

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |                             |             |
|-----------------------|-----------------------------|-------------|
| <b>PERMIT ISSUED</b>  |                             | CBL:        |
| Permit No:<br>01-1416 | Issue Date:<br>DEC - 3 2001 | 293 A018001 |

|   |  |  |                               |
|---|--|--|-------------------------------|
| <b>Location of Construction:</b><br>80 Warren Ave | <b>Owner Name:</b><br>Masco            | <b>Owner Address:</b><br>2 Meadow Ln                 | <b>Phone:</b><br>207-878-9285 |
| <b>Business Name:</b>                             | <b>Contractor Name:</b><br>Pike, Bruce | <b>Contractor Address:</b><br>2 Meadow Lane Falmouth | <b>Phone:</b><br>2078789285   |
| <b>Lessee/Buyer's Name</b>                        | <b>Phone:</b>                          | <b>Permit Type:</b><br>Commercial                    | <b>Zone:</b><br>B-4           |

|   |   |  |   |                           |
|---|---|--|---|---------------------------|
| <b>Past Use:</b><br>vacant land<br>call 878-9285 when ready | <b>Proposed Use:</b><br>self storage building | <b>Permit Fee:</b><br>\$276.00   | <b>Cost of Work:</b><br>\$42,000.00                     | <b>CEO District:</b><br>1 |
|   |   | <b>FIRE DEPT:</b><br><input checked="" type="checkbox"/> Approved<br><input type="checkbox"/> Denied | <b>INSPECTION:</b><br>Use Group: 81 Type: 2A<br>12/3/01 |                           |

**Proposed Project Description:**  
erect a 21,400 s.f. Storage building

*FOUNDATIONS*  
*OUR HANDS*  
12/3/01

Signature: *[Signature]*      Signature: *[Signature]*

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action:  Approved     Approved w/Conditions     Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

|                                    |  |                        |
|------------------------------------|--|------------------------|
| <b>Permit Taken By:</b><br>jodinea | <b>Date Applied For:</b><br>11/15/2001 | <b>Zoning Approval</b> |
|------------------------------------|--|------------------------|

|  |  |   |  |
|--|--|---|--|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.<br><br>2. Building permits do not include plumbing, septic or electrical work.<br><br>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | <b>Special Zone or Reviews</b><br><input type="checkbox"/> Shoreland <i>NA</i><br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone <i>Panel 7</i><br><input type="checkbox"/> Subdivision<br><input checked="" type="checkbox"/> Site Plan # 2001-0148<br>Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/><br><i>OK with conditions</i><br>Date: 11/29/01 | <b>Zoning Appeal</b><br><input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br>Date: _____ | <b>Historic Preservation</b><br><input checked="" type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied<br>Date: _____ |
|--|--|---|--|

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

|   |         |      |       |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT                      | ADDRESS | DATE | PHONE |
|   |         |      |       |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE |         | DATE | PHONE |
|   |         |      |       |

Site # 20010148

01-1416

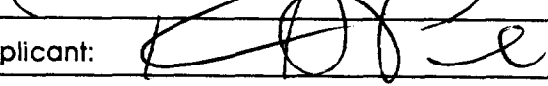
# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

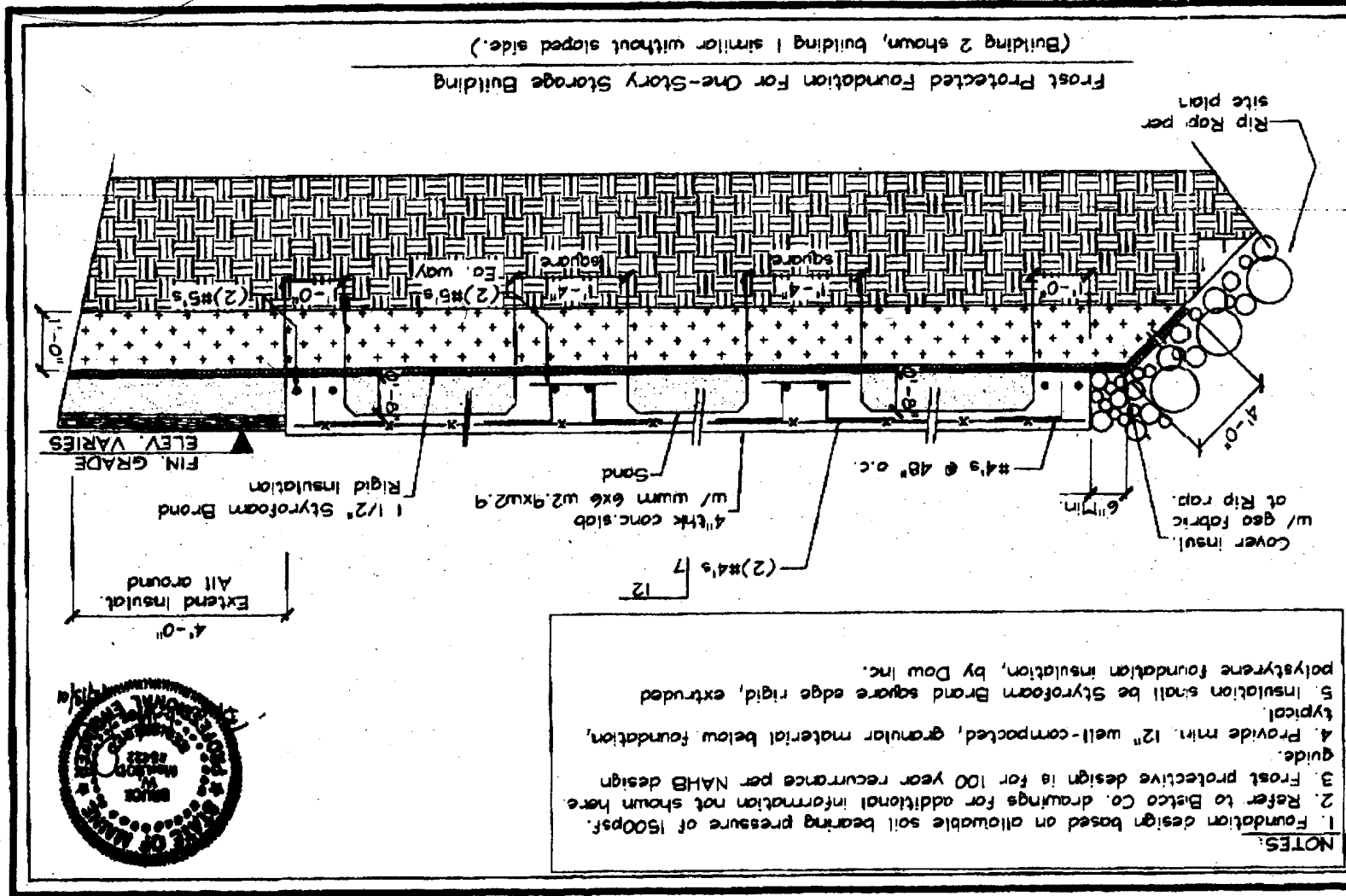
|   |   |   |
|---|---|---|
| Location/Address of Construction: <u>76-86 Warren Ave</u>   |   |   |
| Total Square Footage of Proposed Structure<br><u>3 Buildings = 21,400</u>                         | Square Footage of Lot<br><u>42,000</u>  |   |
| Tax Assessor's Chart, Block & Lot<br>Chart# <u>293</u> Block# <u>A</u> Lot# <u>18</u>             | Owner: <u>Masco General Partnership</u>   | Telephone: <u>878-9285</u>                              |
| Lessee/Buyer's Name (If Applicable)<br><u>NA</u>  | Applicant name, address & telephone:<br><u>Bruce Pike</u><br><u>878 2 Meadow Ln</u><br><u>9285 Falmouth, ME</u> | Cost Of Work: \$ <u>42,000</u><br>Fee: \$ <u>276.00</u> |
| Current use: <u>Vacant Lot</u>  |   |   |
| If the location is currently vacant, what was prior use: <u>NA</u>                                |   |   |
| Approximately how long has it been vacant: <u>NA</u>  |   |   |
| Proposed use: <u>New Construction Self-Storage</u>  |   |   |
| Project description:<br><del>_____</del><br><del>_____</del>                                      |   |   |
| Contractor's name, address & telephone: <u>Bruce Pike 2 Meadow Ln Falmouth Me</u><br><u>04105</u> |   |   |
| Who should we contact when the permit is ready: <u>Same</u>                                       |   |   |
| Mailing address:<br><u>Same</u>   |   | Phone: <u>878-9285</u>                                  |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

|   |                         |
|---|-------------------------|
| Signature of applicant:  | Date: <u>11/13/2001</u> |
|---|-------------------------|

This is not a permit, you may not commence ANY work until the permit is issued



**NOTES:**

1. Foundation design based on allowable soil bearing pressure of 1500psf.
2. Refer to Bisco Co. drawings for additional information not shown here.
3. Frost protective design is for 100 year recurrence per NAHB design guide.
4. Provide min. 12" well-compacted, granular material below foundation.
5. Insulation shall be Styrofoam Brand square edge rigid, extruded polystyrene foundation insulation, by Dow Inc.

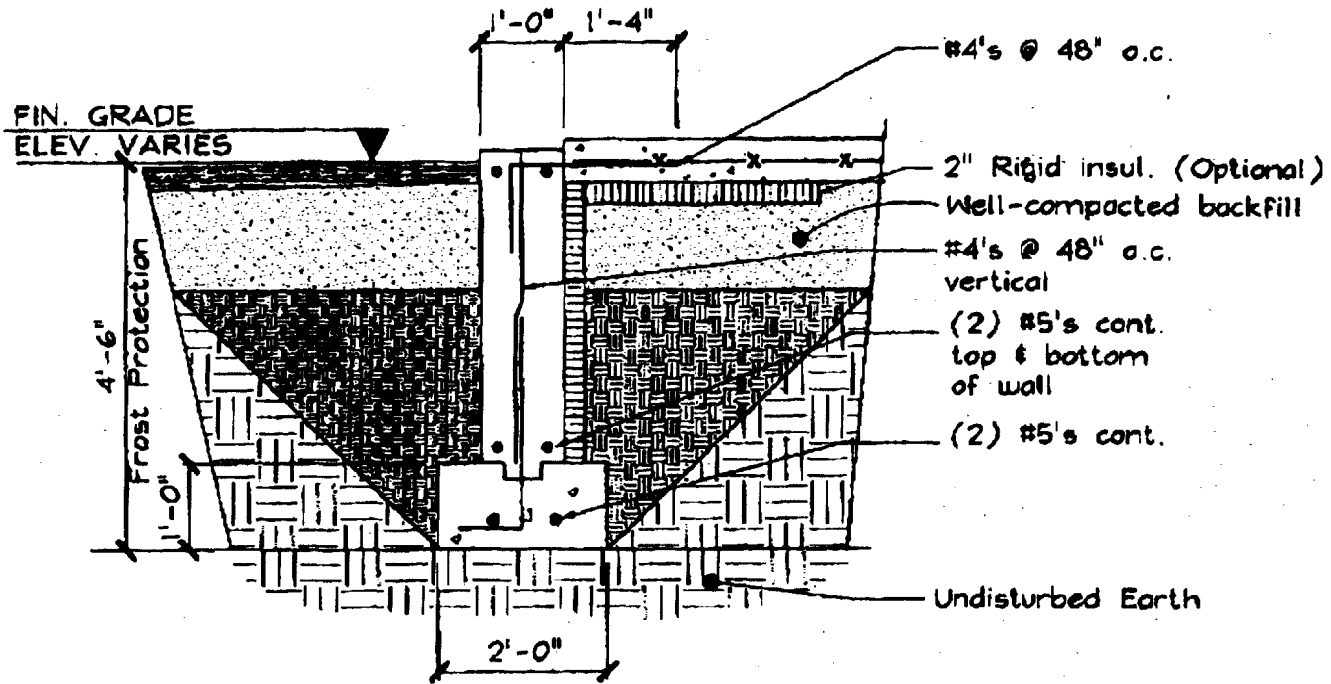


Frost Protected Foundation For One-Story Storage Building  
 (Building 2 shown, building 1 similar without sloped side.)

**SEI**  
**SHELLEY ENGINEERING, INC.**  
 Structural Consultants  
 90 Denison Street  
 Westbrook, Maine 04092  
 Phone: 607 864-6466  
 Fax: 607 864-6706  
 www.shelleyengineering.com

**MORRILL'S CORNER  
 SELF STORAGE**

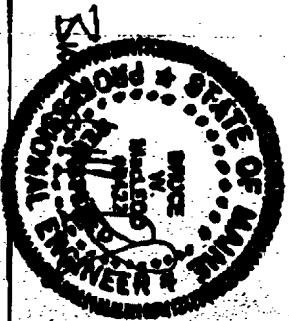
|               |                |                   |
|---------------|----------------|-------------------|
| Owner: BMM    | Date: 12-11-01 | Sheet: SK12       |
| Contract: BMM | Scale: N.T.S.  | Job No.: 8001-981 |



Typical Frost Wall For Two-Story Storage Building

**NOTES:**

1. Typical Foundation section for two story storage building.
2. Allowable soil bearing pressure = 1500psf.
3. Refer to Betco Inc. drawings for additional information not shown here.



SHELLEY ENGINEERING, INC.  
 Structural Consultants  
 80 Bruce Street  
 Westbrook, Maine 04092  
 Phone: (207) 864-6465  
 Fax: (207) 864-6705  
 WWW.SHELLEYENGINEERING.COM

MORRILL'S CORNER  
 SELF STORAGE

|              |          |          |          |
|--------------|----------|----------|----------|
| Drawn By:    | DMM      | Checked: | BMM      |
| Date:        | 12/10/01 | Scale:   | SK-1     |
| Project No.: |          | Job No.: | 2001-981 |

Inspection Services  
Michael J. Nugent  
Manager

Housing & Neighborhood Services  
Mark Adelson  
Director



**CITY OF PORTLAND**  
**STOP WORK NOTICE**

December 4, 2001

Bruce Pike  
2 Meadow Lane  
Falmouth, Maine

RE: 80 Warren Ave  
CBL: 293 – A - 018

**HAND DELIVER**

Dear Mr. Bruce Pike:

An evaluation of the property at 80 Warren Ave revealed that the property fails to comply with Section 113.2 of the 1999 BOCA Building Code of the City of Portland.

*Failure to obtain required Foundation Inspection*

This is a **STOP WORK ORDER** pursuant to Section 117.1 of the 1999 BOCA Building Code. All construction activity at the above referenced property must **STOP** immediately.

Construction may begin after the uninspected work has been removed.

Or

A Certified Design Professional has inspected and certified that the work complies with the 1999 BOCA Building Code and as built plans are provided to the Building Inspections Department.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452. This constitutes an appealable decision pursuant to Section 1-16.(2) of the City of Portland Code of Ordinances. Please feel free to contact me at 874-8693, if you wish to discuss the matter or have any questions.

Sincerely,


David Caddell  
Code Enforcement Officer

**City Of Portland  
Inspection Services  
RETURN OF SERVICE**

On the 4 day of Dec, 2001, I made service of the Stop Work Notice  
upon, Bruce Pike, at 10 Warren Ave


- By delivering a copy in hand.
- By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is \_\_\_\_\_.
- By delivering a copy to an agent authorized to receive service of process, and whose name is \_\_\_\_\_.
- By (describe other manner of service) \_\_\_\_\_.

DATED: 12/4/01

  
\_\_\_\_\_  
Signature of Person Making Service

CEO  
\_\_\_\_\_  
Title

I have received the above referenced documents

  
\_\_\_\_\_  
Person Receiving Service

- Refused to sign
- Unable to sign

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 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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|-----------------------|---------------------------|
| <b>PERMIT ISSUED</b>  |                           |
| Permit No:<br>01-1416 | Issue Date:<br>DEC 3 2001 |
| ECL:<br>293 A018001   |                           |

|  |                                 |   |                        |
|--|---------------------------------|---|------------------------|
| Location of Construction:<br>80 Warren Ave | Owner Name:<br>Masco            | Owner Address:<br>2 Meadow Lane               | Phone:<br>207-878-9285 |
| Business Name:                             | Contractor Name:<br>Pike, Bruce | Contractor Address:<br>2 Meadow Lane Falmouth | Phone:<br>2078789285   |
| Lessee/Buyer's Name:                       | Phone:                          | Permit Type:<br>Commercial                    | Zone:<br>B-4           |

|  |  |   |  |                    |
|--|--|---|--|--------------------|
| Past Use:<br>vacant land<br>call 878-9285 when ready | Proposed Use:<br>self storage building | Permit Fee:<br>\$276.00   | Cost of Work:<br>\$42,000.00                     | CEO District:<br>1 |
|  |  | FIRE DEPT:<br><input checked="" type="checkbox"/> Approved<br><input type="checkbox"/> Denied | INSPECTION:<br>Use Group: 51 Type: 2A<br>12/3/01 |                    |

|  |                               |                               |
|--|-------------------------------|-------------------------------|
| Proposed Project Description:<br>erect a 21,400 s.f. Storage building<br><br><i>FOUNDATIONS OWN &amp; CONTROLLED</i><br><i>12/3/01</i> | Signature: <i>[Signature]</i> | Signature: <i>[Signature]</i> |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  |                               |                               |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied               |                               |                               |
| Signature:   |                               | Date:                         |

|                             |                                 |                        |
|-----------------------------|---------------------------------|------------------------|
| Permit Taken By:<br>jodinea | Date Applied For:<br>11/15/2001 | <b>Zoning Approval</b> |
|-----------------------------|---------------------------------|------------------------|

|  |  |  |   |
|--|--|--|---|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.<br><br>2. Building permits do not include plumbing, septic or electrical work.<br><br>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews<br><input type="checkbox"/> Shoreland <i>NA</i><br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone <i>Panel 7 zone X</i><br><input type="checkbox"/> Subdivision<br><input checked="" type="checkbox"/> Site Plan # 2001-0148<br>Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/><br><i>with conditions</i><br>Date: <i>9/11/29/01</i> | Zoning Appeal<br><input type="checkbox"/> Variance<br><input type="checkbox"/> Miscellaneous<br><input type="checkbox"/> Conditional Use<br><input type="checkbox"/> Interpretation<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Denied<br>Date: | Historic Preservation<br><input checked="" type="checkbox"/> Not in District or Landmark<br><input type="checkbox"/> Does Not Require Review<br><input type="checkbox"/> Requires Review<br><input type="checkbox"/> Approved<br><input type="checkbox"/> Approved w/Conditions<br><input type="checkbox"/> Denied<br>Date: |
|--|--|--|---|

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2001-0148

Application I. D. Number

06/13/2001

Application Date

**Self Storage Building**

Project Name/Description

**Planning /Design Associates**

Applicant

**PO Box 351, Windham, ME 04062**

Applicant's Mailing Address

**Planning/Design Associates**

Consultant/Agent

**Applicant Ph: (207) 892-2640 Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**76 - 86 Warren Ave, Portland, Maine**

Address of Proposed Site

**293 A018001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **Office /Storage Complex**

**21,400 sq.ft.**

Proposed Building square Feet or # of Units

**42,799 sq.ft.**

Acreage of Site

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan **\$500.00** Subdivision \_\_\_\_\_ Engineer Review **\$1,113.80** Date **10/26/2001**

**DRC Approval Status:**

Reviewer **Chris Earle/Steve Bushey**

- Approved**  **Approved w/Conditions**  
See Attached  **Denied**

Approval Date **10/09/2001** Approval Expiration **10/09/2002** Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance **Kandi Talbot** **11/15/2001**  
signature date

**Performance Guarantee**  **Required\***  **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

|  |                           |  |                                      |
|--|---------------------------|--|--------------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <b>11/15/2001</b><br>date | <b>\$67,210.00</b><br>amount                       | <b>11/08/2002</b><br>expiration date |
| <input type="checkbox"/> Inspection Fee Paid                       | _____<br>date             | _____<br>amount                                    |                                      |
| <input type="checkbox"/> Building Permit Issue                     | _____<br>date             |  |                                      |
| <input type="checkbox"/> Performance Guarantee Reduced             | _____<br>date             | _____<br>remaining balance                         | _____<br>signature                   |
| <input type="checkbox"/> Temporary Certificate of Occupancy        | _____<br>date             | <input type="checkbox"/> Conditions (See Attached) | _____<br>expiration date             |
| <input type="checkbox"/> Final Inspection                          | _____<br>date             | _____<br>signature                                 |                                      |
| <input type="checkbox"/> Certificate Of Occupancy                  | _____<br>date             |  |                                      |
| <input type="checkbox"/> Performance Guarantee Released            | _____<br>date             | _____<br>signature                                 |                                      |
| <input type="checkbox"/> Defect Guarantee Submitted                | _____<br>submitted date   | _____<br>amount                                    | _____<br>expiration date             |
| <input type="checkbox"/> Defect Guarantee Released                 | _____<br>date             | _____<br>signature                                 |                                      |



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

2001-0148  
Application I. D. Number  
  
06/13/2001  
Application Date  
  
Self Storage Building  
Project Name/Description

**Planning /Design Associates**  
Applicant  
**PO Box 351, Windham, ME 04062**  
Applicant's Mailing Address  
**Planning/Design Associates**  
Consultant/Agent  
**Applicant Ph: (207) 892-2640 Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**76 - 86 Warren Ave, Portland, Maine**  
Address of Proposed Site  
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Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) **Office /Storage Complex**

**21,400 sq.ft.** **42,799 sq.ft.**  
Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

- |   |  |  |  |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan **\$500.00** Subdivision \_\_\_\_\_ Engineer Review **\$1,113.80** Date **10/26/2001**

**Planning Approval Status:**

Reviewer **Kandi Talbot**

- Approved  **Approved w/Conditions See Attached**  Denied

Approval Date **10/09/2001** Approval Expiration **10/09/2002** Extension to \_\_\_\_\_  Additional Sheets Attached  
 OK to Issue Building Permit **Kandi Talbot** **11/15/2001**  
signature date

**Performance Guarantee**  **Required\***  **Not Required**

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|  |                           |  |                                      |
|--|---------------------------|--|--------------------------------------|
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**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2001-0148**

Application I. D. Number

**06/13/2001**

Application Date

**Self Storage Building**

Project Name/Description

**Planning /Design Associates**

Applicant

**PO Box 351, Windham, ME 04062**

Applicant's Mailing Address

**Planning/Design Associates**

Consultant/Agent

**Applicant Ph: (207) 892-2640      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**76 - 86 Warren Ave, Portland, Maine**

Address of Proposed Site

**293 A018001**

Assessor's Reference: Chart-Block-Lot

---

**Approval Conditions of Planning**

- 1 that the applicant submit a lighting photometric plan for review and approval by staff.
-

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

2001-0148  
Application I. D. Number

06/13/2001  
Application Date

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21,400 sq.ft. 42,799 sq.ft.

Proposed Building square Feet or # of Units Acreeage of Site Zoning

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- |   |  |  |  |
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| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Plan \$500.00 Subdivision \_\_\_\_\_ Engineer Review \$1,113.80 Date: 10/26/2001

**Zoning Approval Status:**

Approved  Approved w/Conditions See Attached  Denied

Reviewer Marge Schmuckal

Approval Date 11/29/2001 Approval Expiration 11/29/2002 Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance Marge Schmuckal 11/29/2001  
signature date

Performance Guarantee  Required\*  Not Required

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|  |                           |  |                                      |
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| <input type="checkbox"/> Inspection Fee Paid                       | _____<br>date             | _____<br>amount                                    |                                      |
| <input type="checkbox"/> Building Permit Issued                    | _____<br>date             |  |                                      |
| <input type="checkbox"/> Performance Guarantee Reduced             | _____<br>date             | _____<br>remaining balance                         | _____<br>signature                   |
| <input type="checkbox"/> Temporary Certificate of Occupancy        | _____<br>date             | <input type="checkbox"/> Conditions (See Attached) | _____<br>expiration date             |
| <input type="checkbox"/> Final Inspection                          | _____<br>date             | _____<br>signature                                 |                                      |
| <input type="checkbox"/> Certificate Of Occupancy                  | _____<br>date             |  |                                      |
| <input type="checkbox"/> Performance Guarantee Released            | _____<br>date             | _____<br>signature                                 |                                      |
| <input type="checkbox"/> Defect Guarantee Submitted                | _____<br>submitted date   | _____<br>amount                                    | _____<br>expiration date             |

Applicant: MASCO General Partnership Date: 11/29/01

Address: 80 Warren Ave

C-B-L: 293-A-018

CHECK-LIST AGAINST ZONING ORDINANCE

Date - N/A

Zone Location - B-4

Interior or corner lot -

to construct: 1 story 15' x 160'

Proposed Use/Work - self-storage facilities <sup>2 story - 50' x 160'</sup> allowed

Sevage Disposal - city 1 story 15' x 200'

Lot Street Frontage - 60' req - 170' shown

Front Yard - 20' min - 20' + shown

check <sup>assume</sup> Rear Yard - 20' min - 20' shown

Side Yard - 10' req - 10' + shown

Projections -

Width of Lot - 60' min - 170' shown

Height - 65' max - 2 story shown -

Lot Area - 10,000 sq ft 42,339 sq ft

Lot Coverage/ Impervious Surface - 80% - at maximum coverage of 80%

Area per Family - N/A

Off-street Parking - 1/1000 sq ft 1 play space shown in front of 15 x 160 = 2400

Loading Bays - N/A each Arch - 50 x 160 = 8000

15 x 200 = 3000  
13,400

Site Plan - Major - # 2001-0148

Shoreland Zoning/ Stream Protection - N/A

Flood Plains Panel 7 - Zone X

FAR = 65 MAX (Floor Area Ratio)  $\frac{13400}{42339} = .32$

Application ID Number: 1-1416

Department: Zoning

Status: Approved

Reviewer: Marge Schmuckal

Comments: 80 Warren Ave

Approval Date: 11/29/2001

Given On Date: 11/20/2001

OK to Issue Permit Name: Marge Schmuckal Date: 11/29/2001 Date 2:

Create Date: 11/20/2001 By: jodinea Update Date: 11/29/2001 By: mes

Application ID Number: 1-1416

Delete Save Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

Approval Date: 12/03/2001

Given On Date: 11/30/2001

OK to Issue Permit Name: Mike Nugent Date: 12/03/2001 Date 2:

Conditions Section: Add New Condition From Add New Condition Delete Condition

Foundation Only. Complete Stamped structural plans an a statement of Special Inspections and Handicap Accessibility must be submitted for review on a separate permit.

Frost protection is required for footings not extending below the frost line (48 inches) This must be submitted for approval prior to backfill.

Create Date: 11/20/2001 By: Jodinea Update Date: 12/03/2001 By: mjn

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2001-0148**

Application I. D. Number

**06/13/2001**

Application Date

**Self Storage Building**

Project Name/Description

**Planning /Design Associates**

Applicant

**PO Box 351, Windham, ME 04062**

Applicant's Mailing Address

**Planning/Design Associates**

Consultant/Agent

**Applicant Ph: (207) 892-2640      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**76 - 86 Warren Ave, Portland, Maine**

Address of Proposed Site

**293 A018001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Planning**

- 1 that the applicant submit a lighting photometric plan for review and approval by staff.

**Approval Conditions of Zoning**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.



**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE**  
389 Congress St., Rm 315  
Portland, ME 04101

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** JERRY LEATHERWOOD PE

**RE:** Certificate of Design

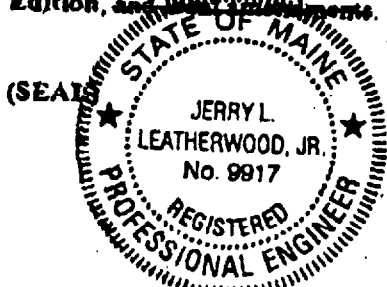
**DATE:** NOVEMBER 13, 2001

These plans and/or specifications covering construction work on:

MORRILL'S CORNER SELF STORAGE

PORTLAND, ME

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and ~~any~~ amendments.



Signature

*[Handwritten Signature]*

Title DIRECTOR OF ENGINEERING

Firm BETCO, INC

Address 228 COMMERCE BLD.

STATESVILLE, NC 28625

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.





**CITY OF PORTLAND MAINE**  
389 Congress St., Rm 315  
Portland, ME 04101  
Tel. - 207-874-8704  
Fax - 207-874-8716

RE: Bldg  
Pine  
TO: Chair  
Morrison  
Page 143

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: JERRY LEATHERWOOD PE DIR. OF ENGINEERING  
228 COMMERCE BLDG STATESVILLE, NC 28625

DATE: NOVEMBER 13, 2001

Job Name: MORRILL'S CORNER SELF STORAGE

Address of Construction: PORTLAND, ME

**THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION**  
Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) SI  
Type of Construction 2C UNPRO. Bldg. Height 20'-7 1/4" Bldg. Sq. Footage 21,400 SF TOTAL FOR 3 BU  
Seismic Zone 2A Group Class SEISMIC HAZARD EXPOSURE GROUP I  
Roof Snow Load Per Sq. Ft. 50 Dead Load Per Sq. Ft. BLDGS 1 & 2 - 3PSF  
BLDG 3 - 56PSF  
Basic Wind Speed (mph) 90 Effective Velocity Pressure Per Sq. Ft. Pv = 20.7 PSF  
Floor Live Load Per Sq. Ft. 125

Structure has full sprinkler system? Yes  No  Alarm System? Yes  No   
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building? Yes  No

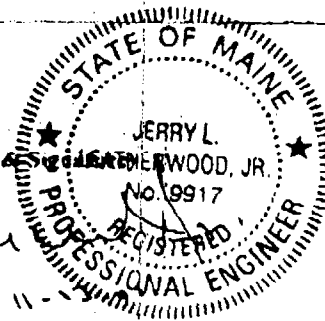
If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project.

BUDGS 1 & 2 - 10x15 UNITS = 0.5/SPACE  
BUDG 3 - 52/BUDG - 3.75-OFFICE

PSM 6/07/20

(Designers Stamp of Seal)



**Warranty Deed**  
(Maine Statutory Short Form)

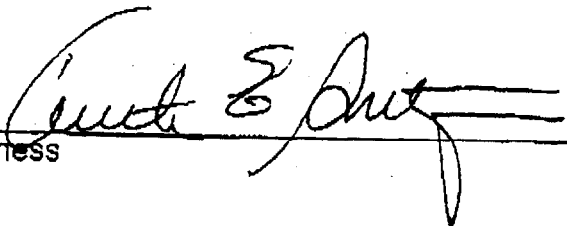
KTO Holdings Company, LLC, a Maine Limited Liability Company, with a place of business at Windham, Maine, for valuable consideration, grants to **MASCO, a Maine general partnership** with a mailing address of 2 Meadow Lane, Falmouth, Maine 04105 with **WARRANTY COVENANTS**, the following described real property situated at **76-86 Warren Avenue, Portland, Cumberland County, Maine**

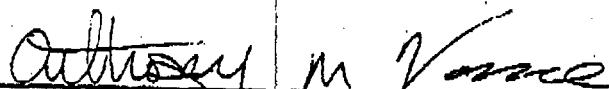
A certain lot or parcel of land with the buildings thereon, situated in said Portland, and being more particularly described on Exhibit A attached hereto and made a part hereof.

Meaning and intending to convey the same premises described in a deed from Raia General Partnership, dated April 7, 2000, and recorded in the Cumberland County Registry of Deeds in Book 15414, Page 138.

**IN WITNESS WHEREOF** KTO Holdings Company, LLC has caused this instrument to be signed by its duly authorized officer this 29th day of March, 2001.

KTO Holdings Company, LLC

  
\_\_\_\_\_  
Witness

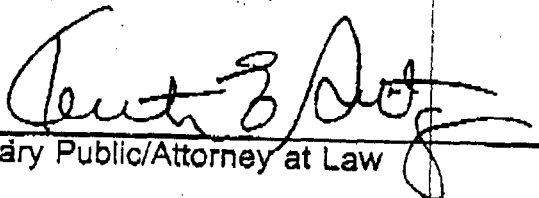
  
\_\_\_\_\_  
By: Anthony M. Vance  
Its: Manager

State of Maine  
County of Cumberland, ss

March 29, 2001

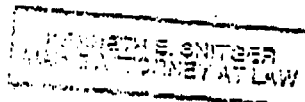
Personally appeared the above named Anthony M. Vance, Manager of KTO Holdings Company, LLC, and acknowledged the foregoing instrument to be his free act and deed in said capacity, and the free act and deed of said Company.

Before me,

  
\_\_\_\_\_  
Notary Public/Attorney at Law

Printed Name:

Comm. Exp:





November 29, 2001

VIA FAX: (207) 878-3236

Mr. Bruce Pike  
24 Morrill Street  
Portland, ME 04103


Reference: **BETCO Project # ME01215 – MORRILL'S CORNER SELF STORAGE**  
Bldg's 1 & 2: 15' x 160' & 15' x 200'  
Portland, ME

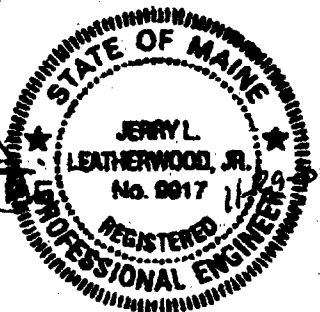
Dear Mr. Pike:

This letter is to clarify the type of perimeter footing that may be used on buildings #1 & #2 of the above referenced project. BETCO foundation drawing "F1 of 4" denotes detail "A/900" or "B/900" as shown on ERC900X for the applicable perimeter footing. However, the attached details for a floating mat foundation may be substituted and will still meet requirements of the 1999 BOCA Building Code – Section 1806.3. The attached details (2) delineate the standard exterior recess condition for wall columns or for studwall construction as noted.

The frost-proof granular fill is considered part of the foundation system and is necessary to prevent formation of ice lenses in the perimeter of the slab system. The free draining granular fill under the mat and footing and extended to the frost line will insure proper dissipation of ground water to prevent frost heave conditions from occurring. As the detail notes, the french drain system can be omitted if the site soils are of the gravel-granular type that would guarantee continuous drainage away from the building foundation system.

Sincerely,

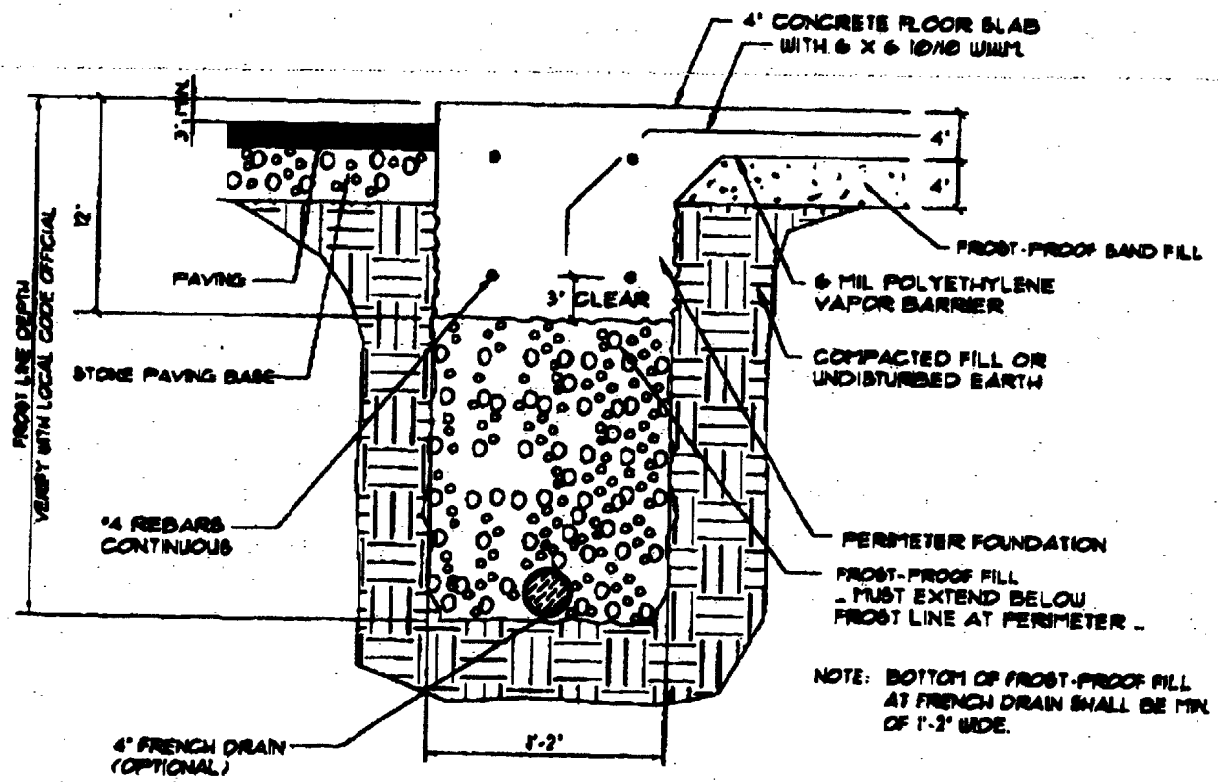
  
Jerry L. Leatherwood Jr.  
Director of Engineering



C: Henry Tracz w/details (2)

P.O. Box 1650, Statesville, NC 28687  
228 Commerce Blvd., Statesville, NC 28625  
1-800-654-7813 (x269) Fax: (704)872-3099

NOTE:  
 IF SITE AND/OR SOIL CONDITIONS WARRANT,  
 INSTALL 4" DIA. FRENCH DRAIN IN BOTTOM OF FOOTING.  
 GRANULAR FILL MUST BE WELL DRAINED AT ALL TIMES.



NOTE: FRENCH DRAIN CAN BE OMITTED  
 IF SOILS CONSIST OF GRAVELLY GRANULAR  
 SANDS TO FROST LINE.

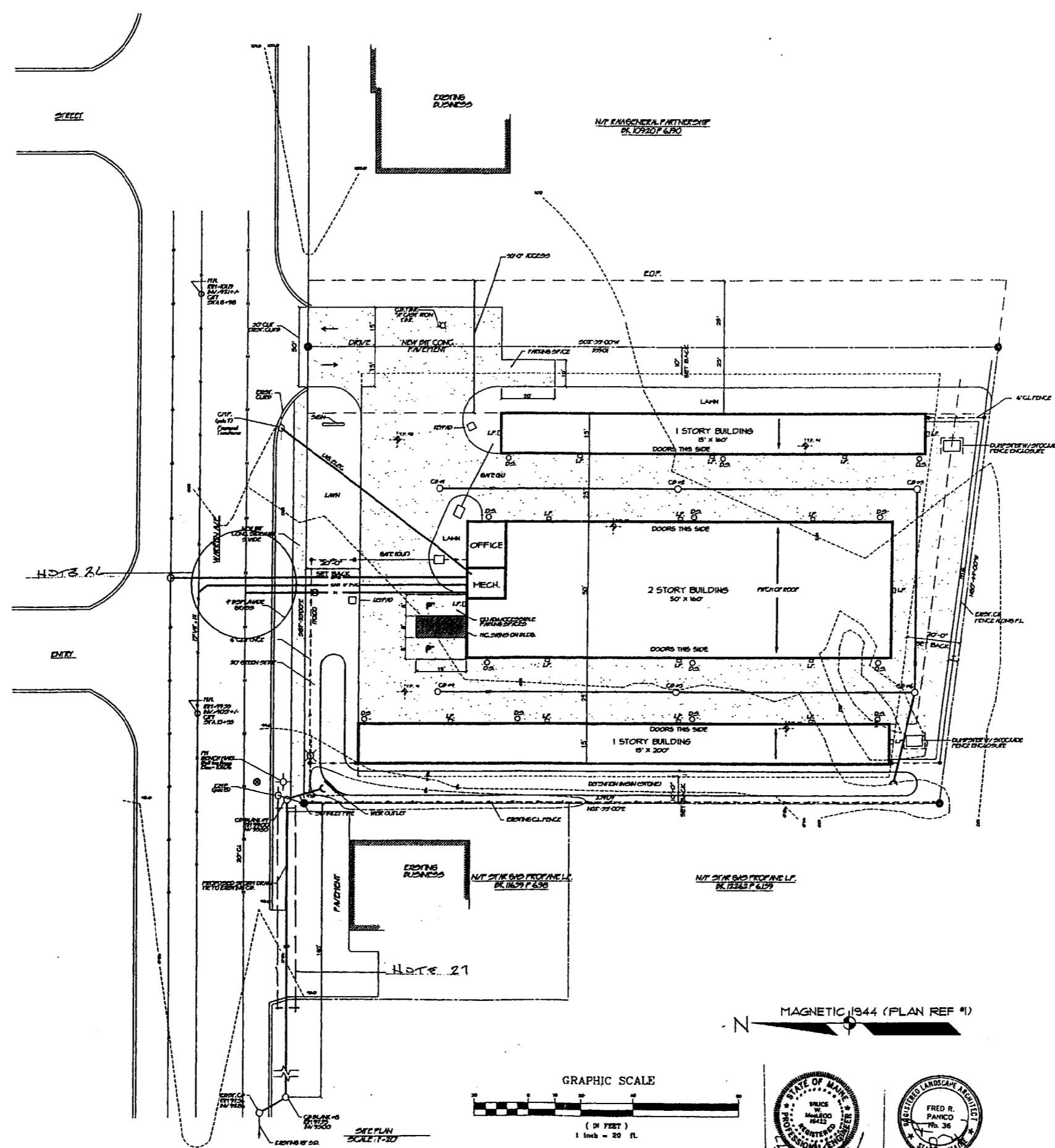
NOTE: BOTTOM OF FROST-PROOF FILL  
 AT FRENCH DRAIN SHALL BE MIN.  
 OF 1'-2" WIDE.

**TYPICAL PERIMETER FOUNDATION SECTION** @ EXTERIOR  
 STUDIAL

NOT TO SCALE

M501215

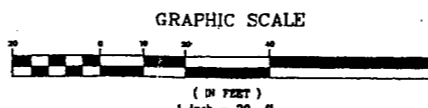
116a



**LEGEND**

|     |                          |
|-----|--------------------------|
| --- | PROPERTY/ROU             |
| --- | SETBACK                  |
| --- | CENTERLINE               |
| ⊠   | MONUMENT                 |
| ⊙   | IRON PIPE/ROD            |
| --- | STREAM                   |
| --- | GRAVEL ROAD              |
| --- | FENCE                    |
| ⊙   | TEST PIT                 |
| --- | STONE WALL               |
| --- | GAS LINE                 |
| --- | SANITARY LINE            |
| --- | STORM DRAIN              |
| --- | WATER LINE               |
| ⊙   | CATCH BASIN              |
| --- | EXISTING CONTOURS        |
| --- | PROPOSED CONTOURS        |
| --- | EXISTING SPOT ELEVATION  |
| --- | EXISTING SPOT ELEVATION  |
| --- | EXISTING GRANITE CURBING |
| --- | PROPOSED GRANITE CURBING |
| ⊙   | HYDRANT                  |
| ⊙   | POWER POLE               |
| ⊙   | MANHOLE                  |
| ⊙   | BENCH MARK               |
| ⊙   | SIGN                     |
| ⊙   | WALL MOUNT LIGHT PACK    |
| ⊙   | HPS 1020; MOUNT # 5'     |
| ⊙   | DOWN SPOUT               |

- GENERAL NOTES**
- THE RECORD OWNER OF THE PROPERTY IS MASCO GENERAL PARTNERSHIP, 1 MEADOW LANE, PORTLAND, ME.
  - THE LOT BOUNDARIES ARE PART OF A LARGER PARCEL, SUBDIVIDED AS SHOWN BY RECORDS DATED 11-24-88, THE SUBJECT PARCEL IS SHOWN AS LOT 4, LOT 4 WAS SURVEYED BY GRS, DATED 11-24-88 FOR SUBDIVISION AND TOPOGRAPHY CONFORMING TO CATEGORY 1, CONSTRUCTION.
  - BASED ON THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, THE LOT BOUNDARIES ARE NOT LOCATED IN A 100-YEAR FLOOD ZONE.
  - EXISTING CONDITIONS SHOWN HEREIN ARE TAKEN FROM FIELD WORK COMPLETED BY PLANNING DESIGN ASSOCIATES, INC. SHOWN ON THE PLAN WITH SET BY MASCO TECHNICAL INC. FROM TO DATE OF THIS PLAN.
  - ZONING DISTRICT IS COMMERCIAL.
  - SPACE AND MAINT REQUIREMENTS:
- |                                       | MARKED    | ENCLOSED  |
|---------------------------------------|-----------|-----------|
| MINIMUM LOT AREA                      | 45,000 SF | 45,000 SF |
| MINIMUM FRONT YARD                    | 15 LF     | 15 LF     |
| MINIMUM SIDE YARD                     | 15 LF     | 15 LF     |
| MINIMUM REAR YARD                     | 15 LF     | 15 LF     |
| MINIMUM SIDEWALK COVERAGE             | 35 LF     | 35 LF     |
| MINIMUM PARKING SPACES                | 25 SP     | 25 SP     |
| MINIMUM BUILDING HEIGHT               | 15 LF     | 15 LF     |
| NO PARKING PERMITTED IN FRONT SETBACK |           |           |
- TOTAL LOT AREA: 45,000 SF
  - INTENDED USE: SELF STORAGE FACILITY WITH CONTROLLED ACCESS
  - BUILDING MINIMUMS:
  - FOOTPRINT: 14,000 SF
  - NUMBER OF STORIES: 1-1 STORY, 2-1 STORY
  - SPACES PROVIDED: 1 ADA ACCESSIBLE
  - PARKING SPACES ENCLOSURE: 1 ADA ACCESSIBLE
  - THE PROJECT WILL BE SERVED BY CITY SANITARY SEWER, STORM DRAIN AND PUBLIC WATER ELECTRIC, TELEPHONE, CABLE, GAS. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND.
  - SIDEWALKS AND BUILDING ENTRANCES SHALL BE HANDICAPPED ACCESSIBLE.
  - THE APPLICANT PROPRIETOR A STORE LINED DETENTION BASIN FOR ON-SITE STORMWATER ATTENTION THIS SITE IS CURRENTLY DISTURBED, CONTACTED GRAVEL.
  - ALL DISTURBED AREAS SHALL BE LOANED AND SERVED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.
  - SITE LIGHTING SHALL BE PROVIDED BY BUILDING MOUNTED FIXTURES AS SHOWN ON PLAN.
  - BUILDING WILL BE ADA ACCESSIBLE.
  - ALL WORK MATERIALS AND INSTALLATION SHALL MEET MOOT AND / OR CITY SPECIFICATIONS.
  - THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING AND FROM TRUCKS AND/OR OTHER EQUIPMENT FROM TO DISTURBED PUBLIC AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS, HIGHWAYS, DIRT, AND TAKE NECESSARY MEASURES AND NECESSARY TO INSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN, SAFE AND DRY CONDITION AT ALL TIMES.
  - EXISTING UTILITY LOCATIONS ARE APPROXIMATE BASED ON UTILITY OWNERS RECORDS, E.G.V. PLANS AND FIELD SURVEY. CONTRACTOR SHALL CONTACT THE MAINTENANCE DEPARTMENT OF THE CITY OF PORTLAND TO OBTAIN A COPY OF ALL UTILITY RECORDS. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MEA 100A, SANITARY SEWER, WATER, NATURAL GAS AND POWER LINES WILL BE CONNECTED TO EXISTING RECORDS AS PER THE INSTRUCTIONS FROM UTILITIES.
  - ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE. PROPERTY DAMAGE AND STREETS LINE INTERFERENCE SHALL BE PROPERLY PROTECTED BY ALL TRADES DURING CONSTRUCTION TO INCLUDE TRUCK TRAFFIC. IF DISTURBED THEY SHALL BE REPAIRED BY A SURVEY CONTRACTOR TO INCLUDE TRUCK TRAFFIC. CONTRACTOR/DEVELOPER SHALL OBTAIN NECESSARY PERMITS FROM THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE. GRADING OPERATIONS WILL BE INSTALLED WHEREAS PROPERTY BOUNDARIES ARE NOT MANICURED OWNED PROPERTY.
  - THE APPROVAL OF EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED IN THESE PLANS IN NO WAY RELIEVES THE DEVELOPER AND/OR AGENT FROM THE RESPONSIBILITIES CONTAINED IN THE LAND USE CODE.
  - AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
  - WARNING SIGNS, BARRELS, BARRICADES OR FLAGMATS APPROPRIATE FOR THE TYPE OF CONSTRUCTION MUST BE DISPLAYED TO REGULATE TRAFFIC.
  - THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS SHOWN ON THE APPROVED PLAN. ALL SETBACKS AND FEATURES OF THE PLAN AND ALL IMPROVEMENTS MADE BY THE APPLICANT CONTRACTOR AND USE OF THE PROPERTY WHICH APPEAR IN THE RECORDS OF THE PLANNING BOARD PRECEDENCE AND CONDITIONS OF THE APPROVAL, INCLUDING DEEDS TO THE CONTRACTOR/DEVELOPER SHALL BE PROTECTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING BOARD.
  - THE PARCEL IS SUBJECT TO THE FOLLOWING EASEMENTS: 1) ACCESS EASEMENT TO BE GRANTED WITH LOT 1
  - THE APPLICANT SHALL REPAIR EXISTING GRANITE CURB AND REPAIR STREET SECTION DAMAGED DUE TO UTILITY CONNECTION AND GENERAL CONSTRUCTION.
  - THE APPLICANT SHALL REPAIR THE STAB GAS DRIVE UPON INSTALLATION OF THE STORM DRAIN.



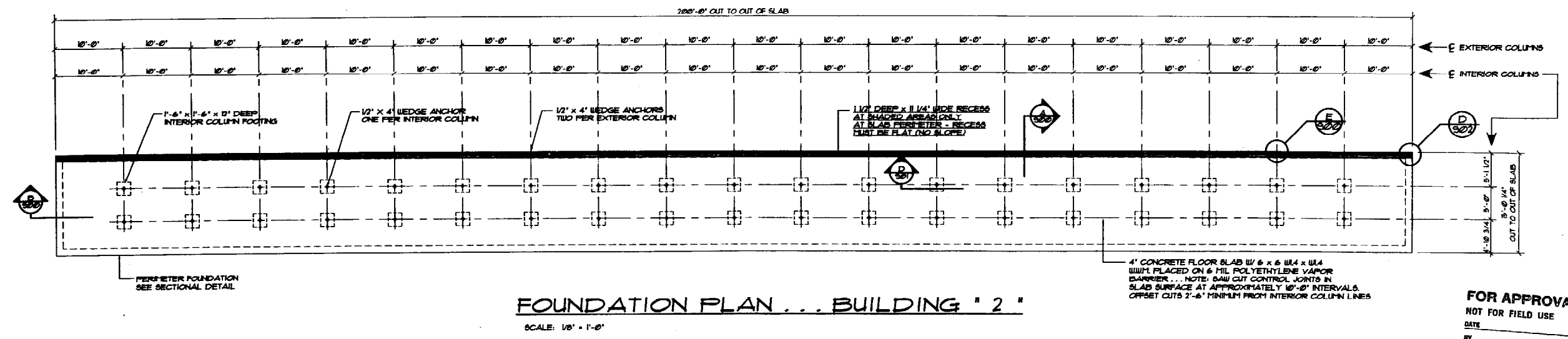
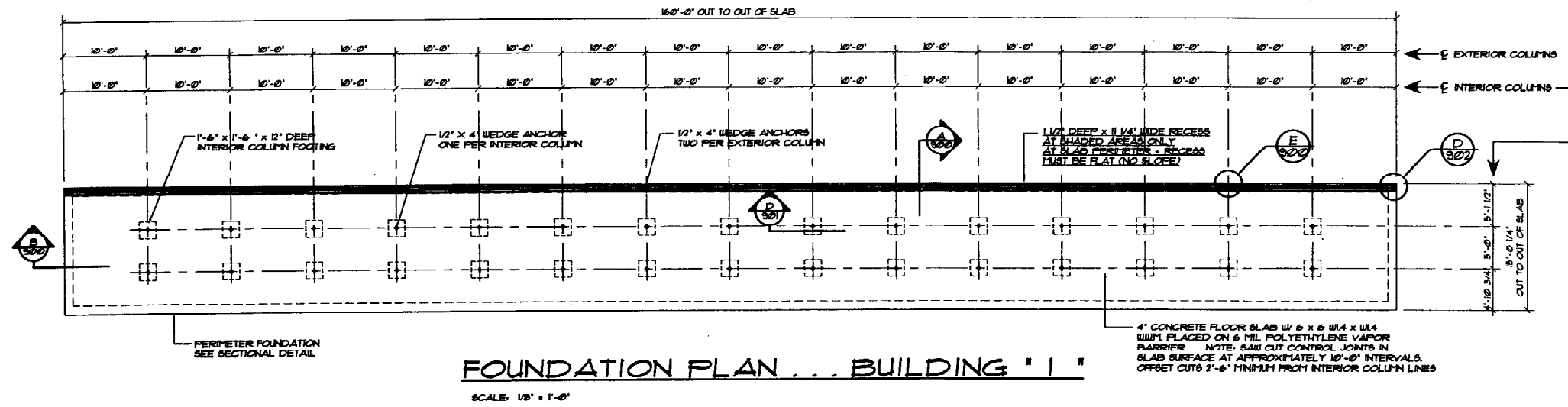
**SELF-STORAGE FACILITY**  
**76-86 WARREN AVENUE**  
**PORTLAND, MAINE**  
**DEVELOPER: MASCO GENERAL PARTNERSHIP**

**Revisions:**

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

Date : 06/08/01  
Scale : 1"=20'  
Drawn: JVP  
Project: 000404  
Sheet: S-2  
SITE PLAN  
2 of 8 Sheets

**PLANNING / DESIGN ASSOCIATES**  
**PLANNERS CONSULTING ENGINEERS REAL ESTATE DEVELOPMENT CONSULTANTS**  
**35 PARTRIDGE ROAD, WINDHAM, ME P.O. BOX 351, WINDHAM, ME 04092 207-862-2840**  
**SPACES Design Studio, Inc.**  
**Space Planning and Custom Electronics Inventory Buildings**  
**28 Park Street, Portland, Maine 04101 207-707-0000**



**FOR APPROVAL ONLY**  
NOT FOR FIELD USE  
DATE \_\_\_\_\_  
BY \_\_\_\_\_

**FOUNDATION NOTES**

ALL FOOTINGS SHALL BEAR COMPACTED STRUCTURAL FILL CAPABLE OF SUPPORTING A SAFE DESIGN BEARING PRESSURE OF 3,000 PSF.

ALL FOUNDATION CONCRETE, INCLUDING SLAB-ON-GRADE, SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH A.S.T.M. A615 GRADE 60 (Fy=60,000 PSI). ALL ANCHOR BOLTS SHALL BE SIZED AS NOTED AND EQUIVALENT TO A.S.T.M. A307.

CONCRETE PROTECTION FOR REINFORCING AS WELL AS PLACING AND FABRICATION OF REINFORCING SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS" (ACI 318-99).

EARTH FORMED FOOTINGS SHALL CONFORM TO THE SHAPE, LINES, AND DIMENSIONS AS SHOWN ON THE FOUNDATION PLAN. ALL WATER SHALL BE REMOVED BEFORE DEPOSITING CONCRETE.

BEFORE PLACING CONCRETE, ALL EMBEDDED ITEMS SHALL BE PROPERLY LOCATED, ACCURATELY POSITIONED, AND MAINTAINED SECURELY IN PLACE.

THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION, AND ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

PERIMETER FOUNDATION MUST NOT EXCEED 1/4" ELEVATION VARIATION ALONG ANY 50' DISTANCE OF BUILDING LENGTH.

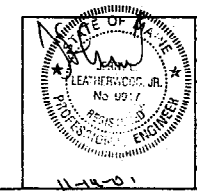
PERIMETER FOUNDATION TO EXTEND BELOW FROST LINE. VERIFY REQUIRED DEPTH WITH LOCAL BUILDING OFFICIALS PRIOR TO PROCEEDING WITH FOUNDATION WORK.

THE AMERICAN CONCRETE INSTITUTE DOES NOT RECOGNIZE FIBERMESH AS A SUBSTITUTE FOR WIRE MESH REINFORCED CONCRETE WHEN SUBJECTED TO TENSILE STRESS.

SAW CUT CONTROL JOINTS IN SLAB SURFACE AT APPROXIMATELY 10'-0" INTERVALS... OFFSET CUTS 2'-6" MINIMUM FROM INTERIOR COLUMN LINES.

NOTE: SEE OWNER FOR BUILDING ORIENTATION ON SITE

NOTE: WEDGE ANCHORS ARE PROVIDED BY BETCO. EMBEDDED ANCHOR BOLTS IN SLAB ARE NOT REQUIRED BY BUYER.



|             |             |
|-------------|-------------|
| DATE        | 10/24/01    |
| DRAWN BY    | S. LANIER   |
| SCALE       | AS NOTED    |
| APPROVED BY | [Signature] |
| REVISIONS   |             |
| DATE        | BY          |

**BETCO, INC.**  
P.O. BOX 1650  
STATESVILLE, NC 28687  
(800)654-7813

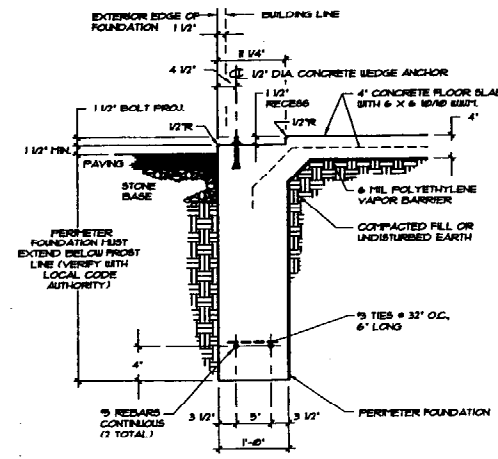
PROJECT NAME: **MORRILL'S CORNER SELF STORAGE**  
PROJECT ADDRESS: **PORTLAND, MAINE**

OWNER: **MORRILL'S CORNER SELF STORAGE**

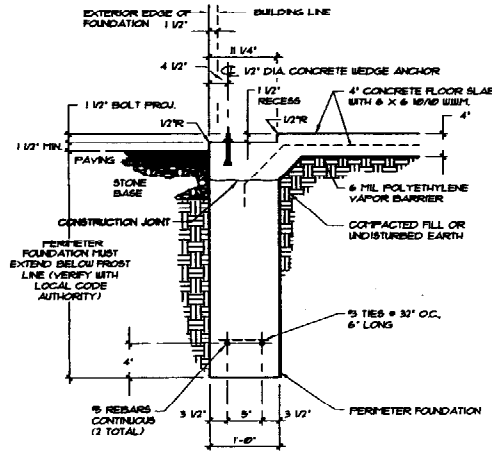
PROJECT NO.: **ME01215**

SHEET TITLE: **FOUNDATION PLANS & NOTES**  
**BUILDINGS "1" & "2"**

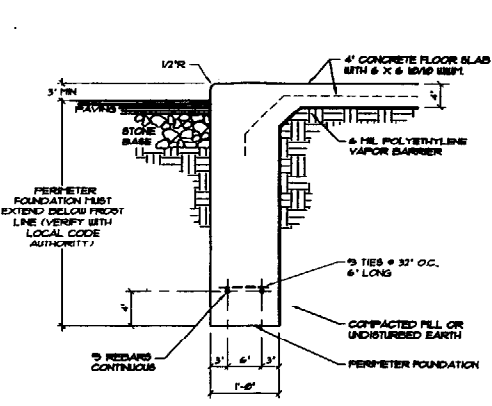
DRAWING NUMBER: **F1 of 4**



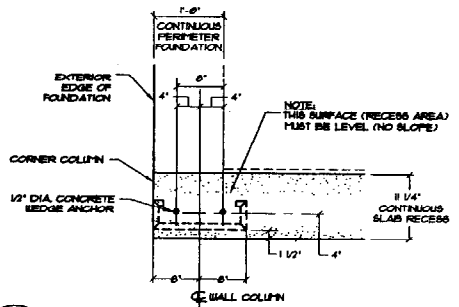
**D** TYPICAL PERIMETER FOUNDATION SECTION  
(MONOLITHIC CONCRETE PLACEMENT)  
NOT TO SCALE  
FOR (2) STORY BUILDINGS BASED ON  
SOIL OF 3000 PSF BEARING CAPACITY.



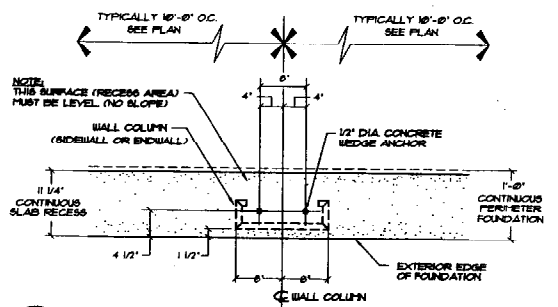
**D** ALTERNATE PERIMETER FOUNDATION SECTION  
(TWO STAGE CONCRETE PLACEMENT)  
NOT TO SCALE  
FOR (2) STORY BUILDINGS BASED ON  
SOIL OF 3000 PSF BEARING CAPACITY.



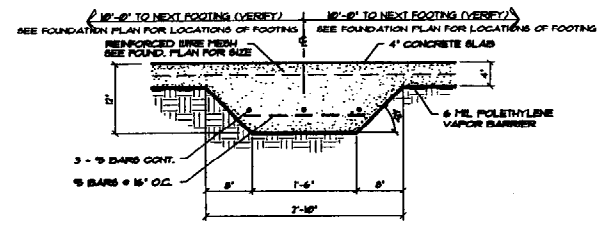
**E** PERIMETER FOUNDATION SECTION  
AT EXTERIOR STUDWALL  
(MONOLITHIC CONCRETE PLACEMENT)  
NOT TO SCALE  
FOR (2) STORY BUILDINGS BASED ON  
SOIL OF 3000 PSF BEARING CAPACITY.



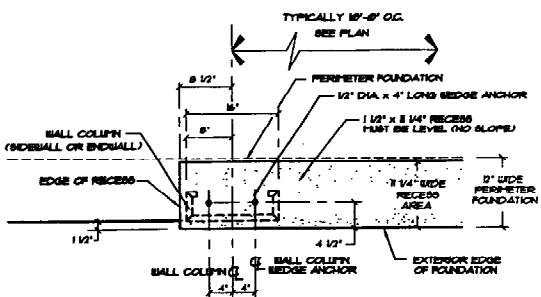
**G** CORNER WEDGE ANCHORS AT STUDWALL  
NOT TO SCALE



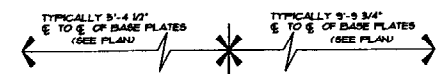
**C** TYPICAL WALL COLUMN WEDGE ANCHORS  
LOWER LEVEL BUILDING "1"  
NOT TO SCALE



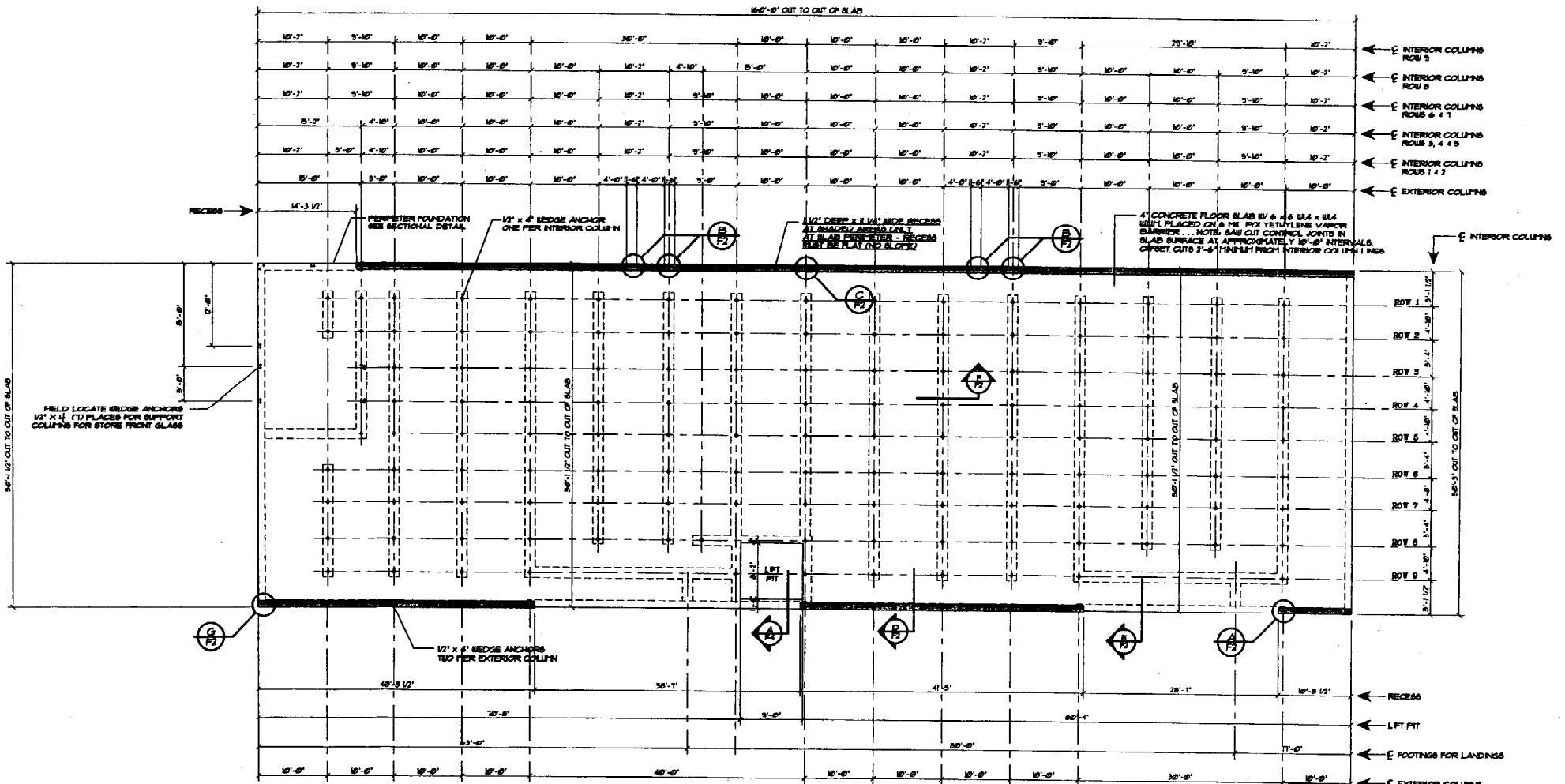
**F** SECTION OF INTERIOR FOOTING  
LOWER LEVEL - BUILDING "1"  
NOT TO SCALE



**A** RECESS AT WALL COLUMN AND STUDWALL  
NOT TO SCALE

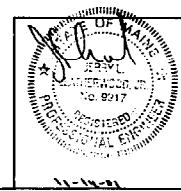


**B** TYPICAL 16" WALL COLUMN WEDGE ANCHORS  
NOT TO SCALE



**FOUNDATION PLAN - BUILDING "1"**  
SCALE: 1/8" = 1'-0"

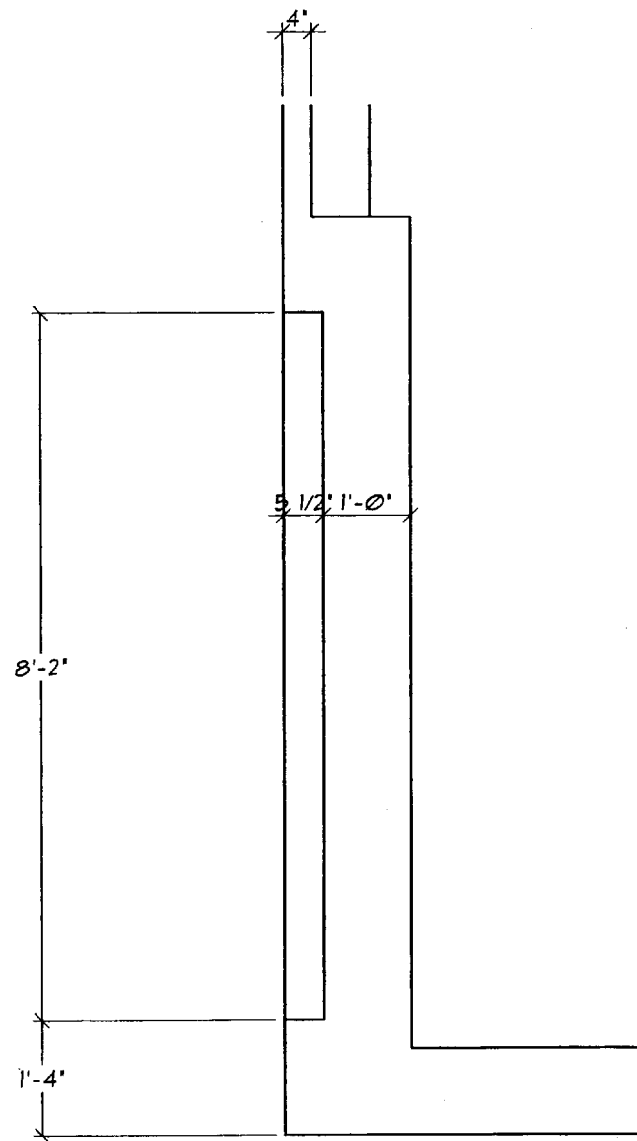
FOR APPROVAL ONLY  
NOT FOR FIELD USE  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_



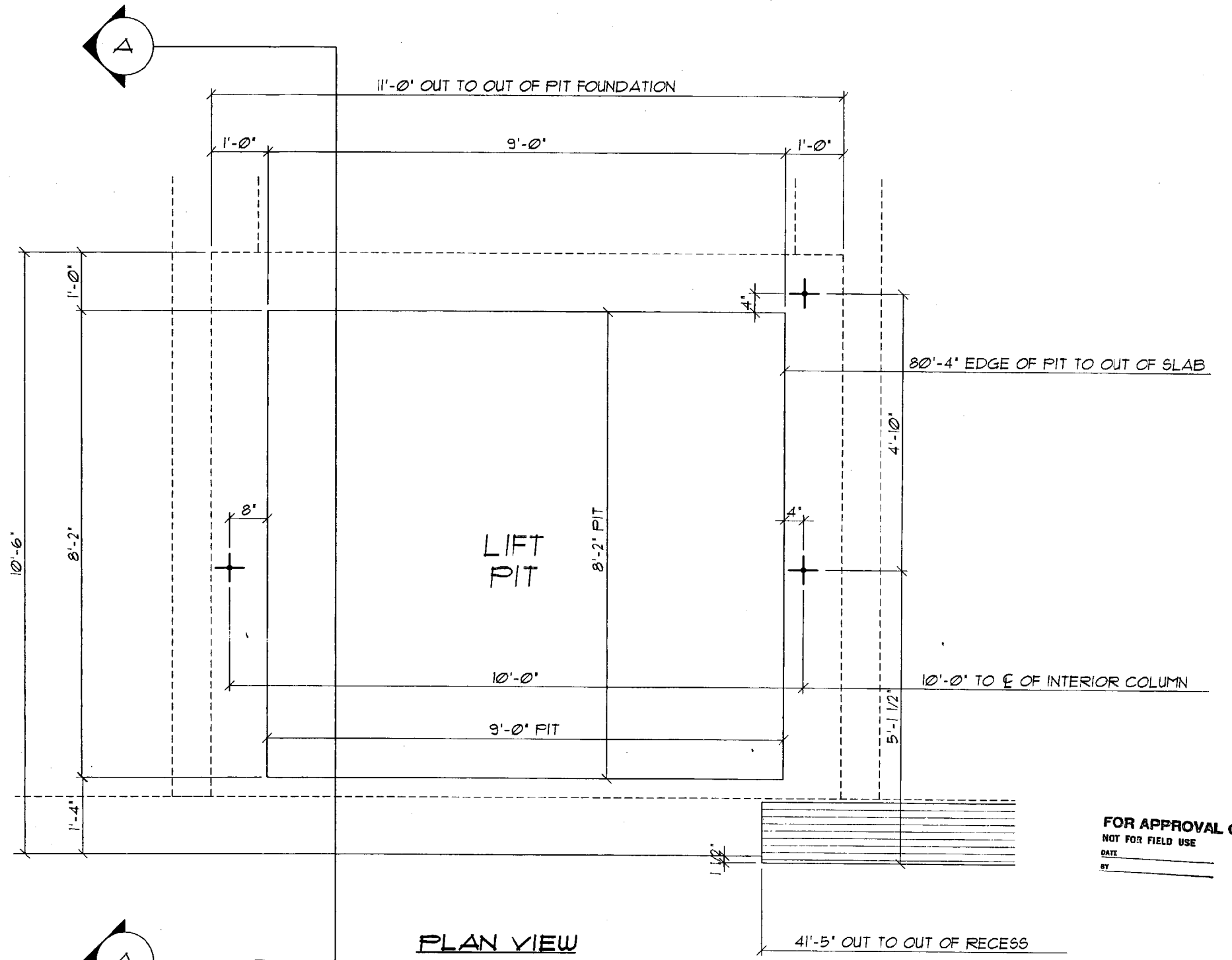
|              |             |
|--------------|-------------|
| DATE:        | 10/31/01    |
| DRAWN BY:    | S. LANIER   |
| SCALE:       | AS NOTED    |
| APPROVED BY: | [Signature] |
| REVISIONS:   |             |
| DATE:        |             |
| BY:          |             |

**BETCO, INC.**  
P.O. BOX 1650  
STATESVILLE, NC 28687  
(800)654-7813

PROJECT NAME:  
**MORRILL'S CORNER SELF STORAGE**  
PROJECT ADDRESS:  
PORTLAND, MAINE  
OWNER:  
MORRILL'S CORNER SELF STORAGE  
PROJECT NO.:  
ME01215  
SHEET TITLE:  
FOUNDATION PLAN & DETAILS  
LOWER LEVEL - BUILDING "3"  
DRAWING NUMBER:  
F2 of 4



**SECTION "A" - "A":**  
SCALE: 1" = 1'-0"



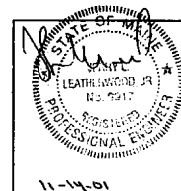
**PLAN VIEW**

**A**  
**F4**

**FOUNDATION PLAN @ LIFT PIT**  
**BUILDING "1"**  
SCALE: 1" = 1'-0"

**FOR APPROVAL ONLY**  
NOT FOR FIELD USE  
DATE \_\_\_\_\_  
BY \_\_\_\_\_

J:\005\0215\0215F04.dwg Wed Nov 14 10:45:28 2001

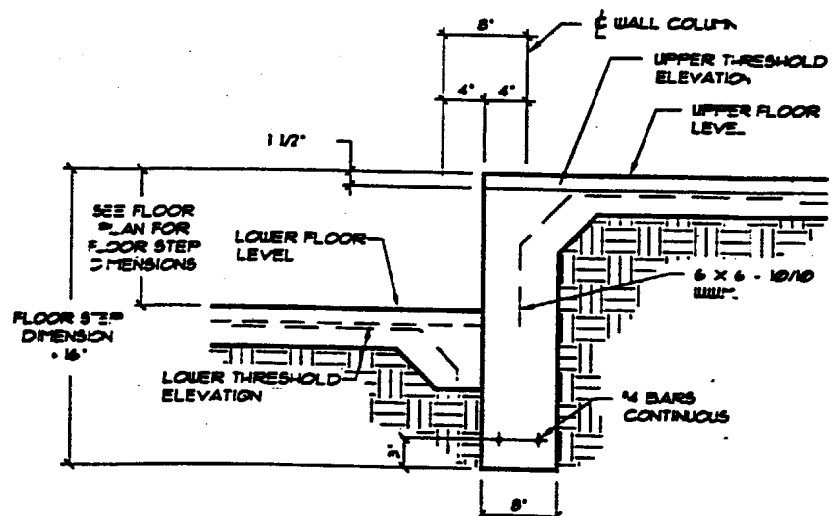


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| DATE:        | 11/7/01  |
| DRAWN BY:    | SHL      |
| SCALE:       | AS NOTED |
| APPROVED BY: | OK 11/13 |
| REVISIONS:   |          |
| DATE:        |          |
| BY:          |          |

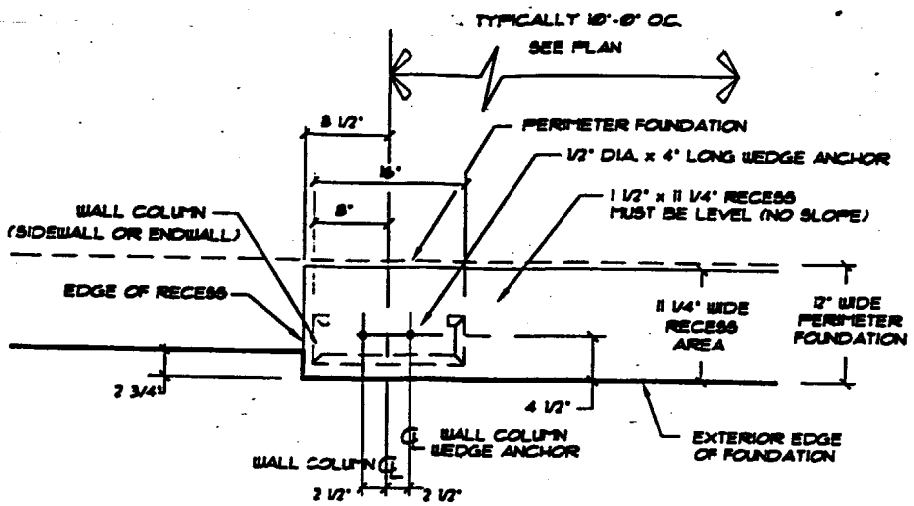
**BETCO, INC.**  
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STATESVILLE, NC 28687  
(800)654-7813

|                  |                                      |                         |
|------------------|--------------------------------------|-------------------------|
| PROJECT NAME:    | <b>MORRILL'S CORNER SELF STORAGE</b> |                         |
| PROJECT ADDRESS: | PORTLAND, MAINE                      |                         |
| OWNER:           | MORRILL'S CORNER SELF STORAGE        | PROJECT NO.: ME01215    |
| SHEET TITLE:     | FOUNDATION DETAILS BUILDING "3"      | DRAWING NUMBER: F4 of 4 |

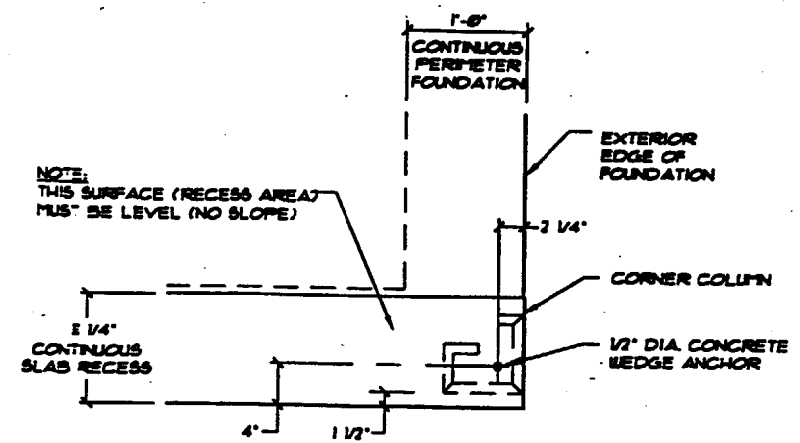




**A** FOUNDATION SECTION @ FLOOR STEP  
NOT TO SCALE



**C** RECESS AT WALL COLUMN AND STUDWALL  
NOT TO SCALE

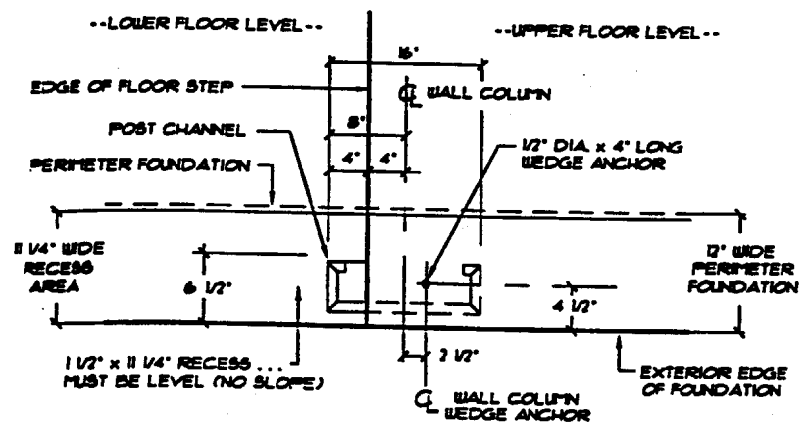


**D** CORNER WEDGE ANCHORS AT STUDWALL  
NOT TO SCALE

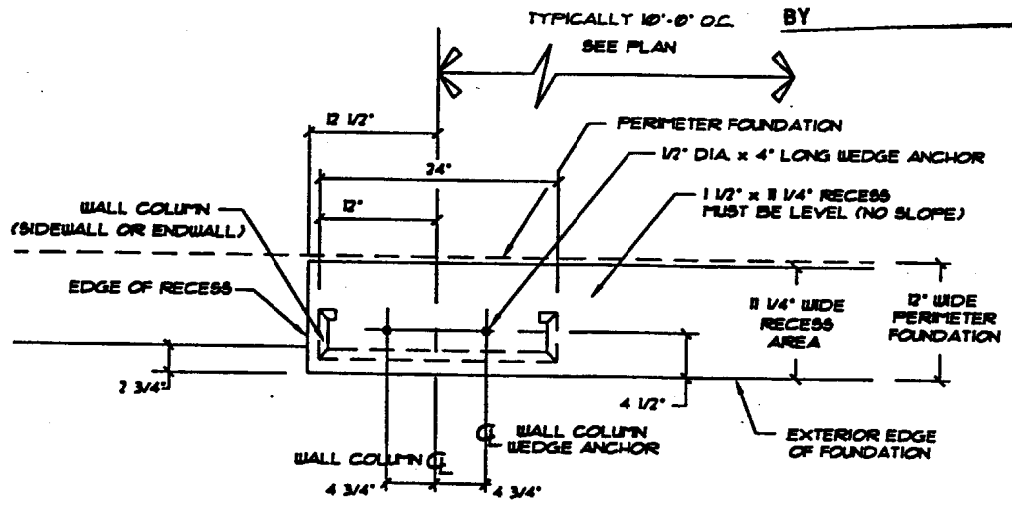
**FOR APPROVAL ONLY**

NOT FOR FIELD USE

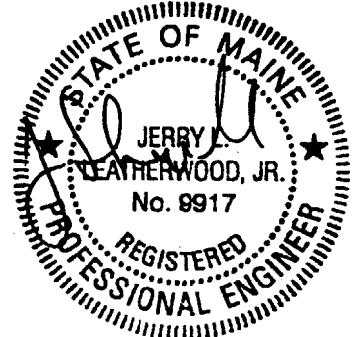
DATE \_\_\_\_\_  
BY \_\_\_\_\_



**B** FLOOR STEPDOWN @ WALL COLUMN  
NOT TO SCALE



**E** RECESS AT 24' WALL COLUMN AND STUDWALL  
NOT TO SCALE



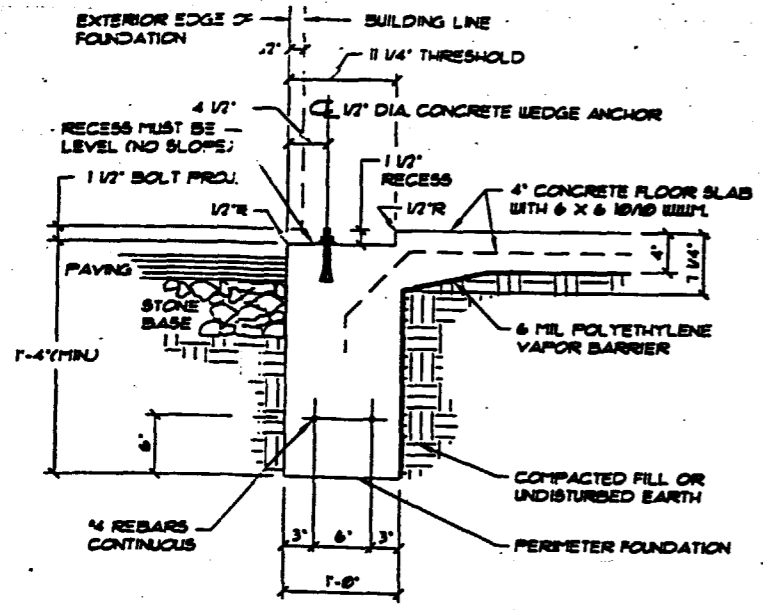
6/24/00

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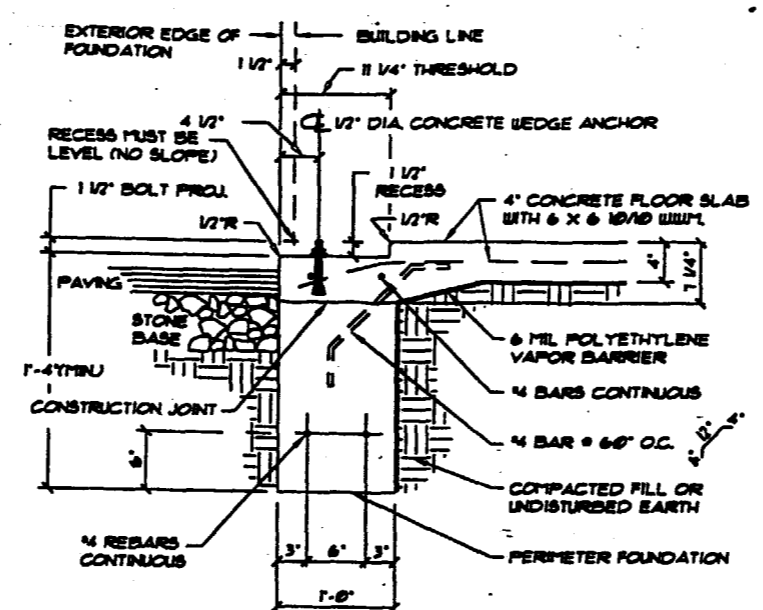


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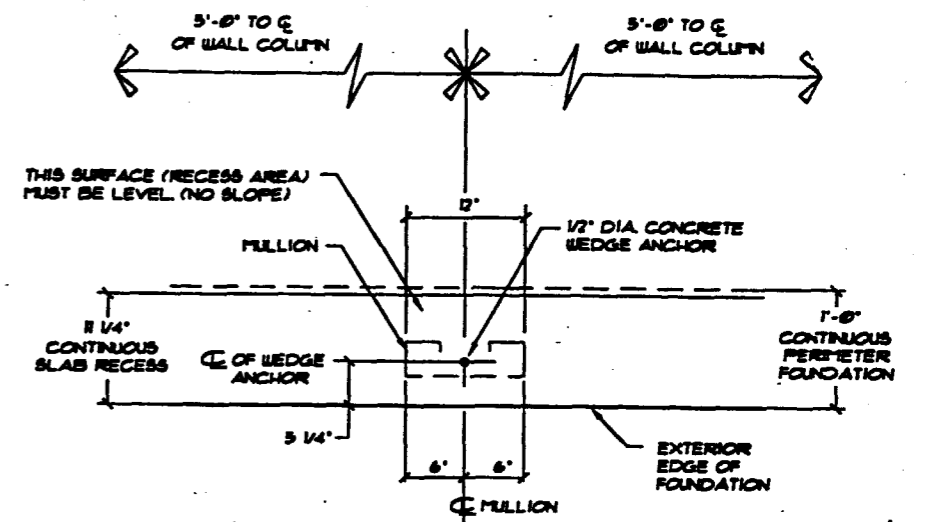
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|---|------------------|----------------------------|
| SHEET TITLE:<br><i>Typical Stepdown Details &amp; Studwall Foundation Details</i> |                  |                            |
| DRAWN BY:<br>JCM  | APPROVED BY:     | DRAWING NUMBER:<br>ERC902X |
| SCALE:<br>NTS   | DATE:<br>4/14/00 |                            |



**A** TYPICAL PERIMETER FOUNDATION SECTION  
 (MONOLITHIC CONCRETE PLACEMENT)  
 NOT TO SCALE



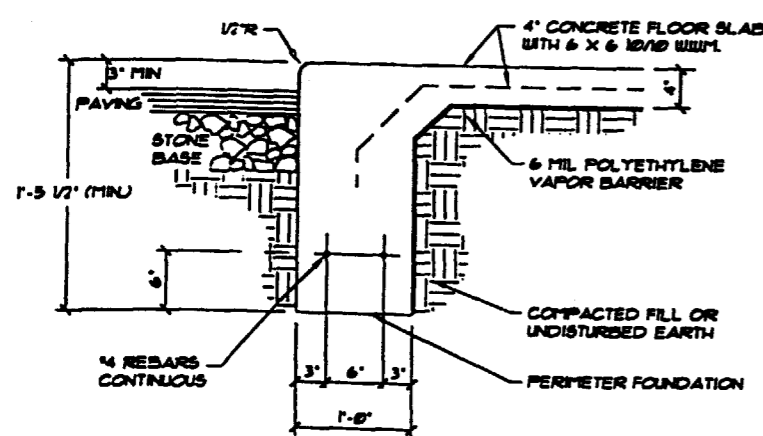
**A** ALTERNATE PERIMETER FOUNDATION SECTION  
 (TWO STAGE CONCRETE PLACEMENT)  
 NOT TO SCALE



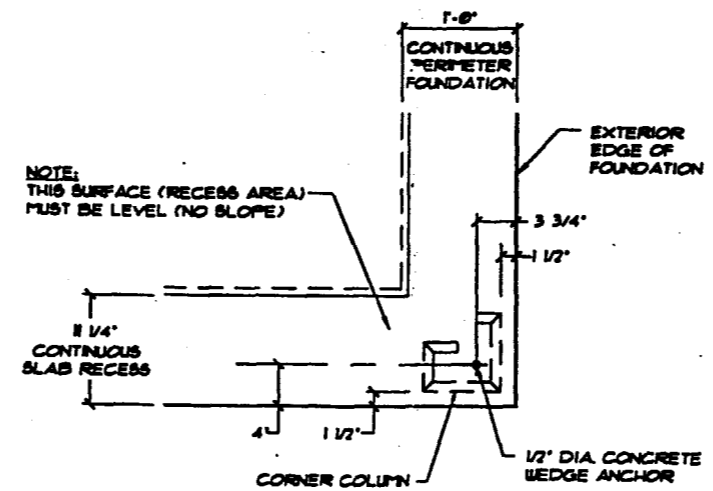
**D** WEDGE ANCHOR @ 12' MULLION  
 NOT TO SCALE

**FOR APPROVAL ONLY**  
 NOT FOR FIELD USE

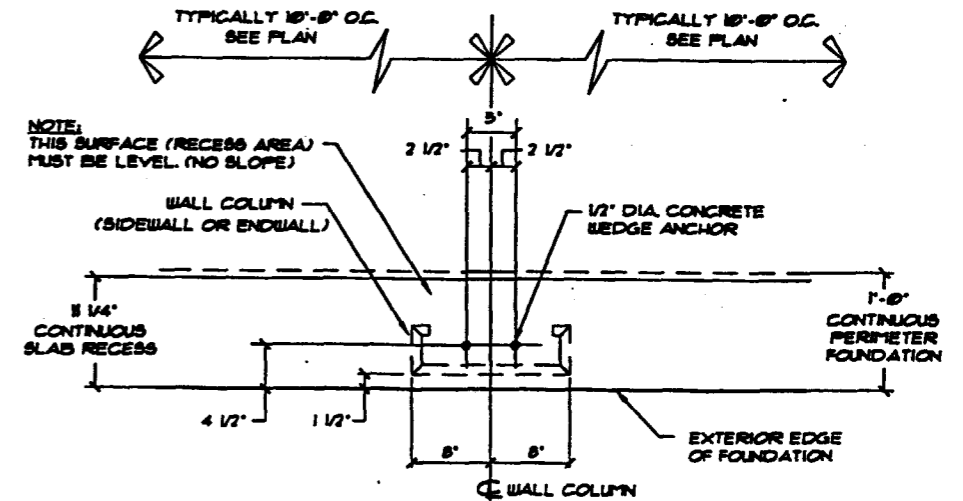
DATE \_\_\_\_\_  
 BY \_\_\_\_\_



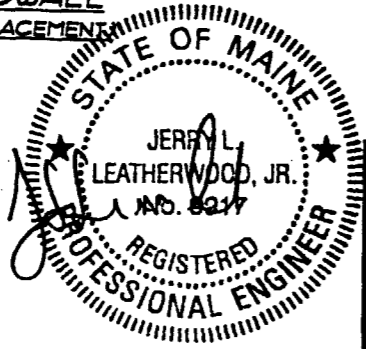
**B** PERIMETER FOUNDATION SECTION  
 AT EXTERIOR STUDWALL  
 (MONOLITHIC CONCRETE PLACEMENT)  
 NOT TO SCALE



**C** TYPICAL CORNER WEDGE ANCHORS  
 NOT TO SCALE



**E** TYPICAL WALL COLUMN WEDGE ANCHORS  
 NOT TO SCALE



6/26/00

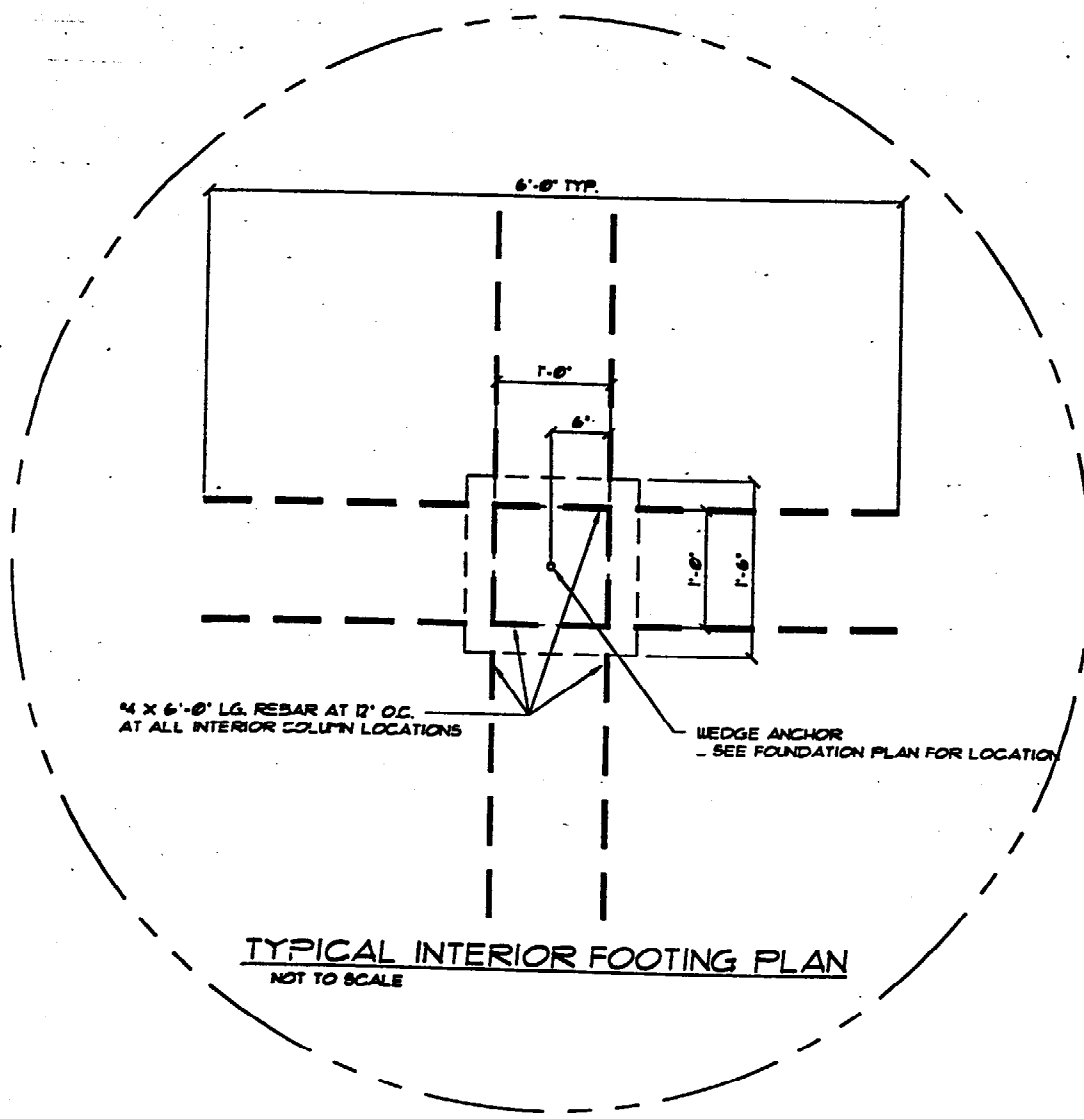
| REVISIONS | DATE | BY |
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SHEET TITLE:  
**Typical Foundation Details**

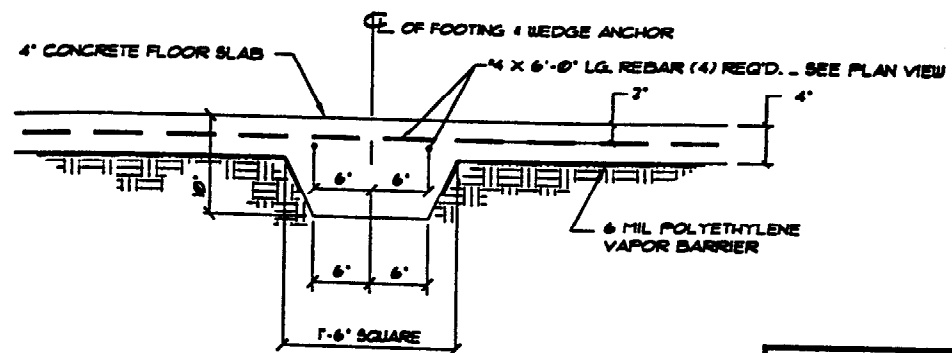
|                  |                  |                            |
|------------------|------------------|----------------------------|
| DRAWN BY:<br>JCM | APPROVED BY:     | DRAWING NUMBER:<br>ERC900X |
| SCALE:<br>NTS    | DATE:<br>4/14/00 |                            |



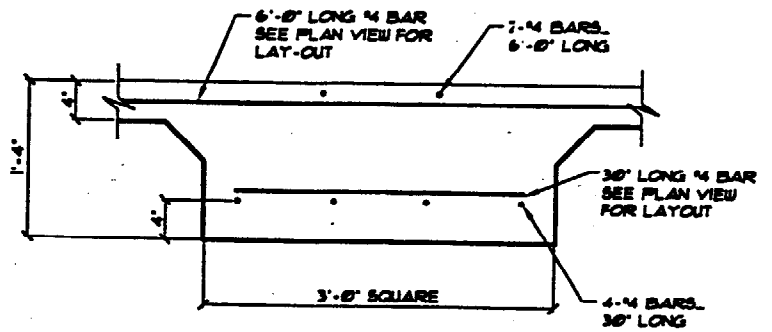
4 x 6'-0" LG. REBAR AT 12" OC. AT ALL INTERIOR COLUMN LOCATIONS

WEDGE ANCHOR - SEE FOUNDATION PLAN FOR LOCATION

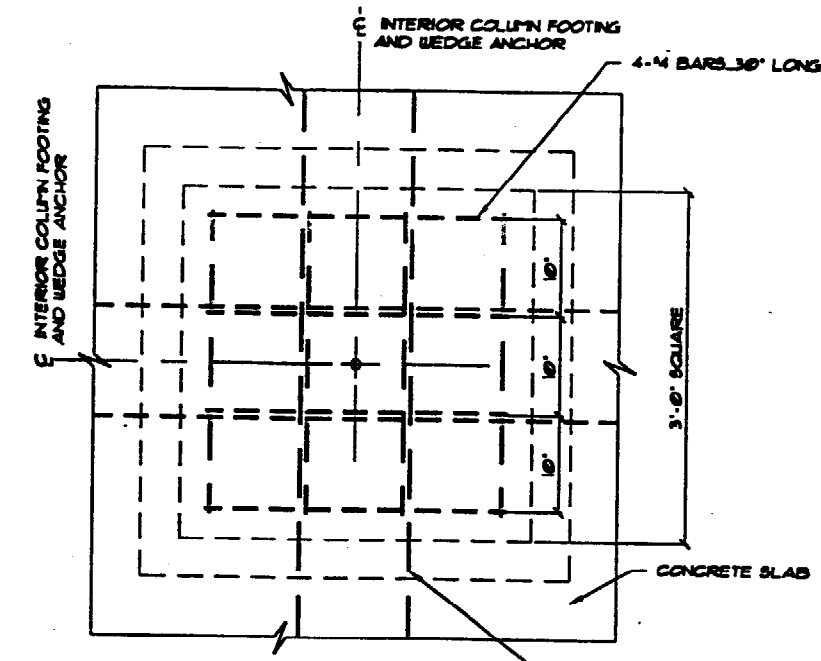
**TYPICAL INTERIOR FOOTING PLAN**  
NOT TO SCALE



**(A) TYPICAL INTERIOR FOOTING SECTION**  
NOT TO SCALE

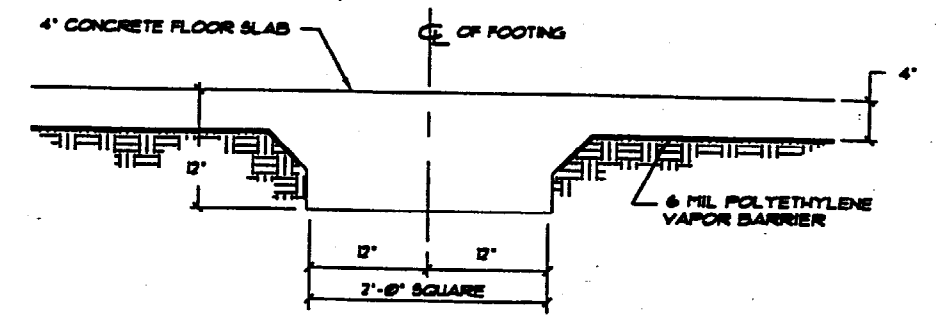


**SECTION B FOOTING**



**STEEL LAYOUT PLAN**

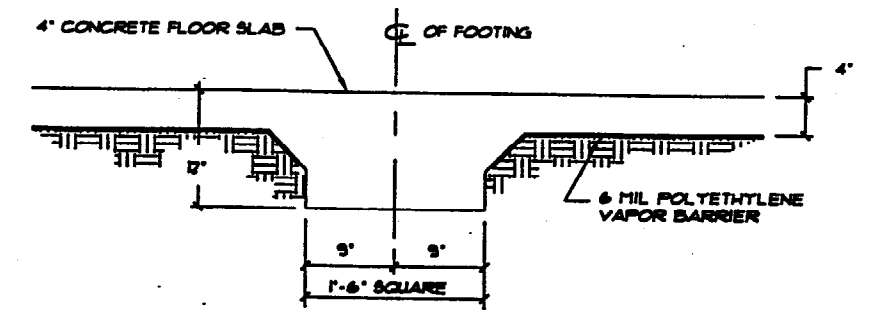
**(B) SPECIAL 3'-0" SQUARE INTERIOR COLUMN FOOTING**  
NOT TO SCALE



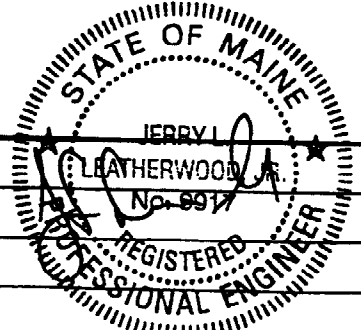
**(C) TYPICAL INTERIOR FOOTING SECTION**  
NOT TO SCALE

**FOR APPROVAL ONLY**  
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DATE \_\_\_\_\_  
BY \_\_\_\_\_



**(D) TYPICAL INTERIOR FOOTING SECTION**  
NOT TO SCALE



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**BETCO, INC.**  
BUILDING THE FUTURE OF SELF STORAGE

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STATESVILLE, NC 28677

|  |                  |                            |
|--|------------------|----------------------------|
| SHEET TITLE:<br><b>Typical Footing Details</b> |                  |                            |
| DRAWN BY:<br>JCM                               | APPROVED BY:     | DRAWING NUMBER:<br>ERC901X |
| SCALE:<br>NTS                                  | DATE:<br>4/14/00 |                            |