

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 030850

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Rais General Partnership / M State Builders
has permission to Add 1289 sq. Ft. Addition to and board
AT 54 Warren Ave 293 A017001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit in progress before this building or part thereof is occupied or otherwise used-in. HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

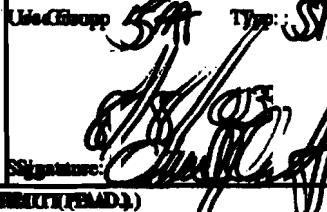

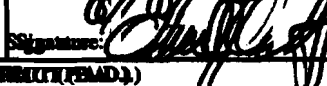
Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

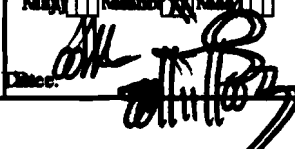
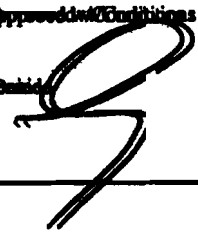
PENALTY FOR REMOVING THIS CARD

City of Portland, Oregon - Building Use Permit Application
 389 Congress Street, 084 011 TEL: (207) 697-4897 FAX: (207) 697-4897

Permit No: 03-0860	Issue Date:	URL: 293 AKI 700 11
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Location of Construction: 514 Warren Ave	Owner Name: FRIA General Partnership	Owner Address: 514 Warren Ave	Phone: 207 773 9824
Builder Name: FRIA	Contact Name: Alicia State Builders	Contact Address: 2265 Warren Ave Portland 1	Phone: 207 773 5684
Builder's Name: FRIA	Phone: FRIA	Permit Type: Addition - Commercial	Zone: B4
Proposed Use: Commercial / Auto Body Shop	Proposed Use: Auto Body Shop / Addl 2380 sq Ft. TE expansion (minor site; all r/had been submitted).	Permit Fee: \$108800	Cost of Work: \$133000000
Proposed Project Description: Addl 2380 sq Ft. Addition to expansion shop.	<p><i>use of the space however for the</i></p>	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	RESOLUTION: Use Group: <i>SA</i> Type: <i>SI</i> 
		Signature:  PERMITS MANAGER / CITY OF PORTLAND (FRAD)	Signature:  Date:
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/ Conditions <input type="checkbox"/> Denied	
		Signature:	Date:

Permit Title By: EES	Issue/Apply Date: 07/16/2003	Zoning Approval
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11. This permit application does not meet the Applicant's (s) from anything applicable State and Federal Rules. 22. Building permit does not include plumbing, septic or electrical work. 33. Building permit does not include work is not started within six (6) months of the date of issuance. Failure to commence may invalidate a building permit and stop all work.	Special Zoning Rules <input type="checkbox"/> Substandard <input type="checkbox"/> Vandal <input type="checkbox"/> Flood Zone <input type="checkbox"/> Substandard <input checked="" type="checkbox"/> Sign Plan Major <input type="checkbox"/> Minor <input checked="" type="checkbox"/> NIM <input type="checkbox"/> Date: 	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	HELD FOR REVIEW <input checked="" type="checkbox"/> Not in District of Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/ Conditions <input type="checkbox"/> Denied  Date:
	<p><i>Separate application for new sign plan</i></p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property and that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application and is authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work is described in the application is issued, I certify that the code official is authorized representative shall have the authority to consent to the same as verified by such permit on any reasonable basis to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON'S (OR AGENT'S) TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0850	Date Applied For: 07/16/2003	CBL: 293 A017001
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Location of Construction: 54 Warren Ave	Owner Name: Rais General Partnership	Owner Address: 54 Warren Ave	Phone: 207-773-9826
Business Name: n/a	Contractor Name: Maine State Builders	Contractor Address: 245 Warren Ave Portland	Phone: (207) 773-5504
Lessor/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Commercial	

Proposed Use: Auto Body Shop / Add 1280 sq. Ft. To expand body shop. (minor site plan has been submitted).	Proposed Project Description: Add 1289 sq. Ft. Addition to expand body shop.
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 08/01/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 08/08/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) The exterior wall closest to the larger building on the lot must be sheated inside with 5/8 " type X gypsum board and the first row of roof sheathing shall be flame resistant plywood			
Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. MacDougal	Approval Date: 07/31/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) the sprinkler system shall be maintained to NFPA 13 standards			
2) Doors shall swing in the direction of egress travel			
3) fire extinguishers shall be installed in accordance with NFPA 10 standards			

030850

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>64 WARREN AVE PORTLAND ME</u>		
Total Square Footage of Proposed Structure <u>1280</u>	Square Footage of Lot <u>78284</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>293</u> <u>A</u> <u>17</u>	Owner: <u>SALVATORE & PINA RAI</u> <u>10 DENNETT ST</u> <u>PORTLAND ME 04102</u>	Telephone: <u>207</u> <u>773-9826</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>SALVATORE RAI</u>	Cost Of Work: \$ <u>48000</u> Fee: \$ <u>453.00</u>
Current use: <u>AUTO BODY SHOP</u>		
If the location is currently vacant, what was prior use: <u>NA</u>		
Approximately how long has it been vacant: <u>NA</u>		
Proposed use: <u>EXPAND EXISTING BODY SHOP</u> Project description:		
Contractor's name, address & telephone: <u>MAINE STATE BUILDERS 773-5504</u> <u>245 WARREN AVE PORTLAND ME 04103</u>		
Who should we contact when the permit is ready: <u>SALVATORE RAI 773-9826</u>		
Mailing address: <u>54 WARREN AVE, PORTLAND ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-773-9826</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u><i>Salvatore RAI</i></u>	Date: <u>7-16-03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Proposal

Maine State Builders, Inc.

245 Warren Avenue • Portland, Maine 04103 • 207-773-5504

OWNER

Sal Raia / Raia Business Complex
54 Warren Avenue
Portland, ME 04103

PHONE

DATE OF PROPOSAL

July 8, 2003

PROJECT NAME

Penna Body Shop Addition

PROJECT LOCATION

54 Warren Avenue, Portland, ME

APPROXIMATE START DATE

July 25, 2003

APPROXIMATE DATE OF SUBSTANTIAL COMPLETION

September 13, 2003

DESCRIPTION OF THE WORK PROPOSED

We propose to provide all labor, material, and equipment to properly perform the scope of work described in the attached four pages titled, *Specifications for Penna Body Shop Addition*, dated July 8, 2003.

Proposal price:

Forty Eight Thousand Dollars-----(\$48,000.00)

Terms of payment:

Monthly requisitions for work completed to date, due upon presentation.

Proposed By: Maine State Builders, Inc.
by William S. Skoolicas
Its President

Signed:



Acceptance of proposal

The terms and conditions on the back of this page together with the terms and conditions set forth above are accepted and are hereby incorporated into and become a part of this Agreement and are seen and agreed to by:

Signature



Title

owner

Date

7-8-03



Specifications
for
Penna Body Shop Addition
at
54 Warren Avenue, Portland, ME

July 8, 2003

Page 1 of 3

Scope of Work

1. Form and place a continuous 3,000 PSI concrete footing 16 inches wide by 10 inches high by 112 feet long, with two continuous #4 steel rebar for reinforcement.
2. Form and place a continuous 3,000 PSI concrete foundation wall 8 inches wide by 3 feet 10 inches high by 112 feet long, with two continuous #4 steel rebar for reinforcement at both the top and bottom of the wall. Provide anchor bolts for sill.
3. Backfill the foundation with existing materials.
4. Provide a compacted gravel base a minimum of 6 inches thick under the new concrete floor slab.
5. Place and finish a 4,000 PSI concrete floor 6 inches thick by 32 feet wide by 40 feet long, with Fibermesh reinforcement. The new floor shall be at the same elevation as the existing floor.



6. Pitch the concrete floor toward the exterior of the building and provide a primed steel corner angle protector embedded in the floor at the new garage door.
7. Provide pressure-treated 2x6 wood sill bolted to the foundation.
8. Construct approximately 112 feet of new exterior wall using 2x6 framing lumber 24 inches on center, if required by the truss design, or 16 inches on center, if not.
9. Remove the end wall and roof of the existing building addition and haul away the debris. The front and rear walls of the existing building addition shall be incorporated as-is into the new addition.
10. Provide wood headers as required above new door openings. Existing headers to remain.
11. Wrap the new walls with Tyvek or Tyvar building wrap.
12. Sheath the new exterior walls with unfinished T1-11 fir plywood sheathing. Provide aluminum flashing at all horizontal joints.
13. Provide a pre-engineered wood truss roof framing system with all necessary bracing. Roof pitch shall be 5 in 12.
14. Sheath the roof with 5/8 inch thick fir plywood.
15. Provide a roof overhang at the eaves of approximately 8 inches with a continuous eave vent.
16. Provide a 1x8 solid pine fascia and solid pine soffit as required.
17. Provide a 1x8 solid pine rake at the gable end.
18. Provide one manual 10 foot by 10 foot insulated metal garage door.
19. Provide one hollow metal door and frame with standard lockset.
20. Provide 1x4 solid pine casings at two new doors.
21. Strip back the shingle roofing of the existing building as required to allow for connection with the new roofing.



22. Provide 36 inches of ice and water shield at the eaves of the new roof, and at the gable and valleys.
23. Provide 15# felt paper over the remaining new roof, and galvanized drip edge at the eaves and rake.
24. Install 25-year, 3-tab, asphalt shingles on the new roof.
25. Patch the existing roof as required to make a proper transition at the valleys.
26. Provide a continuous ridge vent at the peak of the new roof.
27. Install strapping on the ceiling of the addition at 24 inches on center.
28. Provide R-19 fiberglass insulation in the new walls of the addition and R-30 insulation in the ceiling.
29. Install 5/8 inch thick gypsum wallboard on the new walls and ceiling of the addition.
30. Tape, skim, and sand the new wallboard to a smooth finish, ready for paint.

Exclusions

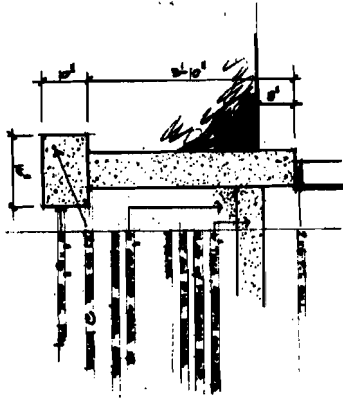
The scope of work included in this agreement is limited to the items described above and is not intended to comprise a complete project. The owner shall be responsible for meeting all requirements that are not specifically addressed in these specifications.

With regard to the work included in this agreement and described above, we specifically exclude any additional costs that might arise from the following:

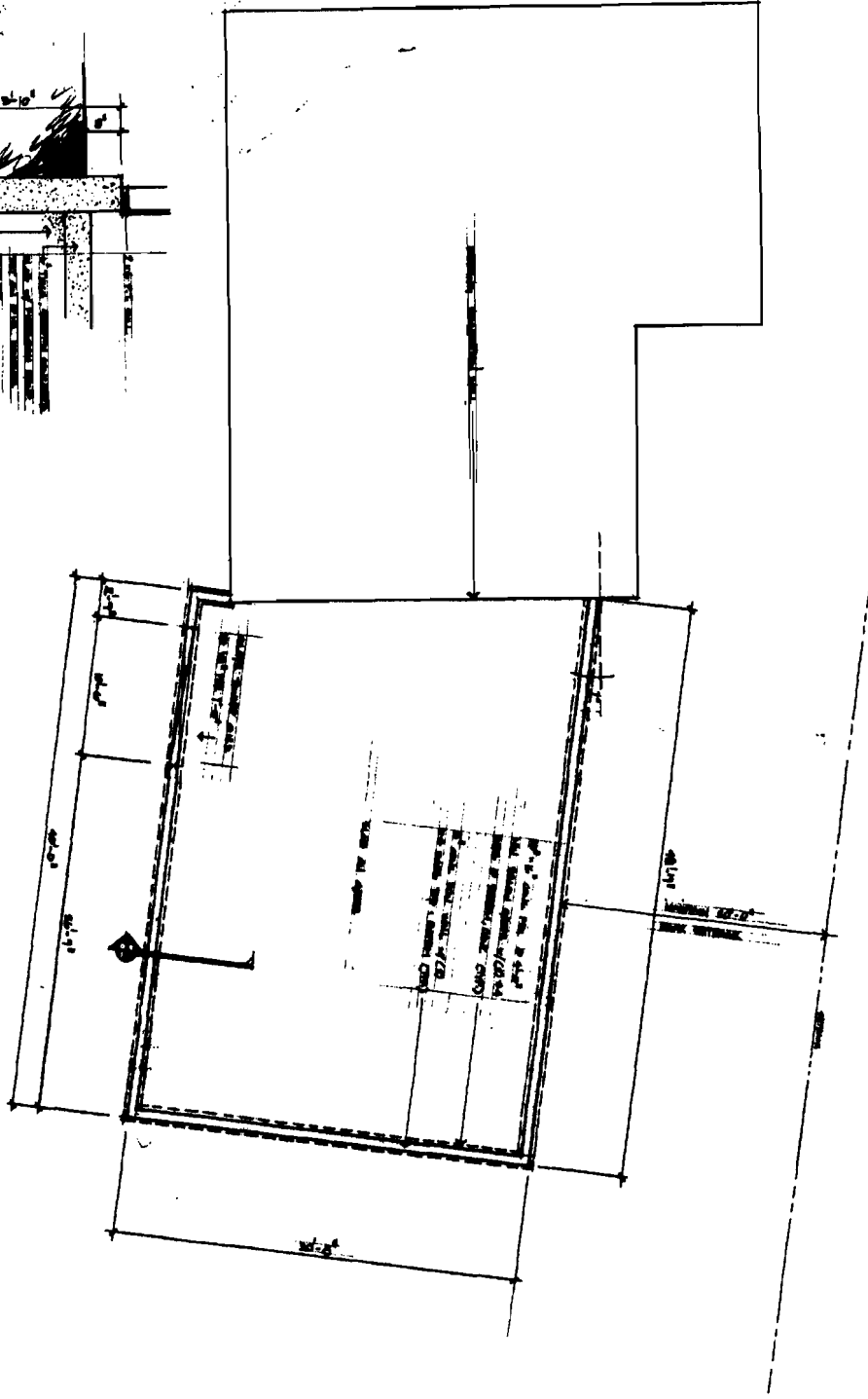
- A. Underground obstructions that result in additional work
- B. Hazardous materials
- C. Changes in specifications for any reason

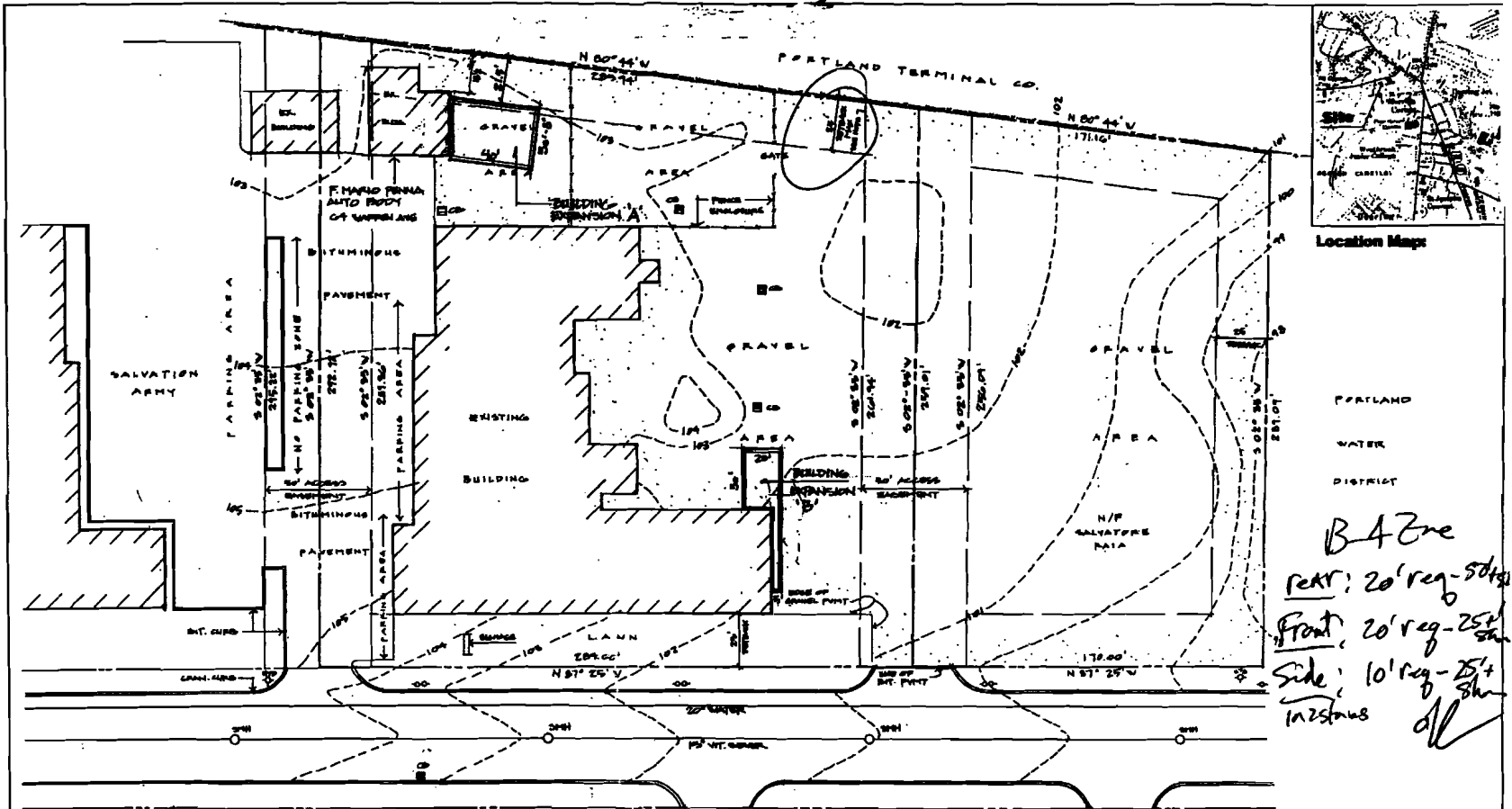
End of Specifications

FOUNDATION SECTION



FOUNDATION PLAN





General Notes:

1. OWNER/APPLICANT: SALVATORE & PINA RAIA JTS
101 DEWEET ST.
PORTLAND, MAINE 04102
2. CO-APPLICANT: F. MARCO PINNA AUTO BODY
& WAREHOUSING
64 WARREN AVE
PORTLAND, MAINE 04105
3. DEED REFERENCE: CUMBERLAND COUNTY
REGISTRY OF DEEDS
BOOK 1115 PAGE 237
MAP NO. 273 LOT A-17
4. ADJACENT'S REFERENCE:
5. PLAN REFERENCE: FINAL PLAN OF SOUTHWORTH
SUBDIVISION FOR SOUTHWORTH
INC. BY SEBAGO TECHNICS
INC. DATED JUNE 16, 1980
6. ZONING DISTRICT: INDUSTRIAL 2. *20-9-A*
7. SPACE & BULK REQUIREMENTS:
MIN SIDE YARD: 1 FT FOR EA. FOOT OF
BLDG HGT TO MAX 25 FT.
MIN REAR YARD: 1 FT FOR EA FOOT OF
BLDG HGT TO MAX 25 FT.
MIN FRONT YARD: 25 FT.
MAX BLDG HGT: 4 STORIES NOT TO EXCEED 45 FT.
8. TOTAL LOT AREA: 70,204 SQ. FT.
9. PROJECT IS SERVED BY CITY SEWER AND WATER.
ELECTRIC & TELEPHONE IS UNDERGROUND.



REV. BY: <i>ASD</i>	DATE: <i>7-8-85</i>	ADD BUILDING PROVISIONS <i>ASD</i>	STATUS:
SITE PLAN			
OF:			
Raia Business Complex			
54 - 70 Warren Avenue		Portland, Maine	
Owner Salvatore Raia			
Sebago Technics		DESIGN BY: <i>ASD</i>	
Engineering & Planning for the Future		DRAWN BY: <i>ASD</i>	
12 WESTBROOK COMMON		CHECKED BY:	
WESTBROOK, ME 04090-1330		DATE: <i>8-23-85</i>	
TEL (207) 856-0277		SCALE: <i>1" = 50'</i>	
		FIELD SK:	
		PROJ. NO: <i>84271</i>	
		SHEET 1 OF 1	
		(NOT TO SCALE)	

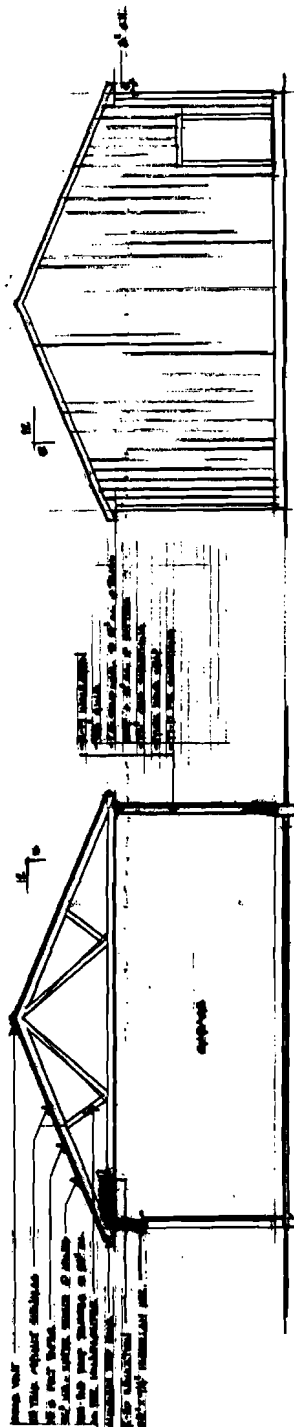
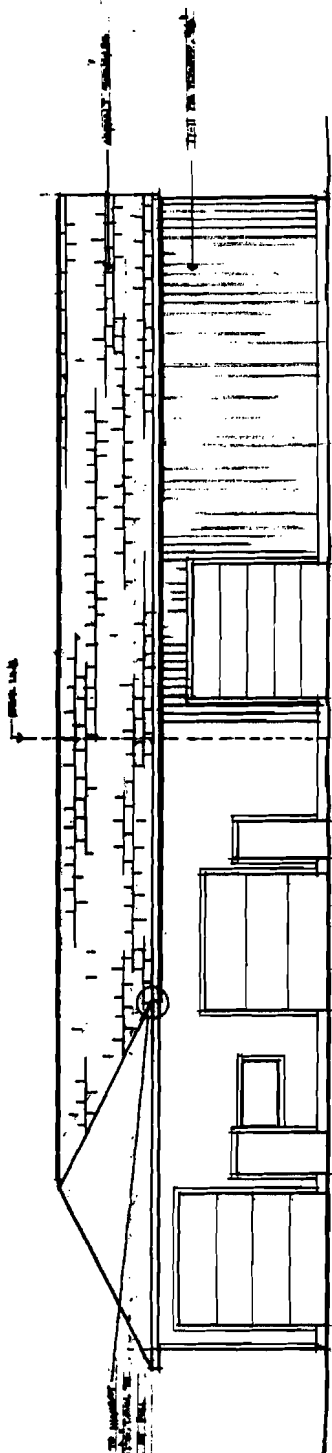


GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS.

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SECTION 3



SECTION / ELEVATIONS

BUILDING SECTION

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

July 22, 2003

Salvatore Raia
100 Dennett Street
Portland, ME 04102

RE: Body Shop Expansion at 54 Warren Avenue
CBL: 293 A01 7001

Dear Mr. Raia:

On July 16, 2003, the Portland Planning Authority granted minor site plan approval for the body shop and office expansions at 54 Warren Avenue, as shown on the approved plan.

The approval was granted with the following condition:

- That three (3) 2.5 inch caliper street trees be planted along the property frontage on Warren Avenue prior to issuance of a certificate of occupancy.

Please note that the Land Use Code does restrict the storage of unregistered vehicles as noted in Section 14-335, namely:

14-335 (3) Loading, sales, dead storage, repair, or servicing of any kind, except when customarily incidental or accessory to a conforming principal building or use when located in an industrial zone;

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals: site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.

2. No performance guarantee will be required for this project due to the lack of site work associated with construction. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
3. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
4. Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files with seven sets of final plans.

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please note that no Certificates of Occupancy will be issued until all site improvements have been completed and inspected in the field by the Development Review Coordinator.

If there are any questions, please contact Sarah Hopkins at 874-8720.

Sincerely,



Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Sarah Hopkins, Development Review Program Manager
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Michael Bobinsky, Public Works Director
— Karen Dunfey, Inspections
Larry Ash, Traffic Engineer
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Approval Letter File
Correspondence File



Recycler License Zoning Renewal

THE COMPLETION OF THIS FORM IS REQUIRED FOR THE RENEWAL OF YOUR RECYCLER LICENSE. IT MUST BE COMPLETED AND SIGNED BY AN AUTHORIZED CITY/TOWN OFFICIAL, AND THE OFFICIAL'S SIGNATURE MUST BE NOTARIZED.

This is to certify that IVANOV AUTO is in compliance with all

Trade name of recycler business

56 WARREN AVE PORTLAND, ME 04103 Tell: 450-3241 VICTOR IVANOV
local building codes and all zoning and land use regulatory statutes, laws and ordinances, including the issuance of all necessary permits required for the operation of this business.

Mary Schmuckel
Signature of authorized city/town official:

Zoning Administrator
Official Title

Portland
Signing for Town/City of

NOTARIZATION REQUIRED

State of Maine

County of Cumberland ss MAY 25th 2004

Then personally appeared the above named MARGE Schmuckel
Town/City Official Signature

and acknowledged the foregoing instrument to be his/her free act and deed.

Before me Mary P. Davis
Notary Public/Justice of the Peace

My Commission Expires _____ 20____

Town /City Official's Signature to be Notarized

**Mary P. Davis, Notary Public
State of Maine
My Commission Expires 07/27/2010**

10/16/03 - FRASERS INSULATION DONE - NO ELECTRICAL
W/GET - NO PLUMBING IN NEW ADDITION. OK TO DECIDE
WHEN MIKE COLLINS GOES OK FOR ELECTRICAL. TOM M