

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

Permit Number: 021233

This is to certify that C G B Properties Llc /Dwight Crackett

has permission to Build new 26' x <sup>33'</sup>~~28'~~ two story three fam

AT 25 Maggie Ln

292 F002001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of Inspection must be given and when permission procured before this building or part thereof is occupied or otherwise closed-in. 4  
YOUR NO. REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. *[Signature]*

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*[Signature]* 3/28/03  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 02-1233		<b>Issue Date:</b>		<b>CBL:</b> 292 F002001	
<b>Location of Construction:</b> 25 Maggie Ln		<b>Owner Name:</b> C G B Properties Llc		<b>Owner Address:</b> 84 Country Ln	
<b>Business Name:</b> n/a		<b>Contractor Name:</b> Dwight Brackett		<b>Phone:</b> 207-772-8629	
<b>Lessee/Buyer's Name</b> n/a		<b>Phone:</b> n/a		<b>Permit Type:</b> Multi Family	
<b>Past Use:</b> Vacant		<b>Proposed Use:</b> New Multi Family / Build new 26' x 55' two story three family building.		<b>Zone:</b> R-5	
<b>Proposed Project Description:</b> Build new 26' x 55' two story three family building.		<b>Permit Fee:</b> \$1,323.00		<b>Cost of Work:</b> \$175,000.00	
		<b>CEO District:</b> 1			
		<b>FIRE DEPT:</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		<b>INSPECTION:</b> Use Group: R Type:	
		Signature: <i>[Signature]</i>		Signature:	
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>			
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature: Date:			
<b>Permit Taken By:</b> gg		<b>Date Applied For:</b> 10/30/2002 <i>reapplication 3/19/03</i>			
		<b>Zoning Approval</b>			
<ol style="list-style-type: none"><li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li><li>Building permits do not include plumbing, septic or electrical work.</li><li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li></ol>		<b>Special Zone or Reviews</b>		<b>Zoning Appeal</b>	
		<input type="checkbox"/> Shoreland <i>NA</i>		<input type="checkbox"/> Variance	
		<input type="checkbox"/> Wetland		<input type="checkbox"/> Miscellaneous	
		<input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i>		<input type="checkbox"/> Conditional Use	
		<input type="checkbox"/> Subdivision		<input type="checkbox"/> Interpretation	
		<input checked="" type="checkbox"/> Site Plan		<input type="checkbox"/> Approved	
		2002-0234		<input type="checkbox"/> Denied	
		Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/>			
		<i>OK with conditions</i>			
		Date: <i>3/24/03</i>		Date:	
				<b>Historic Preservation</b>	
				<input checked="" type="checkbox"/> Not in District or Landmark	
				<input type="checkbox"/> Does Not Require Review	
				<input type="checkbox"/> Requires Review	
				<input type="checkbox"/> Approved	
				<input type="checkbox"/> Approved w/Conditions	
				<input type="checkbox"/> Denied	
				Date: <i>[Signature]</i>	

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

Applicant: Dwight Brackett

Date:

3/24/03

Address: #25 Maggie LN (lot #2)

C-B-L: 292-F-002

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development # 02-1233

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work -

construct 3 D.U. multifamily bldg

Sewage Disposal -

City

Lot Street Frontage -

50' req - 50' shown

Front Yard -

20' min front setback

85' scaled

Rear Yard -

20' min rear

"

68' scaled

Side Yard -

16' req - (can reduce one side to no less than 8') 15.8' & 39' shown

Projections -

rear decks - 3 shown 8' x 10' ea no stairs allowed to grade level

Width of Lot -

60' req - 86' at shortest point

Height -

35' max - 30.5' scaled

Lot Area -

18,000<sup>sq</sup> min - 24,568<sup>sq</sup> given

Lot Coverage/ Impervious Surface -

40% or 9827.2<sup>sq</sup>

Area per Family -

6,000<sup>sq</sup> per D.U. or 18,000<sup>sq</sup> min

Off-street Parking -

2 ea D.U. or 6 total - 7 shown

Loading Bays -

N/A

Site Plan -

min # 2002-0234

Shoreland Zoning/ Stream Protection -

N/A

Flood Plains -

Panel 7 - Zone X

rear Day light basement shown

26' x 55'

3 rear decks  
(No stairs allowed  
from decks to ground level)

ok

26' x 55' = 1430

(3) 8' x 10' = 240

1670

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

**2002-0234**

Application I. D. Number

**10/29/2002**

Application Date

**1 2-story 4-unit building (lot 2)**

Project Name/Description

**C G B Properties Llc**

Applicant

**84 Country Ln , Portland , ME 04103**

Applicant's Mailing Address

Consultant/Agent

**Agent Ph:**

**Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**25 - 25 Maggie Ln , Portland, Maine**

Address of Proposed Site

**292 F002001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☐ Residential ☐ Office ☐ Retail  
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify) \_\_\_\_\_

**1,898 s.f.**

Proposed Building square Feet or # of Units

Acreage of Site

**R5**

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Pla **\$400.00** Subdivision \_\_\_\_\_ Engineer Review **\$300.00** Date **3/11/2003**

**DRC Approval Status:**

Reviewer **Sebago Technic**

- ☐ Approved ☒ **Approved w/Conditions** ☐ Denied  
See Attached

Approval Date **2/21/2003** Approval Expiration **2/21/2004** Extension to \_\_\_\_\_ ☒ Additional Sheets Attached  
☒ Condition Compliance **Jay Reynolds** **2/21/2003**  
signature date

**Performance Guarantee** ☒ **Required\*** ☐ **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<b>3/12/2003</b> date	<b>\$2,820.00</b> amount	<b>12/1/2003</b> expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	_____ date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**C G B Properties Llc**

Applicant

**84 Country Ln , Portland , ME 04103**

Applicant's Mailing Address

Consultant/Agent

**Agent Ph:**

**Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**2002-0234**

Application I. D. Number

**10/29/2002**

Application Date

**1 2-story 4-unit building (lot 2)**

Project Name/Description

**25 - 25 Maggie Ln , Portland, Maine**

Address of Proposed Site

**292 F002001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Planning**

- 1 See approval Letter

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Your new street address is now 25-27-29 MAGGIE LANE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 3 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**Approval Conditions of Fire**

- 1 Application requires State Fire Marshal approval.

Mr. Jay Reynolds  
February 6, 2003  
Page 2 of 3

**Response** – As mentioned above, the fourth unit has been eliminated from the proposal, and therefore this comment is no longer applicable.

### **Road Access/Circulation**

***Comment 2 A** – As part of a development, we feel that pedestrian access should be provided to the sidewalk network along Maggie Lane. This appears consistent with other multi-family projects that we have reviewed. The proposed sidewalk length would be 60 feet. Again, we did not review this application originally and are not aware of any conditions regarding elimination of sidewalks.*

**Response** – A five-foot wide at-grade sidewalk has been added to the plan on one side of the driveway in conjunction with a three-foot esplanade.

### **Grading/Erosion Control**

***Comment 3 A** – Limits of wetlands delineated at the rear of the 4-unit multiplex shall be flagged prior to construction. Both existing and proposed grades have been provided on the plans. A note shall be added stating “any alteration of grading or wetland disturbance or filling other than shown on the plan must be reviewed by the City’s planning staff.”*

**Response** – The appropriate notes have been added to the plans.

***Comment 3 B** - The statement regarding the ditch elimination releases the need for a culvert is interesting. Our concern is that the runoff from the ledge outcropping and roof runoff will eventually cross the driveway. This could cause deterioration of the pavement with saturation and freezing in the winter. At a minimum, an underdrain shall be added, and also the ditch should be reconsidered. Without it, drainage is forced over the sidewalks before entering the street gutter; this creates eventual problems with the sidewalk pavement.*

**Response** – Based upon conversations with City staff, it is our understanding that the addition of a culvert or underdrain would not be necessary, whereas only a small portion of the upstream watershed would be crossing the driveway, with a majority of the flow entering Maggie Lane.

### **Utility Installation/Location**

***Comment 4** – All of the utility questions appear to have been adequately addressed*

**Response** – No response required.

Mr. Jay Reynolds  
February 6, 2003  
Page 3 of 3

### **General**

***Comment 5 A** – If the plan presented does require approval from the Planning Board, they may wish to further review buffering, snow storage, or pedestrian accessibility. At this time, we are deferring landscaping and buffering questions to the staff.*

**Response** – No response required.

### **Details**

***Comment 6** – The applicant has stated that it is not required to submit details for a construction permit. This plan is a minor plan, even if a single family or multi-family permit is required to meet the portion of the minor site plan section of the Ordinance that is pertinent. We feel that the following are important to have on a plan:*

*Provide BMP details*

*Provide curb, curb tip-downs, pavement and sidewalk details.*

*Provide loam and seed detail.*

*Sanitary sewer infrastructure details.*

*Provide appropriate ditch stabilization detail(s).*

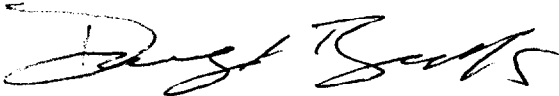
*Provide underdrain or drainage conduit detail, as appropriate.*

**Response** – A detail sheet has been added, which addresses the applicable items.

Gorrill-Palmer Consulting Engineers, Inc. appreciates the opportunity to respond to these comments and looks forward to your review. Should you have any questions or require any additional information please contact the office.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.



Douglas E. Reynolds P.E.  
Project Engineer

PERMIT # 02-1233

## All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>LOT #2 MAGGIE LANE</u>		
Total Square Footage of Proposed Structure <u>1357.2 SQ. FT.</u>		Square Footage of Lot <u>24,581 SQ. FT.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>292</u> Block# <u>F</u> Lot# <u>002</u>	Owner: <u>DWIGHT BRACKETT</u>	Telephone: <u>207-72-8629</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>772-8629</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>	Cost Of: \$ <u>000.00</u> Work: \$ <u>100</u> Fee: \$ <u>BLD FEE 729</u> <u>SITE FEE 100</u> <u>COFC 75</u>
Current use: <u>MULTI UNIT #3</u>		
If the location is currently vacant, what was prior use: <u>VACANT LOT AT THIS TIME</u> <u>1198</u>		
Approximately how long has it been vacant: <u>1 YEAR</u>		
Proposed use: <u>MULTI UNITS #3</u>		
Project description:		
Contractor's name, address & telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME</u>		
Who should we contact when the permit is ready: <u>772-8629</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-8629</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Dwight Brackett</u>	Date: <u>9/3/16/03</u>
--	------------------------

This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall





CITY OF PORTLAND  
ACCESSIBILITY CERTIFICATE

Designer: JOHN H. LEASURE ARCH'T INC.

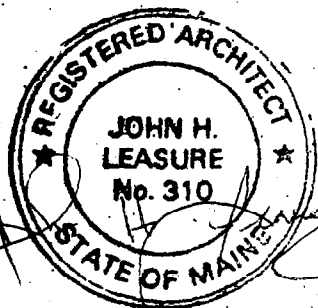
Address of Project #1 & #2 MAGGIE LANE

Nature of Project RESIDENTIAL RENTAL UNITS

Date MARCH 11, 83

The technical submissions covering the proposed construction work as described above have been have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature [Signature]

Title President

Firm JOHN H. LEASURE ARCH'T INC.

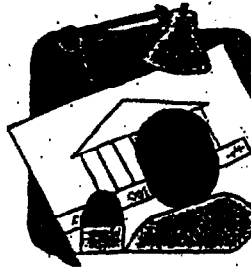
Address SIX Q ST.

S. P. AVE 04106

Telephone 767-4600

THIS PROJECT IS NOT FUNDED FROM STATE OR FEDERAL MONIES.

JHL



## CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: L & L STRUCTURAL ENGINEERING  
SERVICES INC.

DATE: 3-11-03

Job Name: MAGGIE LANE RESIDENTIAL NEW CONST.

Address of Construction: #1 & #2 MAGGIE LANE

### THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1997 Use Group Classification(s) R3  
Type of Construction SA Bldg. Height 3 UNIT - 25' - 7 1/8" Bldg. Sq. Footage 3 UNIT 3120 SF HABITABLE  
Seismic Zone Two / AV - 0.10 Group Class CATEGORY II  
Roof Snow Load Per Sq. Ft. 42 Dead Load Per Sq. Ft. 15  
Basic Wind Speed (mph) 85 Effective Velocity Pressure Per Sq. Ft. 28  
Floor Live Load Per Sq. Ft. 40

Structure has full sprinkler system? Yes ☒ No ☐ Alarm System? Yes ☐ No ☐  
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes ☐ No ☐

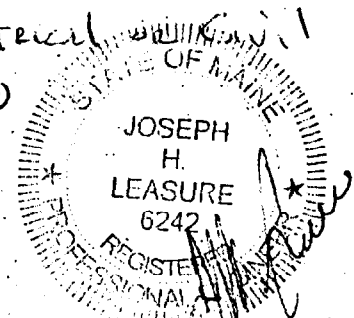
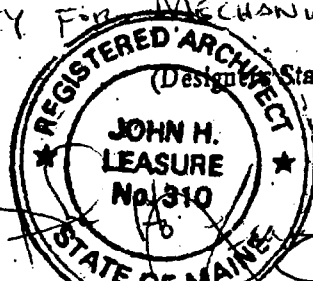
If mixed use, what subsection of 313 is being considered \_\_\_\_\_

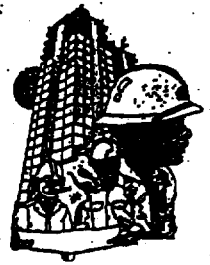
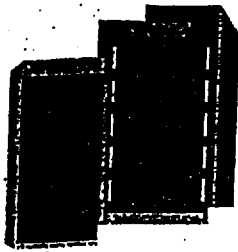
List Occupant loading for each room or space, designed into this Project.

WE ASSUME NO LIABILITY FOR MECHANICAL, ELECTRICAL, PLUMBING,  
DESIGN RESPONSIBILITIES.

PSH 6/07/2K

JHL





**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE**  
389 Congress St., Rm 315  
Portland, ME 04101

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** JOHN H. LEASURE

**RE:** Certificate of Design

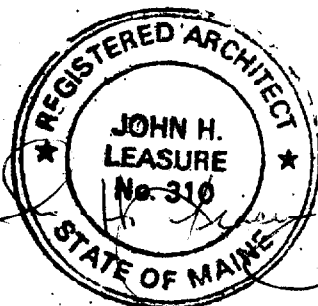
**DATE:** MARCH 11, 2003

These plans and/or specifications covering construction work on:

ONE THREE UNIT BLDG W / BASEMENT  
ONE THREE UNIT BUILDING

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition; and local amendments.

(SEAL)



Signature [Signature]

Title PRESIDENT

Firm JOHN H. LEASURE ARCH'T INC.

Address SIX C STREET  
S.P. ME, 04106

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/202k

WE ASSUME NO LIABILITY FOR MECHANICAL, ELECTRICAL OR CIVIL DESIGN RESPONSIBILITIES. JHL

Maggie Ln  
lot 2

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy

2002-0234

Application I. D. Number

10/29/2002

Application Date

1 2-story 4-unit building (lot 2)

Project Name/Description

C G B Properties Llc

Applicant

84 Country Ln , Portland , ME 04103

Applicant's Mailing Address

25 - 25 Maggie Ln , Portland, Maine

Address of Proposed Site

292 F002001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☐ Residential ☐ Office ☐ Retail  
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify)

1,898 s.f.

Proposed Building square Feet or # of Units

Acreage of Site

R5

Zoning

Check Review Required:

<input checked="" type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Subdivision # of lots	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation	<input type="checkbox"/> DEP Local Certification
<input type="checkbox"/> Zoning Conditional Use (ZBA/PB)	<input type="checkbox"/> Zoning Variance		<input type="checkbox"/> Other

Fees Paid: Site Plan \$400.00 Subdivision Engineer Review Date 11/01/2002

Status:

☒ Approved ☐ Approved w/Conditions  
See Attached ☐ Denied

Approval Date 02/21/2003

Approval Expiration 02/21/2004

Extension to

☒ Additional Sheets  
Attached

Jay Reynolds  
signature

date

Performance Guarantee

☒ Required\*

Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	03/12/2003 date	\$2,820.00 amount	12/01/2003 expiration date
Inspection Fee Paid	date	amount	
Building Permit Issue	date		
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Temporary Certificate of Occupancy	date	Conditions (See Attached)	expiration date
Final Inspection	date	signature	
Certificate Of Occupancy	date		
Performance Guarantee Released	date	signature	
Defect Guarantee Submitted	submitted date	amount	expiration date
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<input type="checkbox"/> Zoning Conditional Use (ZBA/PB)	Zoning Variance		<input type="checkbox"/> Other

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**Status:**

Reviewer **Sebago Technic**

Approved

Denied

Approval Date 02/21/2003 Approval Expiration 02/21/2004 Extension to

☒ Condition Compliance Jay Reynolds 02/21/2003  
signature date

Performance Guarantee ☒ Required\* Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	03/12/2003 date	\$2,820.00 amount	12/01/2003 expiration date
Inspection Fee Paid	date	amount	
Building Permit Issue	date		
Performance Guarantee Reduced	date	remaining balance	signature
Temporary Certificate of Occupancy	date	Conditions (See Attached)	expiration date
Final Inspection	date	signature	
Certificate Of Occupancy	date		
Performance Guarantee Released	date	signature	
Defect Guarantee Submitted	submitted date	amount	expiration date
Defect Guarantee Released	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**C G B Properties Llc**

Applicant

**84 Country Ln , Portland , ME 04103**

Applicant's Mailing Address

Consultant/Agent

**Agent Ph:**

**Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**2002-0234**

Application I. D. Number

**10/29/2002**

Application Date

**1 2-story 4-unit building (lot 2)**

Project Name/Description

**25 - 25 Maggie Ln , Portland, Maine**

Address of Proposed Site

**292 F002001**

Assessor's Reference: Chart-Block-Lot

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**Approval Conditions of Planning**

- 1 See approval Letter

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Your new street address is now 25-27-29 MAGGIE LANE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 3 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**Approval Conditions of Fire**

- 1 Application requires State Fire Marshal approval.

Department of Planning & Development  
Lee D. Urban, Director



## CITY OF PORTLAND

Division Directors  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

February 21, 2003

Mr. Dwight Brackett  
CGB Properties, LLC  
84 Country Lane  
Portland, ME 04103

RE: 25-29 Maggie Lane, Lot 2 Triplex  
(CBL 292F002) (ID# 2002-0234)

Dear Mr. Brackett:

On February 21, 2003, the Portland Planning Authority granted minor site plan approval for the construction of a triplex on Maggie Lane lot 2.

Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway

February 7, 2003

Mr. Jay Reynolds  
City of Portland  
389 Congress Street  
Portland, ME 04101

RE: Maggie Lane Subdivision,  
Lots 1 & 2- Forest Avenue

Dear Jay:

Gorrill-Palmer Consulting Engineers, Inc. is pleased to respond to the review comments we received in an e-mail from Sebago Technics to you dated December 27, 2002 regarding the above referenced project. For ease of review, each of your comments are repeated below followed by our response.

**Stormwater Management**

***Comment 1 A-** The response to the need of further detention was answered that the original subdivision anticipated the build out of Lots 1 and 2. Since we did not perform that review, we would appreciate a summary of the original calculations that pertain to this watershed and/or have the applicant disclose what was originally projected for the impervious area for Lots 1 and 2. Lot 1 appears to have been discussed for development with the staff, but Lot 2 appears to have been proposed larger than originally discussed. Please clarify.*

**Response** – Subsequent to the previous submission, the fourth unit proposed for Lot 2 was removed from the proposal. The number of units proposed for Lot 2 is now the same as was originally proposed for the subdivision. Therefore, based upon conversations with City staff, this comment no longer applies.

***Comment 1 B** - Our understanding of the project is that this project will be an amendment of the original subdivision. Based on existing development, the total number of just multiplex units (if under the same ownership/partnership) will contribute to more than 25 parking spaces requiring consideration for stormwater treatment. Stormwater quantity and quality treatment may be required depending on conditions set in previous stages of the subdivision development. Based on prior review criteria and amendment to the original plan, the overall threshold requiring treatment may have been reached. If the project is completely isolated from the previous owner and does not require further subdivision review, the applicant will need to demonstrate how this is a stand-alone project.*



Lot 2

24,568 SF

0.56 AC

PINE,  
HIGH  
VALENT

68' in Febr

39.0'

3/4" CURB STOP

19'

8'

3 UNIT  
MULTIPLX

55.1'

INV 96.87  
MIN

26'

DOMWAT

SPACES @ 63'

3

2

1.86' wide

2" CURB STOP

DOUBLE  
CLEANOUT

3 RED MAPLE, 2 1/2"  
CALIPER OR EQUIVALENT

5' WALK

3' ESPLANADE

6" SAN

L=99'

S=0.0104

APPROXIM  
LOCATION OF EXIST  
TRANSFORMER

DRIVEWAY ACCESS  
EASEMENT FROM  
LOT 2 TO BENEFIT  
LOT 1

20.5'

24'

6 SPACES @ 54'

19'

3/4" DOM WAT

26'  
3/4" CURB  
STOP

60'

3 UNIT  
MULTIPLEX

Lot  
18,937  
0.44

2" CURB STOP  
INV. 102.58

UGE/T

28.8'

2" SPRINKLER

2" SPRINKLER  
UGE/T

20'

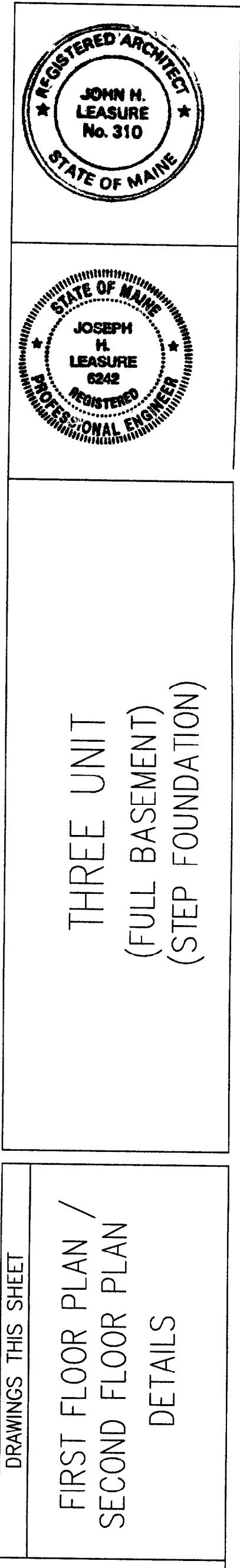
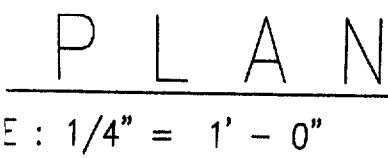
85' front

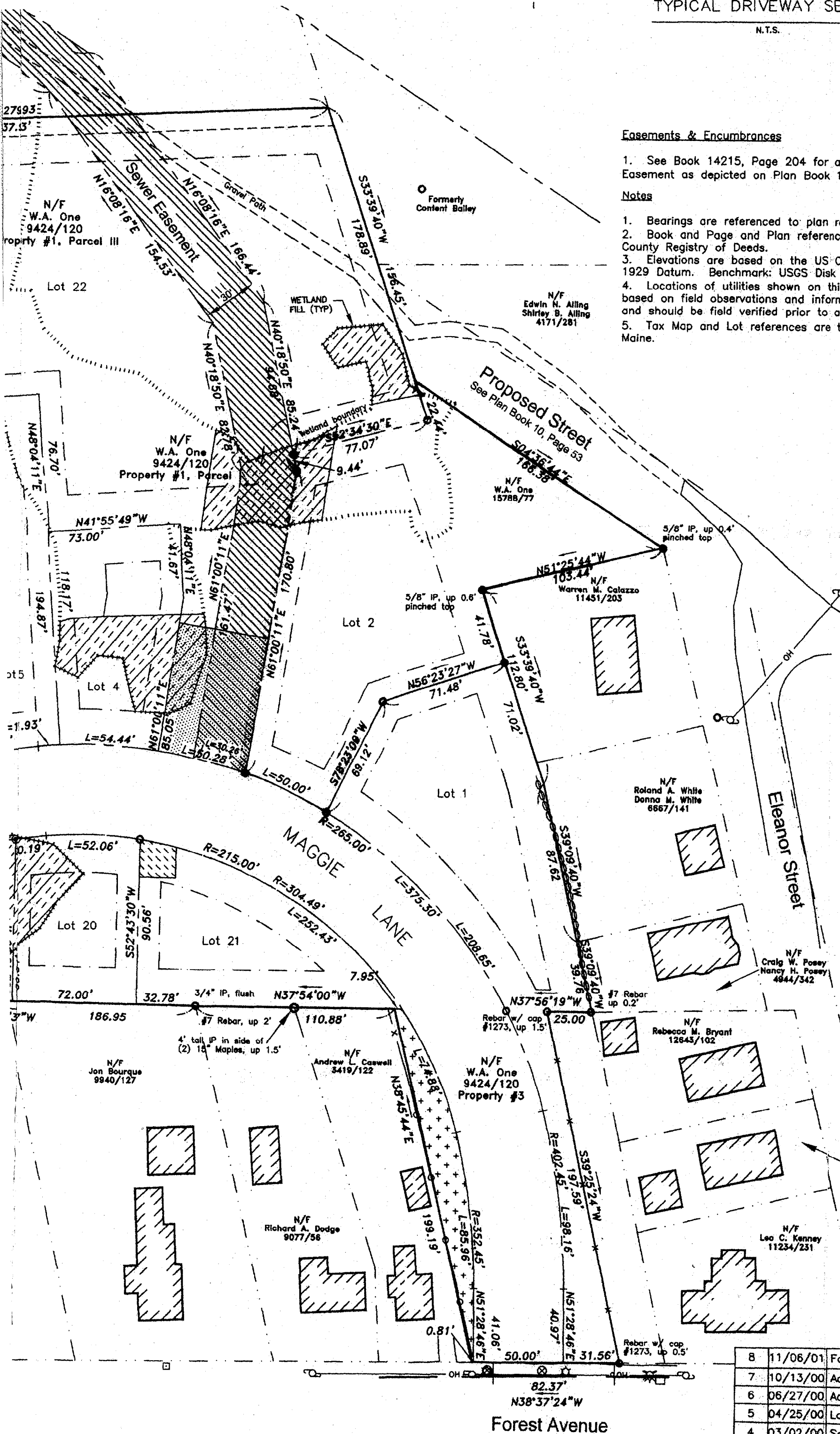
DOUBLE  
CLEANOUT

front 6" SAN  
L=36'  
S=0.0104

ATE  
ING  
PAD

LANE






Easements & Encumbrances

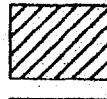
- 1. See Book 14215, Page 204 for a 10' wide Restrictive Easement as depicted on Plan Book 198, Page 322.

Notes

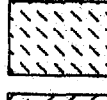
- 1. Bearings are referenced to plan reference 1.
- 2. Book and Page and Plan references are to the Cumberland County Registry of Deeds.
- 3. Elevations are based on the US Coast and Geodetic Survey 1929 Datum. Benchmark: USGS Disk K5-110, Elevation 109.
- 4. Locations of utilities shown on this plan are approximate based on field observations and information supplied by others and should be field verified prior to any excavation or design.
- 5. Tax Map and Lot references are to the City of Portland, Maine.




UTILITY EASEMENT  
BENEFIT CITY  
PORTLAND



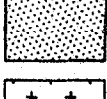
20' UTILITY EASEMENT  
FROM LOT 15  
BENEFIT LOT



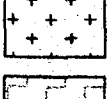
DRAINAGE EASEMENT  
TO CITY OF PORTLAND




PERMITTED WETLAND  
FILLS



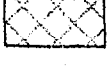
COMMON DRIVEWAY  
EASEMENT



LANDSCAPE EASEMENT  
TO BENEFIT LOT

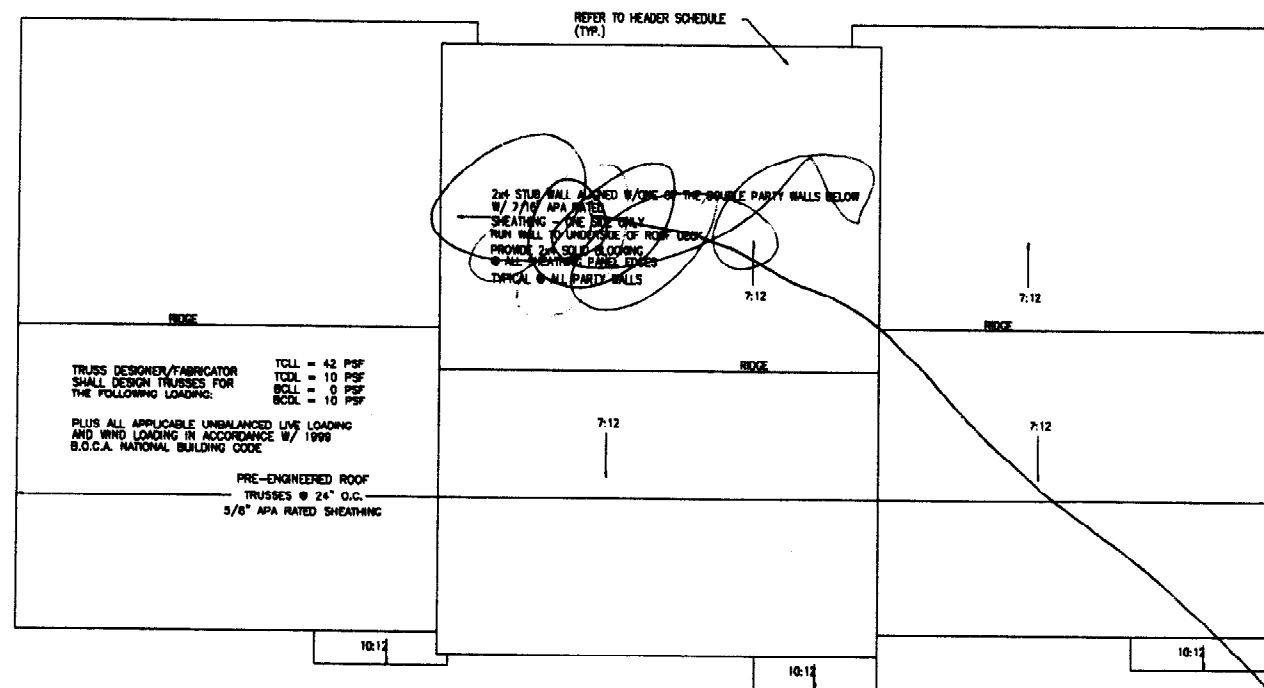


PORTLAND WATER  
DISTRICT EASEMENT



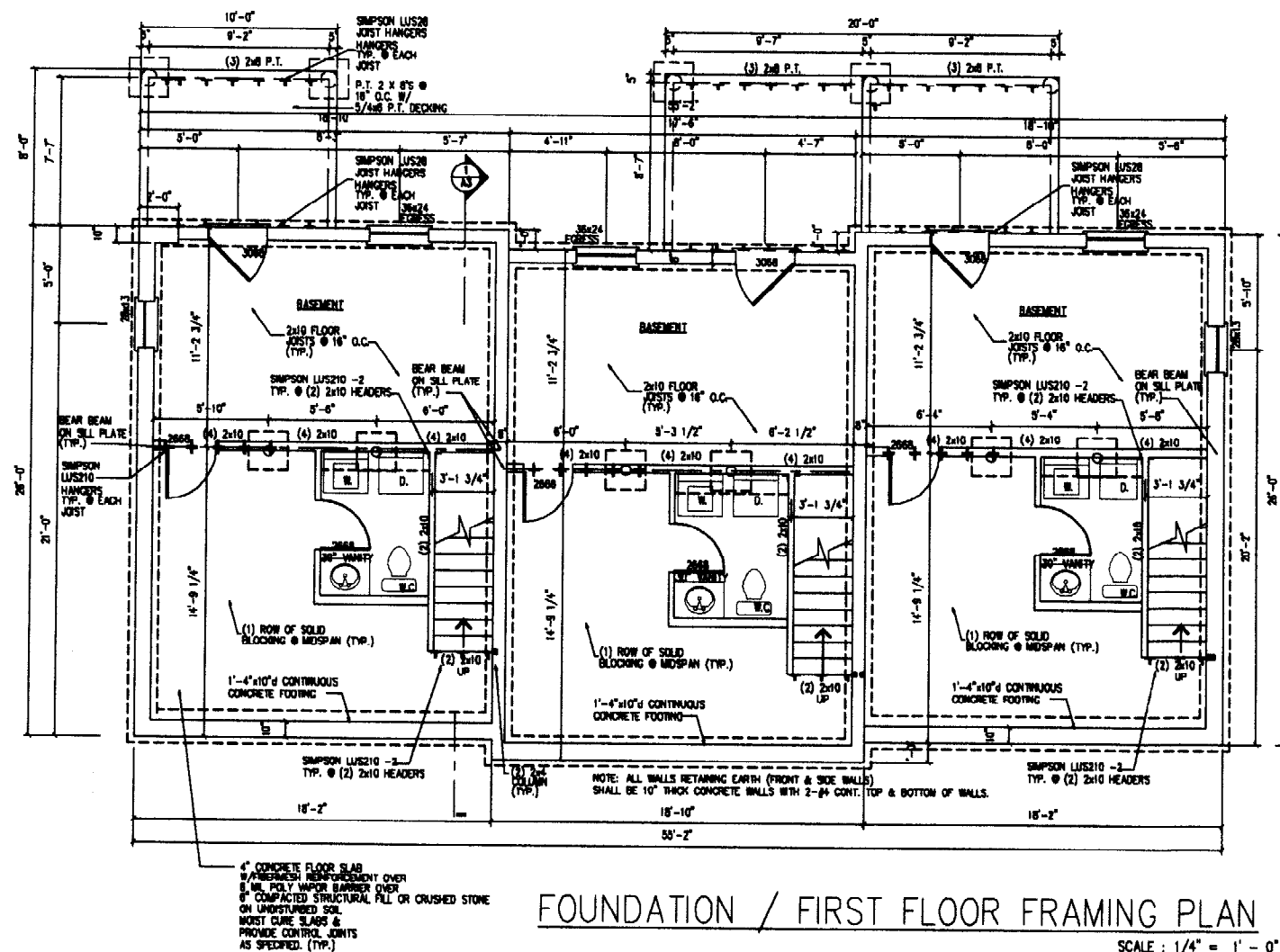
DRAINAGE EASEMENT  
BENEFITING LOT

8	11/06/01	Fourth Alteration Approval
7	10/13/00	Add PWD Easement
6	06/27/00	Add note re: Lot 22 drive
5	04/25/00	Lots 1, 2, 22, eliminate Lot
4	03/02/00	Sewer Easement
3	01/27/00	Sewer Easement
2	11/30/99	Sewer Easement
1	11/17/99	Lots 2, 3, 4
NO.	DATE	DESCRIPTION



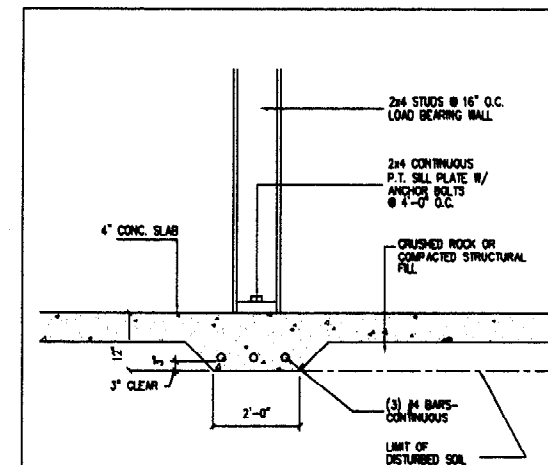
# ROOF FRAMING PLAN

SCALE: 1/4" = 1' - 0"

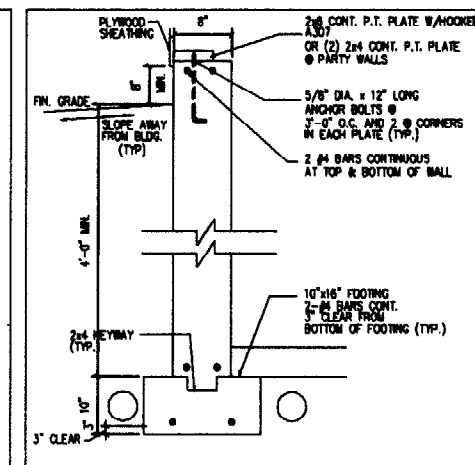


# FOUNDATION / FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1' - 0"

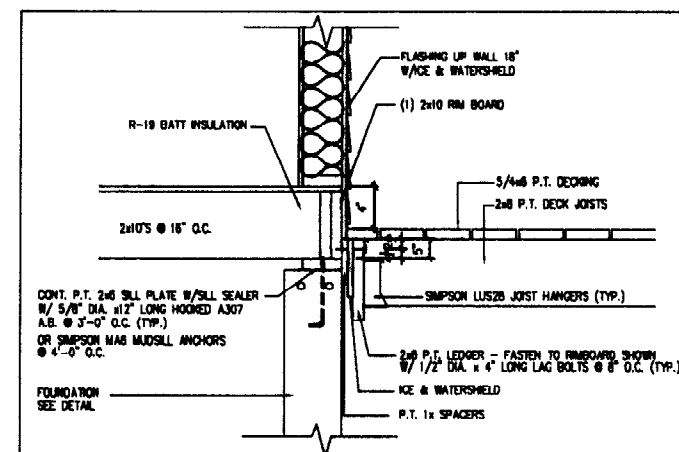


1 THICKENED SLAB DETAIL



2 TYPICAL FOUNDATION WALL

SCALE: 1"=1'-0"



3 DECK /JOIST CONNECTION DETAIL

SCALE: 1"=1'-0"

## GENERAL NOTES:

- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal off openings & mechanical penetrations with approved fire rating material.
- Building shall be sprinklered in accordance with NFPA-13. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
- Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
- Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority having jurisdiction needs to provide written requirements.
- Bedrooms must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
- HVAC installation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31, NFPA-54 and NFPA-70 as applicable.

## FRAMING NOTES:

- All exterior walls to be 2x8 wood stud walls @ 24" O.C. w/ 1/2" G.I.B. and vapor barrier @ inside face of wall. 5" batt insulation (R-19), and 7/16" APA RATED SHEATHING @ exterior face of wall.
- All interior walls to be 2x4 wood stud walls (unless noted otherwise) w/ one layer 1/2" G.I.B. each side.
- Install blocking behind all surface applied fixtures, trim and shelves when mounted on walls.
- The location of all door frames shall be 4 1/2" (unless noted otherwise) from adjacent walls.

NOTE: BUILDING TO BE SPRINKLERED PER NFPA-13

## FOUNDATION NOTES:

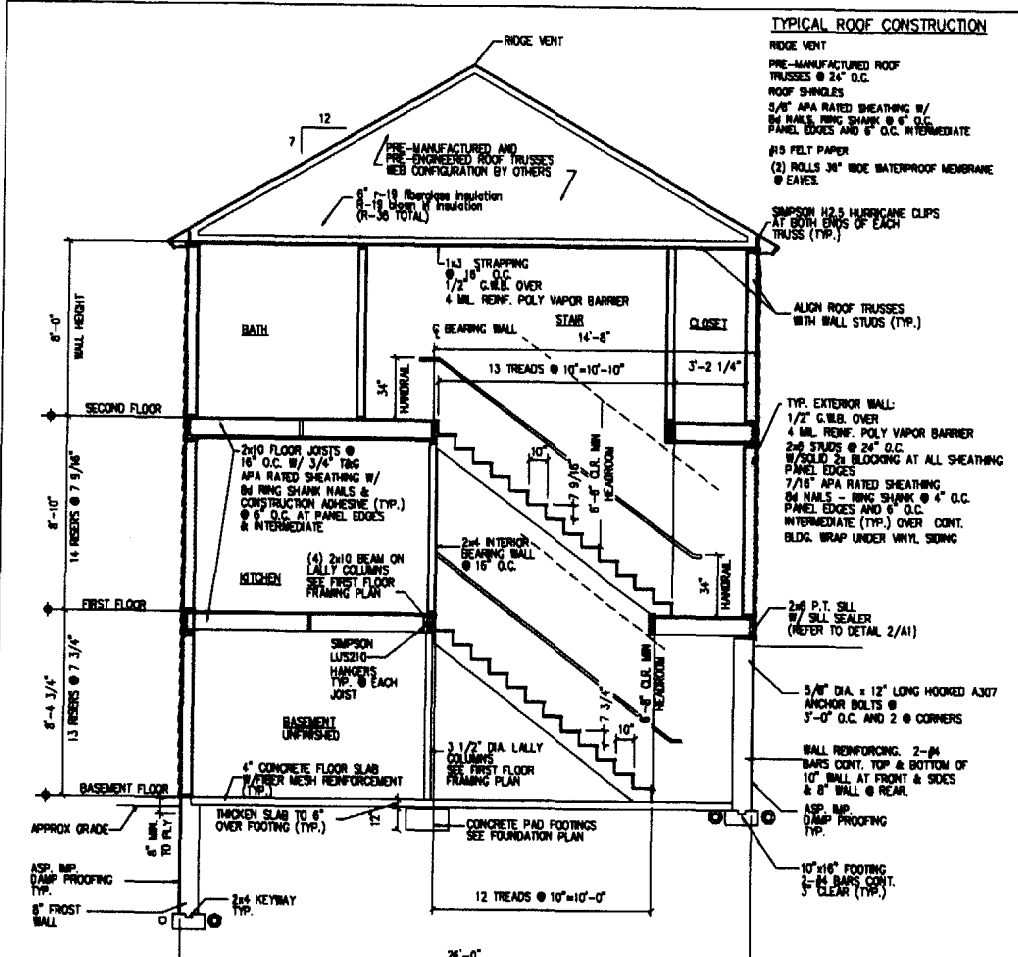
- Provide sill sealer on top of all foundation walls.
- Foundation walls shall be backfilled simultaneously on both sides.
- All steel reinforcing in footings to be a minimum 3" clear from bottom of footing.
- All steel reinforcing in foundation walls below grade to be minimum 2" clear from face of wall.
- All wood in contact with concrete shall be pressure preservative treated w/CCA to 0.44/CF RETENTION PER AIA.
- All concrete surfaces shall have a steel trowel & light broom finish.
- Set bottom of footings min. 4'-0" below grade.
- Set all footings on undisturbed soil or compacted structural fill.
- Radiant heat in slab.
- First floor slab shall be 4" thick concrete slab on grade w/ fiber mesh reinforcement. Provide control joints @ 15'x15' spacing (2225P).
- All concrete shall be 3000 PSI (f'c) strength at 28 days.
- All concrete shall be air entrained 4-4"/ft.
- All other admixtures shall be pre-approved.

THREE UNIT  
(FULL BASEMENT)  
(STEP FOUNDATION)

FOUNDATIONS THIS SHEET  
FOUNDATION PLAN  
ROOF PLAN  
NOTES/DETAILS

DATE  
03/10/03

A1

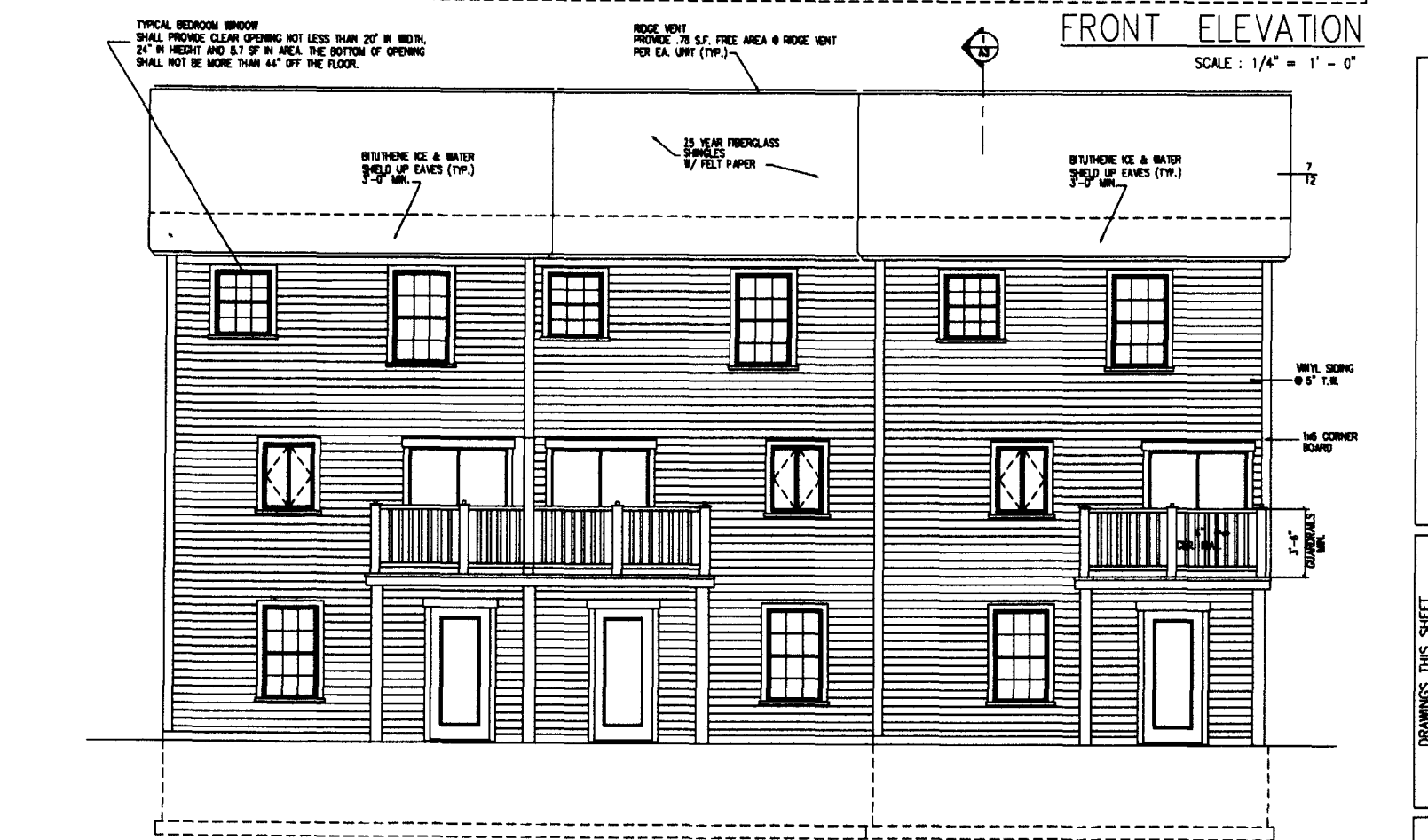
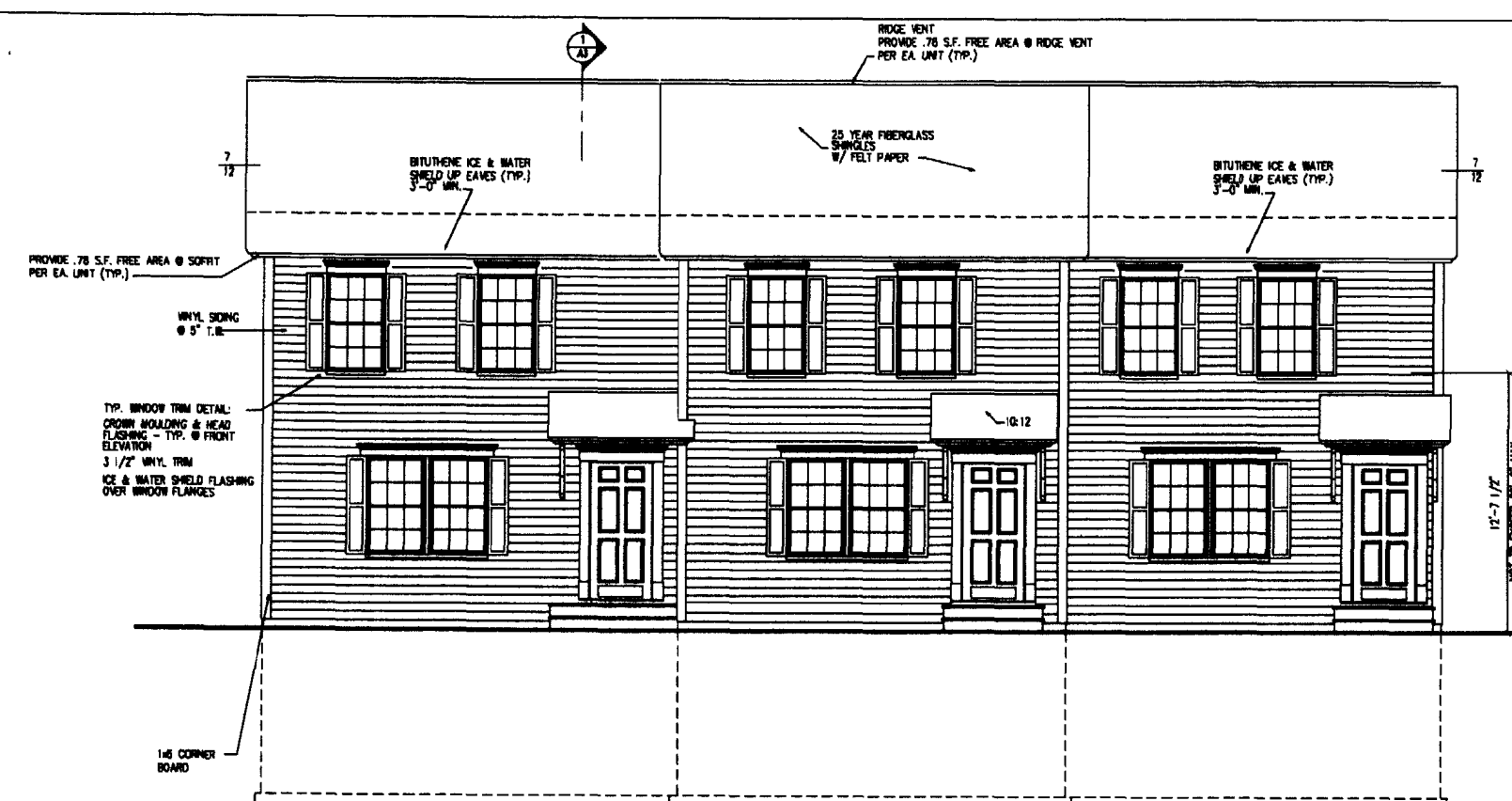
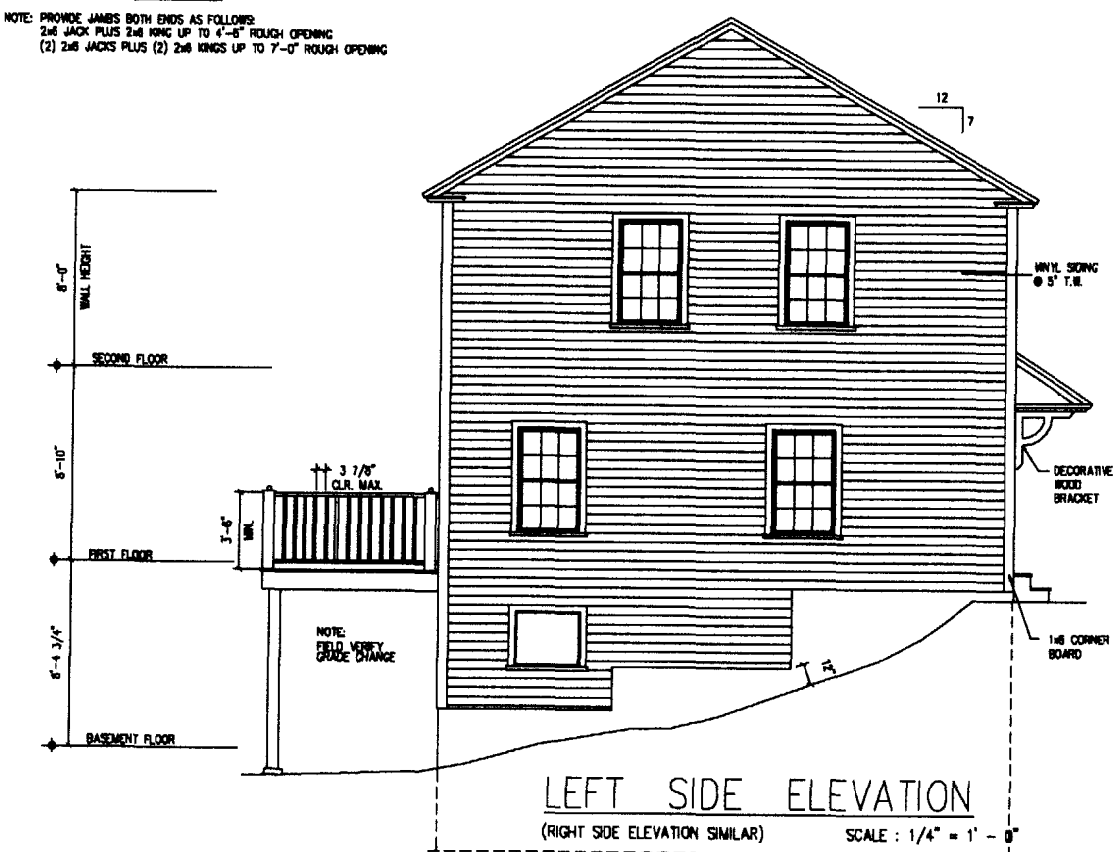


**HEADER SCHEDULE**

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x6
4'-7" - 5'-6"	(3) - 2x10
5'-7" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

**SECTION THRU HOUSE**  
 SCALE: 1/4" = 1' - 0"

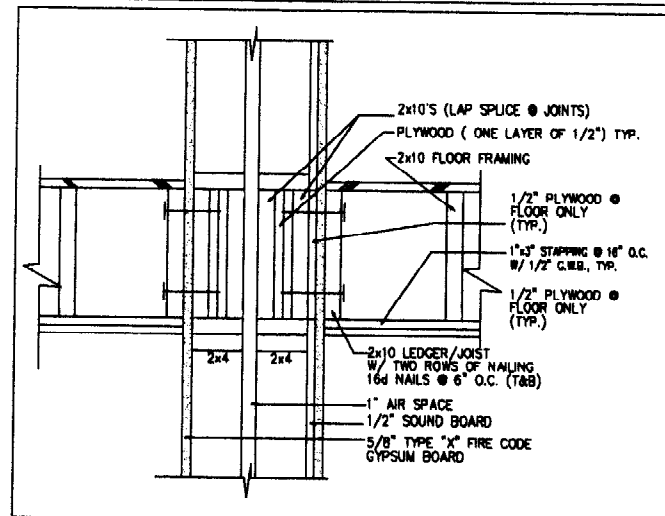


THREE UNIT  
 (FULL BASEMENT)  
 (STEP FOUNDATION)

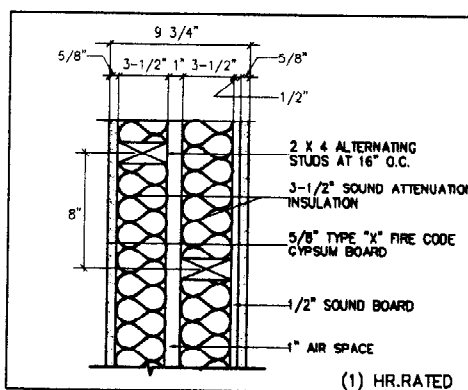
DRAWINGS THIS SHEET  
 ELEVATION/  
 SECTION

DATE  
 03/10/03

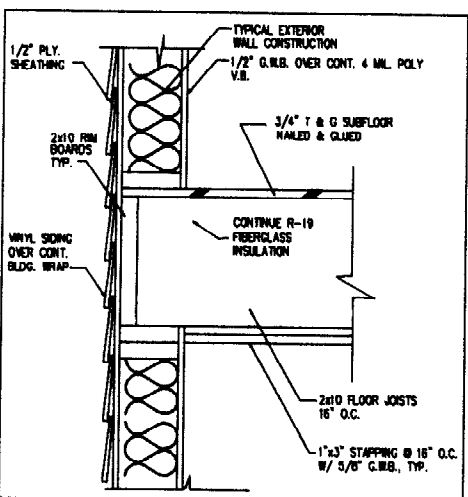
A3



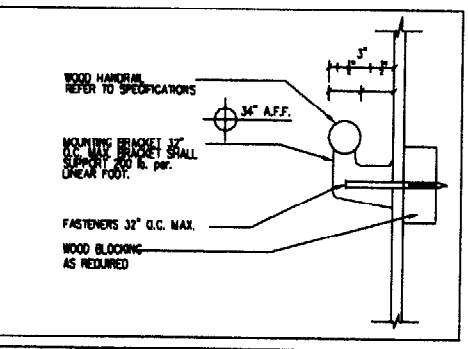
3 SECTION - PARTY WALL DETAIL 1 1/2" = 1'-0"



2 PARTY WALL DETAIL 1 1/2" = 1'-0" U.L. & U.305 SIM.



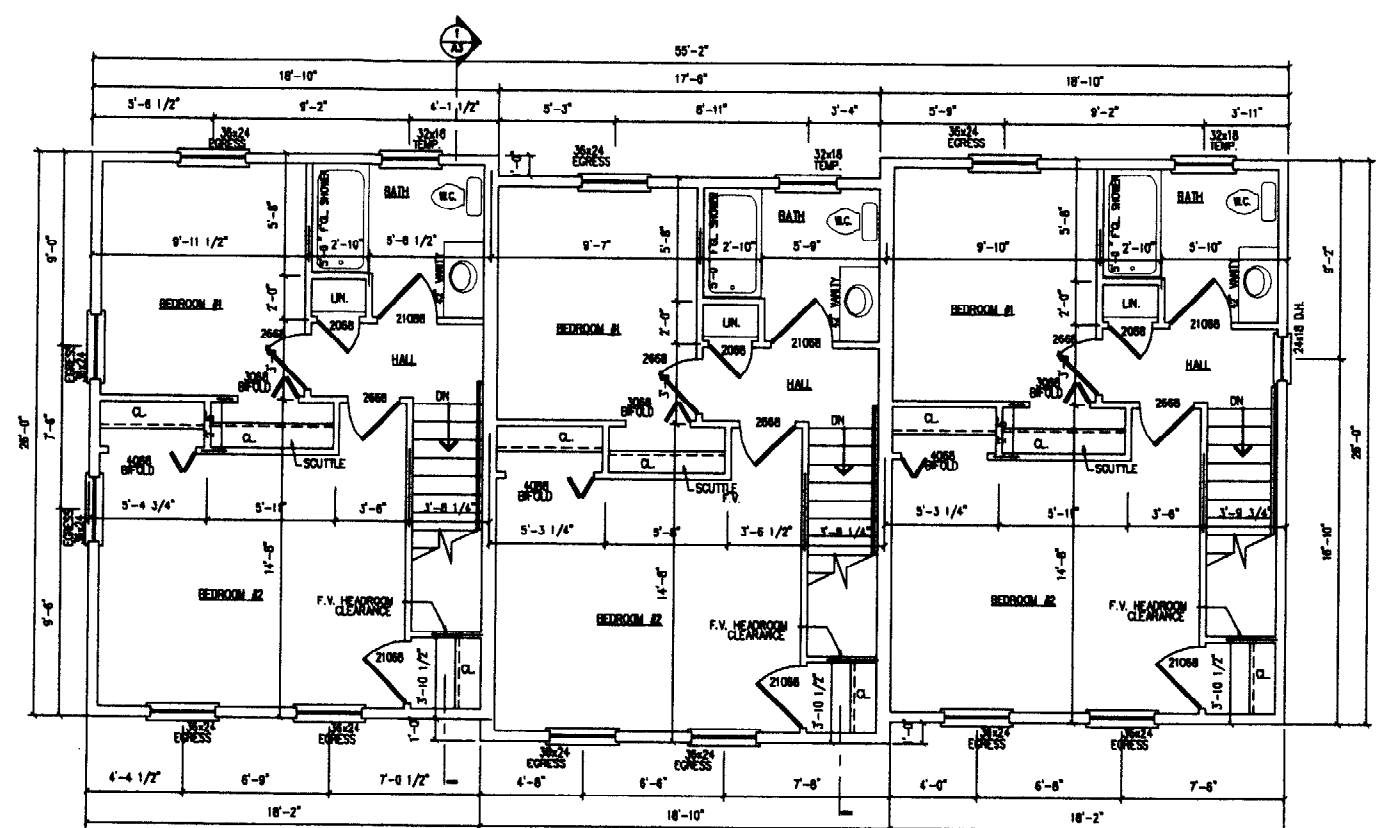
1 FLOOR FRAMING DETAIL 1 1/2" = 1'-0"



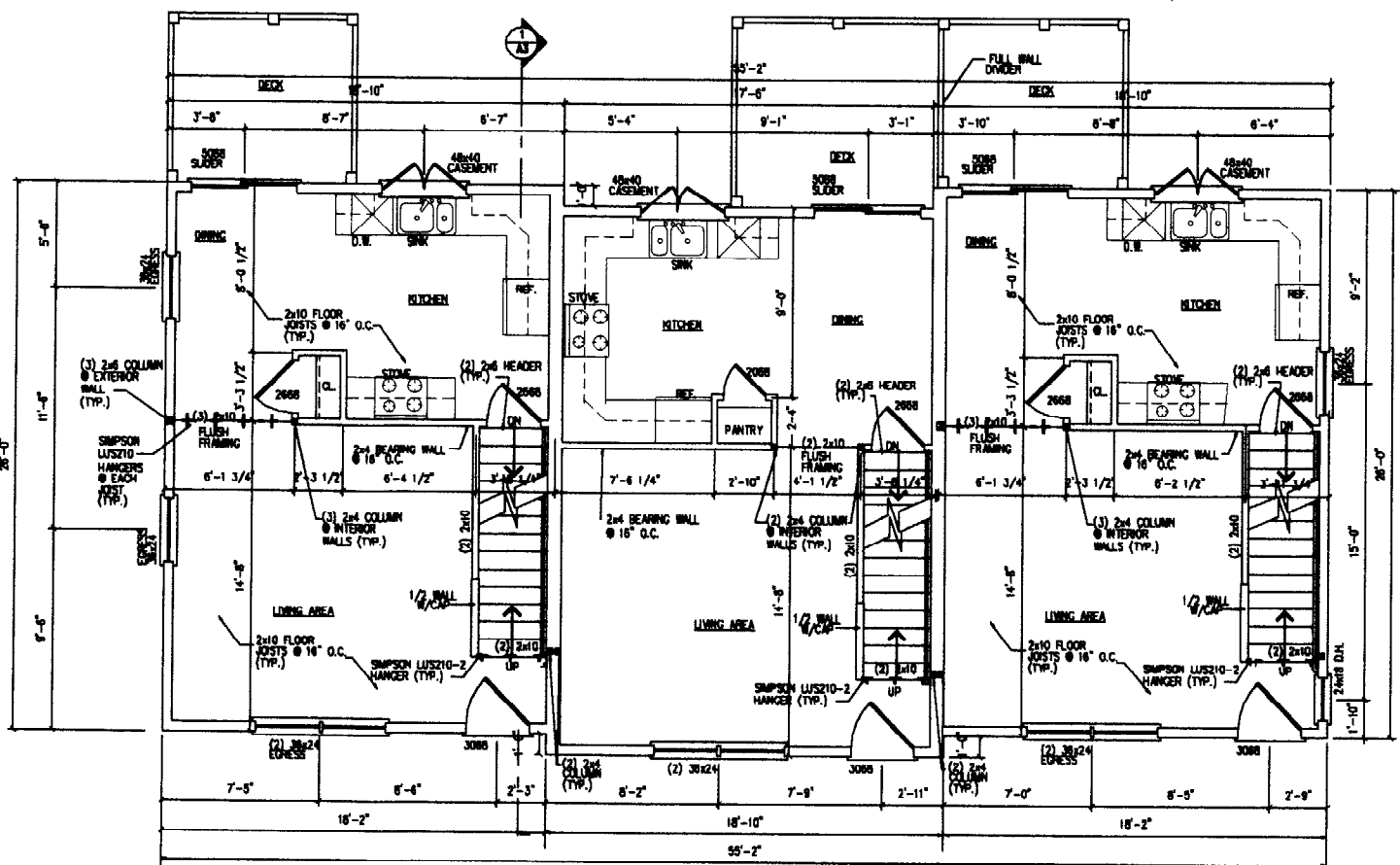
HANDRAIL DETAIL NTS

GENERAL NOTE FOR PARTY / SHEAR WALL:

1. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES & INTERMEDIATE. PROVIDE SCREWS @ 6" O.C. @ PANEL EDGES & INTERMEDIATE.
2. RUN 2x4 WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) ALIGNED W/ EDGE OF THE 2x4 WALLS IN THE PARTY WALL BELOW. PROVIDE (1) LAYER 7/16" APA RATED SHEATHING ONE SIDE ONLY. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES. PROVIDE 8d NAILS @ 6" O.C. @ PANEL EDGES & INTERMEDIATE.
3. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATING SHOWN.



SECOND FLOOR PLAN SCALE: 1/4" = 1' - 0"



FIRST FLOOR PLAN (SECOND FLOOR FRAMING PLAN) SCALE: 1/4" = 1' - 0"

THREE UNIT (FULL BASEMENT) (STEP FOUNDATION)

DRAWINGS THIS SHEET FIRST FLOOR PLAN / SECOND FLOOR PLAN DETAILS

DATE 03/10/03

A2