2C

TM 293-C-4  
N/F  
BISHOP STREET LLC  
23608/212  
ZONING: B-2C

TM 293-C-5  
N/F  
UNIVERSITY OF NEW ENGLAND

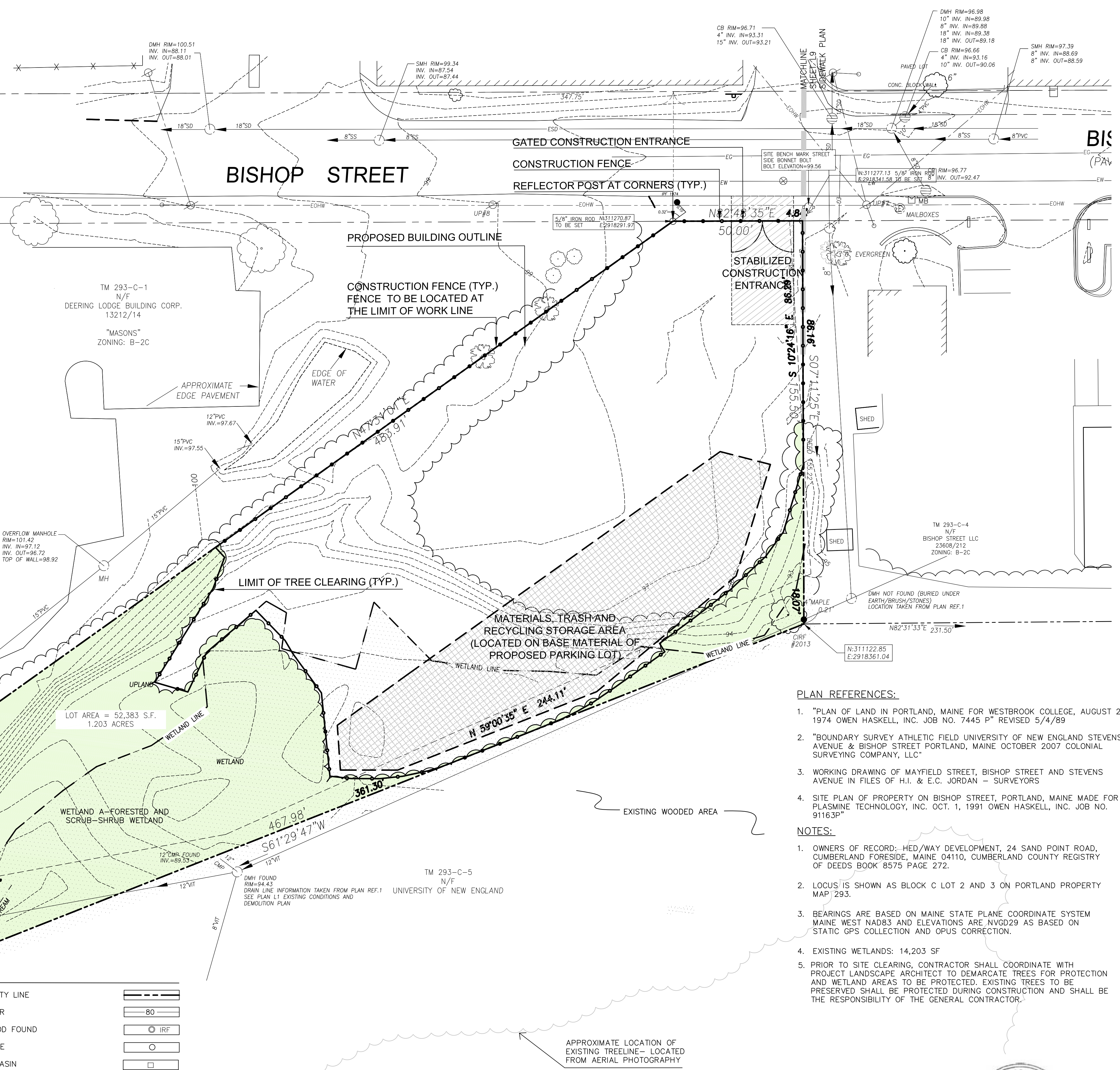


**LEGEND**

PROPERTY LINE	
CONTOUR	
IRON ROD FOUND	
MANHOLE	
CATCHBASIN	
WATER VALVE	
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CURRENT ZONE LINE	
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**RESOURCE NOTES:**

- WETLANDS AND STREAMS SHOWN HEREON WERE FIELD IDENTIFIED BY CES, INC. IN JULY 2014. WETLANDS WERE FIELD DELINEATED IN GENERAL ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE 2012 NORTHCENTRAL AND NORTHEAST REGIONAL SUPPLEMENT (VERSION 2.0). PROPOSED WETLAND IMPACTS SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. STREAMS WERE FIELD IDENTIFIED IN ACCORDANCE WITH MAINE NATURAL RESOURCES PROTECTION ACT (NRPA) DEFINITIONS.



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- BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATE SYSTEM MAINE WEST NAD83 AND ELEVATIONS ARE NAVD29 AS BASED ON STATIC GPS COLLECTION AND OPUS CORRECTION.
- EXISTING WETLANDS: 14,203 SF
- PRIOR TO SITE CLEARING, CONTRACTOR SHALL COORDINATE WITH PROJECT LANDSCAPE ARCHITECT TO DEMARCATÉ TREES FOR PROTECTION AND WETLAND AREAS TO BE PROTECTED. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.



**Prepared For:**  
Owner:  
AVESTA BISHOP STREET LP  
307 Cumberland Avenue  
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Tel.: 207-553-7777

**Prepared By:**  
MITCHELL & ASSOCIATES  
Landscape Architects  
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70 Center Street  
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**72 BISHOP STREET**  
Portland, Maine  
Bishop Street

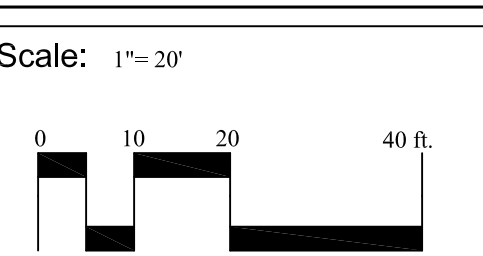
**Date:**  
APRIL 10, 2015

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**Revisions:**  
Rev: 5/22/15  
Rev: 6/22/15  
Rev: 12/23/15  
Rev: 02/05/16  
conditions of approval

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**Title:**  
CONSTRUCTION MANAGEMENT PLAN



**North:**   
**Sheet No.:**  
**L1.1**

**GENERAL NOTES:**

- SITE AREA: 52,383 SF OR 1.20 ACRES
- APPLICANT: AVESTA 72 BISHOP, LP  
307 CUMBERLAND AVENUE  
PORTLAND, MAINE 04101
- OWNER: AVESTA HOUSING DEVELOPMENT CORP.  
307 CUMBERLAND AVENUE  
PORTLAND, MAINE 04101
- ZONING DISTRICT: B-2-C COMMUNITY BUSINESS DISTRICT
- PARCEL IS SHOWN AS LOT 2 AND LOT 3, BLOCK C ON CITY OF PORTLAND ASSESSORS MAP 293.
- DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 31827, PAGE 271.
- SPACE AND BULK STANDARDS:
 

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	52,383 SF
MINIMUM STREET FRONTAGE:	20 FEET	50 FEET
FRONT YARD SETBACK:	NONE	18 FEET
REAR YARD SETBACK:	10 FEET	5 FEET
SIDE YARD SETBACK:	NONE	18 FEET
FRONT YARD MAXIMUM:	45 FEET	39 FEET
MAXIMUM IMPERVIOUS SURFACE RATIO:	NONE	35%
MAXIMUM HEIGHT OF STRUCTURES:	45 FEET	39 FEET
MAXIMUM RESIDENTIAL DENSITY:	1,500 SF/UNIT	1,746 SF/UNIT
- EXISTING CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY AT 72 BISHOP STREET, PORTLAND, MAINE" PREPARED BY OWEN HASKELL, INC. DATED JULY 17, 2014.
- BEARINGS ARE BASED ON MAINE STATE PLAN COORDINATE SYSTEM MAINE WEST NAD83 AND ELEVATIONS ARE NAVD29 AS BASED ON STATIC GPS COLLECTION AND OPUS CORRECTION.
- WETLAND DELINEATION PERFORMED BY C.E.S. INC., LEWISTON MAINE, JUNE 2014. FLAGGED WETLAND AREA WAS SURVEYED BY OWEN HASKELL, INC., FALMOUTH, MAINE, JULY 2014.
- PROPOSED DWELLING UNITS: 30 (SRO) EFFICIENCY APARTMENT UNITS
- OFF-STREET PARKING REQUIREMENTS:
 

REQUIRED:	1/DWELLING UNIT = 30 PARKING SPACES
PROPOSED:	10 STANDARD PARKING SPACES 2 HANDICAP PARKING SPACE
- BICYCLE PARKING:
 

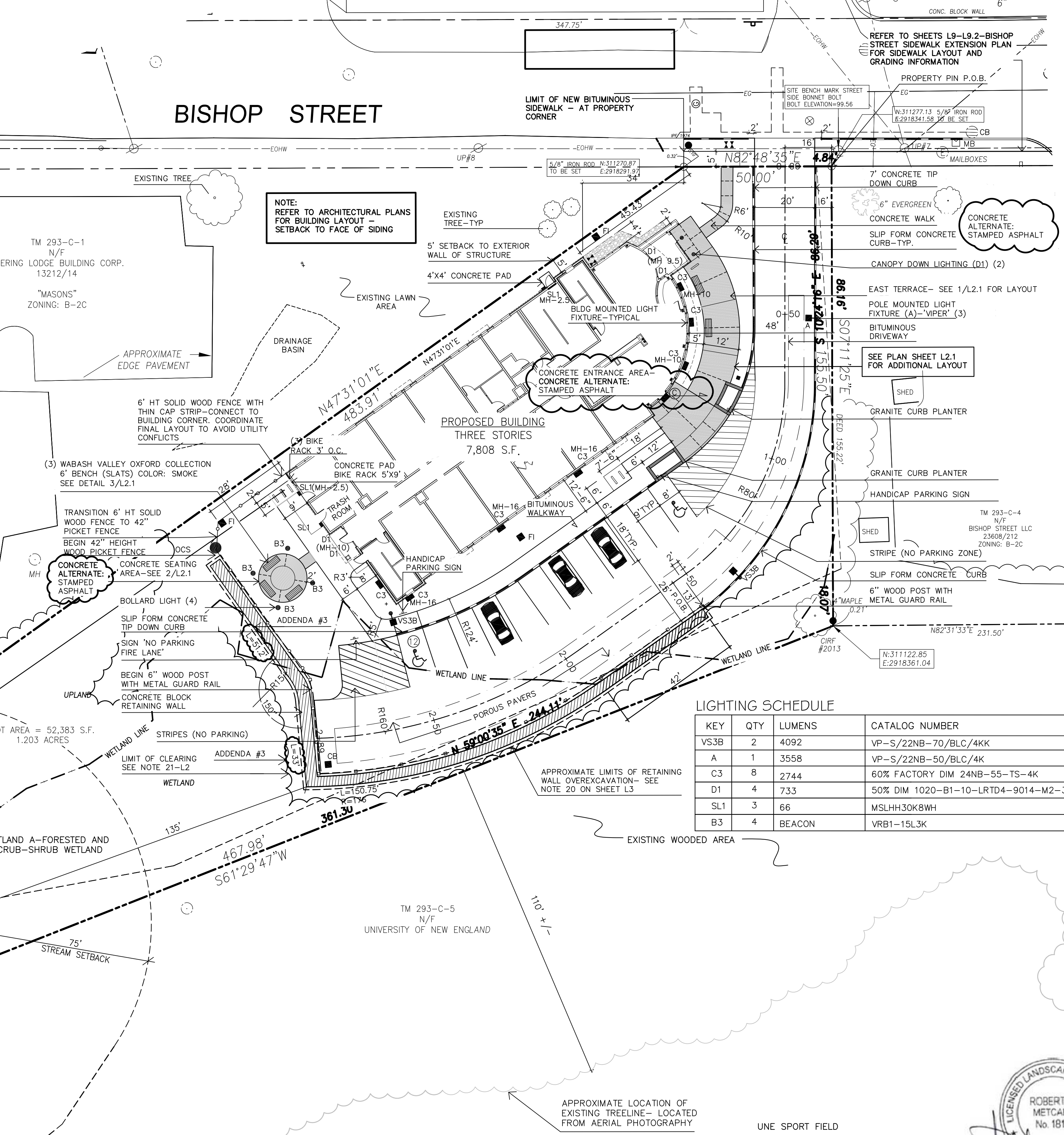
REQUIRED:	2 SPACES/5 DWELLING UNITS
PROPOSED:	12 SPACES (30 NEW DWELLING UNITS)
- EXISTING IMPERVIOUS: 1,304 +/- SF (2.5% OF SITE)  
PROPOSED IMPERVIOUS: 18,686 +/- SF (35% OF SITE)
- FLOOR AREA CALCULATIONS
 

FIRST FLOOR:	7,807.89 SF
SECOND FLOOR:	6,897.68 SF
THIRD FLOOR:	6,534.39 SF
TOTAL:	21,039.94 SF
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR UNDERTAKING THE WORK IN A SAFE AND EFFICIENT MANNER, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL SAFETY REGULATIONS. ALL WORK AREAS SHALL BE DELINEATED CLEARLY AND FENCED AS APPROPRIATE TO PREVENT UNAUTHORIZED ACCESS. THE SITE SHALL BE LEFT IN A SAFE, ORDERLY AND TIDY MANNER AT THE END OF EACH WORK DAY.
- UTILITY SERVICE CONNECTIONS SHALL CONFORM TO STANDARDS FOR INDIVIDUAL UTILITY PROVIDERS
- EXISTING WETLANDS: 14,203 SF  
IMPACTED WETLANDS: 3,105 SF
- SITE LIGHTING SHALL MEET THE CITY OF PORTLAND STANDARDS AS OUTLINED IN SECTION 12 OF THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS. SITE LIGHTING SHALL ADHERE TO SECTION 12.2.5 LIGHT TRESPASS-LIGHTING SHALL NOT BE GREATER THAN 0.1 FOOTCANDLES AT THE PROPERTY LINE.
- PRIOR TO SITE CLEARING, CONTRACTOR SHALL COORDINATE WITH PROJECT LANDSCAPE ARCHITECT TO DEMARCATRE TREES FOR PROTECTION AND WETLAND AREAS TO BE PROTECTED. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.- SEE NOTE 10 SHEET L4

**PLAN REFERENCES**

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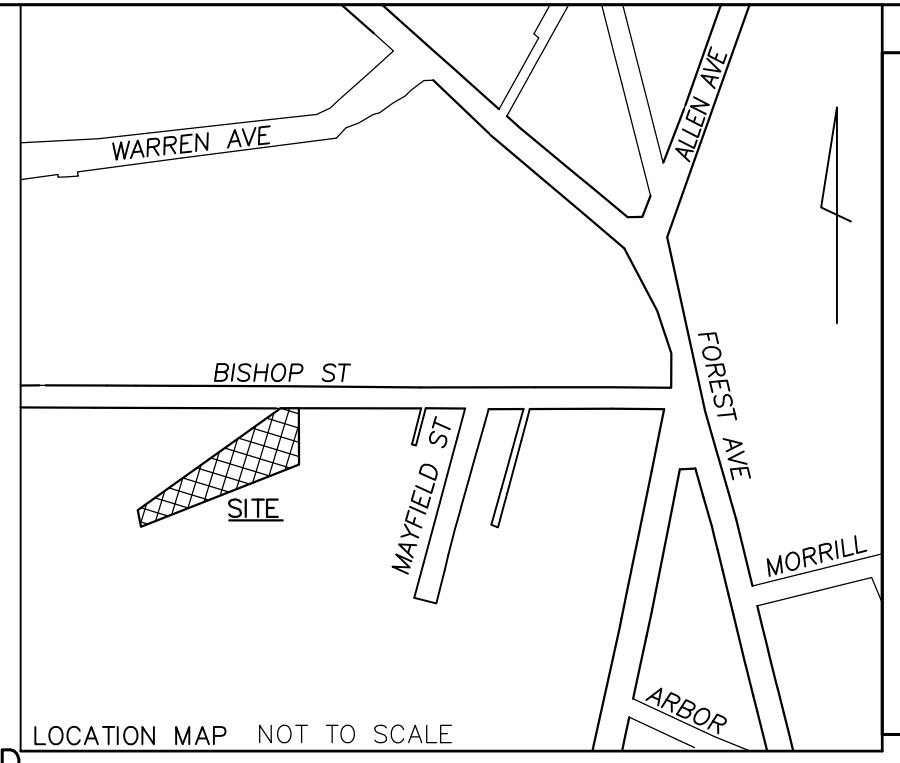
**BISHOP STREET**



**LIGHTING SCHEDULE**

KEY	QTY	LUMENS	CATALOG NUMBER	MOUNTING HEIGHT
VS3B	2	4092	VP-S/22NB-70/BLC/4KK	MH-14
A	1	3558	VP-S/22NB-50/BLC/4K	MH-15
C3	8	2744	60% FACTORY DIM 24NB-55-TS-4K	
D1	4	733	50% DIM 1020-B1-10-LRTD4-9014-M2-30KS-80-NCSM	
SL1	3	66	MSLHH30K8WH	
B3	4	BEACON	VRB1-15L3K	

REFER TO ELECTRICAL ENGINEERING PLANS FOR LIGHTING SCHEDULE AND FIXTURE ORDERING INFORMATION.



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 Landscape Architects  
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 70 Center Street  
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 Tel.: 207-774-4427

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE/MAG NAIL	○ I.R.F./L.P.F.	● ▲
GRANITE MONUMENT	□	□
CATCHBASIN	□	CB ■
FIELD INLET	□	FI ■
HYDRANT	□	□
UTILITY POLE	□	□
FENCE	---	---
DEC. TREE	○	○
EVERGREEN TREE	○	○
LIGHT POLE	□	□
BLDG MOUNTED LIGHT	□	□
CURB	---	---
OVERHEAD WIRES	---	---
SOIL BORINGS	+	+
WATER VALVE	□	□
GAS VALVE	□	□
SIGN	□	□
WETLAND	---	---
OUTLET CONTROL STRUCTURE	□	□
WETLAND IMPACT	---	---

**72 BISHOP STREET**  
 Portland, Maine  
 Bishop Street

Date: APRIL 10, 2015

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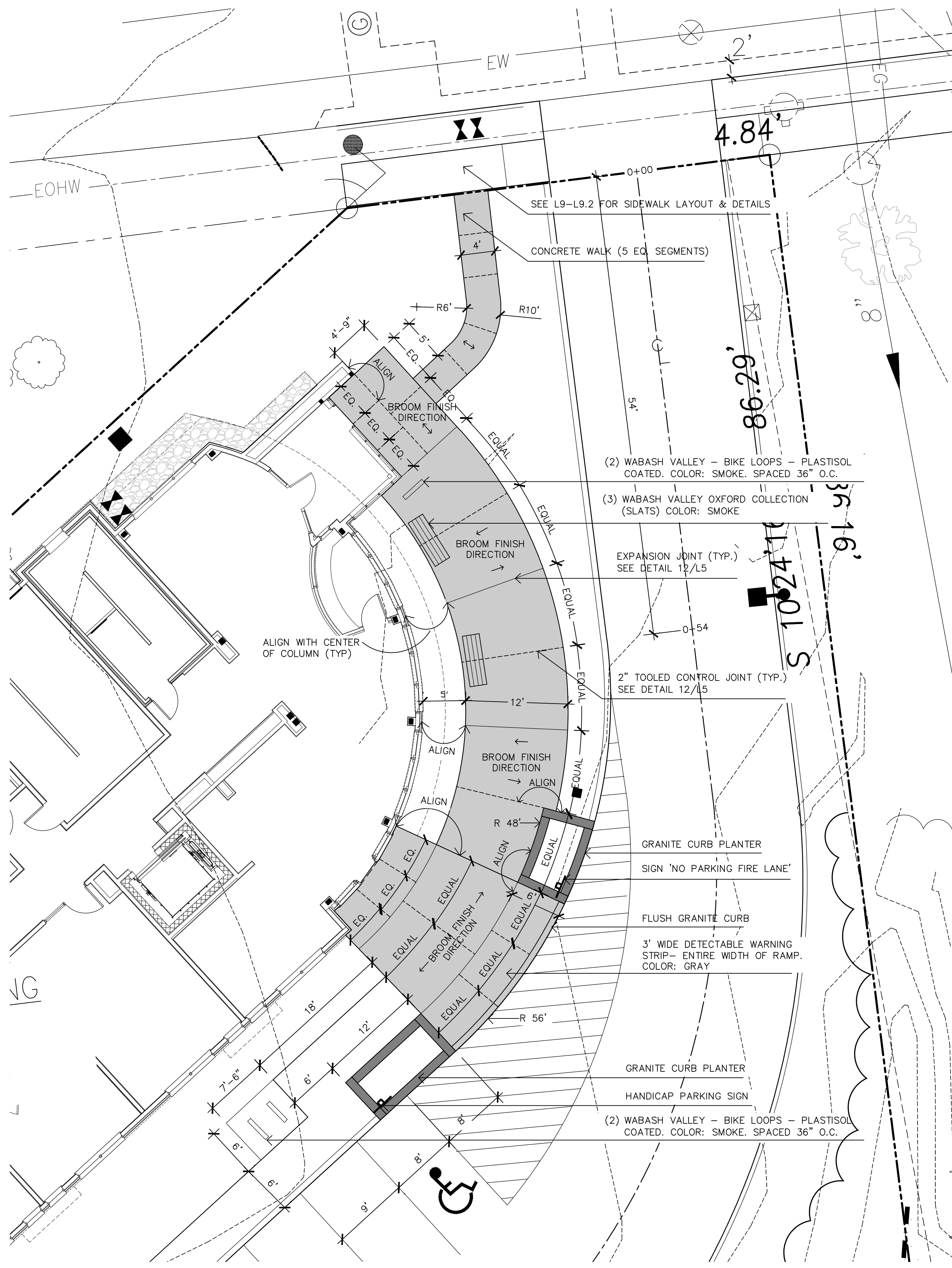
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Scale: 1" = 20'

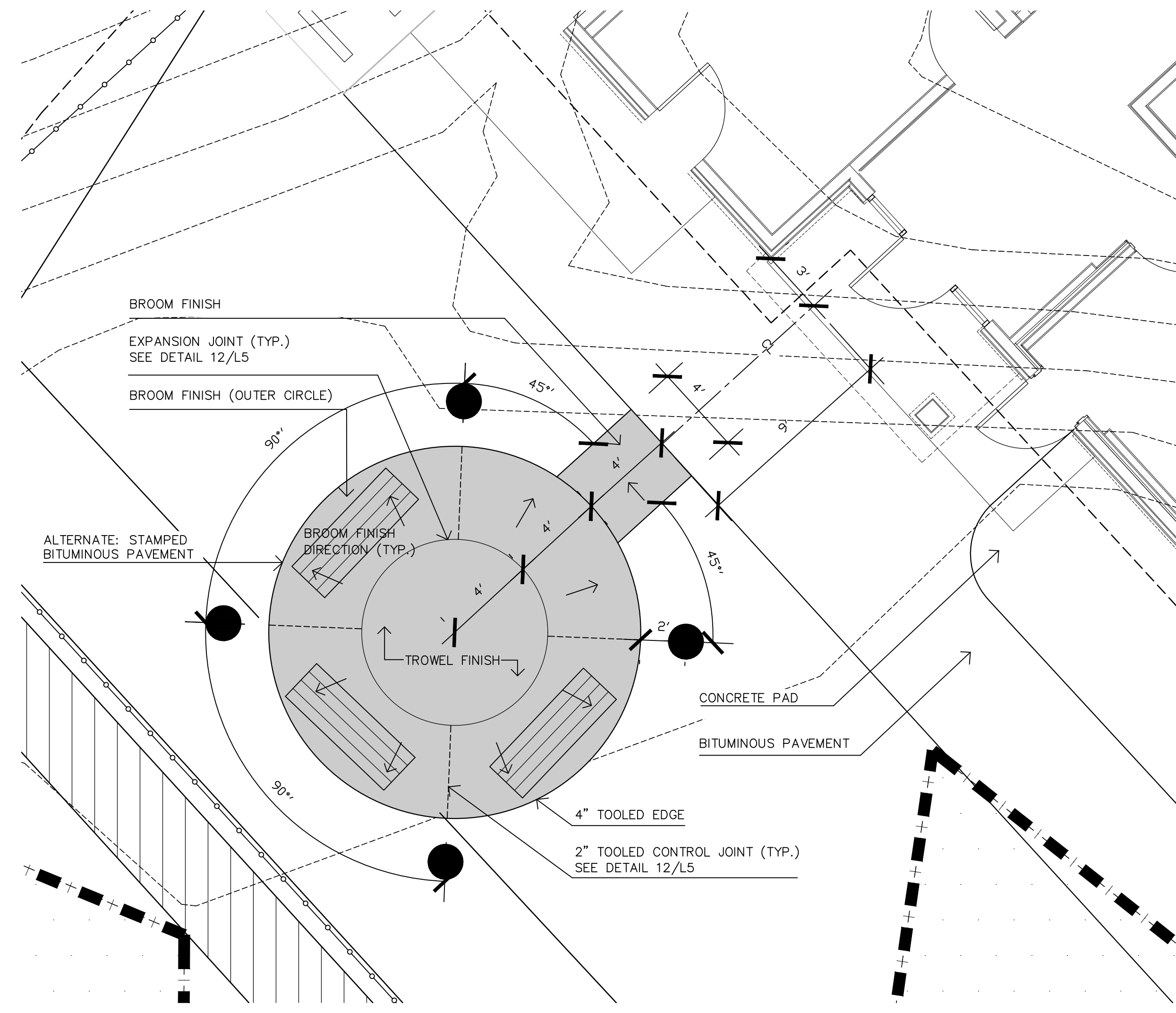
North:

Sheet No.: **L2**

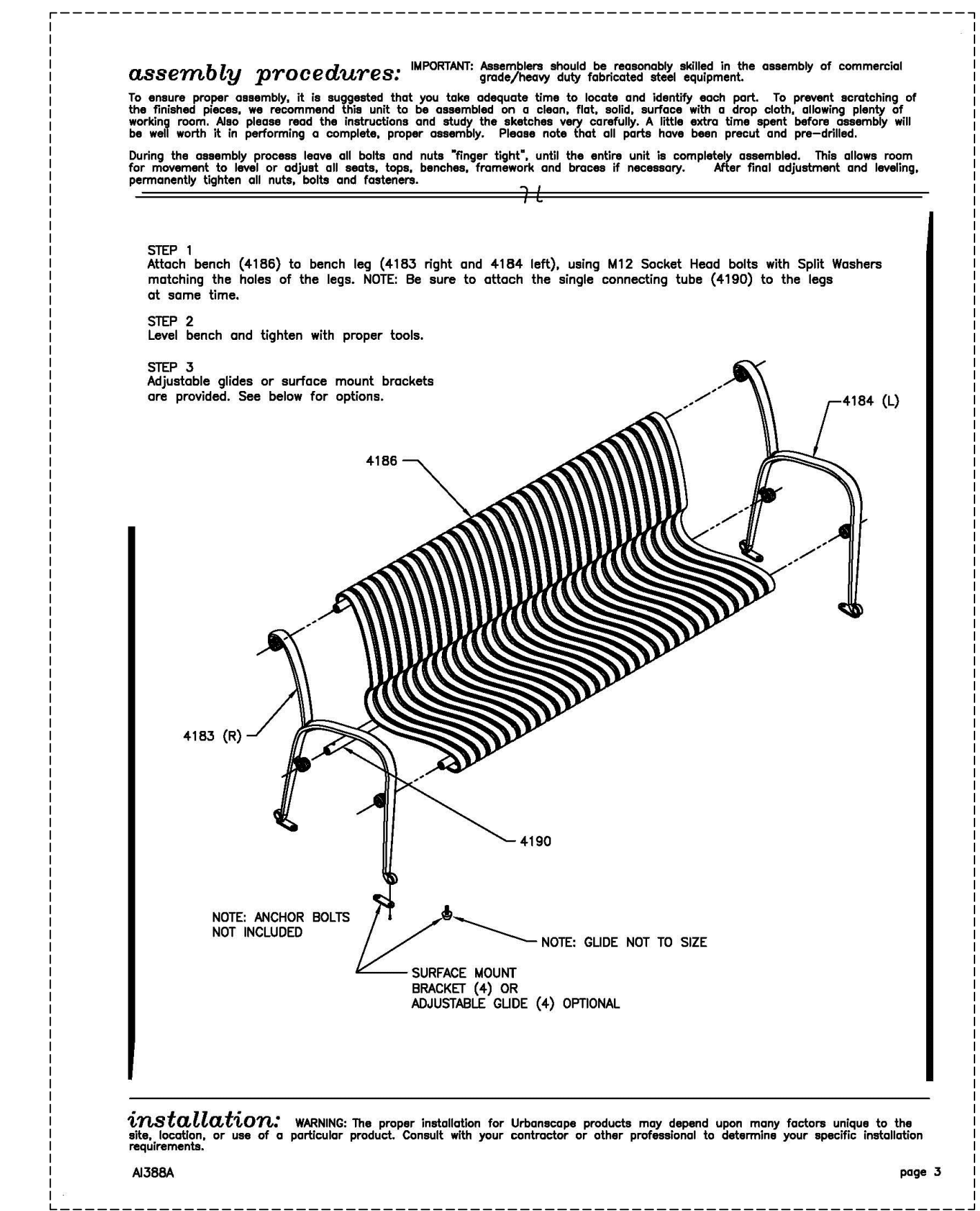




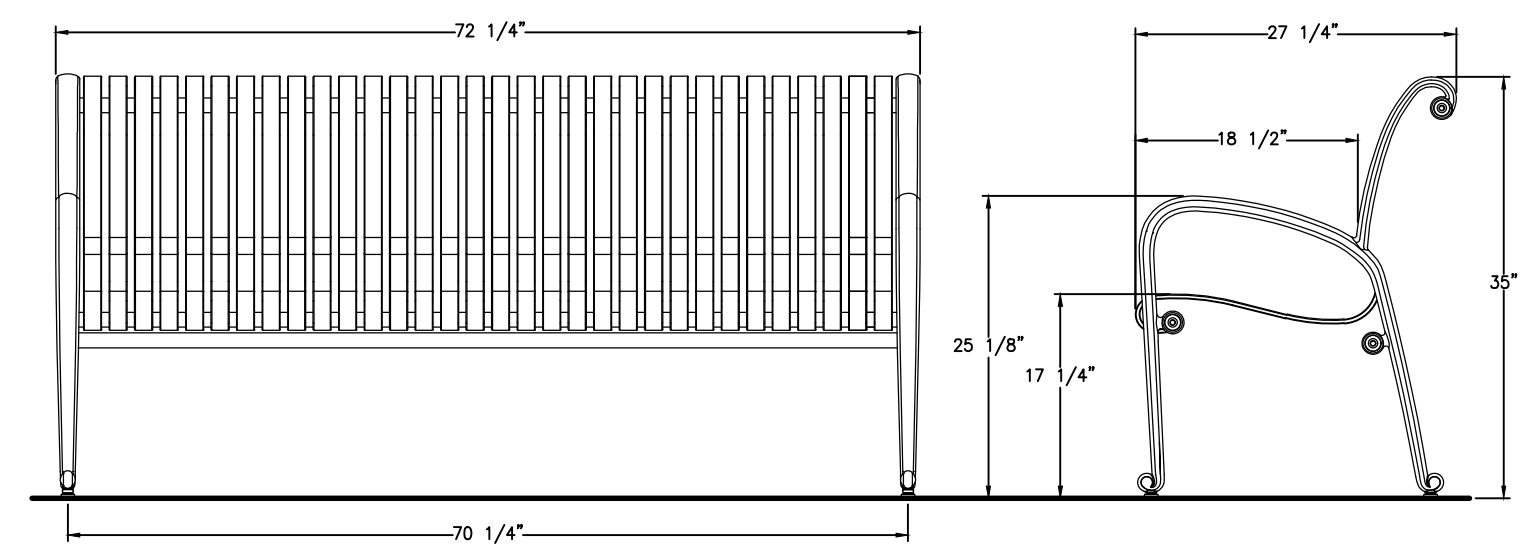
1 EAST TERRACE - LAYOUT  
SCALE: 1/8"=1'-0"



2 CONCRETE SITTING AREA - LAYOUT  
SCALE: 1/4"=1'-0"



3 WABASH VALLEY OXFORD COLLECTION BENCH - DETAIL  
SCALE: 1/4"=1'-0"



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Rev: 5/22/15  
Rev: 6/22/15  
Rev: 12/23/15  
Rev: 02/05/16  
conditions of approval

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Title:  
LAYOUT PLAN

Scale: 1"=20'  
0 10 20 40 ft.

North:  
Sheet No.:  
L2.1

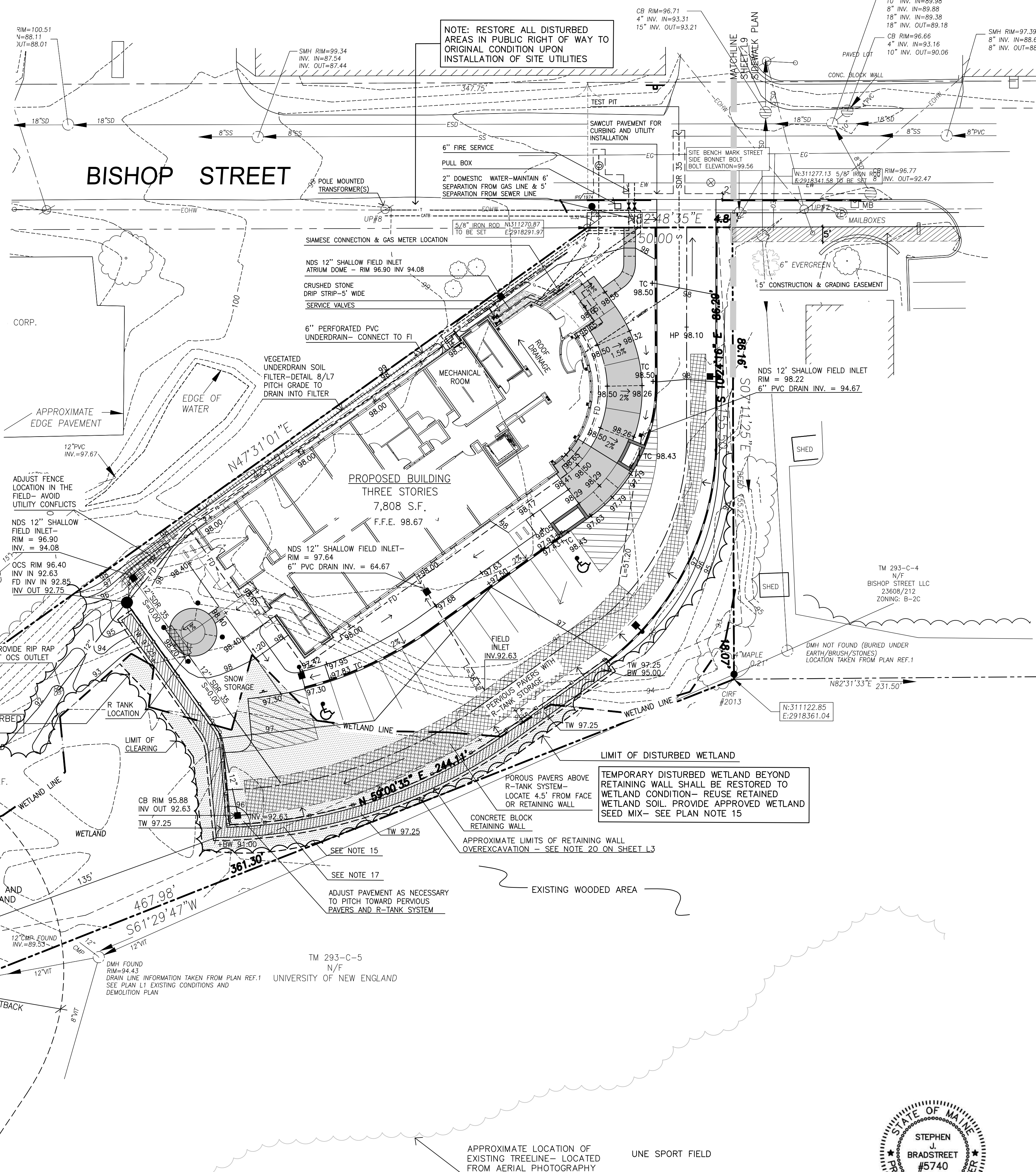


**GRADING AND DRAINAGE NOTES:**

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS. REFER TO NOTE 21 PLAN SHEET L2.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW BUILDING SANITARY SERVICE AND WATER SERVICE ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE MANHOLES SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPES AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- DISCONTINUED UTILITY SERVICES INCLUDING WATER, GAS AND SANITARY SEWER SHALL BE PERMANENTLY CAPPED CONFORMING TO UTILITY COMPANY AND CITY OF PORTLAND STANDARDS. CONTRACTOR SHALL COORDINATE WITH PUBLIC SERVICES AND/OR UTILITY COMPANY.
- THE PROJECT BENCH MARK IS SIDE BONNET BOLT OF HYDRANT AT THE CORNER OF EASTERN PROPERTY LINE AND BISHOP STREET, ELEVATION 99.56.
- BMP INSPECTIONS:** THE OWNER SHALL HIRE A QUALIFIED POST-CONSTRUCTION STORMWATER INSPECTOR TO ANNUALLY INSPECT THE BMPs, INCLUDING CATCH BASIN, DRYWELL, IN-LINE ROOF FILTERS, PIPES AND RELATED STRUCTURES, IN ACCORDANCE WITH ALL MUNICIPAL AND STATE INSPECTION, CLEANING AND MAINTENANCE REQUIREMENTS OF THE APPROVED POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PER SECTION 32 OF THE CITY OF PORTLAND CODE OF ORDINANCES).
- WETLAND DISTURBANCE: CONTRACTOR SHALL STOCKPILE WETLAND SOIL IN AMOUNT SUFFICIENT TO RESTORE WETLAND IMPACTS ASSOCIATED WITH CONSTRUCTION OF RETAINING WALL. REPLACE A MINIMUM OF 12 INCHES OF WETLAND SOIL ALONG BASE OF RETAINING WALL TO RESTORE WETLAND CONDITION. SEED DISTURBED AREA WITH SPECIFIED WETLAND SEED MIX OR PLANTINGS. SEE PLAN SHEET L4: PLANTING PLAN.
- PAVEMENT RESTORATION IN PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF PORTLAND TECHNICAL STANDARDS FOR ROADWAY REPAIR.
- GEOTECH NOTE RE: EXCAVATION FOR RETAINING WALL REFER TO GEOTECHNICAL REPORT PG 6, PREPARED BY S.W. COLE ENGINEERING DATED XX/XX/XXXX.
- GEOTECH NOTE BLDG PAD REFER TO GEOTECHNICAL REPORT PG 5, PREPARED BY S.W. COLE ENGINEERING DATED DECEMBER 10, 2015.
- GEOTECHNICAL REPORT AND SCOPE OF SITE WORK** - REFER TO SECTION 00 30 00 INFORMATION AVAILABLE TO BIDDERS ITEM 1.3.A FOR A REPORT OF SUBSURFACE INVESTIGATIONS AND RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER AND DRAWING G1 FOR DEFINED OVER-EXCAVATION LIMITS TO BE INCLUDED IN THE BASE BID. THE GENERAL CONTRACTOR AND BIDDING SUB-CONTRACTORS SHALL PROVIDE SYSTEMS, MATERIALS AND SCOPE AS RECOMMENDED IN SAID REPORT BY THE GEOTECHNICAL ENGINEER. UNIQUE TO THIS SITE IS THAT A SUBSTANTIAL AMOUNT OF SOILS HAVE BEEN IDENTIFIED THAT REQUIRE REMOVAL, RELOCATION ON-SITE AND/OR REPLACEMENT WITH COMPACTED STRUCTURAL FILL. THE GEOTECHNICAL REPORT DEFINES THE LIMITS OF WORK FOR MATERIALS BELOW GRADE THAT ARE INCLUDED IN THE BASE SCOPE OF WORK. PROVISIONS HAVE BEEN MADE IN THE FORM OF UNIT PRICES AND ALLOWANCES PUBLISHED IN 01 20 00 PRICE AND PAYMENT PROCEDURES 1.3.F ALLOWANCES SCHEDULE AND 1.8.G.9 UNIT PRICE SCHEDULE AND MEASUREMENTS FOR PRICE ADJUSTMENTS RELATIVE TO DEVIATIONS FROM THE BASE BID EXCAVATIONS AS CONFIRMED BY AGREEMENT BETWEEN THE CONTRACTOR'S AND OWNER'S SURVEY OF ACTUAL EXCAVATION LIMITS. IF, IN THE CONTRACTOR'S OPINION, CONFLICTS EXIST IN THE CONSTRUCTION DOCUMENTS, REQUEST CLARIFICATION PRIOR TO SUBMITTING BID. REFER TO 00 31 00 1.3.A GEOTECHNICAL REPORT.
- UNCONTROLLED FILLS AND RELIC TOPSOIL MUST BE COMPLETELY REMOVED FROM BENEATH THE WALL FACING BLOCKS. THE EXTENT OF REMOVAL SHOULD EXTEND 1 FOOT Laterally OUTWARD FROM INNER AND OUTSIDE EDGE OF THE FACING BLOCK FOR EVERY 1-FOOT OF EXCAVATION DEPTH (1H:1V BEARING SPLAY). THE OVEREXCAVATION AREA SHOULD BE BACKFILLED WITH COMPACTED GRANULAR BORROW TO WITHIN 1 FOOT OF THE BOTTOM OF WALL. A 1-FOOT THICK LAYER OF CRUSHED STONE SHOULD BE PROVIDED BELOW THE WALL FACING BLOCKS. THE APPROXIMATE HORIZONTAL AND VERTICAL LIMITS OF OVEREXCAVATION TO REMOVE UNCONTROLLED FILLS AND RELIC TOPSOIL ARE SHOWN ON SHEET 1 OF GEOTECHNICAL REPORT PREPARED BY S.W. COLE DATED DECEMBER 10, 2015.
- REFER TO PLAN SHEET L1 FOR TREE PROTECTION NOTES.

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE		
IRON PIPE/MAG NAIL		
GRANITE MONUMENT		
CATCHBASIN		
FIELD INLET		
HYDRANT		
UTILITY POLE		
CONTOUR		
SPOT GRADE		
FENCE		
DEC. TREE		
EVERGREEN TREE		
LIGHT POLE		
CURB		
OVERHEAD WIRES		
SOIL BORINGS		
WATER VALVE		
GAS VALVE		
SANITARY SEWER		
STORM DRAIN		
WATER		
GAS		
UNDERGROUND ELECTRIC		
VEGETATED SOIL FILTER		
TELEPHONE LINE		
SIGN		
WETLAND		
OUTLET CONTROL STRUCTURE		
WETLAND IMPACT		



**Prepared For:**  
 Owner:  
 AVESTA BISHOP STREET LP  
 307 Cumberland Avenue  
 Portland, Maine 04101  
 Tel.: 207-553-7777

**Prepared By:**  
 MITCHELL & ASSOCIATES  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel.: 207-774-4427

**72 BISHOP STREET**

Portland, Maine

Bishop Street

**Date:**  
 APRIL 10, 2015

**Issued For:**  
 ISSUED FOR PERMITTING

**Revisions:**  
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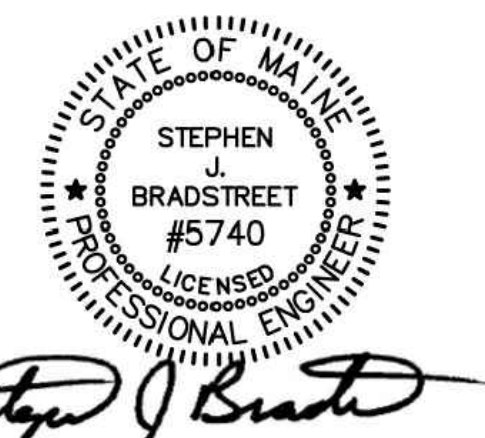
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**Title:**  
 GRADING, DRAINAGE & UTILITIES PLAN

**Scale:** 1"=20'

**North:**

**Sheet No.:**  
**L3**



*Stephen J. Bradstreet*

**PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
A. CAN	2	AMELANCHIAR CANADENSIS	SHADBLOW	5'-6" HT. (CLUMP)
A. PSE	3	ACER PSEUDOSIEBOLDIANUM	KOREAN MAPLE	#7
A. RUB	5	ACER RUBRUM	RED MAPLE	2" CAL
B. ALL	1	BETULA ALLEGHANIENSIS	YELLOW BIRCH	2" CAL
C. OCC	1	CELTIS OCCIDENTALIS	HACKBERRY	2" CAL
C. THY	12	CHAMAECYPARIS THYOIDES	ATLANTIC WHITE CEDAR	5'-6" HT.
C. OBC	3	CHAMAECYPARIS OBTUSA 'COMPACTA'	COMPACT HINOKI FALSECYPRESS	3'-4" HT
M. CAR	4	MALUS 'CARDINAL'	CARDINAL FLOWERING CRAB	2" CAL
P. GLA	3	PICEA GLAUCA	WHITE SPRUCE	5'-6" HT.
P. SAR	4	PRUNUS SARGENTII	SARGENT CHERRY	2" CAL
Q. BIC	7	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL
Q. PAL	1	QUERCUS PALUSTRIS	PIN OAK	2" CAL
T. CUS	2	TAXUS CUSPIDATA 'CAPITATA'	UPRIGHT JAPANESE YEW	5'-6" HT.
<b>SHRUBS</b>				
A. GIR	26	AZALEA GIRARD'S FUSCHIA	GIARDS FUSCHIA AZALEA	#3
C. ALN	2	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	#3
C. SAF	14	CORNUS SERICEA 'ARCTIC FIRE'	RED TWIG DOGWOOD	#3
D. BUR	6	DAHPNE BURKWOODII	CAROL MACKIE DAPHNE	15-18"
H. PAN	4	HYDRANGEA PANICULATA 'QUICKFIRE'	QUICKFIRE HYDRANGEA	#3
P. JAP	3	PIERIS JAPONICA	ANDOMEDA	#3
R. HEL	1	RHODODENDRON 'HELLIKI'	HELLIKI RHODODENDRON	#3
S. PMK	2	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	3' HT
V. COR	3	VACCINIUM CORYUMBOSUM	HIGHBUSH BLUEBERRY	#3

<b>PERENNIALS/GROUNDCOVERS</b>				
A. UVA	20	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	1 QT
A. ALI	18	ASTILBE 'ALIVE & KICKING'	FALSE SPIREA	1 QT
C. MOR	21	CAREX MORROWII 'EVERGOLD & ICE MIX'	EVERGOLD & ICE MIX SEDGE	1 QT
H. LS	15	HEMEROCALLIS 'LADY SCARLET'	LADY SCARLET DAYLILY	1 QT
H. GUA	32	HOSTA 'GUACAMOLE'	GUACAMOLE HOSTA	1 QT
<b>FERNS</b>				
A. NIP	18	ATHYRIUM NIPONICUM 'PICTUM'	JAPANESE PAINTED FERN	POT
A. PED	18	ANDIANTUM PEDATUM 'MAIDENHAIR'	MAIDENHAIR FERN	POT
D. ERB	15	DRYOPTERIS ERYTHROSRA 'BRILLIANCE'	WOOD FERN	POT
P. POL	15	POLYSTICHUM POLYBLEPHARUM	JAPANESE TASSEL FERN	POT

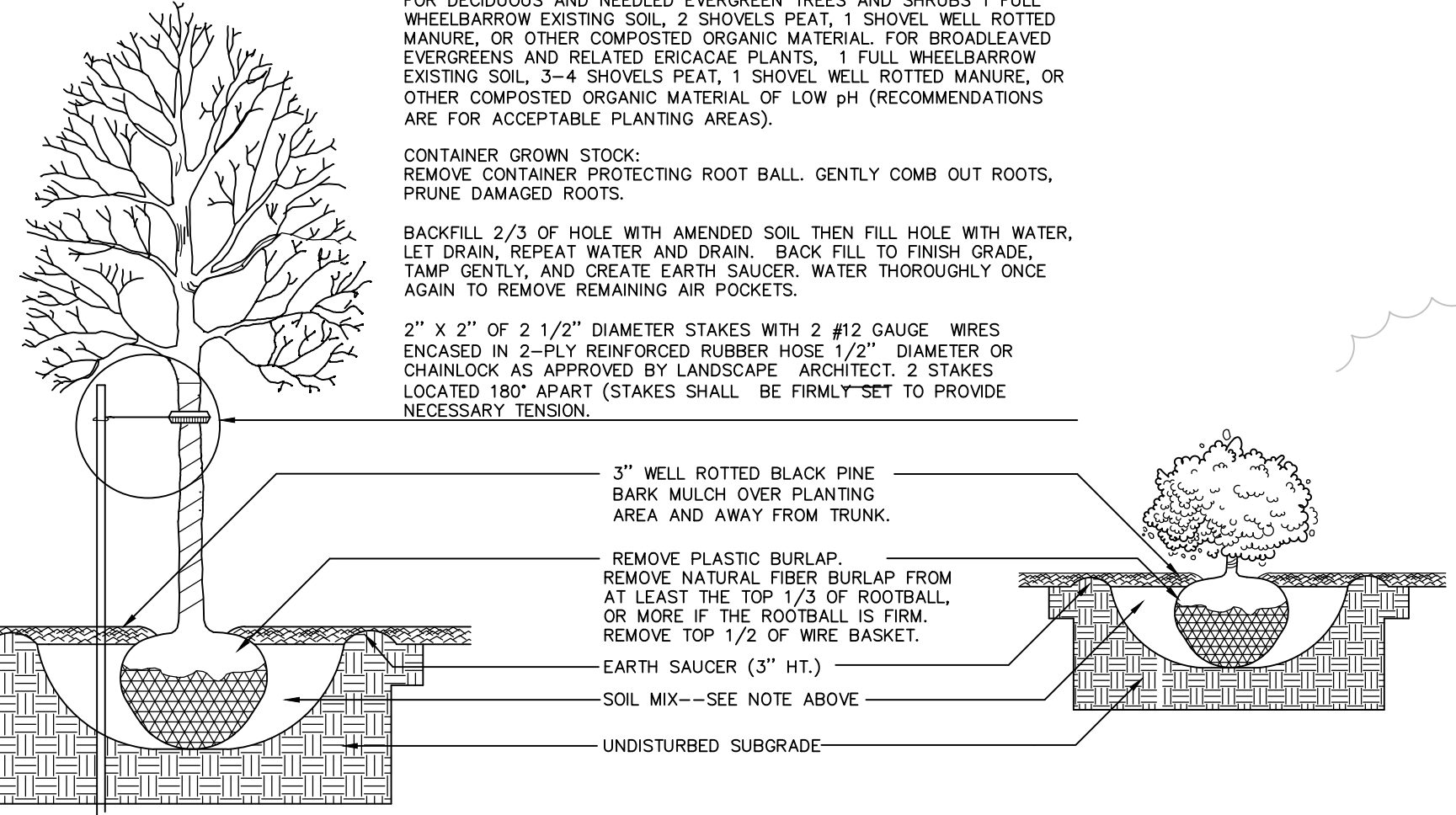
\*NOTE- PERENNIALS TO BE FIELD LOCATED-- COORDINATE WITH PROJECT LANDSCAPE ARCHITECT

**LEGEND**

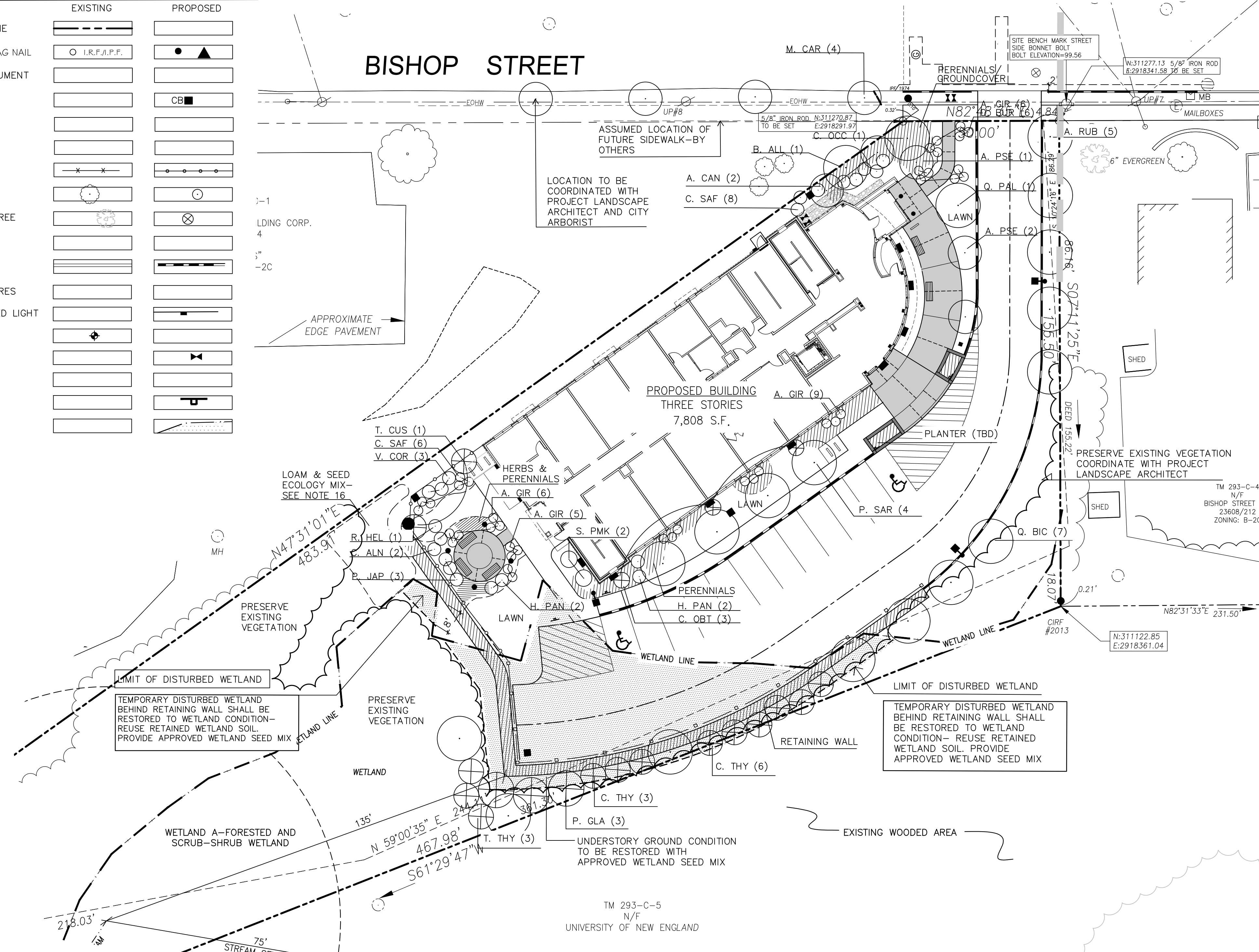
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IRON PIPE/MAG NAIL	[Symbol]	[Symbol]
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HYDRANT	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
DEC. TREE	[Symbol]	[Symbol]
EVERGREEN TREE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
CURB	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
WALL MOUNTED LIGHT	[Symbol]	[Symbol]
SOIL BORINGS	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
GAS VALVE	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
WETLAND	[Symbol]	[Symbol]

**GENERAL PLANTING NOTES**

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN" LATEST EDITION.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- PRIOR TO SITE CLEARING, CONTRACTOR SHALL COORDINATE WITH PROJECT LANDSCAPE ARCHITECT TO DEMARCAT E TREES FOR PROTECTION AND WETLAND AREAS TO BE PROTECTED. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH (DO NOT EXCEED 3" DEPTH).
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- ECOLOGY SEED MIX: 80% HARD FESCUE, 20% CHEWINGS FESCUE
- REFER TO SHEET L1 FOR TREE PROTECTION NOTES.



**BISHOP STREET**



**Prepared For:**  
Owner:  
AVESTA BISHOP STREET LP  
307 Cumberland Avenue  
Portland, Maine 04101  
Tel.: 207-553-7777

**Prepared By:**  
MITCHELL & ASSOCIATES  
Landscape Architects  
The Staples School  
70 Center Street  
Portland, Maine 04101  
Tel.: 207-774-4427

**72 BISHOP STREET**

Portland, Maine

Bishop Street

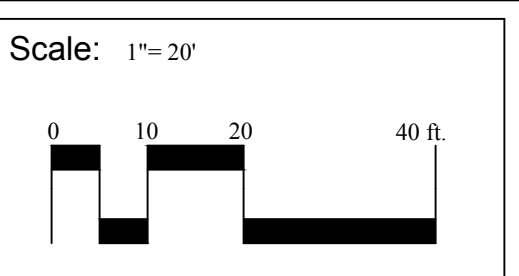
**Date:**  
APRIL 10, 2015

**Issued For:**  
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Rev: 02/05/16  
conditions of approval  
Rev: 03/07/16 planting plan

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**Title:**  
PLANTING PLAN

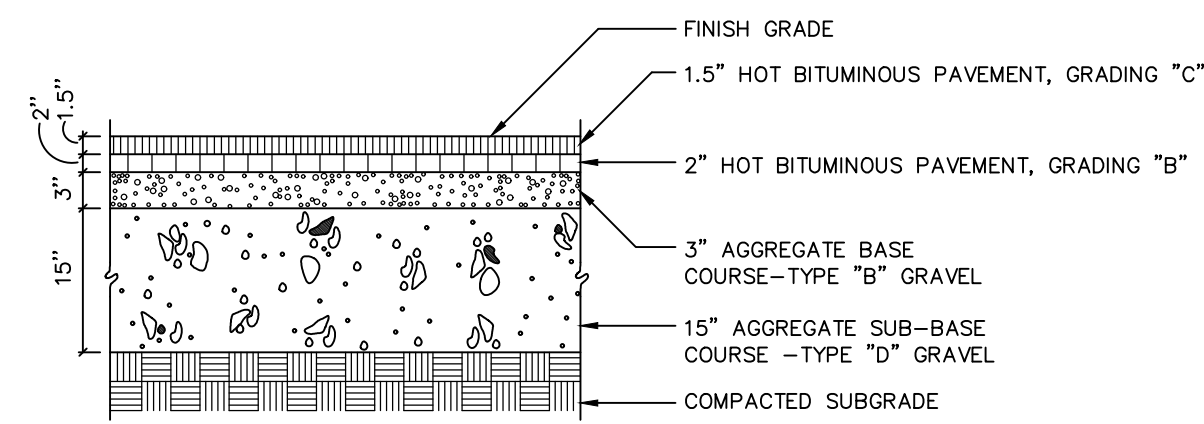


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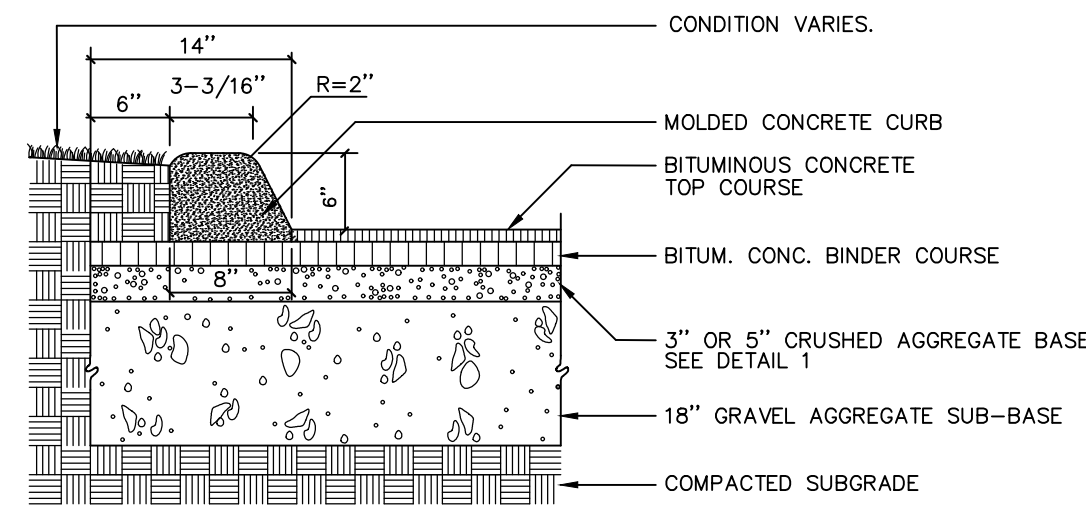
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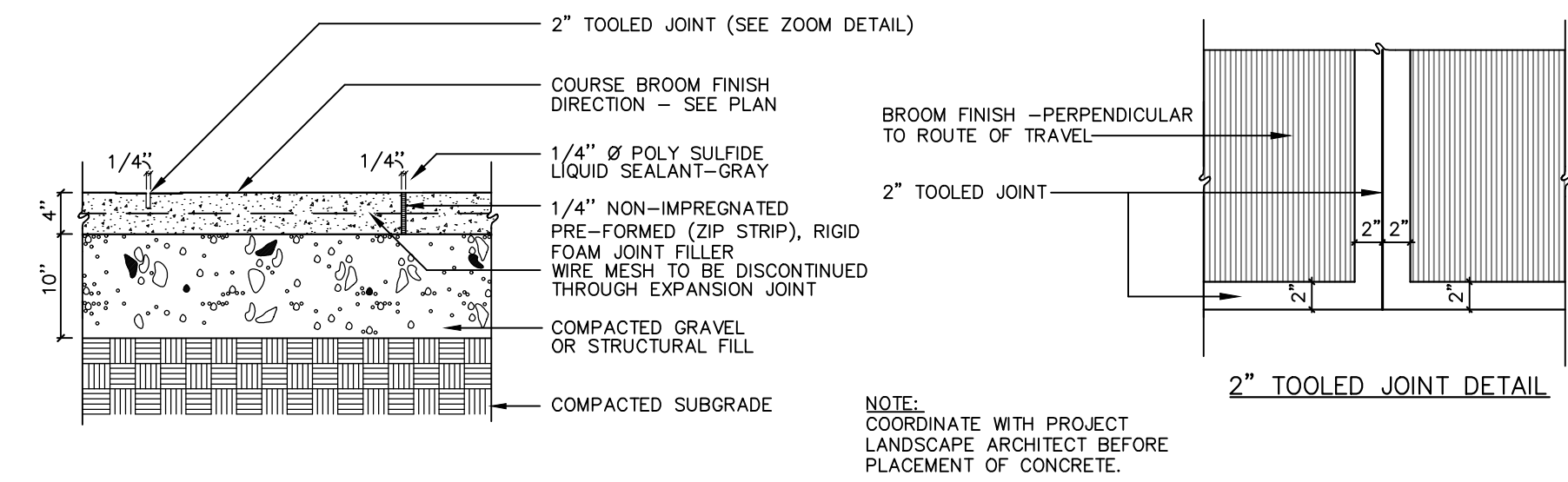
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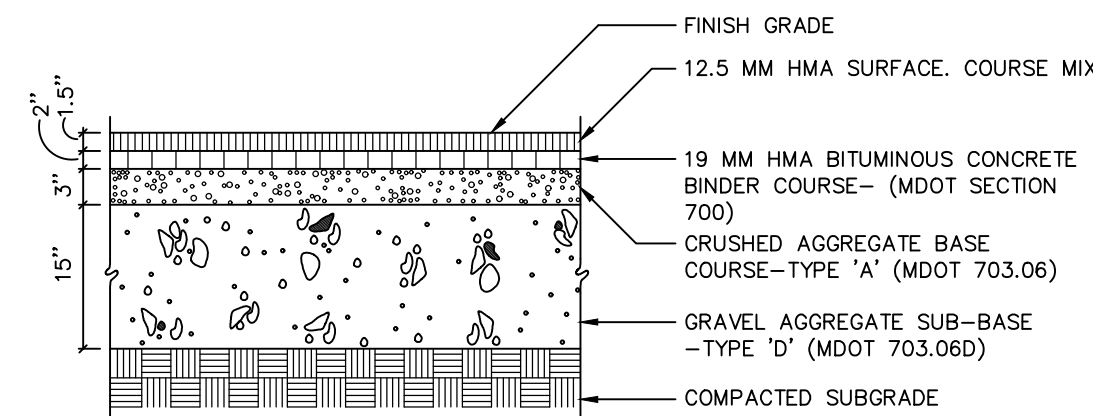
1 BITUMINOUS PAVEMENT- LOCAL STREET - CITY OF PORTLAND STANDARD  
L5 NOT TO SCALE



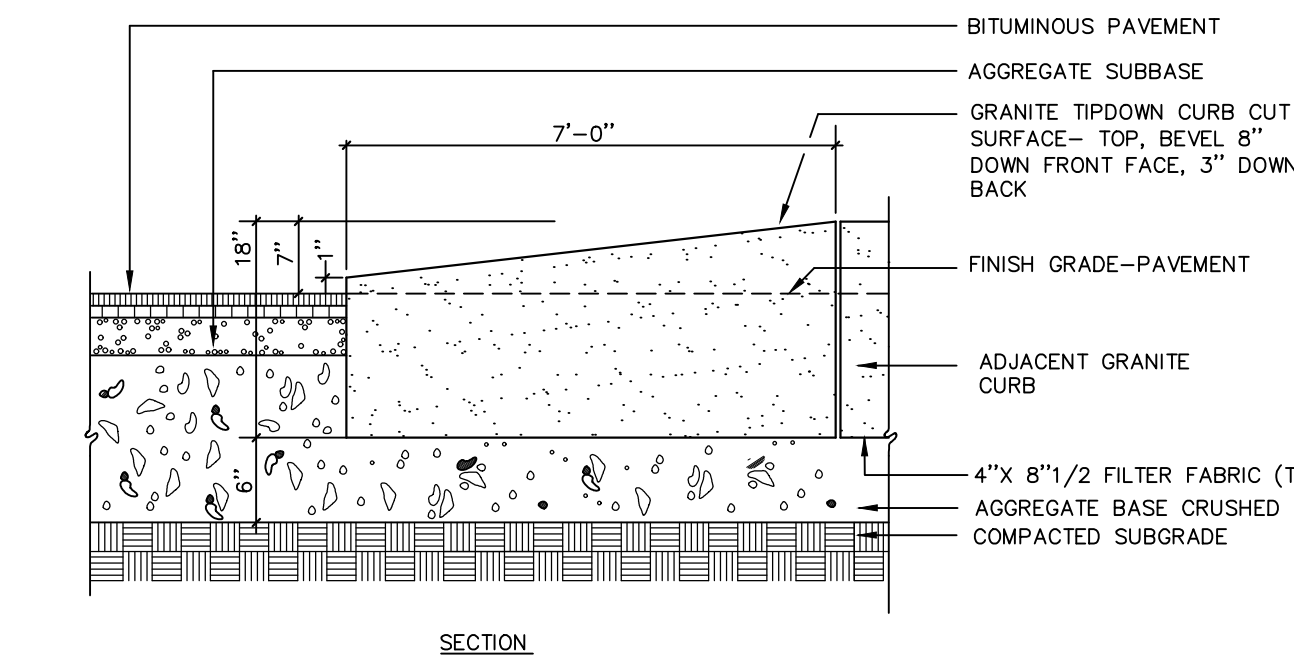
7 SLIPFORM CONCRETE CURB-DRIVEWAY  
L5 NOT TO SCALE



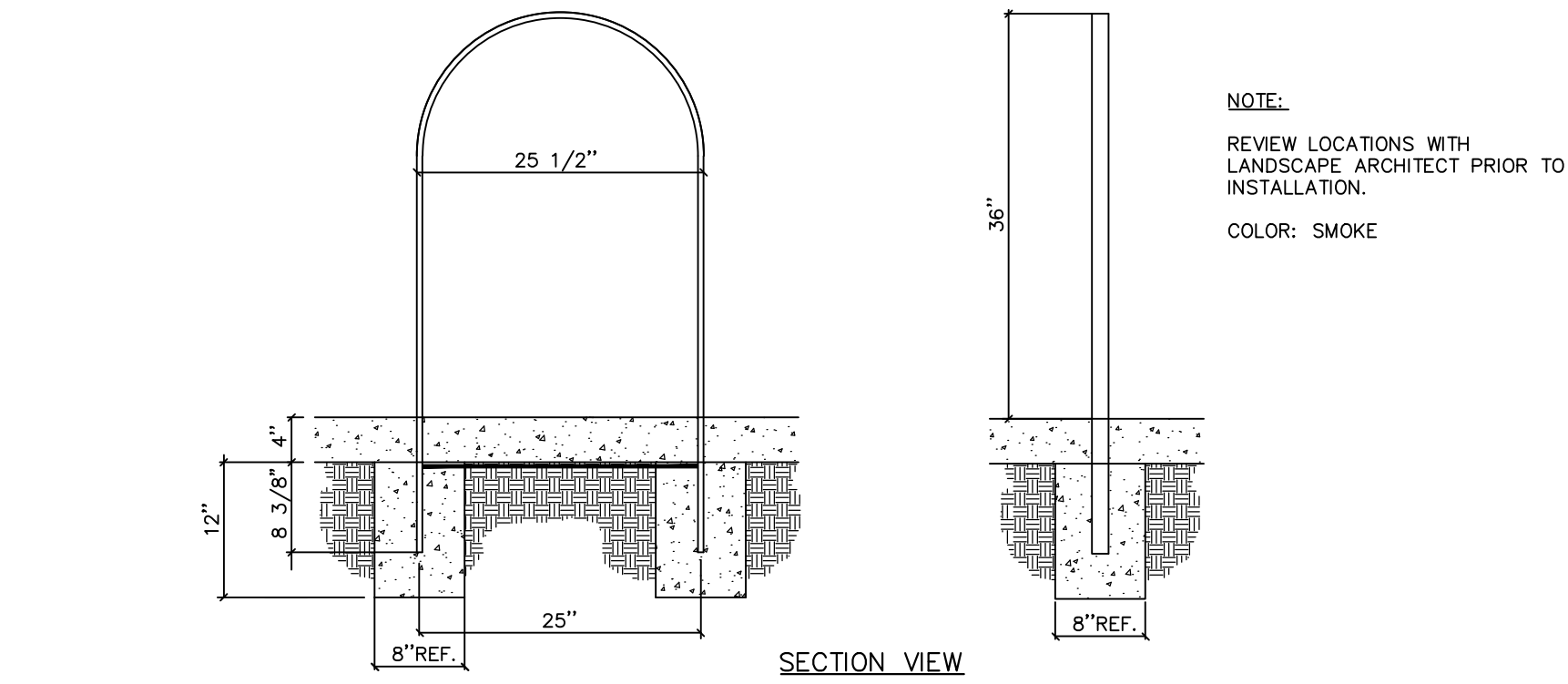
12 CONCRETE PAVING  
L5 NOT TO SCALE



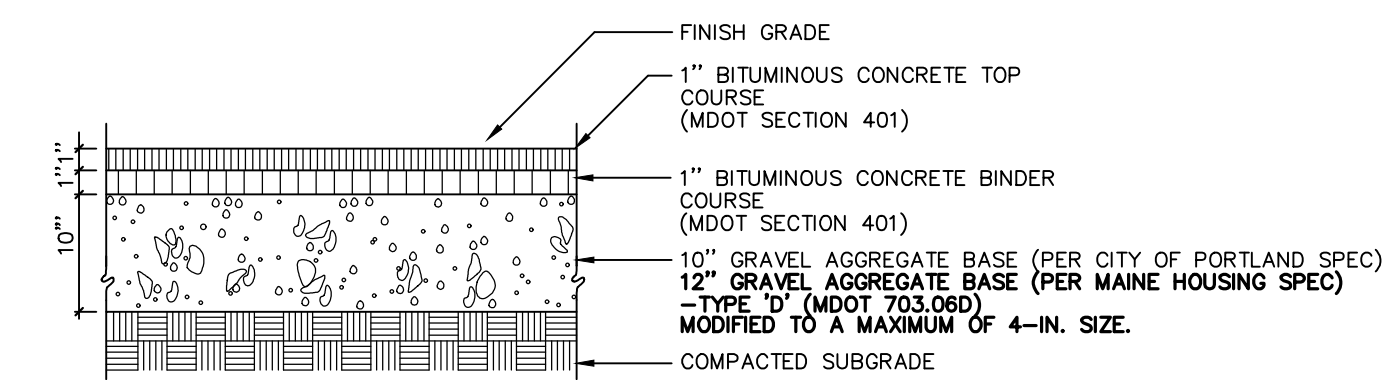
2 BITUMINOUS PAVEMENT- PARKING LOT  
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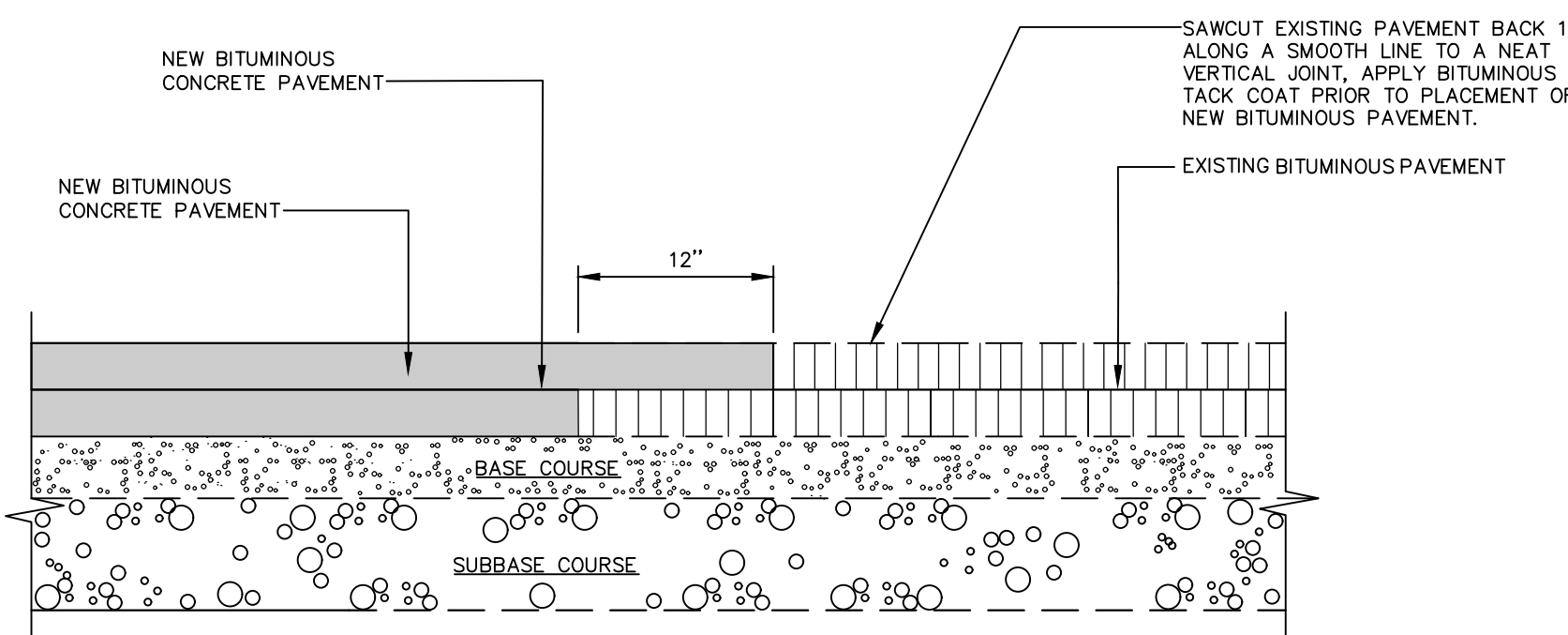
8 GRANITE TIP-DOWN CURB - CITY RIGHT OF WAY  
L5 NOT TO SCALE



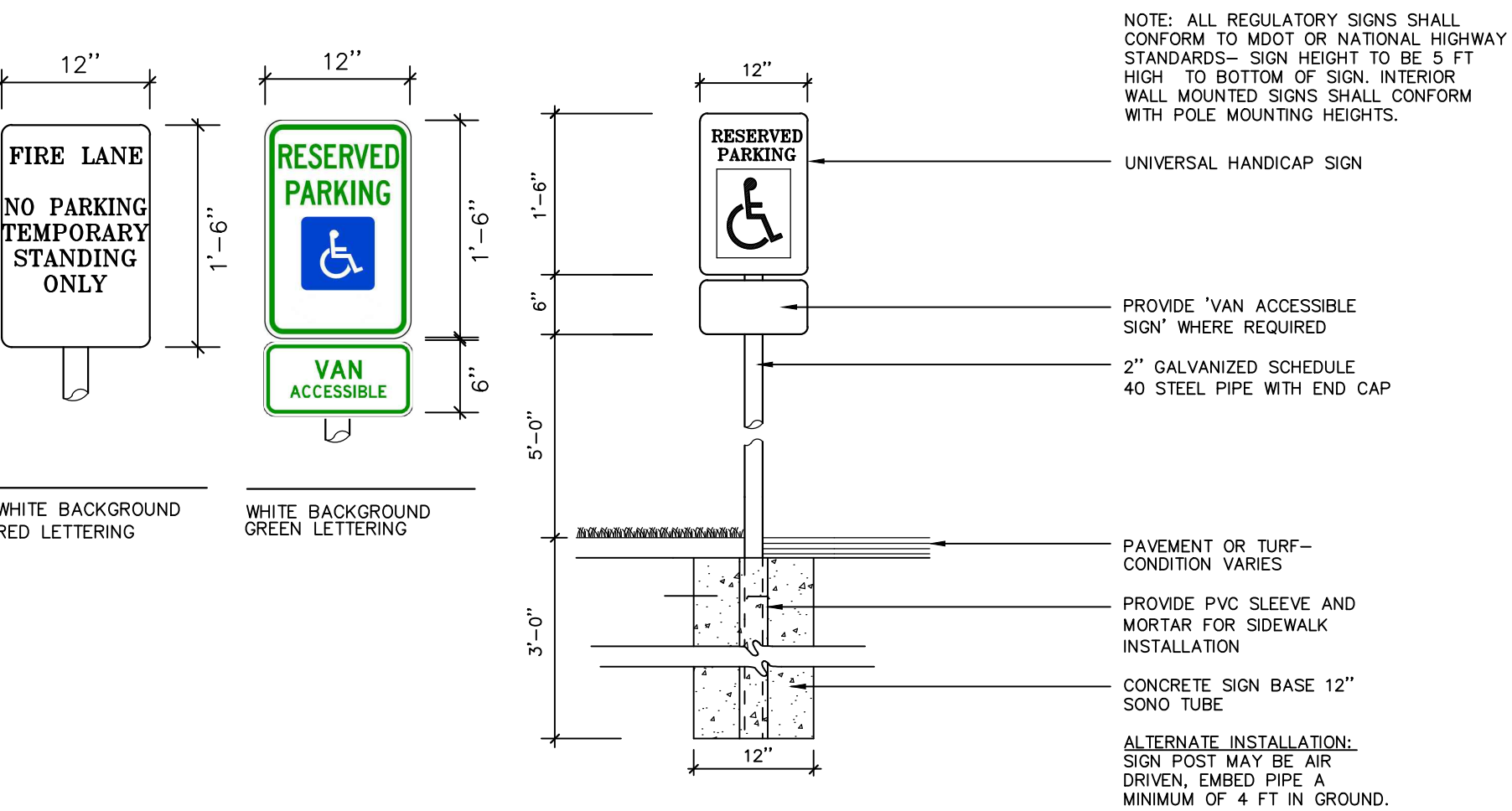
13 WABASH VALLEY 'BIKE LOOPS' PLASTISOL COATED- BIKE RACK  
L5 NOT TO SCALE



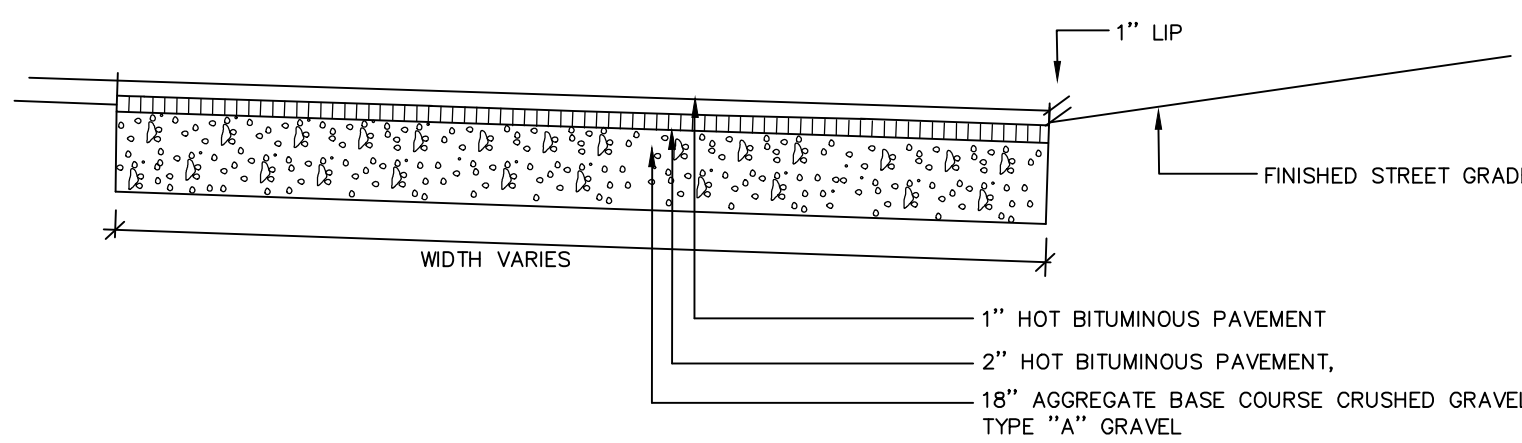
3 BITUMINOUS SIDEWALK - CITY OF PORTLAND STANDARD  
L5 NOT TO SCALE



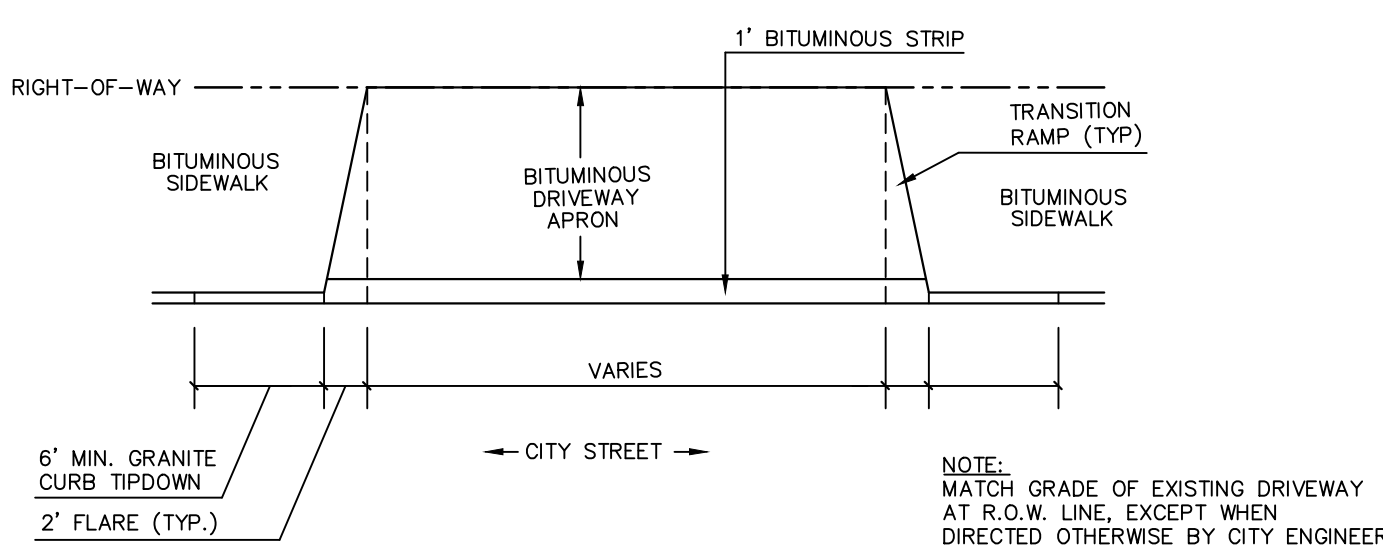
9 PAVEMENT SAWCUT DETAIL  
L5 NOT TO SCALE



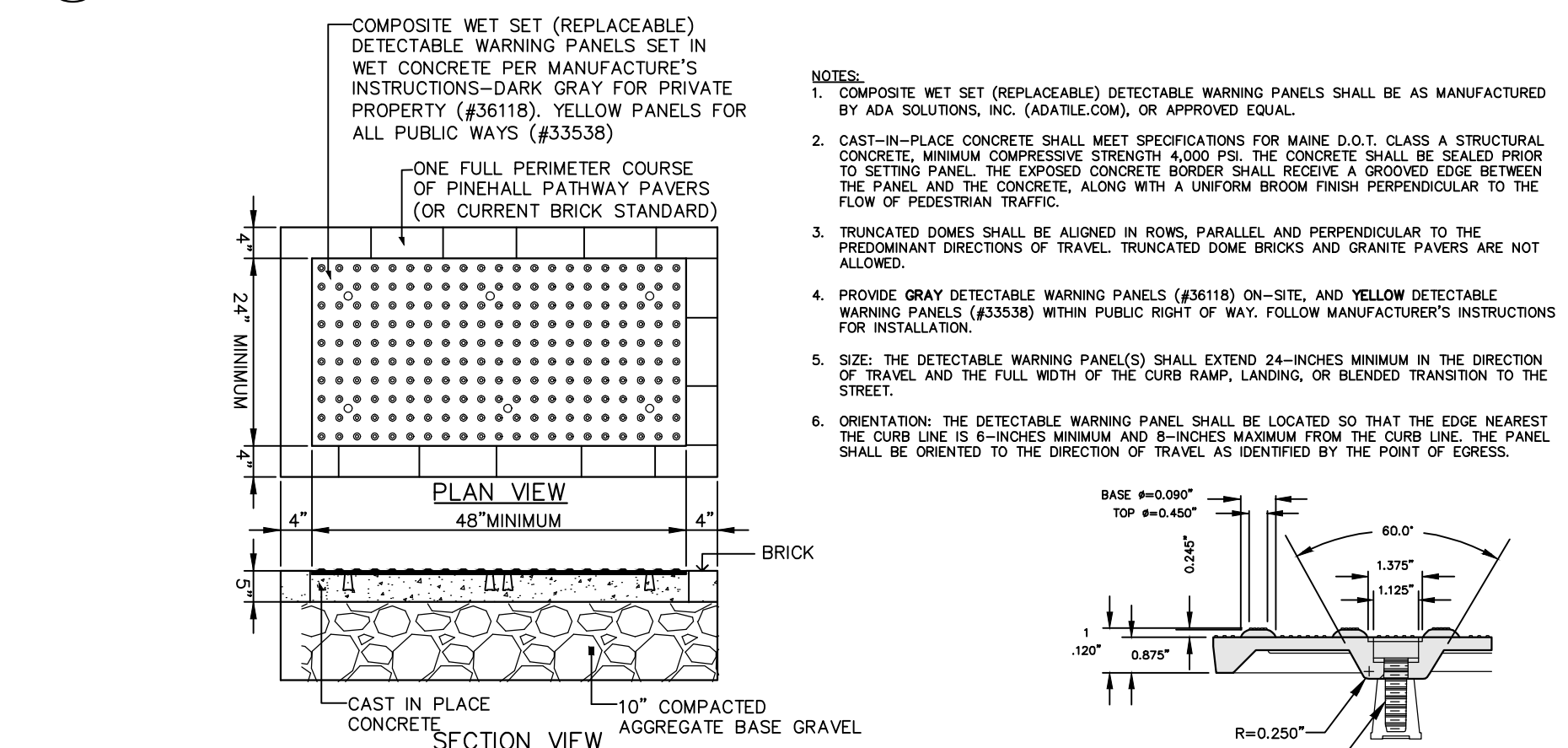
14 HANDICAP PARKING SIGNAGE AND REGULATORY SIGNS  
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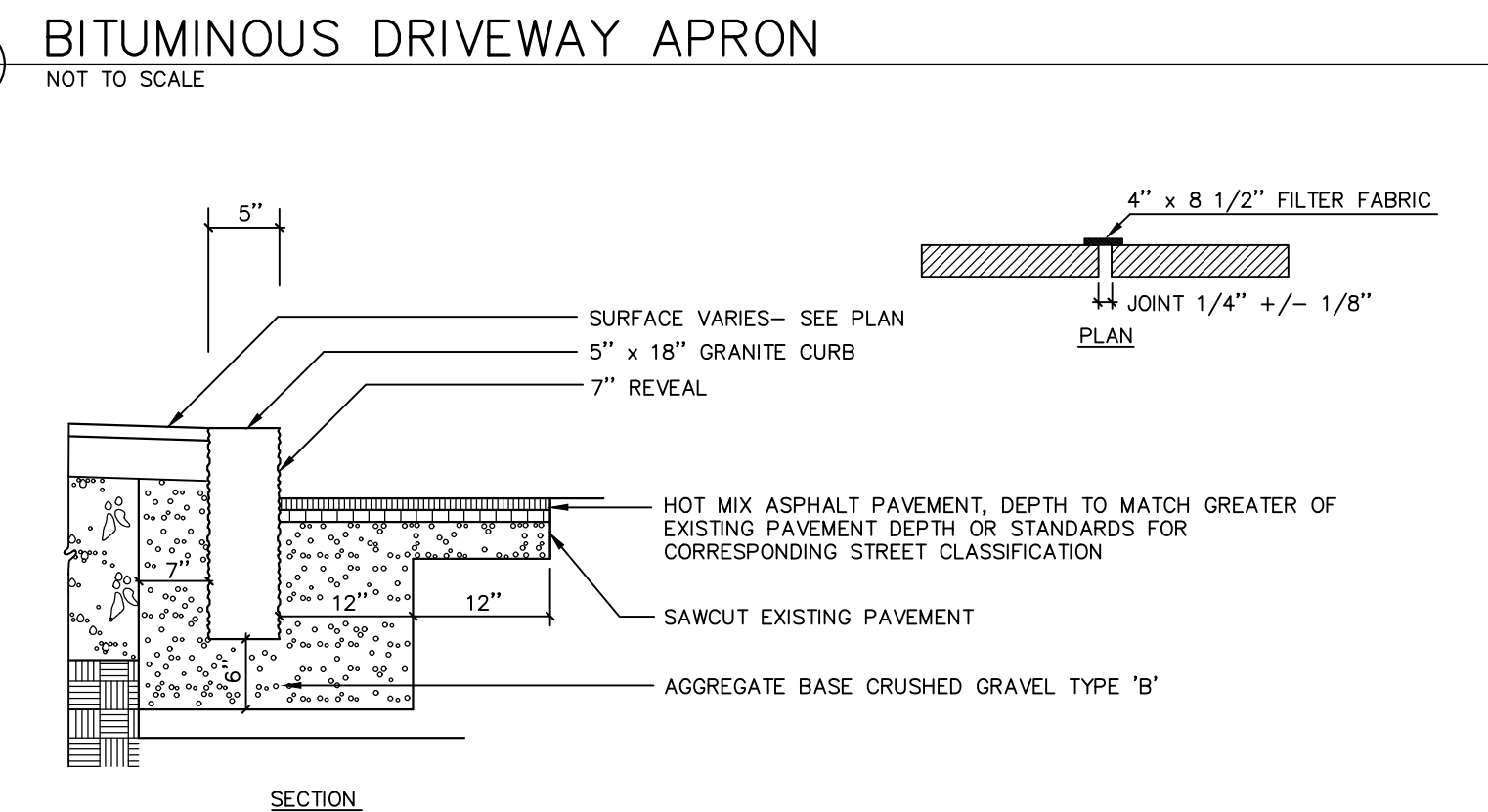
4 BITUMINOUS SIDEWALK WITH GRANITE CURB- CITY OF PORTLAND  
L5 NOT TO SCALE



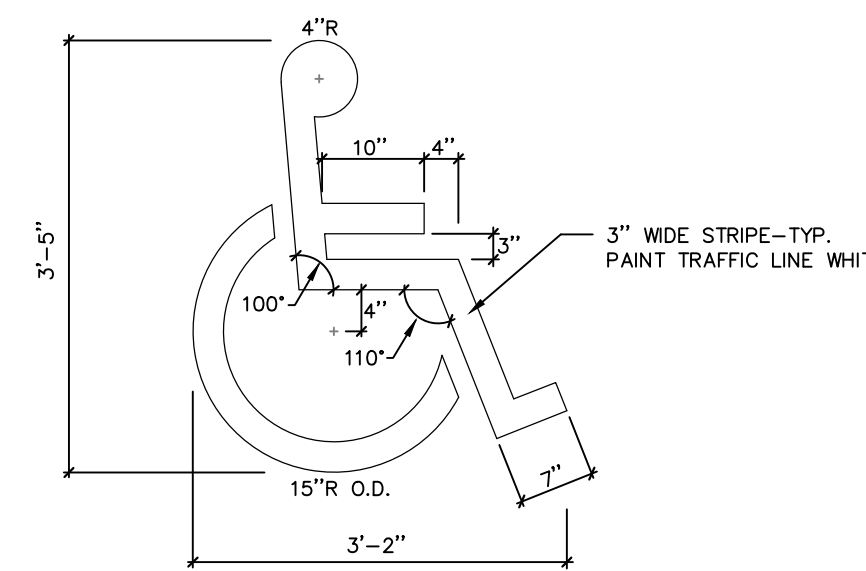
10 DRIVEWAY APRON LAYOUT  
L5 NOT TO SCALE



15 SIDEWALK RAMP DETECTABLE WARNING TILE  
L5 NOT TO SCALE



6 VERTICAL GRANITE CURB- CITY RIGHT OF WAY  
L5 NOT TO SCALE



11 ACCESSIBLE SPACE MARKINGS  
L5 NOT TO SCALE

Prepared For:  
Owner:  
AVESTA BISHOP STREET LP  
307 Cumberland Avenue  
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Tel.: 207-553-7777

Prepared By:  
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72 BISHOP STREET  
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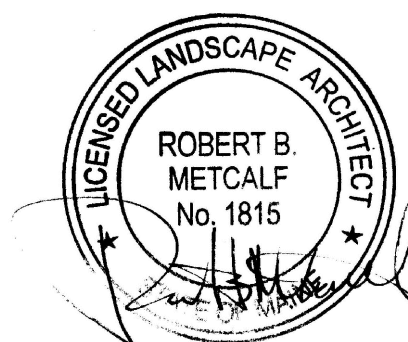
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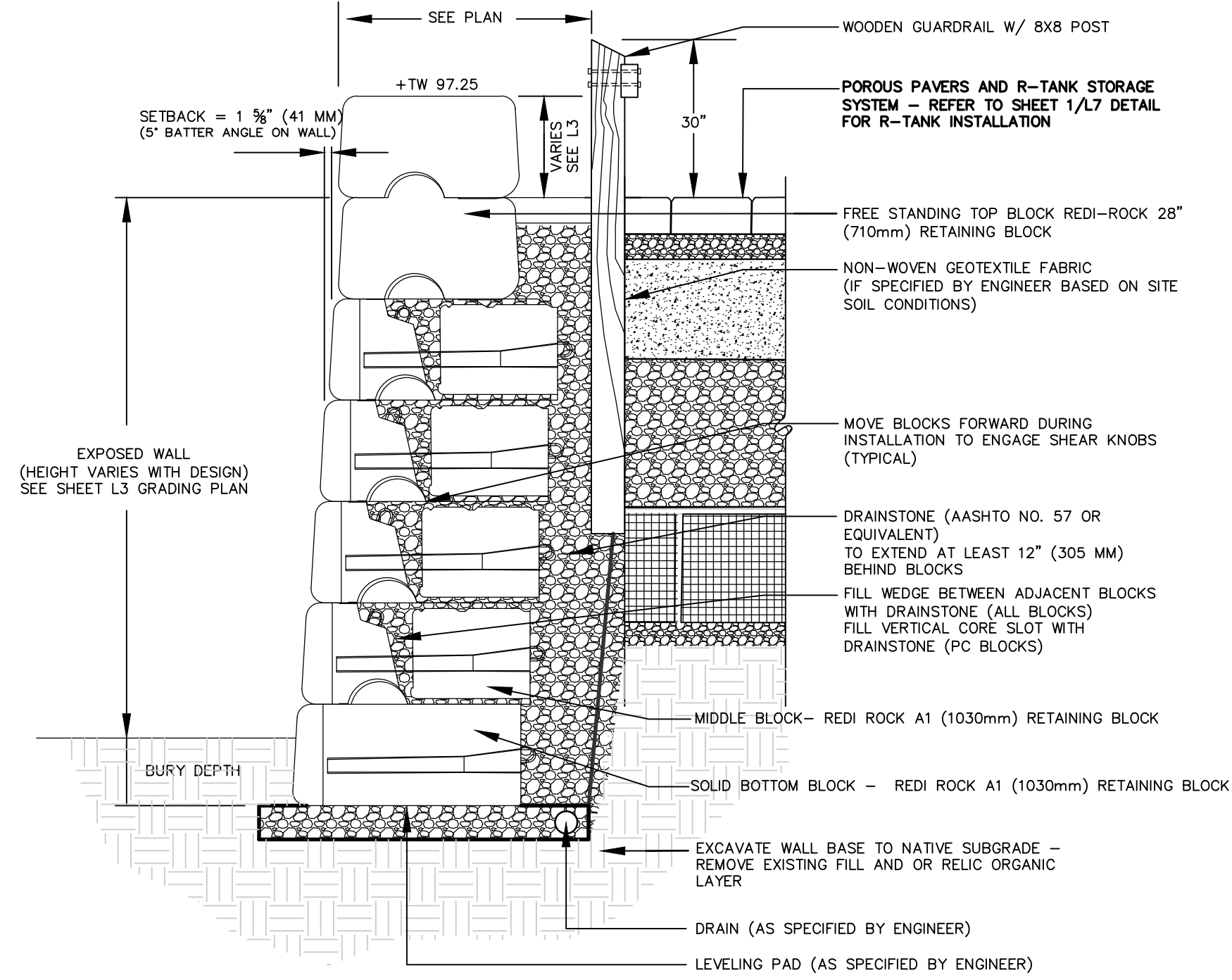
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Scale: AS SHOWN

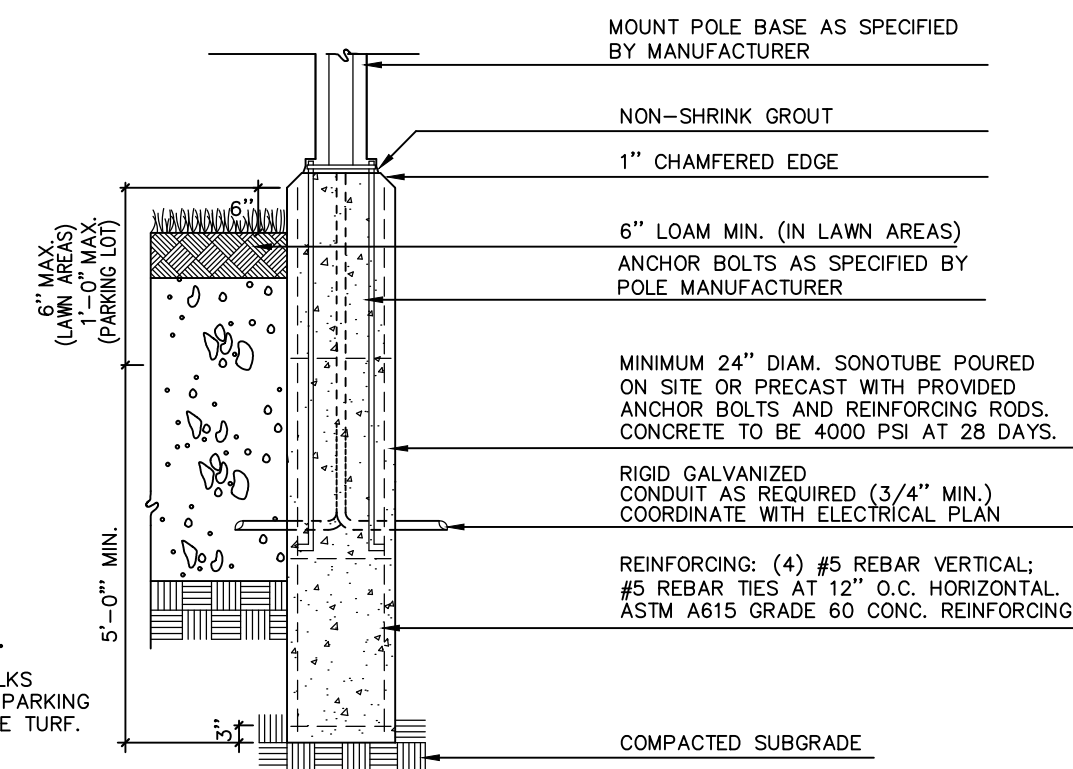
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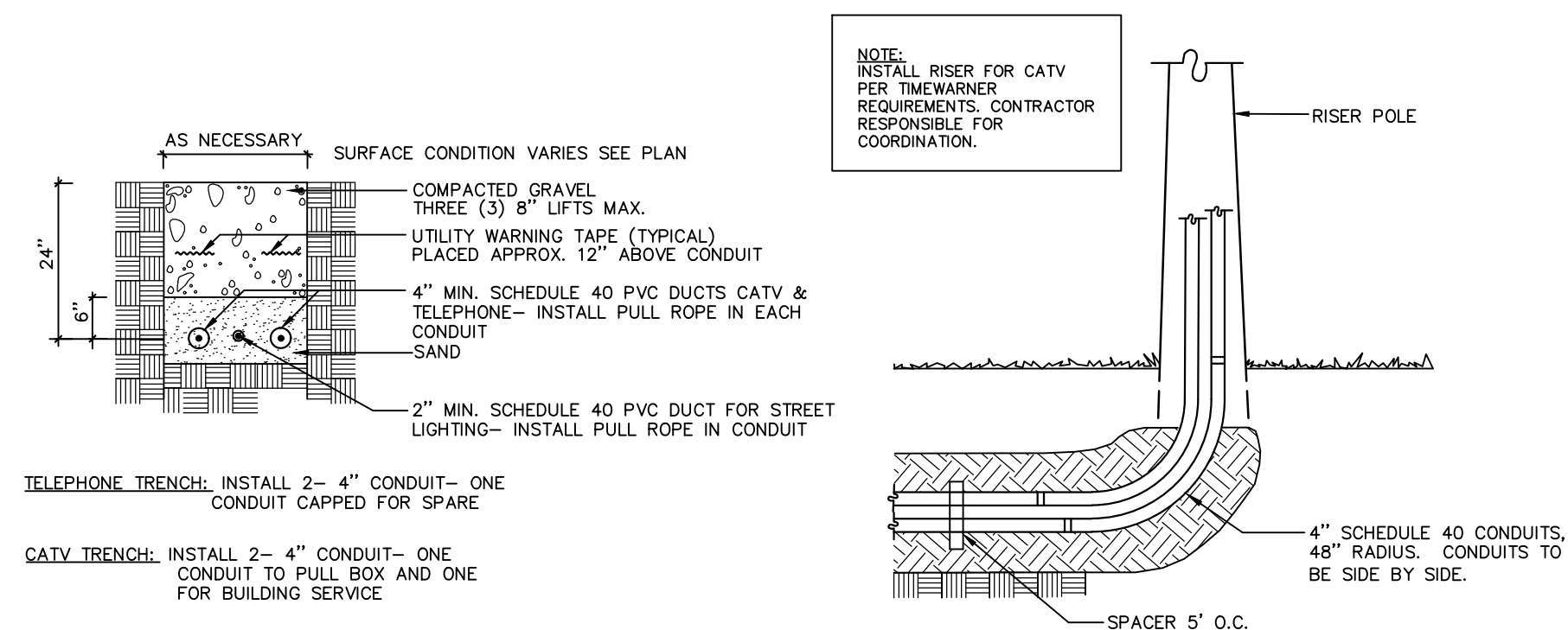
**NOTE:**  
STAMPED ENGINEERED SHOP DRAWINGS REQUIRED



**1** REDI-ROCK RETAINING WALL WITH GUARDRAIL  
L6 NOT TO SCALE

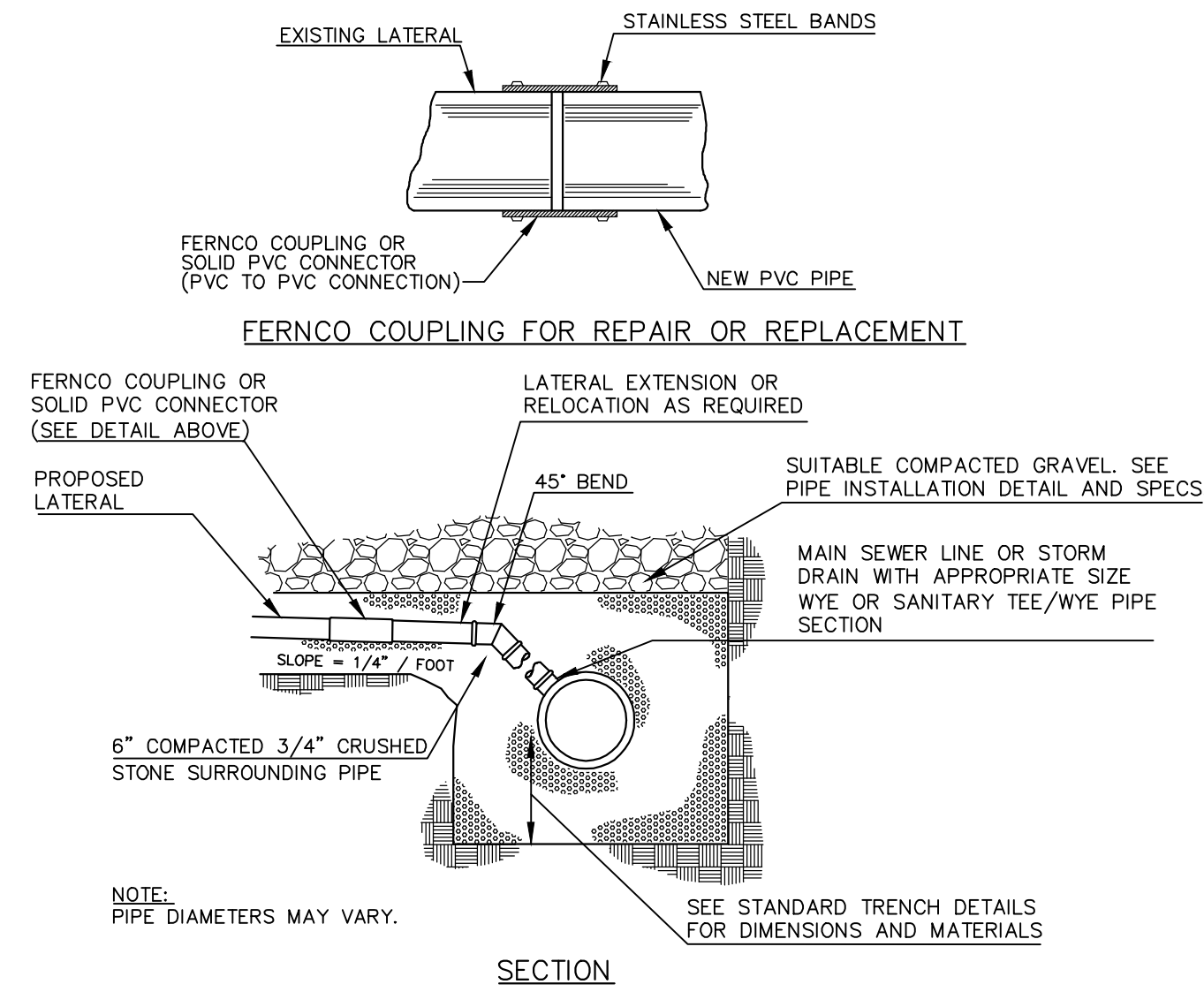


**2** LIGHT POLE BASE  
L6 NOT TO SCALE

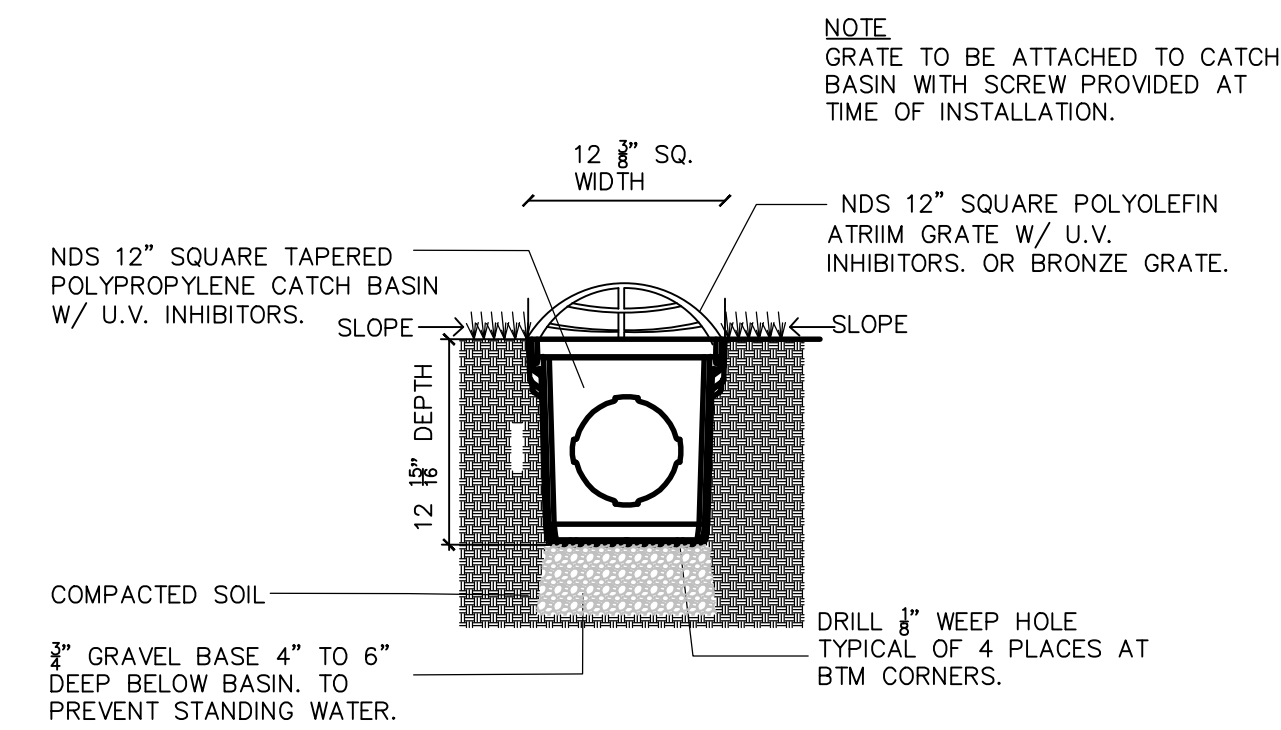


**3** TELEPHONE / CABLE T.V. & STREET LIGHTING TRENCH  
L6 NOT TO SCALE

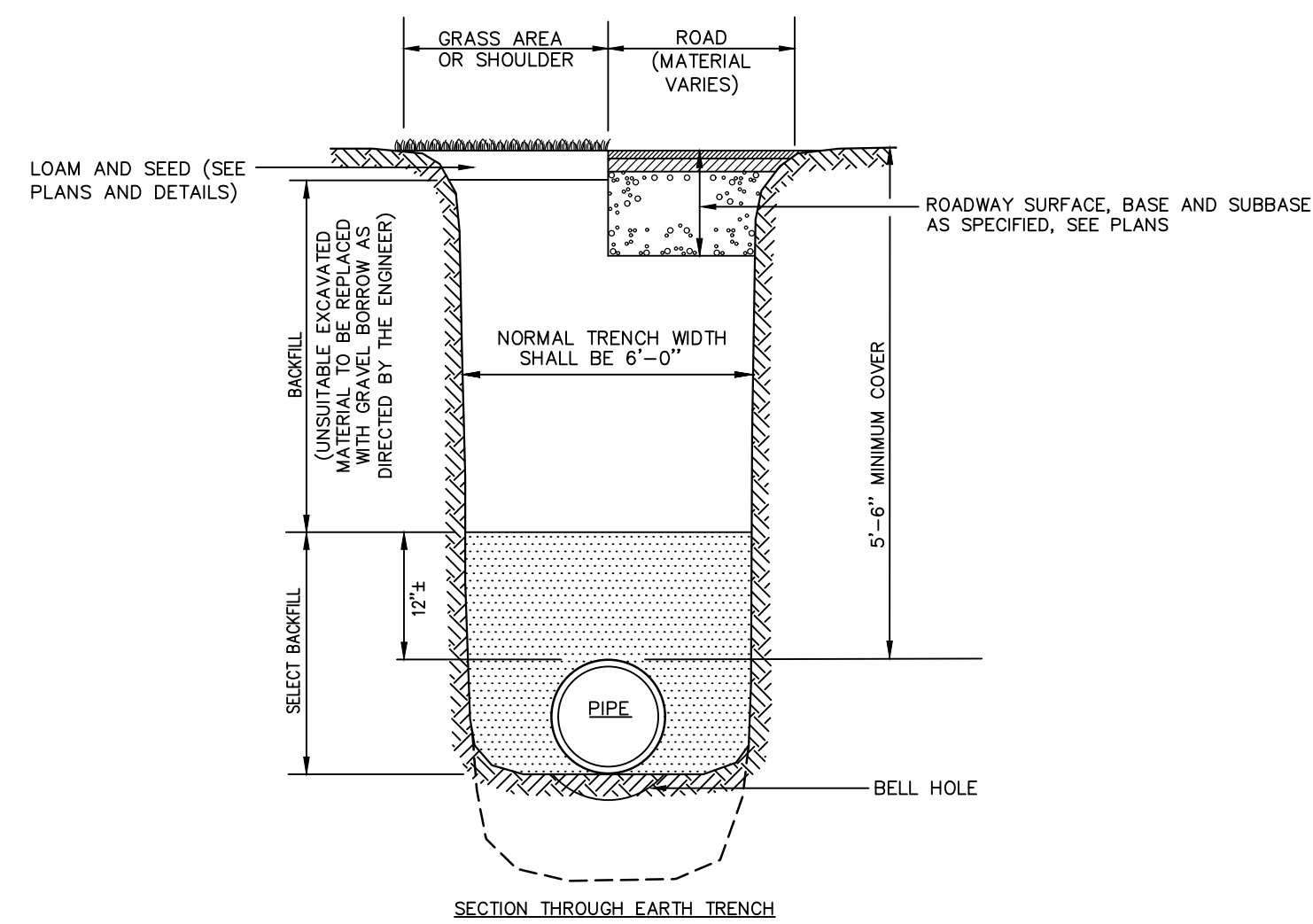
- NOTES:**
- LOCATIONS AND ELEVATIONS OF STUBS ON THE PLANS ARE TO BE CONSIDERED AS APPROXIMATE AND MAY BE ADJUSTED AS DIRECTED TO SUIT FIELD CONDITIONS.
  - HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS TO BE MAIN LINE OF THE SEWER, SHALL CONSIST OF AN APPROPRIATE "Y" BRANCH CONNECTION AS SHOWN ON THE PLANS, OR AS DIRECTED. ACTUAL "Y" LOCATIONS FOR THE HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS SHALL BE DETERMINED DURING CONSTRUCTION. THE CONTRACTOR SHALL KEEP A COMPLETE RECORD OF "Y" LOCATIONS WHICH SHALL BE GIVEN TO THE CITY OF PORTLAND UPON COMPLETION OF THE CONTRACT. ALL PVC TO PVC COUPLING SHALL BE "SOLID PVC COUPLINGS".



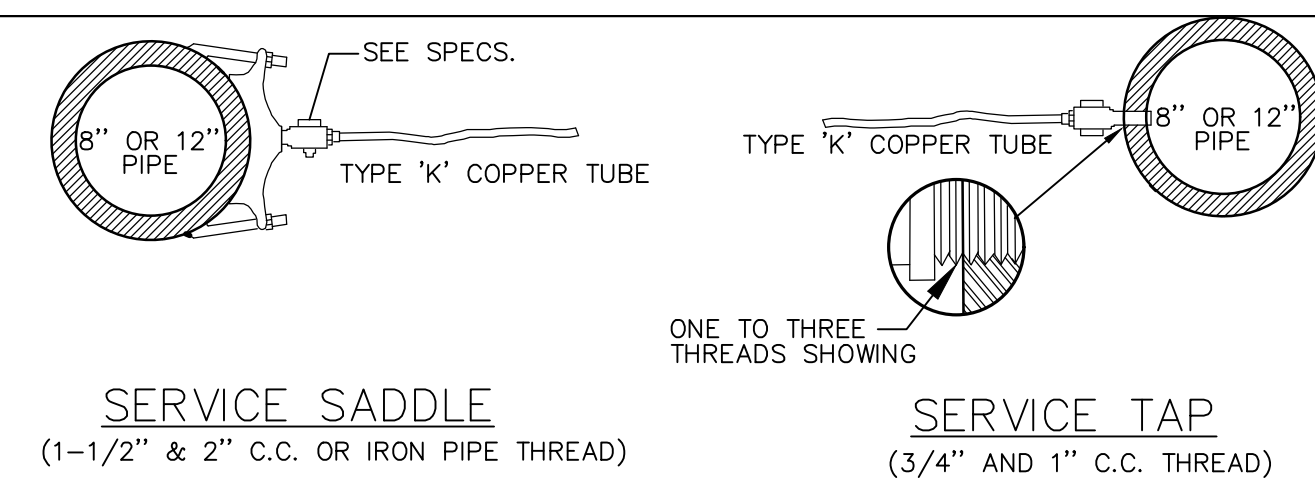
**5** TYPICAL LATERAL WYE CONNECTION DETAIL  
L6 NOT TO SCALE



**6** NDS 12" SQ. SHALLOW CATCHBASIN  
L6 NOT TO SCALE

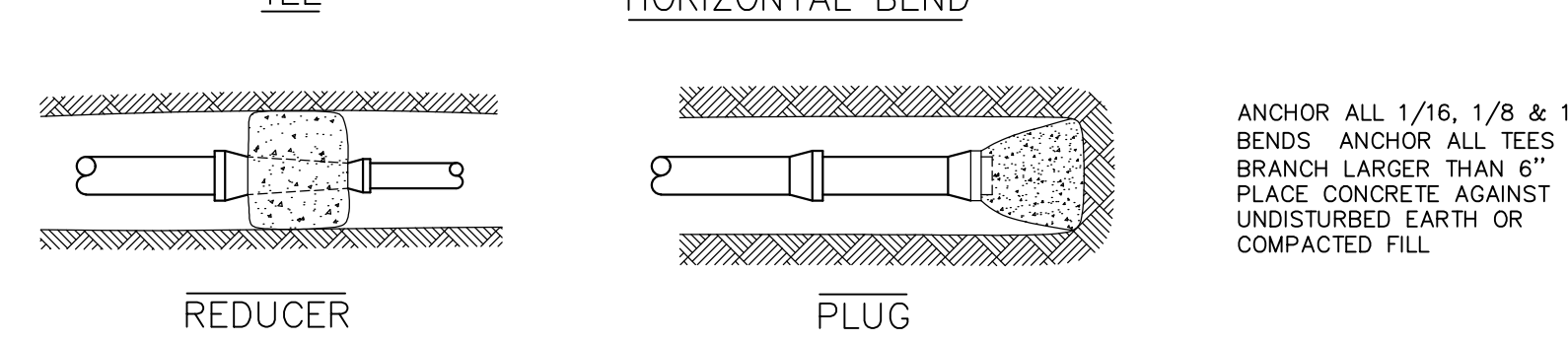


**7** PORTLAND WATER DISTRICT PIPE TRENCH DETAIL  
L6 NOT TO SCALE

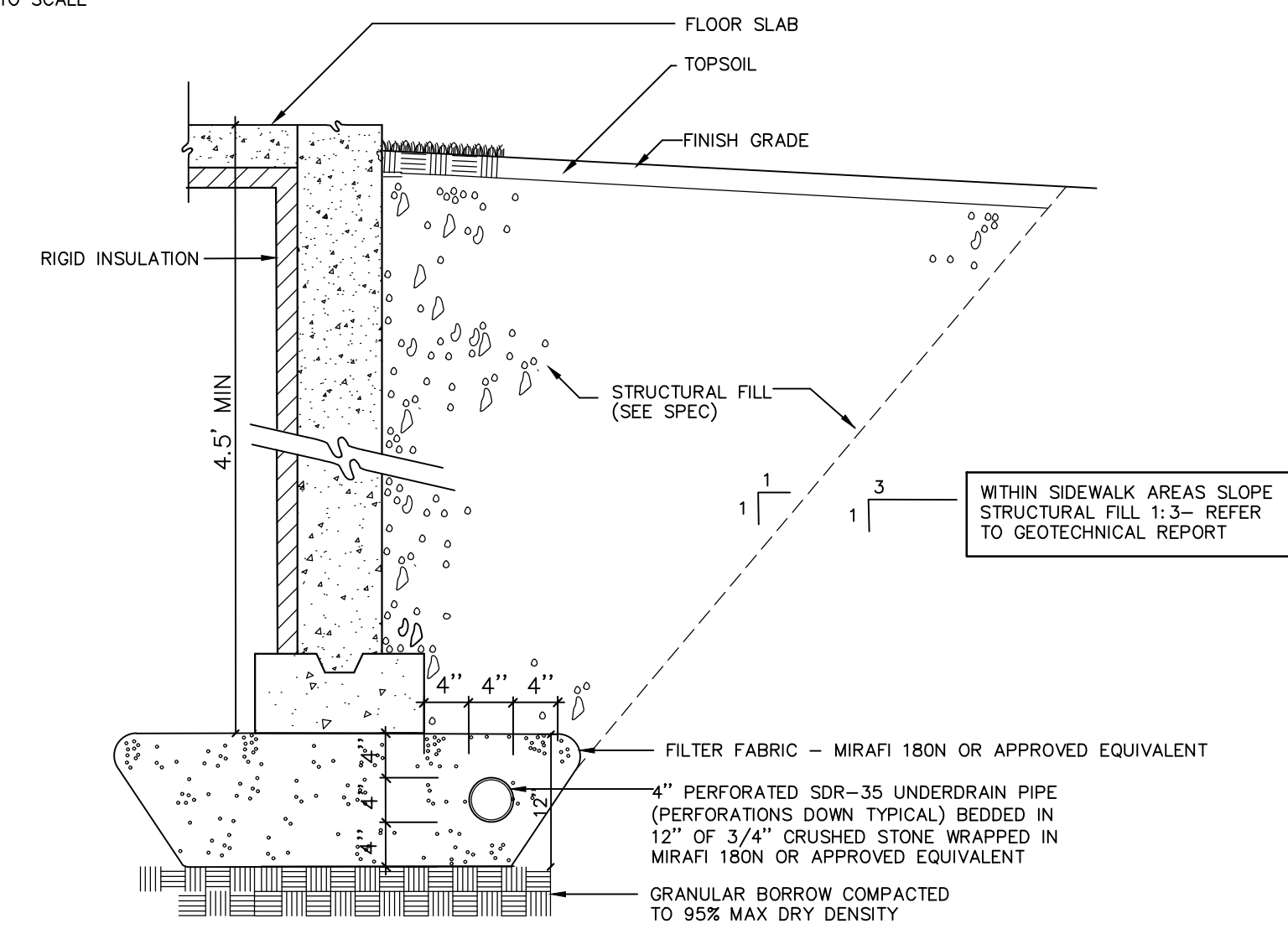


**8** TYPICAL RESIDENTIAL WATER SERVICE CONNECTION  
L6 NOT TO SCALE

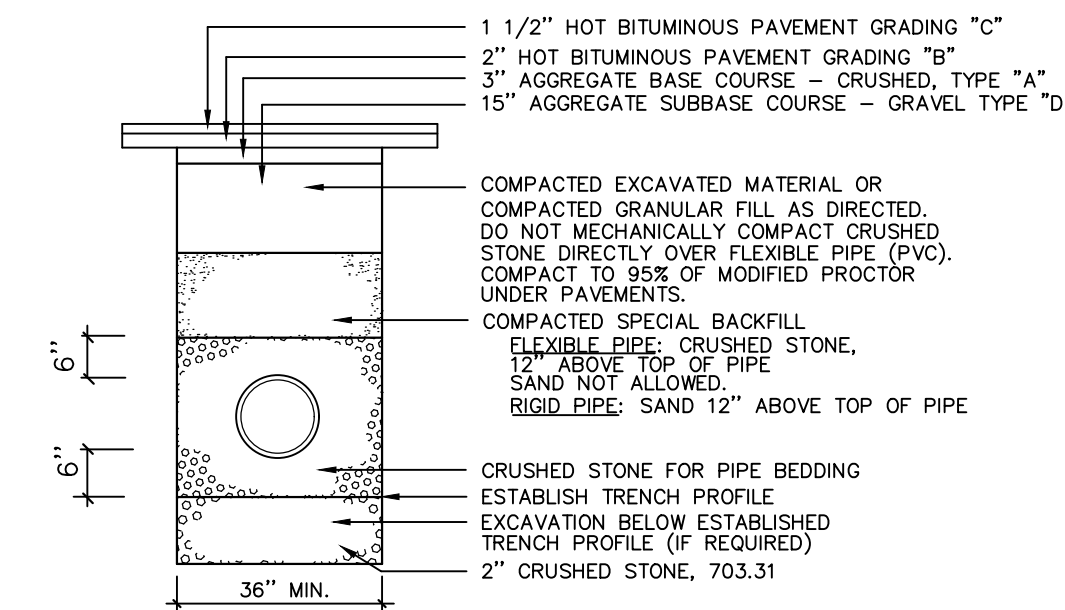
PIPE SIZE (IN)	BEARING SURFACE, SQ. FT.	TEE 90	45	22 1/2	11 1/4
2	1.0	1.0	1.0	1.0	1.0
3	1.0	1.0	1.0	1.0	1.0
4	1.2	1.0	1.0	1.0	1.0
6	2.6	1.4	1.0	1.0	1.0
8	4.6	2.5	1.4	1.0	1.0
10	7.2	3.9	2.0	1.0	1.0
12	10.4	5.6	2.8	1.5	1.0
14	14.2	7.7	3.9	2.0	1.0
16	18.5	10.0	5.0	2.5	1.0
18	23.4	12.7	6.4	3.3	1.0



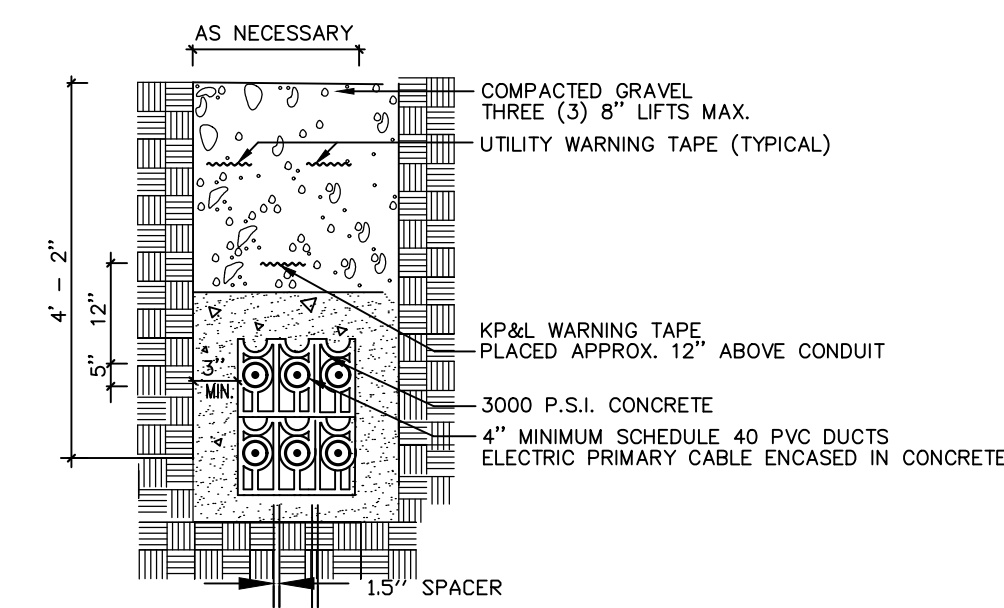
**9** WATER MAIN ANCORAGE DETAILS  
L6 NOT TO SCALE



**10** FOUNDATION UNDERDRAIN  
L6 NOT TO SCALE



**11** PIPE TRENCH DETAIL  
L6 NOT TO SCALE



**12** ELECTRIC TRENCH  
L6 NOT TO SCALE

**NOTE:**  
SERVICE CONNECTIONS (DIRECT TAPS AND SERVICE CLAMPS) WILL BE INSTALLED SO THAT THE OUTLET IS AT AN ANGLE OF NOT MORE THAN 45° ABOVE THE HORIZONTAL. ALWAYS PUT A BEND OR 'GOOSENECK' IN THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND 'GIVE' TO COUNTERACT THE EFFECTS OF A LOAD DUE TO SETTLEMENT OR EXPANSION AND/OR CONTRACTION (SEE DETAILS).

Prepared For:  
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72 BISHOP STREET  
Portland, Maine  
Bishop Street

Date: APRIL 10, 2015

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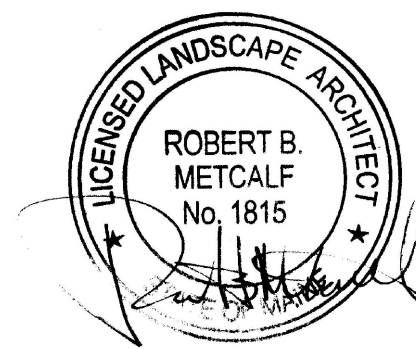
Revisions:  
Rev: 5/22/15  
Rev: 6/22/15  
Rev: 12/23/15  
Rev: 02/05/16  
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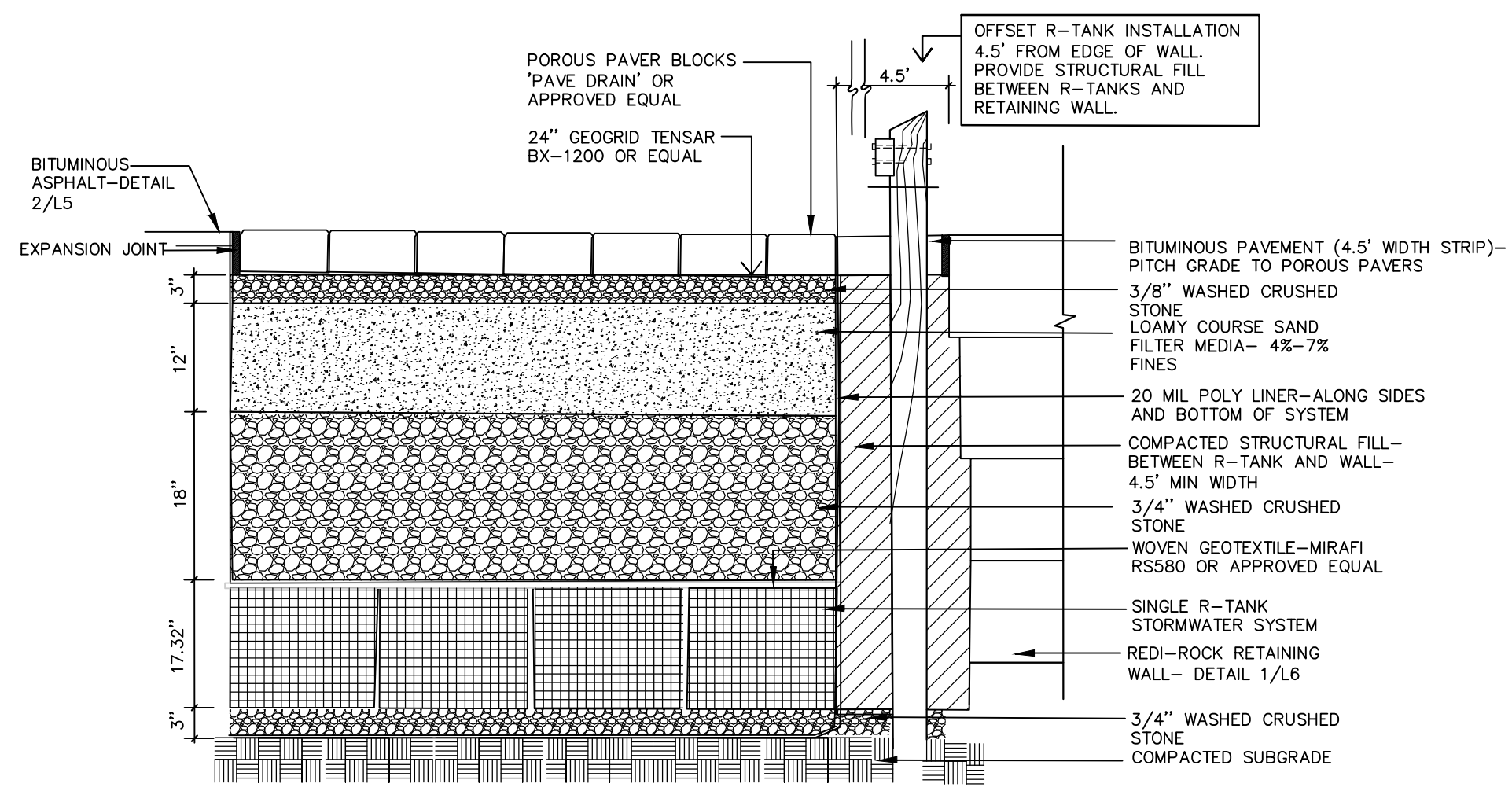
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SITE DETAILS

Scale:  
AS SHOWN

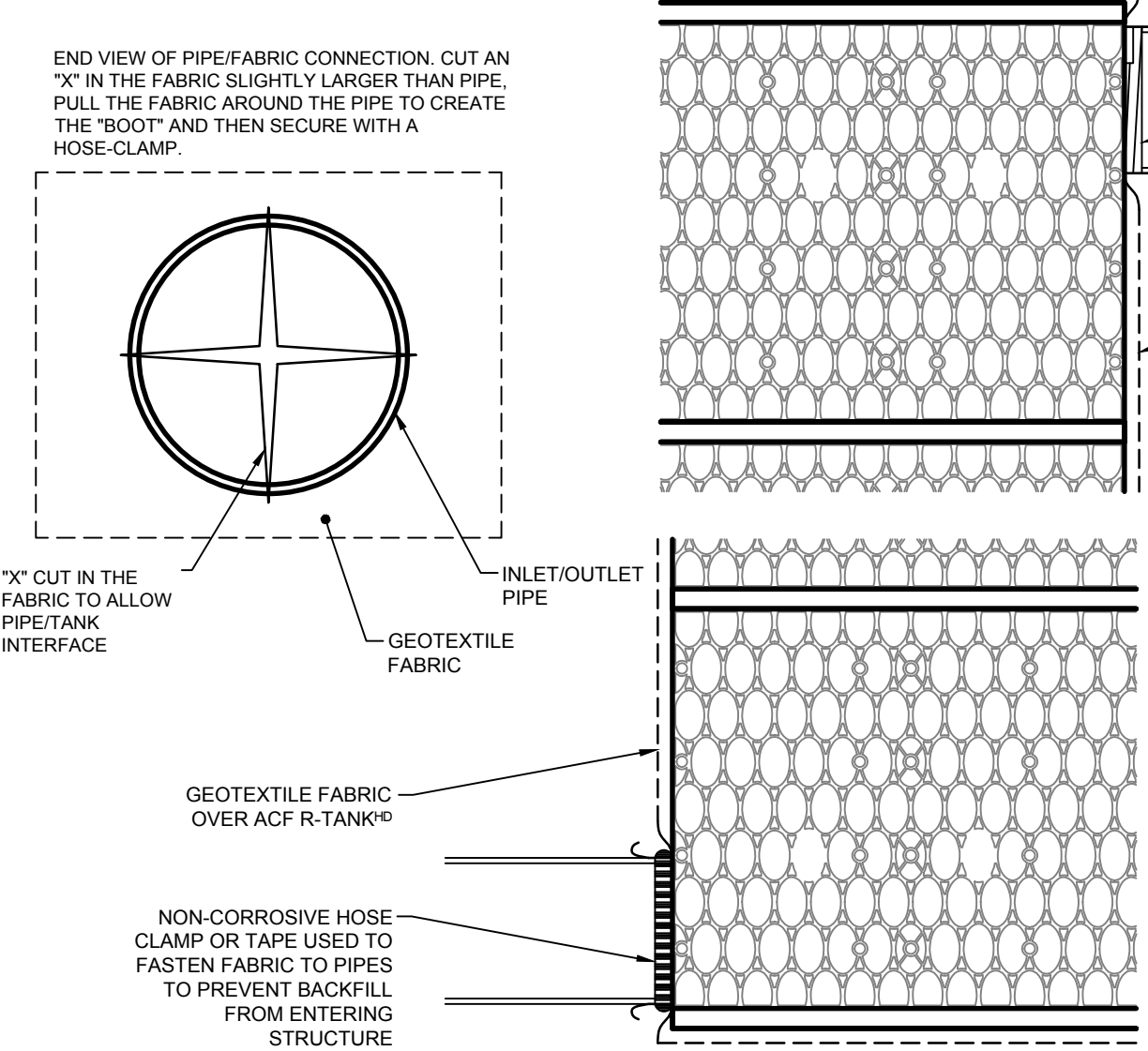
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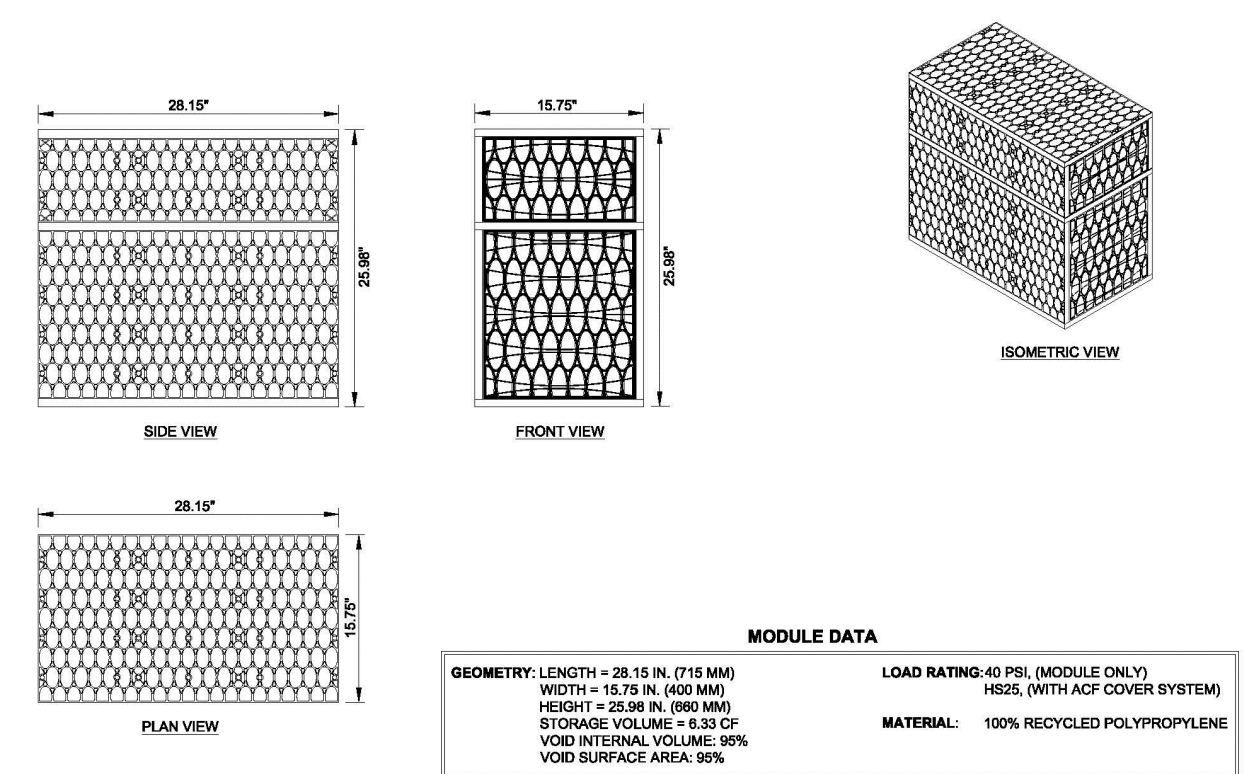




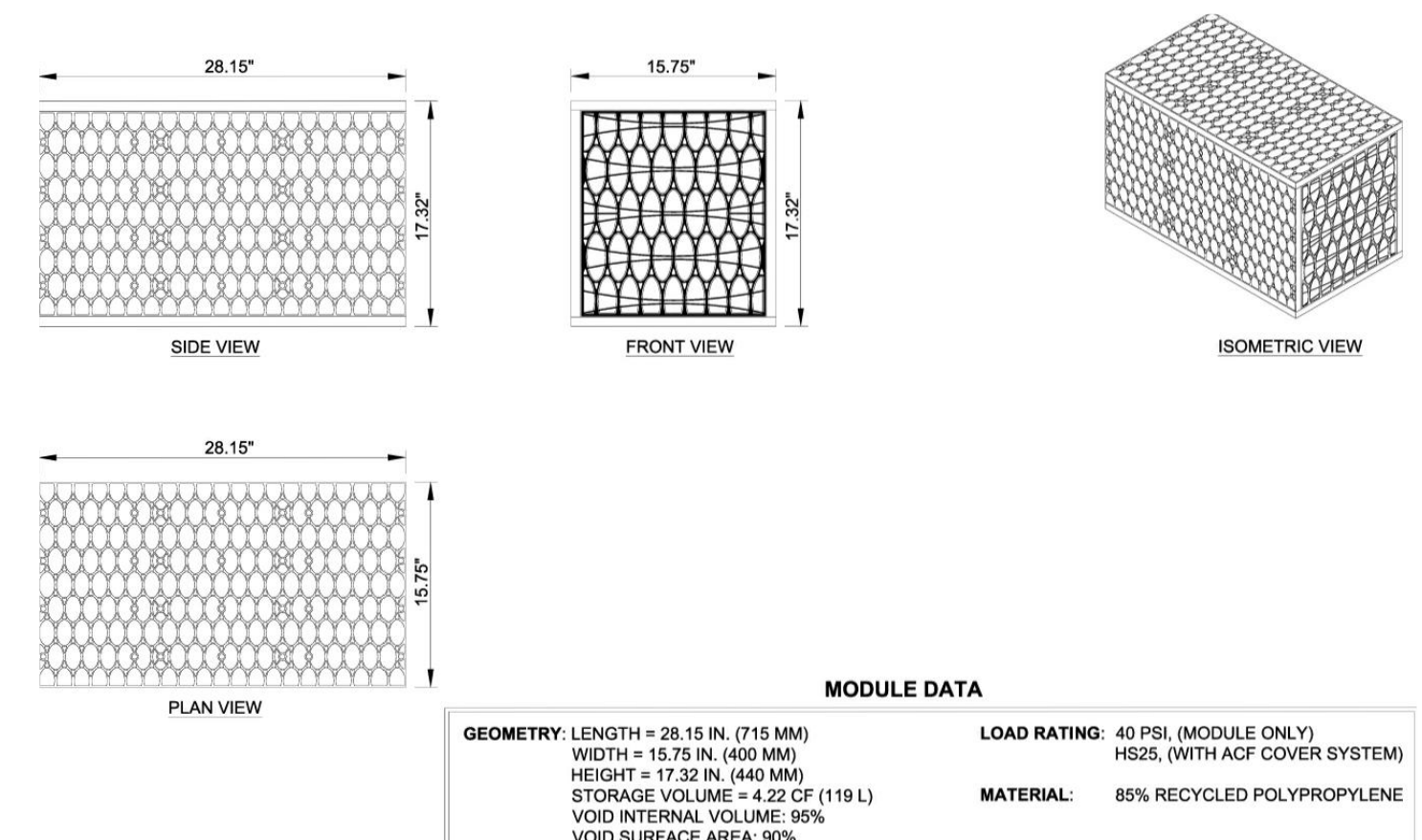
1 POROUS PAVERS & R-TANK STORMWATER SYSTEM  
NOT TO SCALE



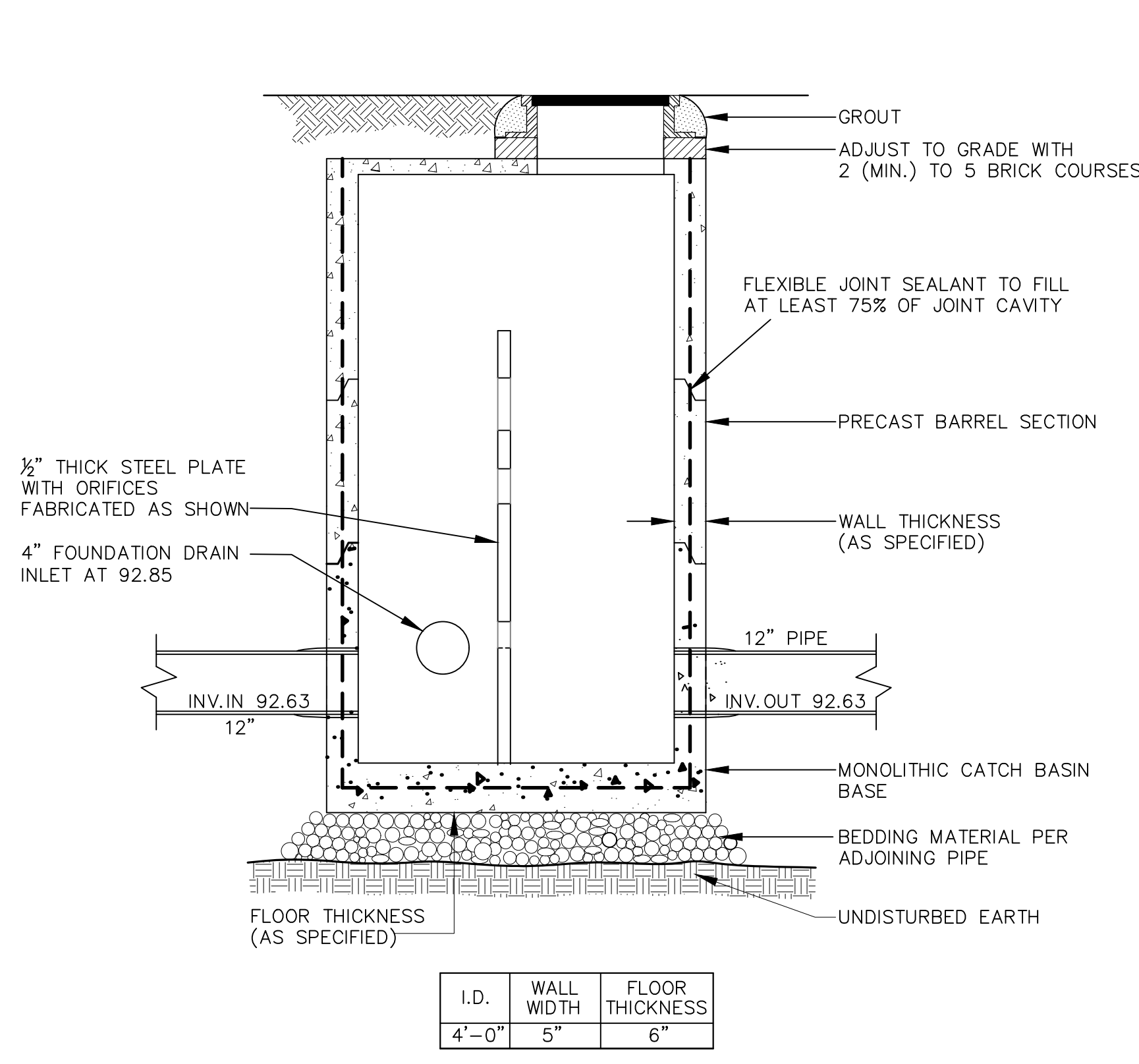
4 R-TANK INLET/OUTLET  
NOT TO SCALE



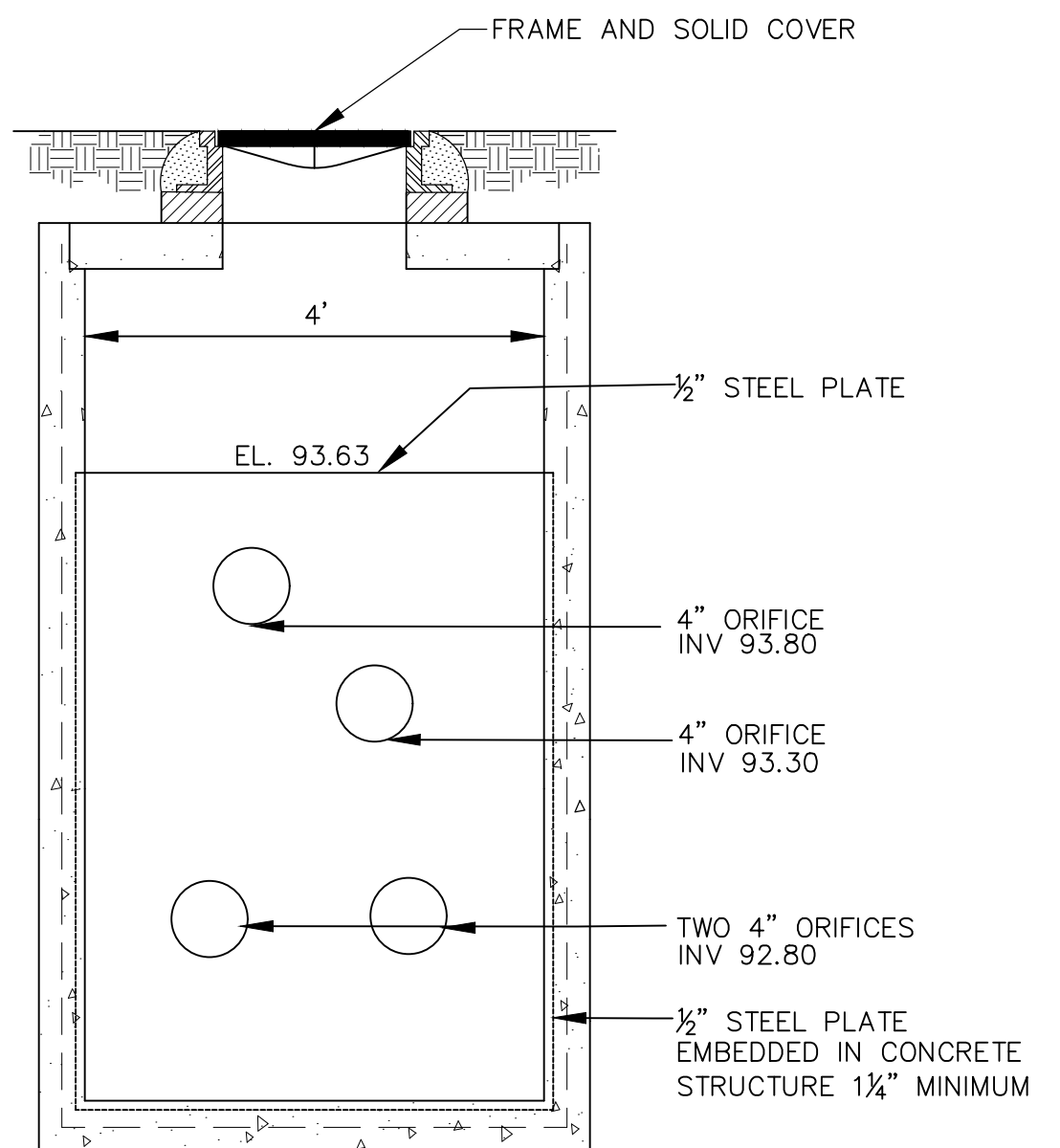
6 R-TANK SINGLE AND MINI MODULES  
NOT TO SCALE



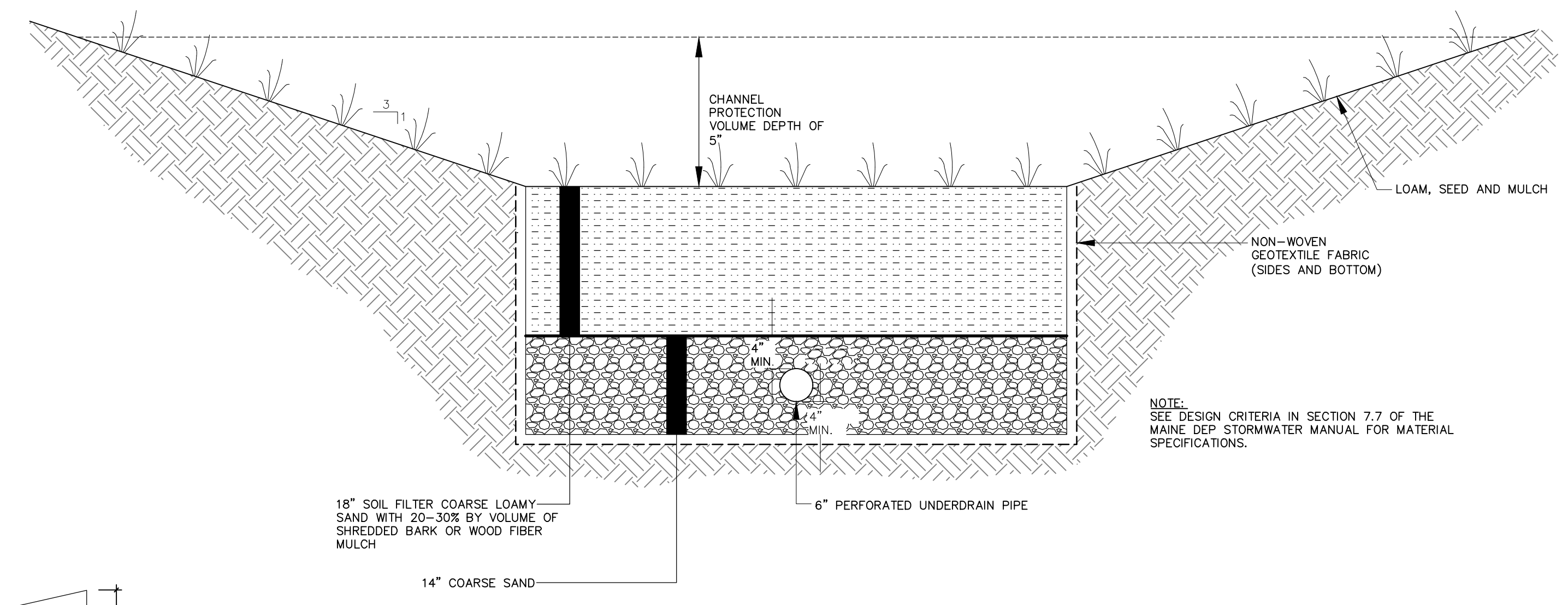
7 R-TANK SINGLE MODULES  
NOT TO SCALE



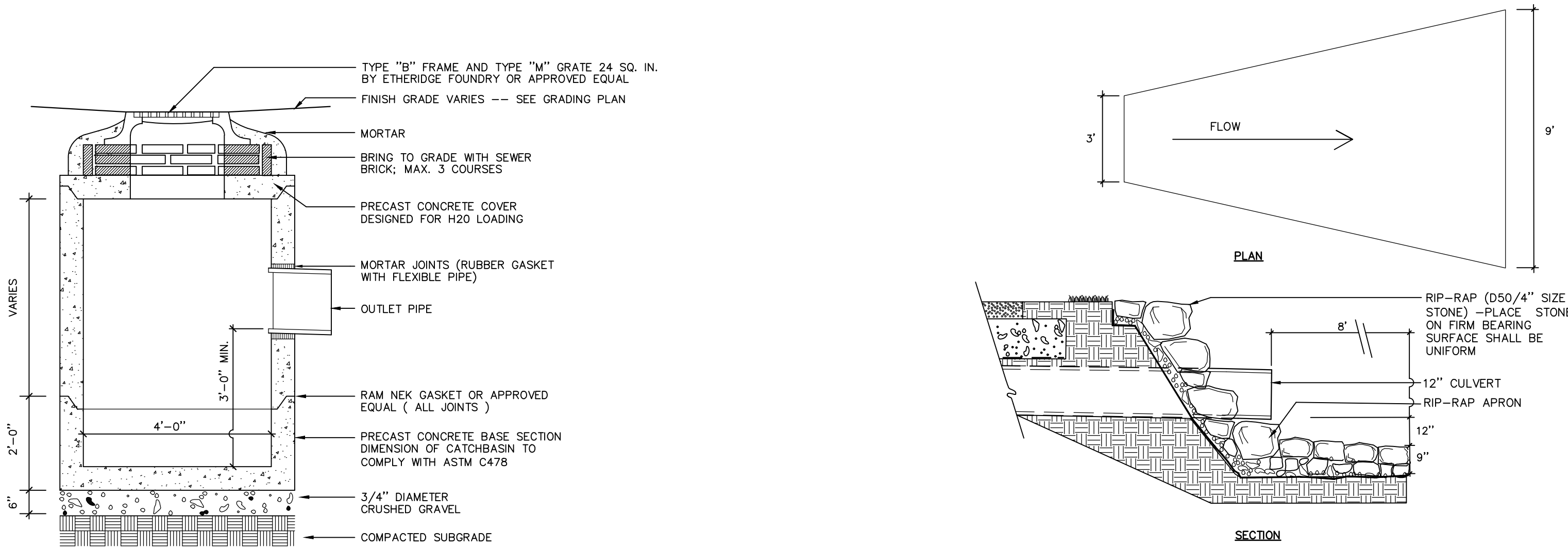
2 FLOW CONTROL STRUCTURE  
NOT TO SCALE



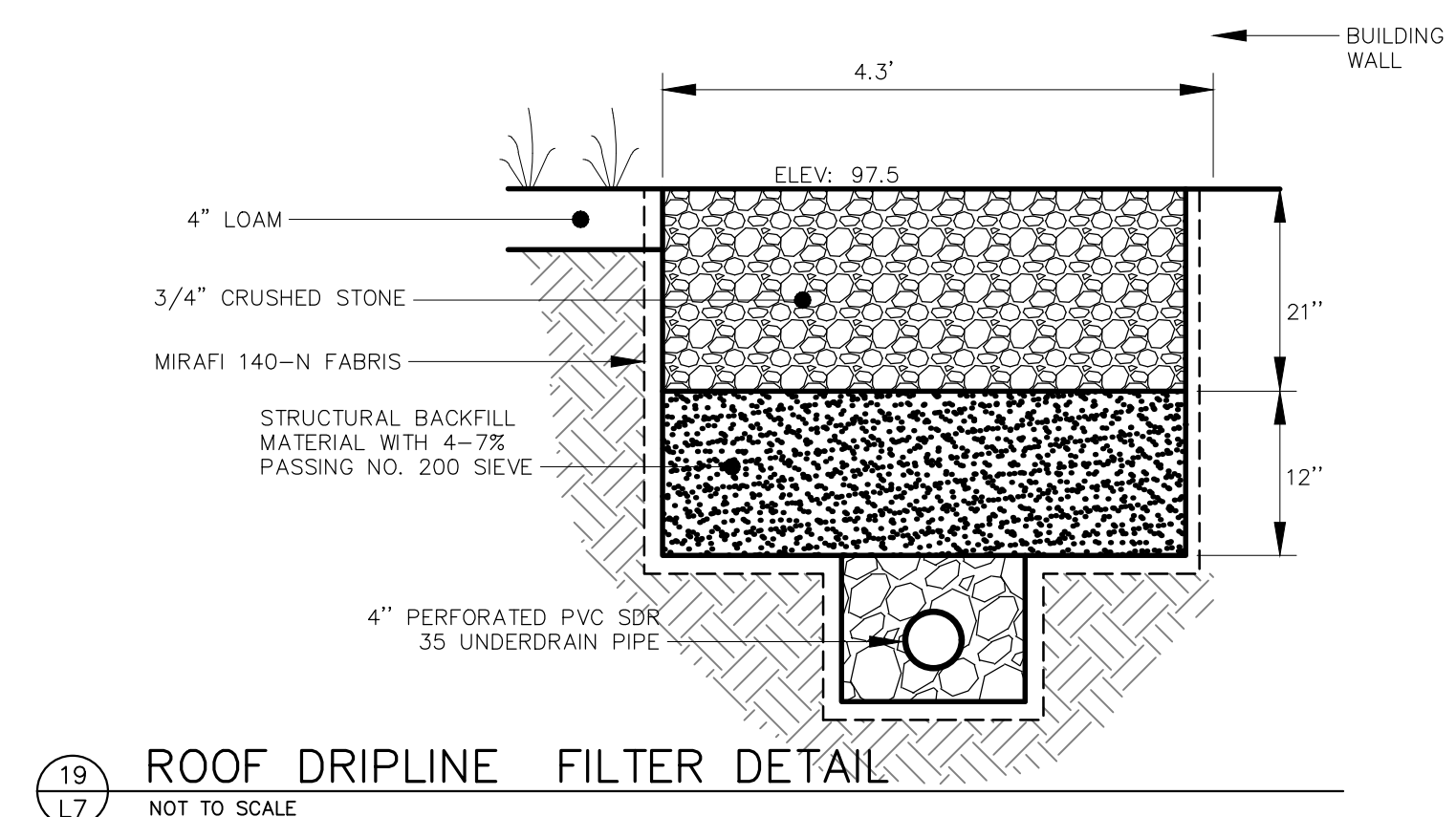
5 OCS OUTLET APRON AND RIP-RAP DETAIL  
NOT TO SCALE



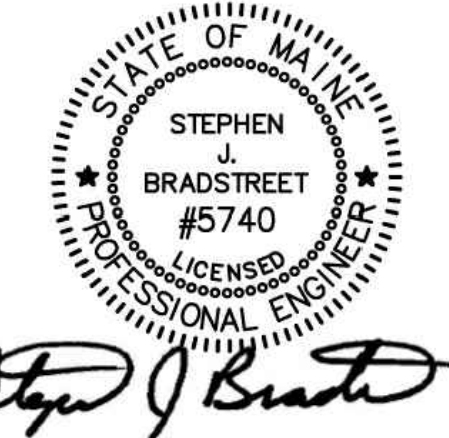
8 VEGETATED SOIL FILTER (WEST SIDE OF BUILDING)  
NOT TO SCALE



3 PRECAST CONCRETE CATCHBASIN  
NOT TO SCALE



19 ROOF DRIPLINE FILTER DETAIL  
NOT TO SCALE



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Title:  
STORMWATER DETAILS

Scale:  
AS SHOWN

North:  
Sheet No.:  
L7

**EROSION AND SEDIMENTATION CONTROL PLAN**

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER CONSTRUCTION OF A 21,039.94 SF, 30 UNIT, APARTMENT BUILDING IN PORTLAND, MAINE. THIS PLAN IS BASED ON THE STORMWATER MANAGEMENT FOR MAINE VOLUME III BMPs TECHNICAL DESIGN MANUAL DATED JANUARY 2006.

THE PROJECT CONSISTS OF CONSTRUCTION OF A PROPOSED 3-STORY BUILDING WITH A 7,808 SF FOOTPRINT AND PARKING AREA. THE ASSOCIATED GRADING DEFINES THE LIMITS OF PROPOSED EARTH MOVEMENT FOR THE DEVELOPMENT. THE HORIZONTAL AND VERTICAL PLACEMENT PROPOSED BUILDING ADDITION AND PARKING LOT HAVE BEEN DESIGNED TO MAXIMIZE THE TOPOGRAPHIC OPPORTUNITIES AVAILABLE.

**B. EROSION CONTROL PRACTICES/TEMPORARY MEASURES**

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED: EACH GROUND AREA, OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN 15 DAYS OF INITIAL DISTURBANCE OF SOIL AND SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THIS STATEMENT APPLIES TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING. EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.

TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

**TEMPORARY SEEDING:** SEED SHALL BE AROOSTOOK RYE APPLIED AT 2.60#/1000 SF. LIME SHALL BE AGRICULTURAL GROUND LESTONE APPLIED AT 138#/1000 SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 13.8#/1000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1000 SF. TEMPORARY SEEDING SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1, AND SHALL NOT BE PLACED OVER SNOW.

**TEMPORARY MULCHING:** MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 150-200#/1000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH MUST NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.

**PERMANENT BASE GRAVEL:** BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:

- a. SLOPES SHALL BE LESS THAN EIGHT PERCENT;
- b. GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.

**ASPHALT BINDER COURSE:** ASPHALT BINDER SHALL MEET THE SPECIFICATIONS FOR THE ASPHALT BINDER COURSE FOR THE PROPOSED COMPLETED PAVEMENT.

**C. EROSION CONTROL PRACTICES/PERMANENT MEASURES**

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDINGS SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWN AS WELL AS EMBANKMENTS. SEED, LOAM, LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

SEED: THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED. HARMLESS INERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPPLIED SHALL BE PACKED IN APPROVED CONTAINERS BEARING THE MANUFACTURER'S NAME AND ANALYSIS OF CONTENTS. THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE REQUIRED FOR PERMANENT SEEDING:

LAWN	
CREeping RED RESCUE:	0.69#/1000 SF
KENTUCKY BLUEGRASS:	0.57#/1000 SF
PERENNIAL RYE GRASS:	0.46#/1000 SF
REDTOP:	0.12#/1000 SF
TOTAL:	1.84#/1000 SF

LOAM SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT FOUR INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

LIME: LIME SHALL BE AGRICULTURAL GROUND LESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY. FERTILIZER: FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

MULCH: MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER APPLICATION, THE MULCH SHALL BE THOROUGHLY WETTED. IN STEEP AREAS, THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES SPECIFIED.

THE CONTRACTOR SHALL MAINTAIN THE SEEDING AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OR THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDING AND REMULCHED.

**D. WINTER CONSTRUCTION**

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS./1,000 S.F. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE, DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

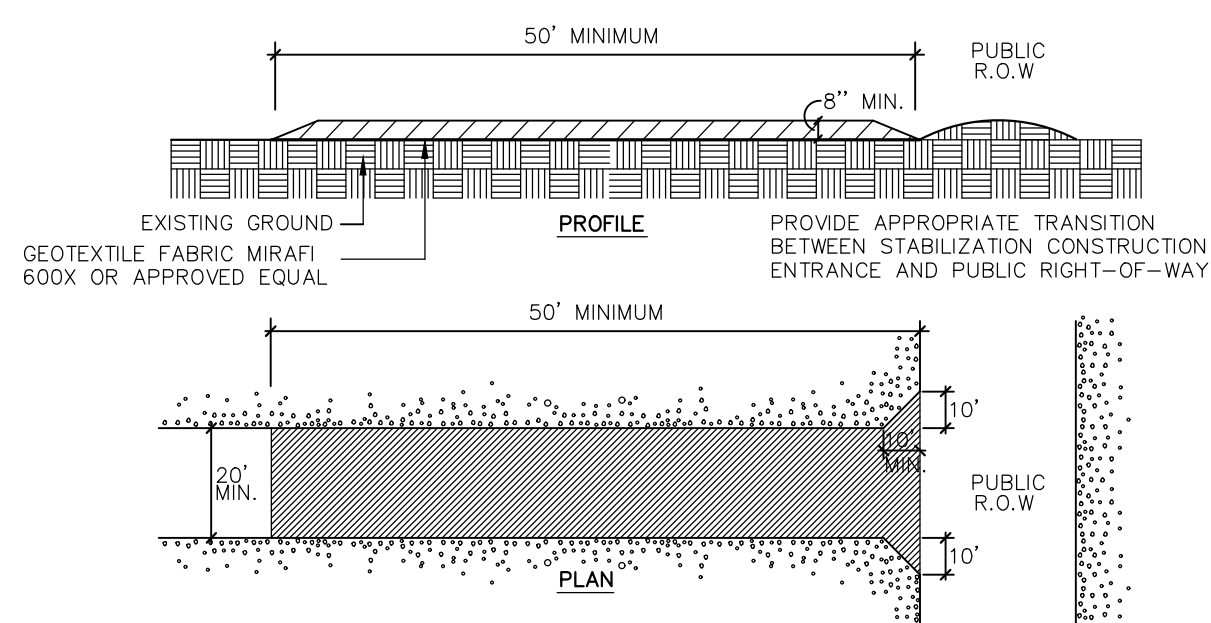
**E. CONSTRUCTION SEQUENCE**

THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:

1. INSTALL EROSION CONTROL DEVICES.
2. GRADE SITE.
3. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL WITHIN 15 DAYS OF INITIAL DISTURBANCE.
4. COMPLETE SITE CONSTRUCTION WORK
5. CONSTRUCT PARKING AREA
6. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING.
7. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

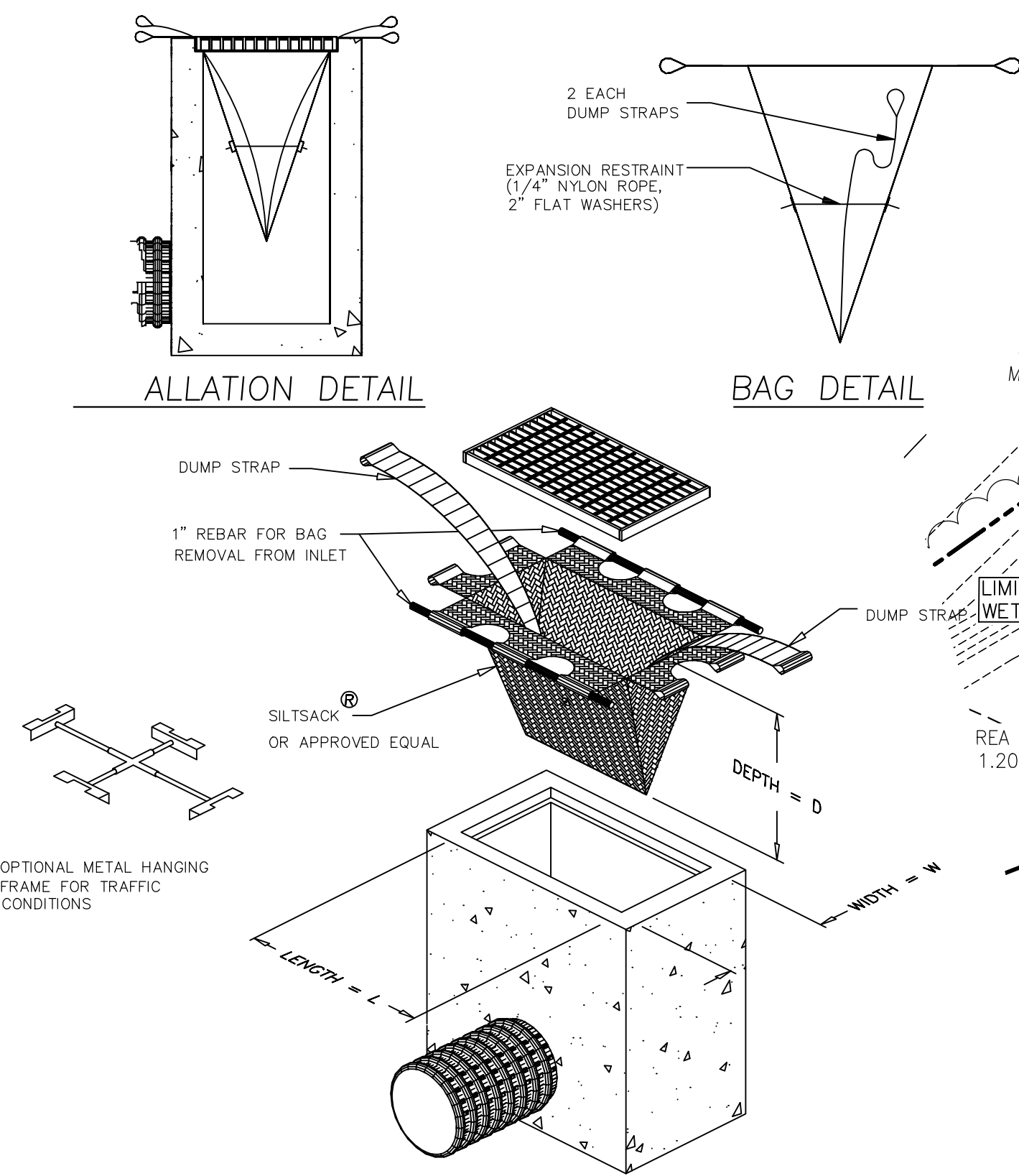
**F. SITE INSPECTION & MAINTENANCE**

WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 0.5" OVER A CONSECUTIVE 24-HOUR PERIOD, SHALL BE CONDUCTED BY THE SITE CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE SITE CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF AVESTA BISHOP STREET L.P.

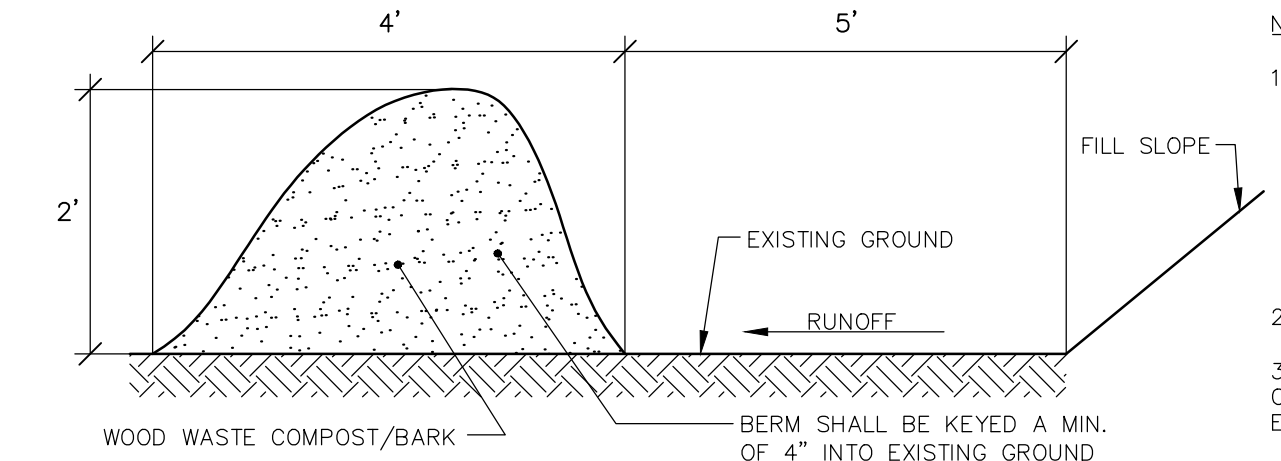


- CONSTRUCTION SPECIFICATIONS:
1. STONE SIZE: AASHTO DESIGNATION M 43, SIZE NO. 2 (2.5" TO 1.5"). USE CRUSHED STONE.
  2. LENGTH: AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
  3. THICKNESS: NOT LESS THAN EIGHT (8) INCHES.
  4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
  5. WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
  6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONES AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

1. STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE



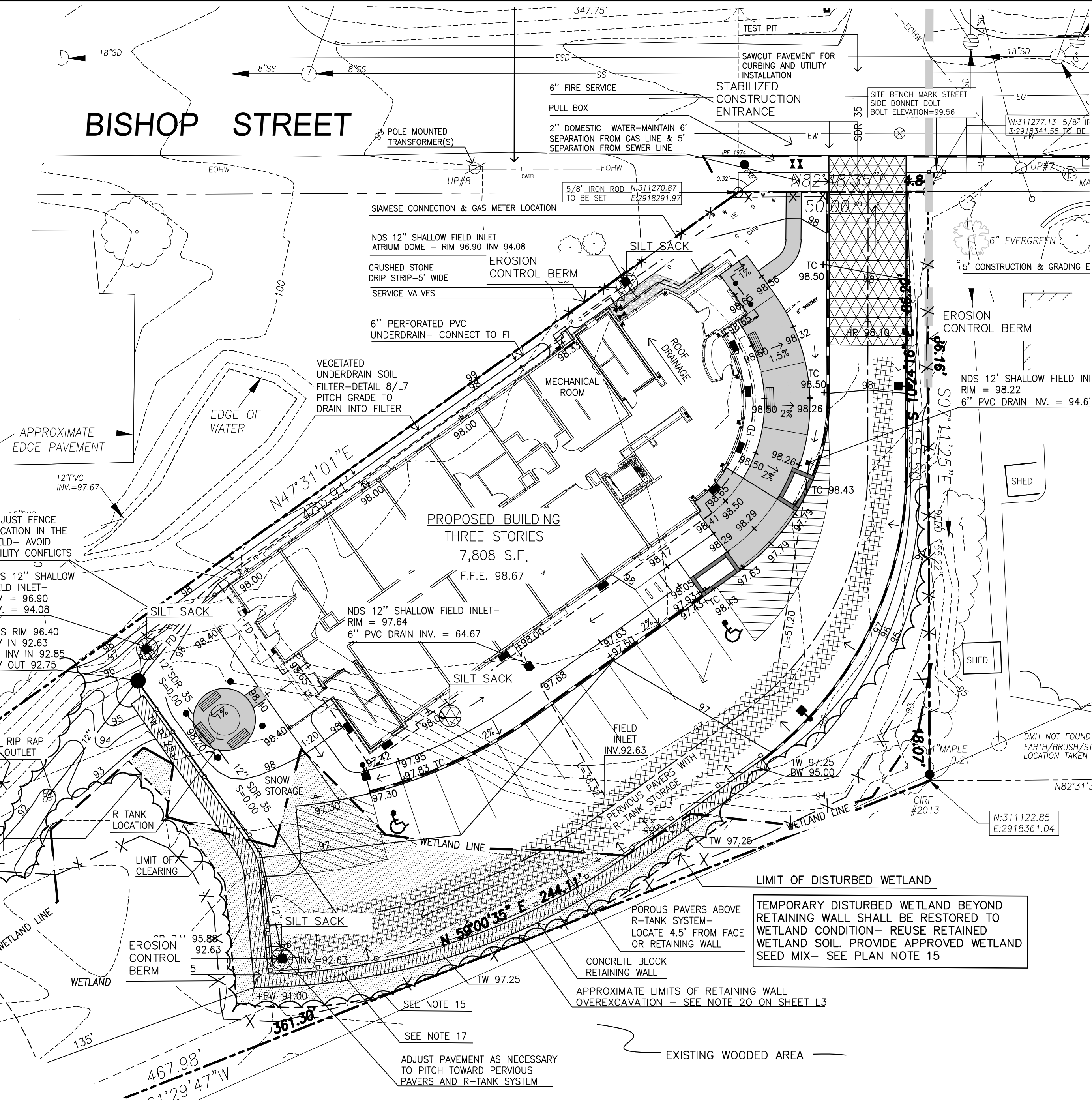
2. INLET SEDIMENT CONTROL DEVICE  
NOT TO SCALE



3. EROSION CONTROL MIX  
NOT TO SCALE

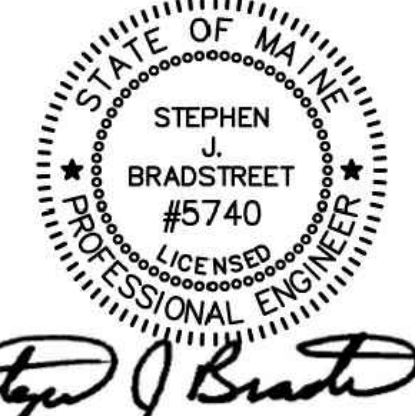
**NOTES:**

1. THE WOOD WASTE COMPOST/BARK MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
  - A. MOISTURE CONTENT - 30-60%
  - B. pH - 5.0 - 8.0
  - C. SCREEN SIZE - 100% LESS THAN 3", MAX. 70% LESS THAN 1"
  - D. NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION.
  - E. NO STONES LARGER THAN 2" IN DIAMETER.
  - F. SILTS, CLAYS OR SUGAR SANDS ARE NOT ACCEPTABLE IN THE MIX.
2. THE COMPOST BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.
3. THE WOOD WASTE COMPOST/BARK FILTER BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.
4. BERMS SHALL REMAIN IN PLACE UNTIL UPSTREAM AREA IS COMPLETED OR 70% CATCH OF VEGETATION IS ATTAINED. BERMS SHALL BE REMOVED BY SPREADING SUCH THAT NATIVE EARTH CAN BE SEEN BELOW.



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
IRON PIPE/MAG NAIL	[Symbol]	[Symbol]
GRANITE MONUMENT	[Symbol]	[Symbol]
CATCHBASIN	[Symbol]	[Symbol]
FIELD INLET	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
CONTOUR	[Symbol]	[Symbol]
SPOT GRADE	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
DEC. TREE	[Symbol]	[Symbol]
EVERGREEN TREE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
CURB	[Symbol]	[Symbol]
SOIL BORINGS	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
GAS VALVE	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
WETLAND	[Symbol]	[Symbol]
SILT FENCE	[Symbol]	[Symbol]



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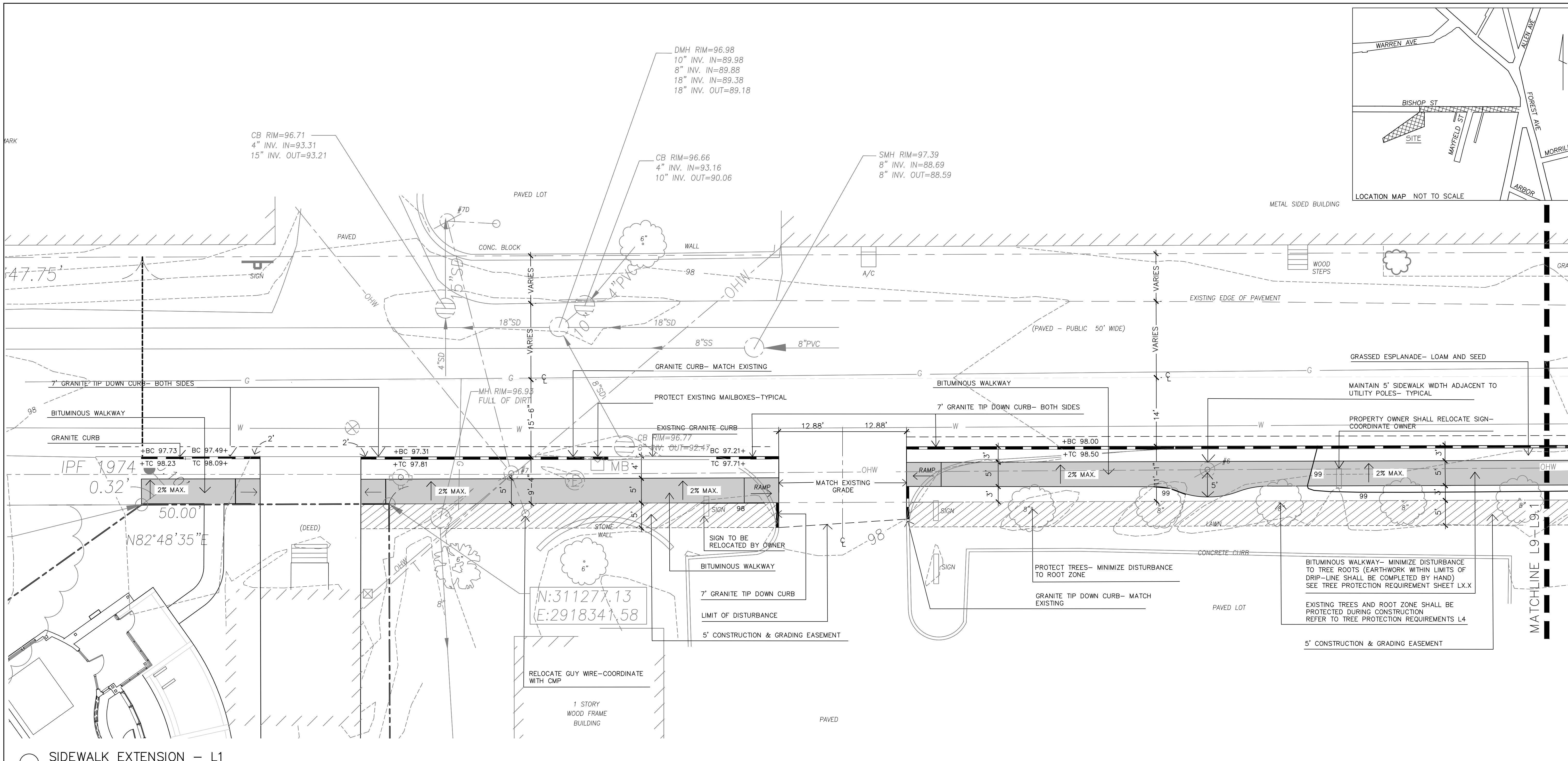
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conditions of approval  
11/25/15

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Title:  
EROSION AND SEDIMENTATION CONTROL PLAN

Scale: 1"=20'  
North:  
Sheet No.:  
L8



Prepared For:  
 Owner:  
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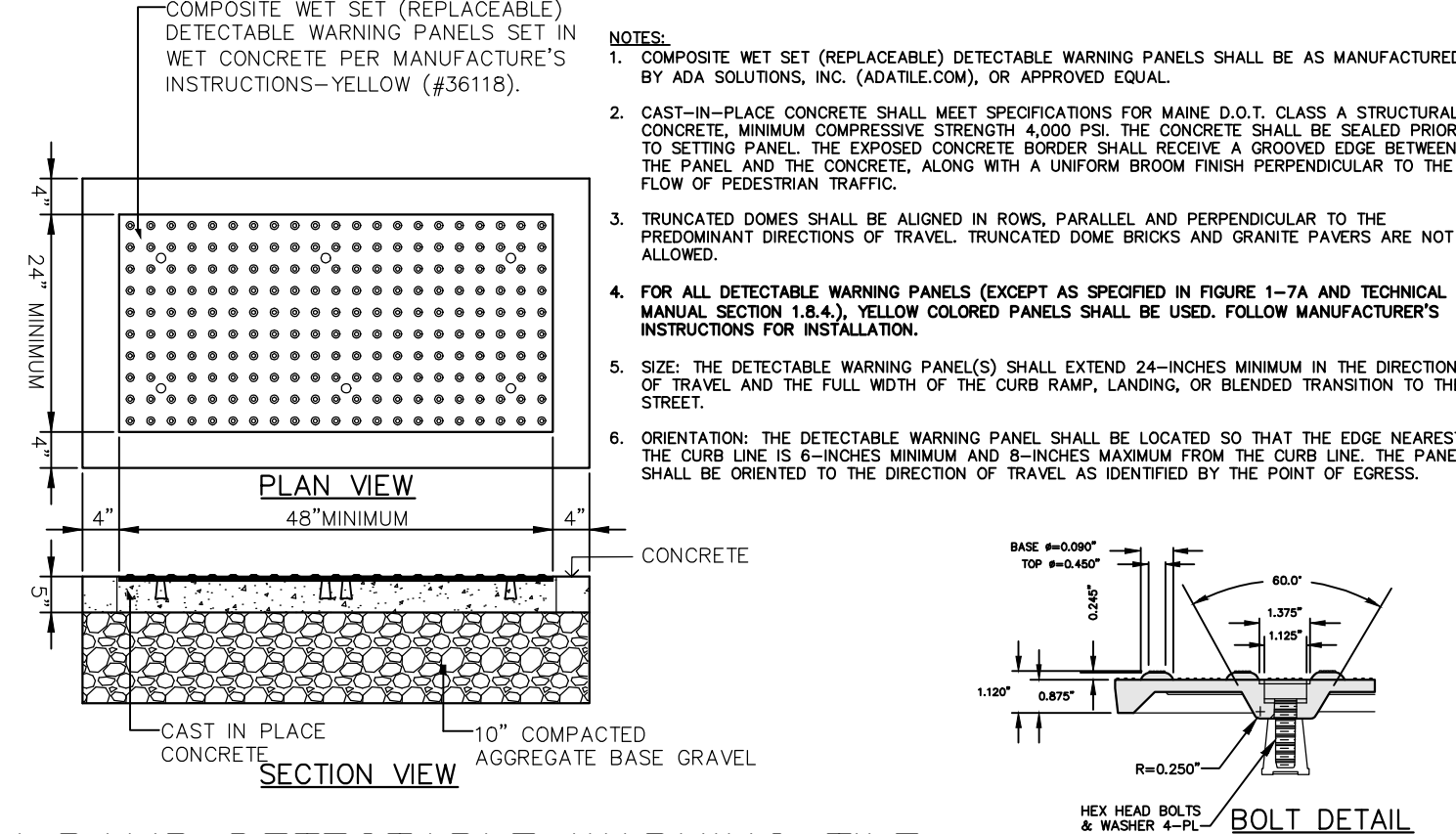
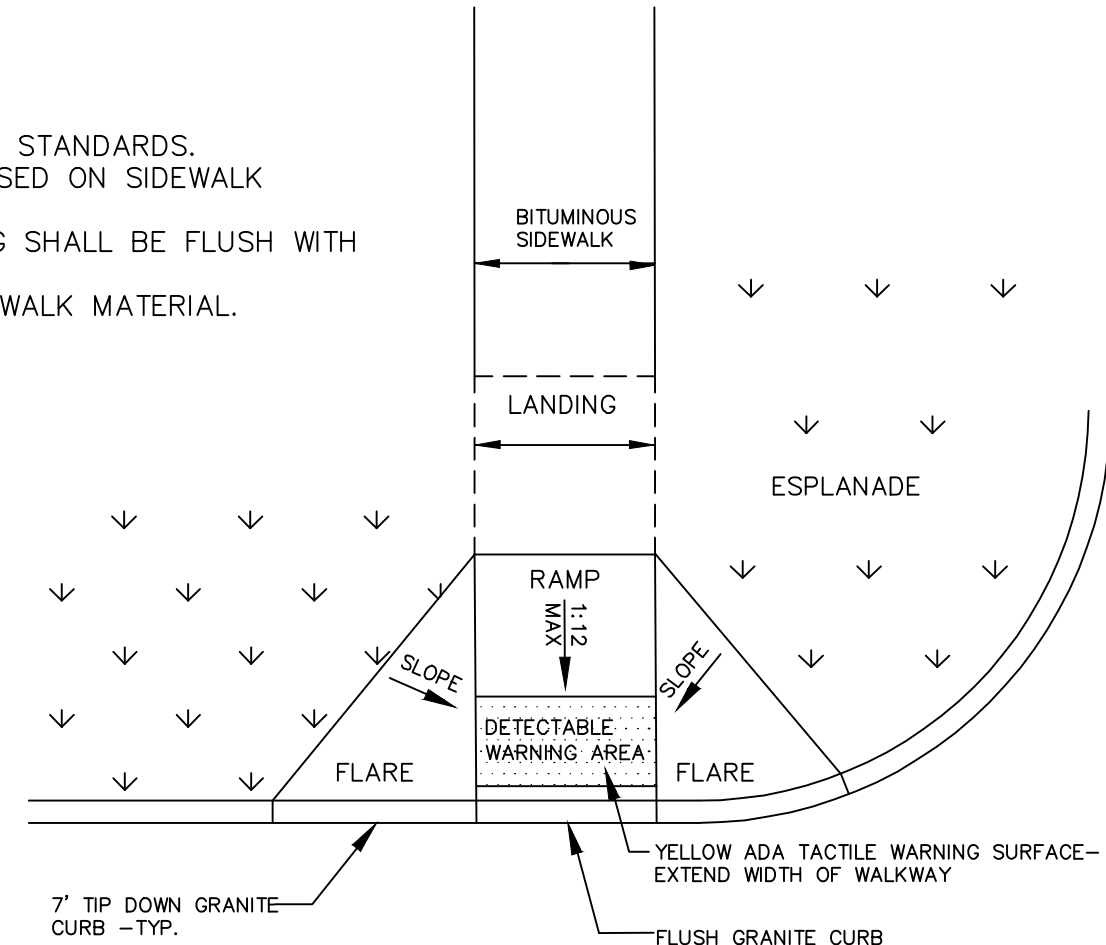
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 Portland, Maine  
 Bishop Street

1 SIDEWALK EXTENSION - L1  
 SCALE: 1"=10'

- GENERAL NOTES:**
- EXISTING CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY AT 72 BISHOP STREET, PORTLAND, MAINE" PREPARED BY OWEN HASKELL, INC. DATED JULY 17, 2014.
  - BEARINGS ARE GRID NORTH AND ELEVATIONS ARE NAVD88 AS BASED ON STATIC GPS COLLECTION AND OPUS CORRECTION.
  - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-800-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.
  - SITE CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTLAND TO ESTABLISH CONSTRUCTION MANAGEMENT REQUIREMENTS FOR INSTALLATION OF NEW SIDEWALK AND GRANITE CURBING ALONG BISHOP STREET AS SHOWN ON PLAN SHEETS L9, L9.1, L9.2.

- NOTES:**
- ALL RAMP SHALL COMPLY WITH ADA STANDARDS.
  - LANDING AREA MAY BE REQUIRED BASED ON SIDEWALK DIMENSIONS.
  - GRANITE CURB ADJACENT TO LANDING SHALL BE FLUSH WITH THE STREET.
  - FLARED SECTIONS SHALL MATCH SIDEWALK MATERIAL.
  - FLARE MINIMUM:  
 -4'-0" SIDEWALK WITH ESPLANADE  
 -7'-0" SIDEWALK ONLY



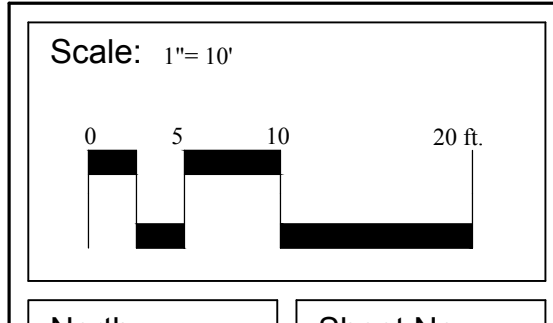
Date:  
APRIL 10, 2015

Issued For:  
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Revisions:  
 Rev: 5/22/15  
 Rev: 6/22/15  
 Rev: 12/23/15  
 Rev: 02/05/16  
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Title:  
BISHOP STREET  
SIDEWALK PLAN



Sheet No.:  
L9

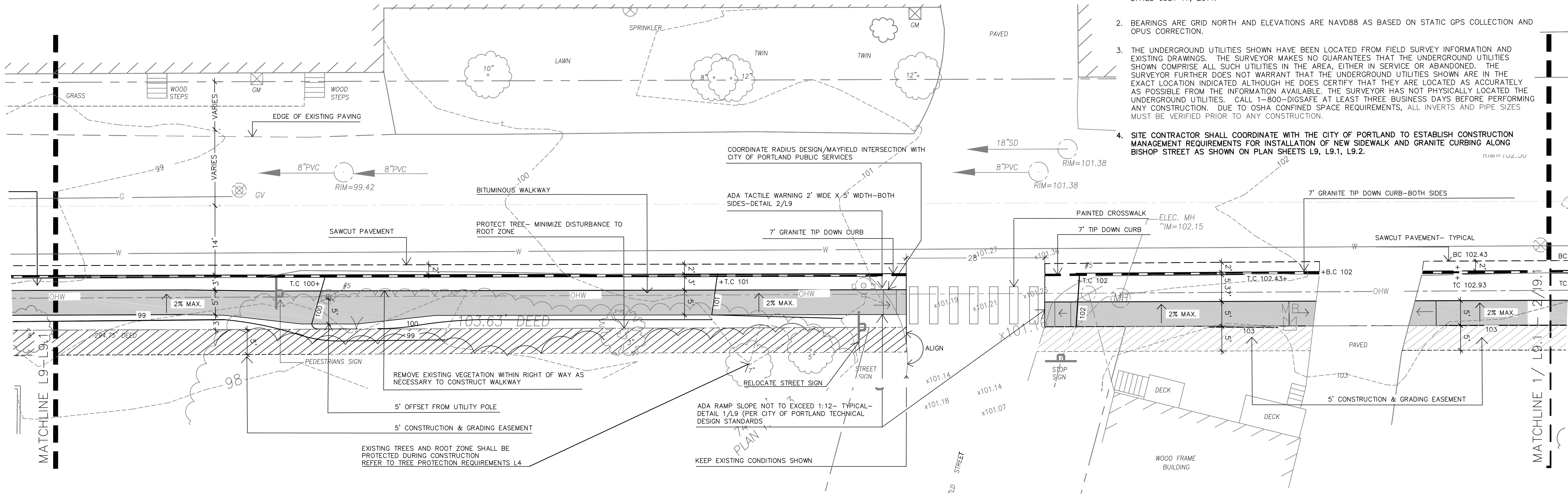
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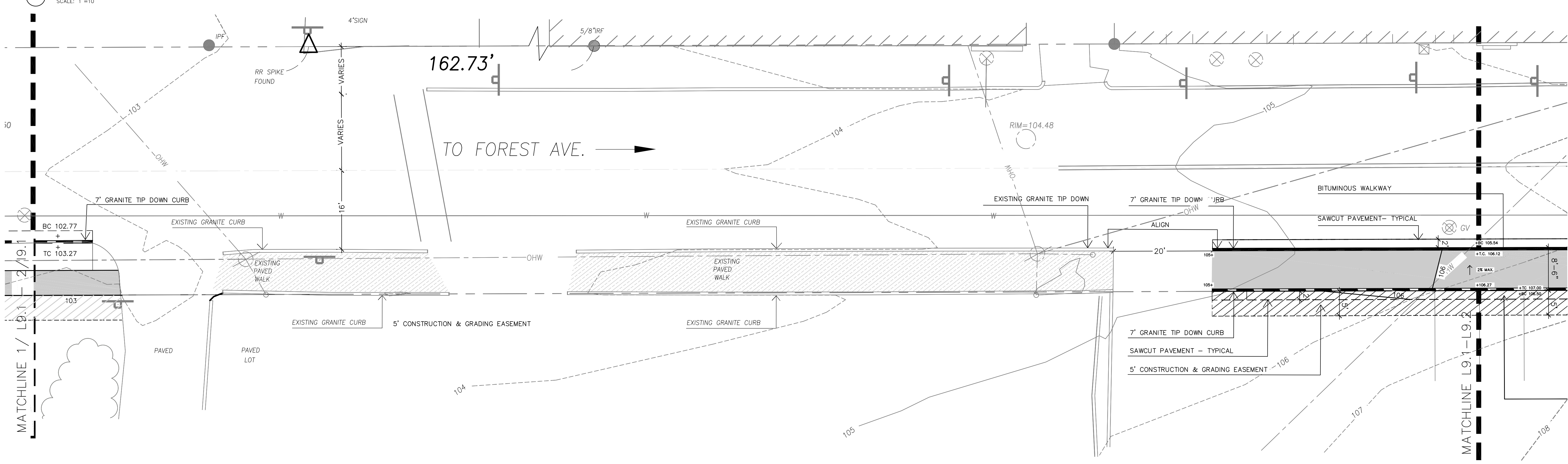
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**Prepared For:**  
**Owner:**  
 AVESTA BISHOP STREET LP  
 307 Cumberland Avenue  
 Portland, Maine 04101  
 Tel.: 207-553-7777

**Prepared By:**  
**MITCHELL & ASSOCIATES**  
 Landscape Architects  
 The Staples School  
 70 Center Street  
 Portland, Maine 04101  
 Tel.: 207-774-4427



**1 SIDEWALK EXTENSION**  
 SCALE: 1"=10'



**2 SIDEWALK EXTENSION**  
 SCALE: 1"=10'

**72 BISHOP STREET**  
 Portland, Maine  
 Bishop Street

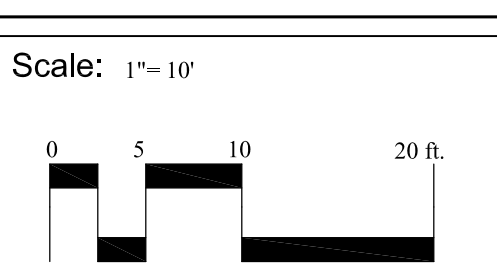
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 BISHOP STREET  
 SIDEWALK PLAN



**North:**

**Sheet No.:**  
**L9.1**

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EXISTING CONDITIONS

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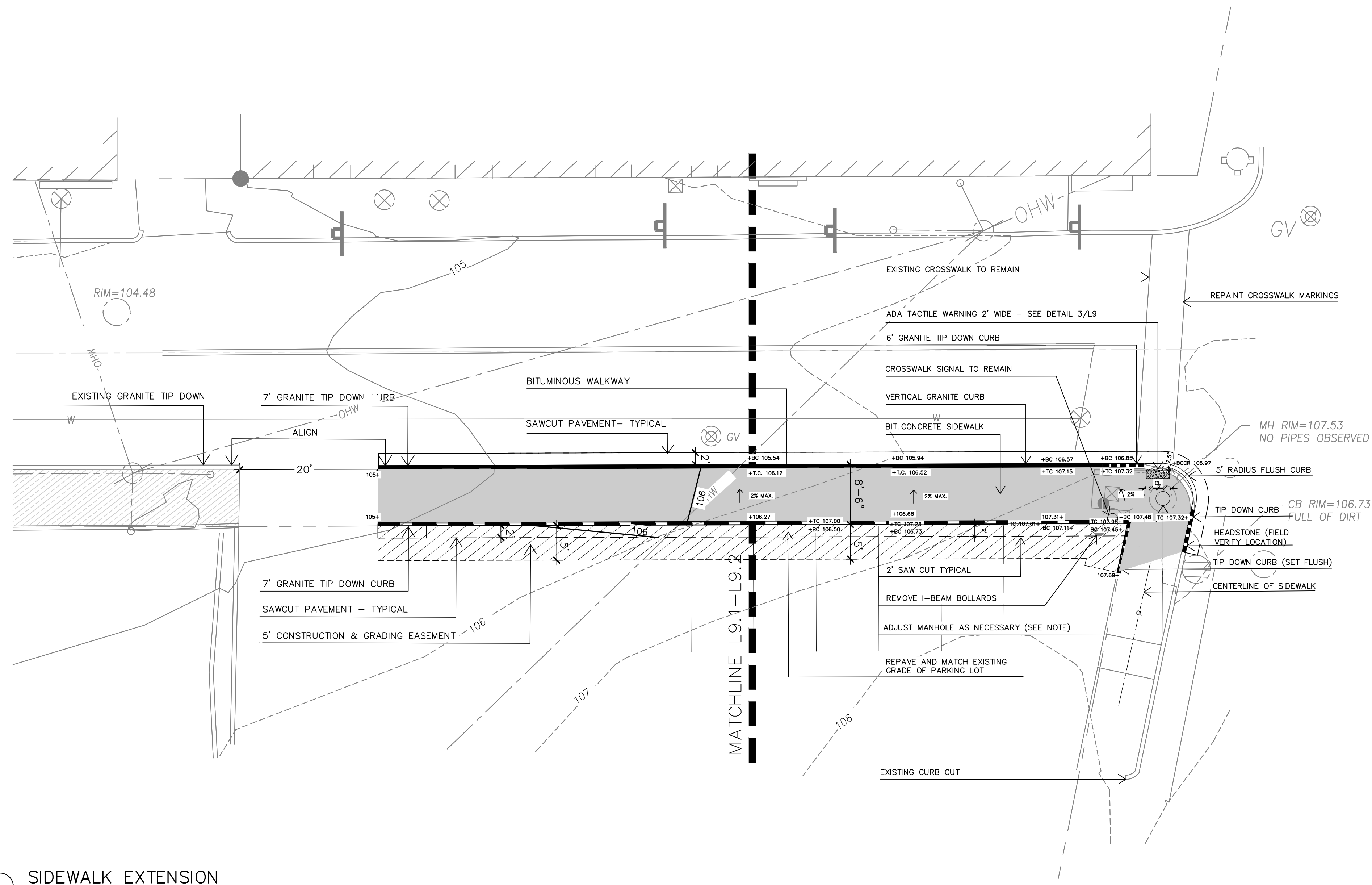
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 Portland, Maine  
 Bishop Street



NOTE:

- ADJUSTMENT OF ELECTRIC MANHOLE TO BE PROVIDED BY CITY - COORDINATE WITH CITY PUBLIC WORKS

1 SIDEWALK EXTENSION  
 SCALE: 1/8"=1'-0"

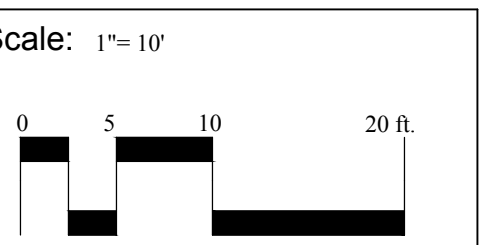
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North:

Sheet No.:  
**L9.2**