

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2002-0233
Application I. D. Number
09/23/2002
Application Date
1 2-story 3-unit building (lot 1)
Project Name/Description

C G B Properties Llc
Applicant
84 Country Ln , Portland , ME 04103
Applicant's Mailing Address

19 - 19 Maggie Ln , Portland, Maine
Address of Proposed Site
292 F001001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Applicant Ph: (207) 772-8629 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,560 s.f. _____ _____
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

<input checked="" type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation	<input type="checkbox"/> DEP Local Certification
<input type="checkbox"/> Zoning Conditional Use (ZBA/PB)	<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other _____	

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 10/31/2002
 Reviewer Jay Reynolds

Planning Approval Status:

Approved **Approved w/Conditions** See Attached **Denied**

Approval Date 02/21/2003 Approval Expiration 02/21/2004 Extension to _____ Additional Sheets Attached

OK to Issue Building Permit Jay Reynolds 03/12/2003
signature date

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>03/12/2003</u> date	<u>\$3,020.00</u> amount	<u>12/01/2003</u> expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
Certificate Of Occupancy	_____ date		
Performance Guarantee Released	_____ date	_____ signature	
Performance Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
Performance Guarantee Released	_____ date	_____ signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2002-0233

Application I. D. Number

09/23/2002

Application Date

1 2-story 3-unit building (lot 1)

Project Name/Description

C G B Properties Llc

Applicant

84 Country Ln , Portland , ME 04103

Applicant's Mailing Address

19 - 19 Maggie Ln , Portland, Maine

Address of Proposed Site

292 F001001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,560 s.f.

R5

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 10/31/2002

DRC Approval Status:

Reviewer Sebago Technic

- Approved Approved w/Conditions See Attached Denied

Approval Date 02/21/2003 Approval Expiration 02/21/2004 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 02/21/2003
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|--|-------------------------|--|-------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | 03/12/2003
date | \$3,020.00
amount | 12/01/2003
expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____
date | _____
amount | |
| <input type="checkbox"/> Building Permit Issue | _____
date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____
date | _____
remaining balance | _____
signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____
date | <input type="checkbox"/> Conditions (See Attached) | _____
expiration date |
| <input type="checkbox"/> Final Inspection | _____
date | _____
signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____
date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____
date | _____
signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____
submitted date | _____
amount | _____
expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____
date | _____
signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0233

Application I. D. Number

09/23/2002

Application Date

1 2-story 3-unit building (lot 1)

Project Name/Description

C G B Properties Llc

Applicant

84 Country Ln , Portland , ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

19 - 19 Maggie Ln , Portland, Maine

Address of Proposed Site

292 F001001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

- 1 See approval letter dated 02/21/03.

Approval Conditions of DRC

- 1 See approval letter or Sebago Technics Memorandum dated February 20,2003.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 19-21-23 MAGGIE LANE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Approval Conditions of Fire

- 1 Application requires State Fire Marshal approval.
-

TO: Inspections
FROM: Jay Reynolds, Development Review Coordinator
DATE: July 17, 2003
RE: C. of O. for 19-23 Maggie Lane, Lot 1 Triplex
Lead CBL (292F001); Id# (2002-0233)

J.R.

After visiting #19-23 Maggie Lane, I have the following comments:

Incomplete landscaping to be done with the landscaping on Lot #2.

At this time, I recommend issuing a permanent Certificate of Occupancy.

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
file

File: O:\drc\maggielot1b.doc

6. SITE LIGHTING	_____	_____	_____	_____	_____
7. EROSION CONTROL	_____	_____	_____	_____	_____
Silt Fence	_____	_____	_____	_____	_____
Check Dams	_____	_____	_____	_____	_____
Pipe Inlet/Outlet Protection	_____	_____	_____	_____	_____
Level Lip Spreader	_____	_____	_____	_____	_____
Slope Stabilization	_____	_____	_____	_____	_____
Geotextile	_____	_____	_____	_____	_____
Hay Bale Barriers	_____	_____	_____	_____	_____
Catch Basin Inlet Protection	_____	_____	_____	_____	_____
8. RECREATION AND OPEN SPACE AMENITIES	_____	_____	_____	_____	_____
9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	_____	_____	_____	_____	_____
	2 TREES PER UNIT @ 100 EACH				600.00
	2 SHRUBS PER UNIT @ 20.00 EACH				120.00
10. MISCELLANEOUS	PAVING				1,500.00
TOTAL:	_____	_____	_____	_____	_____
GRAND TOTAL:	_____	_____	_____	_____	3,020.00

INSPECTION FEE (to be filled out by the City)

	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A: 2.0% of totals:	_____	_____	_____
or			
B: Alternative Assessment:	_____	300.00	300.00
Assessed by:	<u>J.R.</u> (name)	<u>J.R.</u> (name)	<u>J.R.</u>

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2002-0233

Application I. D. Number

09/23/2002

Application Date

1 2-story 3-unit building (lot 1)

Project Name/Description

C G B Properties Llc

Applicant

84 Country Ln , Portland , ME 04103

Applicant's Mailing Address

19 - 19 Maggie Ln , Portland, Maine

Address of Proposed Site

292 F001001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,560 s.f.

Proposed Building square Feet or # of Units

Acreage of Site

R5

Zoning

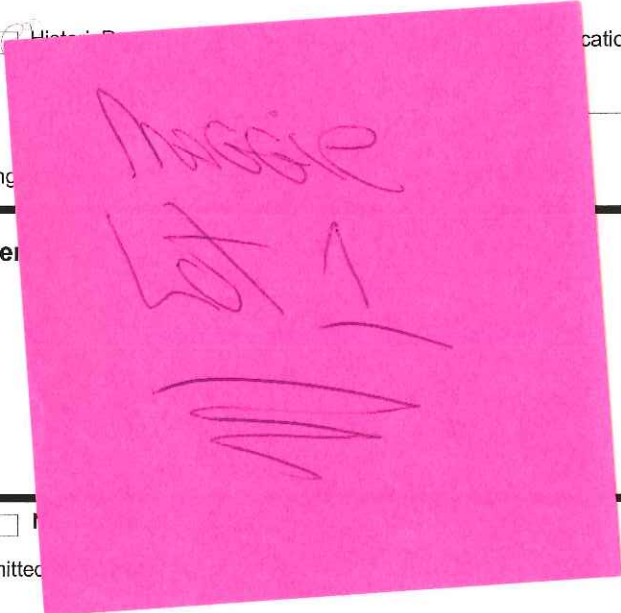
Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance

Fees Paid: Site Plan **\$400.00** Subdivision _____ Eng _____

Planning Comment

NEED COST ESTIMATE, PG, INSPECTION FEE.



Performance Guarantee

Required*

* No building permit may be issued until a performance guarantee has been submitted

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

February 21, 2003

Mr. Dwight Brackett
CGB Properties, LLC
84 Country Lane
Portland, ME 04103

RE: 19-23 Maggie Lane, Lot 1 Triplex
(CBL 292F001) (ID# 2002-0233)

Dear Mr. Brackett:

On February 21, 2003, the Portland Planning Authority granted minor site plan approval for the construction of a triplex on Maggie Lane lot 1 with the following conditions:

- 1. Applicant must address the grading and drainage concerns stated in the development review coordinator's letter dated February 20, 2003 (see attached).*

Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City



00P073

TO: Jay Reynolds – DRC, City of Portland
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: Maggie Lane Subdivision Lots 1 & 2– Forest Avenue
DATE: February 20, 2003

Sebago Technics has reviewed the revised Site Layout & Utility Plan and Grading & Drainage Plan sheets dated 2/6/03 for the proposed development on Lots 1 and 2 within the existing Maggie Lane Subdivision. The following comments are our responses to the submitted revisions.

1. Stormwater Management

- A. The decision for further detention was answered. The original subdivision anticipated the build out of lot 1 and 2.
- B. The project was approved by the previous owner, and does not require further subdivision review due to the changes listed above. Therefore applicant will not need to demonstrate treatment for this lot.

2. Road Access/Circulation

- A. As part of a development we feel that pedestrian access provided to the sidewalk network along Maggie Lane is adequate.

3. Grading/Erosion Control

- A. A note has been added stating wetland limits shall be staked or flagged prior to clearing. The applicant shall be advised that any alteration other than shown on this plan will have to be reviewed by the City's Planning Staff."
- B. Our concern is with the runoff from the ledge outcropping and roof runoff that will flow across the rear of the triplex on the Southerly side of the lot. The finish floor grade is 111.5, given a 6" sill that means the top of concrete is at 111.0. That leaves no concrete reveal to provide positive grade to the proposed swale. To correct the problem I would recommend that the rear swale be dropped 8" to 12" lower to provide suitable drainage conditions.

4. Utility Installation/Location

The invert of the sewer service into the southerly triplex is too low. The invert is labeled as 102.58. Given that the building is on a slab this is far below the footings. Please correct invert and adjust pipe slopes accordingly.

5. General

- A. The plan presented does not require approval from the Planning Board. Planning staff may wish to further review buffering, or landscaping. At this time we are deferring landscaping and buffering questions to the staff.

6. Details

The applicant has submitted details for construction, meeting the required minor site plan section of the ordinance. We feel that the following are still important to have clarified on a plan.

- A. Provide loam and seed detail. Please indicate base fill to be used when applying over ledge cuts.

Please contact our office with any questions or if additional discussion is needed on the remaining issues. These could be made conditional if necessary.

TS:ts/jc

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0233

Application I. D. Number

09/23/2002

Application Date

1 2-story 3-unit building (lot 1)

Project Name/Description

C G B Properties Llc

Applicant

84 Country Ln , Portland , ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

19 - 19 Maggie Ln , Portland, Maine

Address of Proposed Site

292 F001001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

- 1 See approval letter dated 02/21/03.

Approval Conditions of DRC

- 1 See approval letter or Sebago Technics Memorandum dated February 20,2003.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 19-21-23 MAGGIE LANE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Approval Conditions of Fire

- 1 Application requires State Fire Marshal approval.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2002-0233

Application I. D. Number

09/23/2002

Application Date

1 2-story 3-unit building (lot 1)

Project Name/Description

C G B Properties Llc

Applicant

84 Country Ln , Portland , ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

19 - 19 Maggie Ln , Portland, Maine

Address of Proposed Site

292 F001001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,560 s.f.

Proposed Building square Feet or # of Units

Acreeage of Site

R5

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$400.00** Subdivision _____ Engineer Review _____ Date **10/31/2002**

DRC Approval Status:

Reviewer **Sebago Technic**

- Approved **Approved w/Conditions** Denied
 See Attached

Approval Date **02/21/2003** Approval Expiration **02/21/2004** Extension to _____ Additional Sheets Attached

Condition Compliance **Jay Reynolds** **02/21/2003**
 signature date

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2002-0233

Application I. D. Number

09/23/2002

Application Date

1 2-story 3-unit building (lot 1)

Project Name/Description

C G B Properties Llc

Applicant

84 Country Ln , Portland , ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

19 - 19 Maggie Ln , Portland, Maine

Address of Proposed Site

292 F001001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,560 s.f.

Proposed Building square Feet or # of Units

Acreage of Site

R5

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 10/31/2002

DRC Approval Status:

Reviewer Sebago Technic

- Approved Approved w/Conditions See Attached Denied

Approval Date 02/21/2003 Approval Expiration 02/21/2004 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 02/21/2003
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0233

Application I. D. Number

09/23/2002

Application Date

1 2-story 3-unit building (lot 1)

Project Name/Description

C G B Properties Llc

Applicant

84 Country Ln , Portland , ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

19 - 19 Maggie Ln , Portland, Maine

Address of Proposed Site

292 F001001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

- 1 See approval letter dated 02/21/03.

Approval Conditions of DRC

- 1 See approval letter or Sebago Technics Memorandum dated February 20,2003.
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 19-21-23 MAGGIE LANE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Approval Conditions of Fire

- 1 Application requires State Fire Marshal approval.



00P073

TO: Jay Reynolds – DRC, City of Portland
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: Maggie Lane Subdivision Lots 1 & 2– Forest Avenue
DATE: February 20, 2003

Sebago Technics has reviewed the revised Site Layout & Utility Plan and Grading & Drainage Plan sheets dated 2/6/03 for the proposed development on Lots 1 and 2 within the existing Maggie Lane Subdivision. The following comments are our responses to the submitted revisions.

1. Stormwater Management

- A. The decision for further detention was answered. The original subdivision anticipated the build out of lot 1 and 2.
- B. The project was approved by the previous owner, and does not require further subdivision review due to the changes listed above. Therefore applicant will not need to demonstrate treatment for this lot.

2. Road Access/Circulation

- A. As part of a development we feel that pedestrian access provided to the sidewalk network along Maggie Lane is adequate.

3. Grading/Erosion Control

- A. A note has been added stating wetland limits shall be staked or flagged prior to clearing. The applicant shall be advised that any alteration other than shown on this plan will have to be reviewed by the City's Planning Staff."
- B. Our concern is with the runoff from the ledge outcropping and roof runoff that will flow across the rear of the triplex on the Southerly side of the lot. The finish floor grade is 111.5, given a 6" sill that means the top of concrete is at 111.0. That leaves no concrete reveal to provide positive grade to the proposed swale. To correct the problem I would recommend that the rear swale be dropped 8" to 12" lower to provide suitable drainage conditions.

4. Utility Installation/Location

The invert of the sewer service into the southerly triplex is too low. The invert is labeled as 102.58. Given that the building is on a slab this is far below the footings. Please correct invert and adjust pipe slopes accordingly.

5. General

- A. The plan presented does not require approval from the Planning Board. Planning staff may wish to further review buffering, or landscaping. At this time we are deferring landscaping and buffering questions to the staff.

6. Details

The applicant has submitted details for construction, meeting the required minor site plan section of the ordinance. We feel that the following are still important to have clarified on a plan.

- A. Provide loam and seed detail. Please indicate base fill to be used when applying over ledge cuts.

Please contact our office with any questions or if additional discussion is needed on the remaining issues. These could be made conditional if necessary.

TS:ts/jc



00P073

TO: Jay Reynolds – DRC, City of Portland
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: Maggie Lane Subdivision, Lots 1 & 2– Forest Avenue
DATE: December 27, 2002

Sebago Technics has reviewed the revised Site Layout & Utility Plan and Grading & Drainage Plan sheets dated 12/16/02 for the proposed development on Lots 1 and 2 within the existing Maggie Lane Subdivision. The following comments are our responses to the submitted revisions.

1. Stormwater Management

- A. The response to the need of further detention was answered that the original subdivision anticipated the build out of Lots 1 and 2. Since we did not perform that review, we would appreciate a summary of the original calculations that pertain to this watershed and/or have the applicant disclose what was originally projected for the impervious area for Lots 1 and 2. Lot 1 appears to have been discussed for development with the staff, but Lot 2 appears to have been proposed larger than originally discussed. Please clarify.
- B. Our understanding of the project is that this project will be an amendment of the original subdivision. Based on existing development, the total number of just multiplex units (if under the same ownership/partnership) will contribute to more than 25 parking spaces requiring consideration for stormwater treatment. Stormwater quantity and quality treatment may be required depending on conditions set in previous stages of the subdivision development. Based on prior review criteria and amendment to the original plan, the overall threshold requiring treatment may have been reached. If the project is completely isolated from the previous owner and does not require further subdivision review, the applicant will need to demonstrate how this is a stand-alone project.

2. Road Access/Circulation

- A. As part of a development, we feel that pedestrian access should be provided to the sidewalk network along Maggie Lane. This appears consistent with other multi-family projects that we have reviewed. The proposed sidewalk length would be 60 feet. Again, we did not review this application originally and are not aware of any conditions regarding elimination of sidewalks.

3. Grading/Erosion Control

- A. Limits of wetlands delineated at the rear of the 4-unit multiplex shall be flagged prior to construction. Both existing and proposed grades have been provided on the plans. A note shall be added stating "any alteration of grading or wetland disturbance or filling other than shown on the plan must be reviewed by the City's planning staff."
- B. The statement regarding the ditch elimination releases the need for a culvert is interesting. Our concern is that the runoff from the ledge outcropping and roof runoff will eventually cross the driveway. This could cause deterioration of the pavement with saturation and freezing in the winter. At a minimum, an underdrain shall be added, and also the ditch should be reconsidered. Without it, drainage is forced over the sidewalks before entering the street gutter; this creates eventual problems with the sidewalk pavement.

4. Utility Installation/Location

All of the utility questions appear to have been adequately addressed.

5. General

- A. If the plan presented does require approval from the Planning Board, they may wish to further review buffering, snow storage, or pedestrian accessibility. At this time, we are deferring landscaping and buffering questions to the staff.

6. Details

The applicant has stated that it is not required to submit details for a construction permit. This plan is a minor plan, even if a single family or multi-family permit is required to meet the portion of the minor site plan section of the Ordinance that is pertinent. We feel that the following are important to have on a plan:

- A. Provide BMP details.
- B. Provide curb, curb tip-downs, pavement and sidewalk details.
- C. Provide loam and seed detail.
- D. Sanitary sewer infrastructure details.
- E. Provide appropriate ditch stabilization detail(s).
- F. Provide underdrain or drainage conduit detail, as appropriate.

As shown in our memo, we feel that, at a minimum, the pedestrian access should be considered and we feel we need a little more information with regards to the final stormwater issue and construction details.

Please contact our office with any questions or if additional discussion is needed on the remaining issues.



December 16, 2002

Mr. Jay Reynolds
City of Portland
389 Congress Street
Portland, ME 04101

RE: Maggie Lane Subdivision
Lots 1 & 2 – Forest Avenue

Dear Jay:

Gorrill-Palmer Consulting Engineers, Inc. is pleased to respond to the review comments we received in an e-mail from Jim Seymour at Sebago Technics, regarding the above referenced project. For ease of review, each of the comments are repeated below followed by our response.

1. Stormwater Management

Comment 1 A - Is any stormwater detention proposed?

Response – A detention pond was designed as part of the Maggie Lane Subdivision assumed development of lots 1 and 2 as part of the design.

Comment 1 B - Based on existing development, the proposed multiplex units will contribute to more than 25 parking spaces. Stormwater quantity and quality treatment may be required depending on conditions set in previous stages of the subdivision development. These requirements will need to be revisited by the City based on prior review criteria and stipulations.

Response – The proposed development is for the construction of fourteen parking spaces to accommodate the two structures on Lots 1 & 2. As this is a stand alone project, stormwater quality treatment would not be required under the City regulations.

2. Road Access/Circulation

Comment 2A - Provide sidewalk connection between proposed multiplex units and existing sidewalk in Maggie Lane.

Response: - Similar lots within the Maggie Lane subdivision, which have been configured similarly have not required sidewalks, and therefore the applicant has elected not to construct a sidewalk at this time.

Mr. Jay Reynolds
December 16, 2002
Page 2 of 5

3. Grading/Erosion Control

Comment 3A - Locate/stake property line prior to construction along top of drawing where proposed drainage ditch runs between the proposed wall and property line to prevent grading being carried over the property line.

Response – A note has been added to the plan, which requires the contractor to stake or flag the rear property line, prior to clearing, as requested.

Comment 3B - Show appropriate BMP measures on plans.

Response – Silt fence and stone check dams have been added to the plan as required.

Comment 3C - Is any filling of wetlands proposed at the rear of the 4-unit multiplex? Both existing and proposed grades should be provided on the plans. What are the proposed grades at the building (basement FFE) relative to existing/proposed yard elevations/grades.

Response – No additional wetland fills are required at the rear of the 4 unit building, whereas the portion of the building that is depicted adjacent to the wetlands is an elevated deck. Basement finished floor elevations have been added to the plan. The grades along the rear of the building have been spot graded as requested.

Comment 3D - The driveway culvert should include riprap inlet/outlet aprons.

Response – Based upon conversation with City Staff, the roadside ditch, which is depicted on the grading plan does not exist in the field, therefore would not require a culvert under the proposed drive. The driveway culvert has been eliminated from the design.

Comment 3E - All ditches must be stabilized.

Response – Stone check dams have been added to the plan to stabilize the ditches during construction. All ditches will be stabilized after construction with grass or another acceptable measure.

4. Utility Installation/Location

Comment 4A - The existing catch basin and stormdrain infrastructure located up gradient of the driveway curb cut on Maggie Lane should be shown on the appropriate plans.

Response – The appropriated structures have been added to the plan.

Comment 4B - The proposed bollard located along the west side of the main fueling station will be embedded 48" according to the bollard detail. This bollard is shown within the trenching limits of the conduits (set at 37" below grade per detail C-C) to the light duty fuel dispenser.

Mr. Jay Reynolds
December 16, 2002
Page 3 of 5

Response – This comment does not appear to be applicable to this project.

Comment 4C - Are foundation drains proposed for multiplex units or blast rock walls?

Response – Locations of potential foundation drains have been added to the plans. It is noted that a basement drain for the four unit on Lot 2 would require pumping.

Comment 4D - We recommend that finished floor elevations be raised relative to sidewalk elevations. The Grading Plan indicates a 0.05' differential between the front edge of curb and F.F.E. Assuming the sidewalk will presumably have a cross slope of 1% to promote drainage, FFE will match the sidewalk grade. This is not an ideal situation.

Response – The finished floor elevations have been raised as requested to remedy the situation.

Comment 4E - The area between the 3-unit multiplex and the proposed rock face should be ditched to promote better drainage.

Response – Spot grades have been clarified to depict a swale to promote drainage behind the three unit building.

Comment 4F - Show proposed electric services into site.

Response – The approximate location of the existing transformer and potential electric services have been added to the plan.

Comment 4G - Specify culvert material type and provide trench detail.

Response – Not applicable, due to the removal of the culvert.

5. General

Comment 5A - Provide north arrow on plans?

Response – A north arrow has been added to both plans.

Comment 5B - What arrangements are in place to provide for trash removal from the proposed 3 and 4 multiplex units? It is our understanding Maggie Lane has not been accepted by the City as a public street and that trash will not be collected.

Response – It is anticipated that Maggie Lane will be an accepted street prior to completion of these lots, and trash will be collected by the same means as other City accepted streets.

Mr. Jay Reynolds
December 16, 2002
Page 4 of 5

Comment 5C - Railings need to be installed along the tops of blast rock retaining walls due to elevation drops.

Response – A railing has been added to the plan at the top of the steep slopes, as requested. The railing is intended to be a galvanized pipe railing.

Comment 5D - Are both units to be built on slabs, or are basements proposed?

Response – The three unit building is to be a slab-on-grade and the four unit is intended to have daylight basements.

Comment 5E - The blast rock wall shall be designed by a geotechnical/structural engineer and stamped drawings provided prior to construction.

Response – The blast rock walls have been revised to have approximately 1:1 slopes rather than be a vertical wall constructed of blasted material. A 1:1 rock slope has been used and approved by the City on other lots on this site.

Comment 5F - What are the FFEs of decks/balconies off the back of the 4-unit multiplex?

Response – The decks are intended to be at approximately the same elevation as the first floor (111.33).

Comment 5G - Is any screening proposed along the back of the 4-unit multiplex?

Response – Existing vegetation within the wetland will remain as buffer between the four-unit and the abutting lot. Three evergreen trees have also been proposed to increase the buffer.

Comment 5H - Have utilities been contacted and the ability to provide service been obtained/confirmed?

Response – This information was obtained as part of the Maggie Lane subdivision application.

Comment 5I - Show the subdivision mailbox kiosk on the plan. This is located near the proposed project entrance. Will a turnout be provided for the kiosk?

Response – Per discussions with City Staff, a mailbox kiosk is not proposed for these two lots, it is intended that mailboxes will be attached to the units.

Comment 5J - Indicate proposed landscaping on the appropriate plan.

Response – Landscaping has been added to the plan as required.

Mr. Jay Reynolds
December 16, 2002
Page 5 of 5

Comment 5K - Indicate snow storage locations?

Response – Based upon previous conversations with City Staff, snow storage locations would not be required. However, storage area is available in front of the four unit building.

Comment 5L - How many stories are multiplex units?

Response – Both buildings are intended to be two story buildings.

Comment 5M - We recommend that the applicant provide a 5 foot wide landscaped zone between multiplex units and sidewalks to allow for vehicle overhang and adequate/ADA passage along the sidewalk and ingress/egress to individual dwellings.

Response – Due to space constraints and conversations with City Staff, a landscape zone would not be required.

Comment 5N - Recommend a vegetated buffer along the property line at the top of page.

Response – If conditions in the field allow for placement of a buffer, this will be coordinated with the City Staff in the field.


6. Details

Response – As discuss with City Staff, details are not required for the submission of a building permit application.

Gorrill-Palmer Consulting Engineers, Inc. appreciates the opportunity to respond to these comments and looks forward to your review. Should you have any questions or require any additional information please contact the office.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.


Douglas E. Reynolds, P.E.
Project Engineer

Enclosure

Copy: Dwight Brackett

From: Jay Reynolds
To: "DReynolds@gorrillpalmer.com"@Portland.gwgwia
Date: 1/3/03 10:28AM
Subject: Fwd: FW: 00P073 Maggie Lane Lot 1&2

Hi Doug,

As a footnote, in reference to the stormwater management:

I will need to have you address these items, briefly, by stating something like the original subdivision's tier one approval encompasses the buildout/impervious/post development flow rates/etc.

I have the hard data that was submitted for the subdivision, which I will forward to Sebago Technics, as they had requested.

Thank you.

Jay

Jay Reynolds
Development Review Coordinator
Department of Planning and Urban Development
City of Portland
207-874-8632
jayjr@ci.portland.me.us



00P073

TO: Jay Reynolds – DRC, City of Portland
FROM: Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.
RE: Maggie Lane Subdivision, Lots 1 & 2– Forest Avenue
DATE: December 27, 2002

Sebago Technics has reviewed the revised Site Layout & Utility Plan and Grading & Drainage Plan sheets dated 12/16/02 for the proposed development on Lots 1 and 2 within the existing Maggie Lane Subdivision. The following comments are our responses to the submitted revisions.

1. Stormwater Management

- A. The response to the need of further detention was answered that the original subdivision anticipated the build out of Lots 1 and 2. Since we did not perform that review, we would appreciate a summary of the original calculations that pertain to this watershed and/or have the applicant disclose what was originally projected for the impervious area for Lots 1 and 2. Lot 1 appears to have been discussed for development with the staff, but Lot 2 appears to have been proposed larger than originally discussed. Please clarify.
- B. Our understanding of the project is that this project will be an amendment of the original subdivision. Based on existing development, the total number of just multiplex units (if under the same ownership/partnership) will contribute to more than 25 parking spaces requiring consideration for stormwater treatment. Stormwater quantity and quality treatment may be required depending on conditions set in previous stages of the subdivision development. Based on prior review criteria and amendment to the original plan, the overall threshold requiring treatment may have been reached. If the project is completely isolated from the previous owner and does not require further subdivision review, the applicant will need to demonstrate how this is a stand-alone project.

2. Road Access/Circulation

- A. As part of a development, we feel that pedestrian access should be provided to the sidewalk network along Maggie Lane. This appears consistent with other multi-family projects that we have reviewed. The proposed sidewalk length would be 60 feet. Again, we did not review this application originally and are not aware of any conditions regarding elimination of sidewalks.

3. Grading/Erosion Control

- A. Limits of wetlands delineated at the rear of the 4-unit multiplex shall be flagged prior to construction. Both existing and proposed grades have been provided on the plans. A note shall be added stating "any alteration of grading or wetland disturbance or filling other than shown on the plan must be reviewed by the City's planning staff."
- B. The statement regarding the ditch elimination releases the need for a culvert is interesting. Our concern is that the runoff from the ledge outcropping and roof runoff will eventually cross the driveway. This could cause deterioration of the pavement with saturation and freezing in the winter. At a minimum, an underdrain shall be added, and also the ditch should be reconsidered. Without it, drainage is forced over the sidewalks before entering the street gutter; this creates eventual problems with the sidewalk pavement.

4. Utility Installation/Location

All of the utility questions appear to have been adequately addressed.

5. General

- A. If the plan presented does require approval from the Planning Board, they may wish to further review buffering, snow storage, or pedestrian accessibility. At this time, we are deferring landscaping and buffering questions to the staff.

6. Details

The applicant has stated that it is not required to submit details for a construction permit. This plan is a minor plan, even if a single family or multi-family permit is required to meet the portion of the minor site plan section of the Ordinance that is pertinent. We feel that the following are important to have on a plan:

- A. Provide BMP details.
- B. Provide curb, curb tip-downs, pavement and sidewalk details.
- C. Provide loam and seed detail.
- D. Sanitary sewer infrastructure details.
- E. Provide appropriate ditch stabilization detail(s).
- F. Provide underdrain or drainage conduit detail, as appropriate.

As shown in our memo, we feel that, at a minimum, the pedestrian access should be considered and we feel we need a little more information with regards to the final stormwater issue and construction details.

Please contact our office with any questions or if additional discussion is needed on the remaining issues.

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

January 8, 2003

Dwight Brackett
CGB Properties, LLC
84 Country Lane
Portland, Maine 04103

RE: Lot #1 Maggie Lane
(ID#2002-0233, CBL# 292-F-001)

Dear Mr. Brackett:

During the review of your new application to construct a four unit building on lot #1 of Maggie Lane, it has come to the city's attention that blasting will need to occur on this particular lot. At this time, you will need to submit a blasting plan in order to proceed with the approval of your application.

As you may or may not know, the City is currently in the process of creating a blasting ordinance. I have included a recently approved blasting plan that includes the interim criteria necessary to blast in the City of Portland until an ordinance is adopted. Although this new ordinance is not in effect at this time, the City is not issuing blasting permits unless a blasting plan meeting the interim criteria has been submitted, reviewed, and approved.

Please contact me if you have any questions or comments.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Lee Urban, Director of Planning and Development
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Lt. Gaylen McDougall, Fire Prevention
Mike Nugent, Inspection Services Manager
Marge Schmuckal, Zoning Administrator
File

O:\DRC\MAGGIELOT1A.doc

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2002-0233

Application I. D. Number

DRC Copy

*Price to Permit Fees
Sub. PAT? Allowed?*

09/23/2002

Application Date

10-29-02?

C G B Properties Llc

Applicant

84 Country Ln , Portland , ME 04103

Applicant's Mailing Address

1 2-story 3-unit building (lot 1)

Project Name/Description

19/21/03

Consultant/Agent

Applicant Ph: (207) 772-8629

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

19 - 19 Maggie Ln , Portland, Maine

Address of Proposed Site

292 F001001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,560 s.f.

Proposed Building square Feet or # of Units

Acreage of Site

R5

Zoning

Check Review Required:

Site Plan (major/minor)

Subdivision # of lots _____

PAD Review

14-403 Streets Review

Flood Hazard

Shoreland

Historic Preservation

DEP Local Certification

Zoning Conditional Use (ZBA/PB)

Zoning Variance

Other _____

Fees Paid: Site Plan \$400.00

Subdivision _____

Engineer Review _____

Date 10/31/2002

DRC Approval Status:

Approved

Approved w/Conditions See Attached

Denied

Approval Date _____

Approval Expiration _____

Extension to _____

Additional Sheets Attached

Condition Compliance

signature _____

date _____

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date _____

amount _____

expiration date _____

Inspection Fee Paid

date _____

amount _____

Building Permit Issue

date _____

Performance Guarantee Reduced

date _____

remaining balance _____

signature _____

Temporary Certificate of Occupancy

date _____

Conditions (See Attached)

expiration date _____

Final Inspection

date _____

signature _____

Certificate Of Occupancy

date _____

Performance Guarantee Released

date _____

signature _____

Defect Guarantee Submitted

submitted date _____

amount _____

expiration date _____

Defect Guarantee Released

date _____

signature _____

Handwritten notes and signatures:
 - Meetings 12-2 David
 - DCS L.S.
 - 12-11
 - Need cover letter explaining all changes / lack of changes
 - Also Access + sewer easements will need to be exchanged
 - Lots 1+2 Pat Revision
 - Also, Block outside of envelope needs to be addressed NO/BA!
 - Blast ing letter w/ plan went to David 1-9-03
 - 11-25-11
 - Revisions
 - 10-29-02?

D.A. Brackett & Co., Inc.
84 Country Lane
Portland, ME 04103
Phone: (207) 772-8629

PROPERTY DETAIL

October 29, 2002

RE: Three Unit Building on Maggie Lane, Portland, ME

I propose building a 26' x 60', two storey, three family building. Each unit having a kitchen and living room on the first floor and two bedrooms and a bathroom on the second floor. Each unit has a full basement.

Total square footage on first and second floors, 3,120 sq. ft. (includes three units).

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: LOT #1 MAGGIE LAWE		Zone:
Total Square Footage of Proposed Structure 1560 SQ.FT.		Square Footage of Lot 18,937
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 292 F 001	Property owner, mailing address: DWIGHT BRACKETT 84 COUNTRY LAWE PORTLAND ME 04103	Telephone: 772-8629
Consultant/Agent, mailing address, phone & contact person	Applicant name, mailing address & telephone: 772-8629	Project name: LOT 1 MAGGIE LAWE SUBMIT
Proposed Development (check all that apply) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots ___ \$25.00 per lot \$ _____ <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ <input type="checkbox"/> Traffic Movement \$1,000 <input type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other _____ <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00 Major Development _____ \$500.00 Minor Development <input checked="" type="checkbox"/> \$400.00 Plan Amendments: <input type="checkbox"/> Board review \$200.00 <input type="checkbox"/> Staff review \$100.00		
Who billing will be sent to: DWIGHT BRACKETT Mailing address: 84 COUNTRY LAWE State and Zip: PORTLAND ME 04103 Contact person: DWIGHT BRACKETT Phone: 772-8629		

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: cl.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 9/23/02
---	----------------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.


SPACE AND BULK REQUIREMENTS – LOTS 1 & 2

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Design:	DER	Date:	JUL 2001
Draft:	RAT	Job No.:	334
Checked:	AMP	Scale:	NONE
File Name: 99103-ALL-LOTS2.DWG			

	<i>Traffic and Civil Engineering Services</i>
	PO Box 1237, 26 Main Street Cray, ME 04039 207-657-6910

Drawing Name:	Space & Bulk Requirements Lots 1 & 2
Project:	MAGGIE LANE, PORTLAND

Figure No.

1

February 7, 2003

Mr. Jay Reynolds
City of Portland
389 Congress Street
Portland, ME 04101

RE: Maggie Lane Subdivision,
Lots 1 & 2- Forest Avenue

Dear Jay:

Gorrill-Palmer Consulting Engineers, Inc. is pleased to respond to the review comments we received in an e-mail from Sebago Technics to you dated December 27, 2002 regarding the above referenced project. For ease of review, each of your comments are repeated below followed by our response.

Stormwater Management

Comment 1 A- The response to the need of further detention was answered that the original subdivision anticipated the build out of Lots 1 and 2. Since we did not perform that review, we would appreciate a summary of the original calculations that pertain to this watershed and/or have the applicant disclose what was originally projected for the impervious area for Lots 1 and 2. Lot 1 appears to have been discussed for development with the staff, but Lot 2 appears to have been proposed larger than originally discussed. Please clarify.

Response – Subsequent to the previous submission, the fourth unit proposed for Lot 2 was removed from the proposal. The number of units proposed for Lot 2 is now the same as was originally proposed for the subdivision. Therefore, based upon conversations with City staff, this comment no longer applies.

Comment 1 B - Our understanding of the project is that this project will be an amendment of the original subdivision. Based on existing development, the total number of just multiplex units (if under the same ownership/partnership) will contribute to more than 25 parking spaces requiring consideration for stormwater treatment. Stormwater quantity and quality treatment may be required depending on conditions set in previous stages of the subdivision development. Based on prior review criteria and amendment to the original plan, the overall threshold requiring treatment may have been reached. If the project is completely isolated from the previous owner and does not require further subdivision review, the applicant will need to demonstrate how this is a stand-alone project.

Mr. Jay Reynolds
February 6, 2003
Page 2 of 3

Response – As mentioned above, the fourth unit has been eliminated from the proposal, and therefore this comment is no longer applicable.

Road Access/Circulation

Comment 2 A – As part of a development, we feel that pedestrian access should be provided to the sidewalk network along Maggie Lane. This appears consistent with other multi-family projects that we have reviewed. The proposed sidewalk length would be 60 feet. Again, we did not review this application originally and are not aware of any conditions regarding elimination of sidewalks.

Response – A five-foot wide at-grade sidewalk has been added to the plan on one side of the driveway in conjunction with a three-foot esplanade.

Grading/Erosion Control

Comment 3 A – Limits of wetlands delineated at the rear of the 4-unit multiplex shall be flagged prior to construction. Both existing and proposed grades have been provided on the plans. A note shall be added stating “any alteration of grading or wetland disturbance or filling other than shown on the plan must be reviewed by the City’s planning staff.”

Response – The appropriate notes have been added to the plans.

Comment 3 B - The statement regarding the ditch elimination releases the need for a culvert is interesting. Our concern is that the runoff from the ledge outcropping and roof runoff will eventually cross the driveway. This could cause deterioration of the pavement with saturation and freezing in the winter. At a minimum, an underdrain shall be added, and also the ditch should be reconsidered. Without it, drainage is forced over the sidewalks before entering the street gutter; this creates eventual problems with the sidewalk pavement.

Response – Based upon conversations with City staff, it is our understanding that the addition of a culvert or underdrain would not be necessary, whereas only a small portion of the upstream watershed would be crossing the driveway, with a majority of the flow entering Maggie Lane.

Utility Installation/Location

Comment 4 – All of the utility questions appear to have been adequately addressed

Response – No response required.

Mr. Jay Reynolds
February 6, 2003
Page 3 of 3

General

Comment 5 A – If the plan presented does require approval from the Planning Board, they may wish to further review buffering, snow storage, or pedestrian accessibility. At this time, we are deferring landscaping and buffering questions to the staff.

Response – No response required.

Details

Comment 6 – The applicant has stated that it is not required to submit details for a construction permit. This plan is a minor plan, even if a single family or multi-family permit is required to meet the portion of the minor site plan section of the Ordinance that is pertinent. We feel that the following are important to have on a plan:

Provide BMP details

Provide curb, curb tip-downs, pavement and sidewalk details.

Provide loam and seed detail.

Sanitary sewer infrastructure details.

Provide appropriate ditch stabilization detail(s).

Provide underdrain or drainage conduit detail, as appropriate.

Response – A detail sheet has been added, which addresses the applicable items.

Gorrill-Palmer Consulting Engineers, Inc. appreciates the opportunity to respond to these comments and looks forward to your review. Should you have any questions or require any additional information please contact the office.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.



Douglas E. Reynolds P.E.
Project Engineer

December 16, 2002

Mr. Jay Reynolds
City of Portland
389 Congress Street
Portland, ME 04101

RE: Maggie Lane Subdivision
Lots 1 & 2 – Forest Avenue

Dear Jay:

Gorrill-Palmer Consulting Engineers, Inc. is pleased to respond to the review comments we received in an e-mail from Jim Seymour at Sebago Technics, regarding the above referenced project. For ease of review, each of the comments are repeated below followed by our response.

1. Stormwater Management

Comment 1 A - Is any stormwater detention proposed?

Response – A detention pond was designed as part of the Maggie Lane Subdivision assumed development of lots 1 and 2 as part of the design.

Comment 1 B - Based on existing development, the proposed multiplex units will contribute to more than 25 parking spaces. Stormwater quantity and quality treatment may be required depending on conditions set in previous stages of the subdivision development. These requirements will need to be revisited by the City based on prior review criteria and stipulations.

Response – The proposed development is for the construction of fourteen parking spaces to accommodate the two structures on Lots 1 & 2. As this is a stand alone project, stormwater quality treatment would not be required under the City regulations.

2. Road Access/Circulation

Comment 2A - Provide sidewalk connection between proposed multiplex units and existing sidewalk in Maggie Lane.

Response: - Similar lots within the Maggie Lane subdivision, which have been configured similarly have not required sidewalks, and therefore the applicant has elected not to construct a sidewalk at this time.

Mr. Jay Reynolds
December 16, 2002
Page 2 of 5

3. Grading/Erosion Control

Comment 3A - Locate/stake property line prior to construction along top of drawing where proposed drainage ditch runs between the proposed wall and property line to prevent grading being carried over the property line.

Response – A note has been added to the plan, which requires the contractor to stake or flag the rear property line, prior to clearing, as requested.

Comment 3B - Show appropriate BMP measures on plans.

Response – Silt fence and stone check dams have been added to the plan as required.

Comment 3C - Is any filling of wetlands proposed at the rear of the 4-unit multiplex? Both existing and proposed grades should be provided on the plans. What are the proposed grades at the building (basement FFE) relative to existing/proposed yard elevations/grades.

Response – No additional wetland fills are required at the rear of the 4 unit building, whereas the portion of the building that is depicted adjacent to the wetlands is an elevated deck. Basement finished floor elevations have been added to the plan. The grades along the rear of the building have been spot graded as requested.

Comment 3D - The driveway culvert should include riprap inlet/outlet aprons.

Response – Based upon conversation with City Staff, the roadside ditch, which is depicted on the grading plan does not exist in the field, therefore would not require a culvert under the proposed drive. The driveway culvert has been eliminated from the design.

Comment 3E - All ditches must be stabilized.

Response – Stone check dams have been added to the plan to stabilize the ditches during construction. All ditches will be stabilized after construction with grass or another acceptable measure.

4. Utility Installation/Location

Comment 4A - The existing catch basin and stormdrain infrastructure located up gradient of the driveway curb cut on Maggie Lane should be shown on the appropriate plans.

Response – The appropriated structures have been added to the plan.

Comment 4B - The proposed bollard located along the west side of the main fueling station will be embedded 48" according to the bollard detail. This bollard is shown within the trenching limits of the conduits (set at 37" below grade per detail C-C) to the light duty fuel dispenser.

Mr. Jay Reynolds
December 16, 2002
Page 3 of 5

Response – This comment does not appear to be applicable to this project.

Comment 4C - Are foundation drains proposed for multiplex units or blast rock walls?

Response – Locations of potential foundation drains have been added to the plans. It is noted that a basement drain for the four unit on Lot 2 would require pumping.

Comment 4D - We recommend that finished floor elevations be raised relative to sidewalk elevations. The Grading Plan indicates a 0.05' differential between the front edge of curb and F.F.E. Assuming the sidewalk will presumably have a cross slope of 1% to promote drainage, FFE will match the sidewalk grade. This is not an ideal situation.

Response – The finished floor elevations have been raised as requested to remedy the situation.

Comment 4E - The area between the 3-unit multiplex and the proposed rock face should be ditched to promote better drainage.

Response – Spot grades have been clarified to depict a swale to promote drainage behind the three unit building.

Comment 4F - Show proposed electric services into site.

Response – The approximate location of the existing transformer and potential electric services have been added to the plan.

Comment 4G - Specify culvert material type and provide trench detail.

Response – Not applicable, due to the removal of the culvert.

5. General

Comment 5A - Provide north arrow on plans?

Response – A north arrow has been added to both plans.

Comment 5B - What arrangements are in place to provide for trash removal from the proposed 3 and 4 multiplex units? It is our understanding Maggie Lane has not been accepted by the City as a public street and that trash will not be collected.

Response – It is anticipated that Maggie Lane will be an accepted street prior to completion of these lots, and trash will be collected by the same means as other City accepted streets.

Mr. Jay Reynolds
December 16, 2002
Page 4 of 5

Comment 5C - Railings need to be installed along the tops of blast rock retaining walls due to elevation drops.

Response – A railing has been added to the plan at the top of the steep slopes, as requested. The railing is intended to be a galvanized pipe railing.

Comment 5D - Are both units to be built on slabs, or are basements proposed?

Response – The three unit building is to be a slab-on-grade and the four unit is intended to have daylight basements.

Comment 5E - The blast rock wall shall be designed by a geotechnical/structural engineer and stamped drawings provided prior to construction.

Response – The blast rock walls have been revised to have approximately 1:1 slopes rather than be a vertical wall constructed of blasted material. A 1:1 rock slope has been used and approved by the City on other lots on this site.

Comment 5F - What are the FFEs of decks/balconies off the back of the 4-unit multiplex?

Response – The decks are intended to be at approximately the same elevation as the first floor (111.33).

Comment 5G - Is any screening proposed along the back of the 4-unit multiplex?

Response – Existing vegetation within the wetland will remain as buffer between the four-unit and the abutting lot. Three evergreen trees have also been proposed to increase the buffer.

Comment 5H - Have utilities been contacted and the ability to provide service been obtained/confirmed?

Response – This information was obtained as part of the Maggie Lane subdivision application.

Comment 5I - Show the subdivision mailbox kiosk on the plan. This is located near the proposed project entrance. Will a turnout be provided for the kiosk?

Response – Per discussions with City Staff, a mailbox kiosk is not proposed for these two lots, it is intended that mailboxes will be attached to the units.

Comment 5J - Indicate proposed landscaping on the appropriate plan.

Response – Landscaping has been added to the plan as required.

Mr. Jay Reynolds
December 16, 2002
Page 5 of 5

Comment 5K - Indicate snow storage locations?

Response – Based upon previous conversations with City Staff, snow storage locations would not be required. However, storage area is available in front of the four unit building.

Comment 5L - How many stories are multiplex units?

Response – Both buildings are intended to be two story buildings.

Comment 5M - We recommend that the applicant provide a 5 foot wide landscaped zone between multiplex units and sidewalks to allow for vehicle overhang and adequate/ADA passage along the sidewalk and ingress/egress to individual dwellings.

Response – Due to space constraints and conversations with City Staff, a landscape zone would not be required.

Comment 5N - Recommend a vegetated buffer along the property line at the top of page.

Response – If conditions in the field allow for placement of a buffer, this will be coordinated with the City Staff in the field.

6. Details

Response – As discuss with City Staff, details are not required for the submission of a building permit application.

Gorrill-Palmer Consulting Engineers, Inc. appreciates the opportunity to respond to these comments and looks forward to your review. Should you have any questions or require any additional information please contact the office.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.


Douglas E. Reynolds, P.E.
Project Engineer

Enclosure

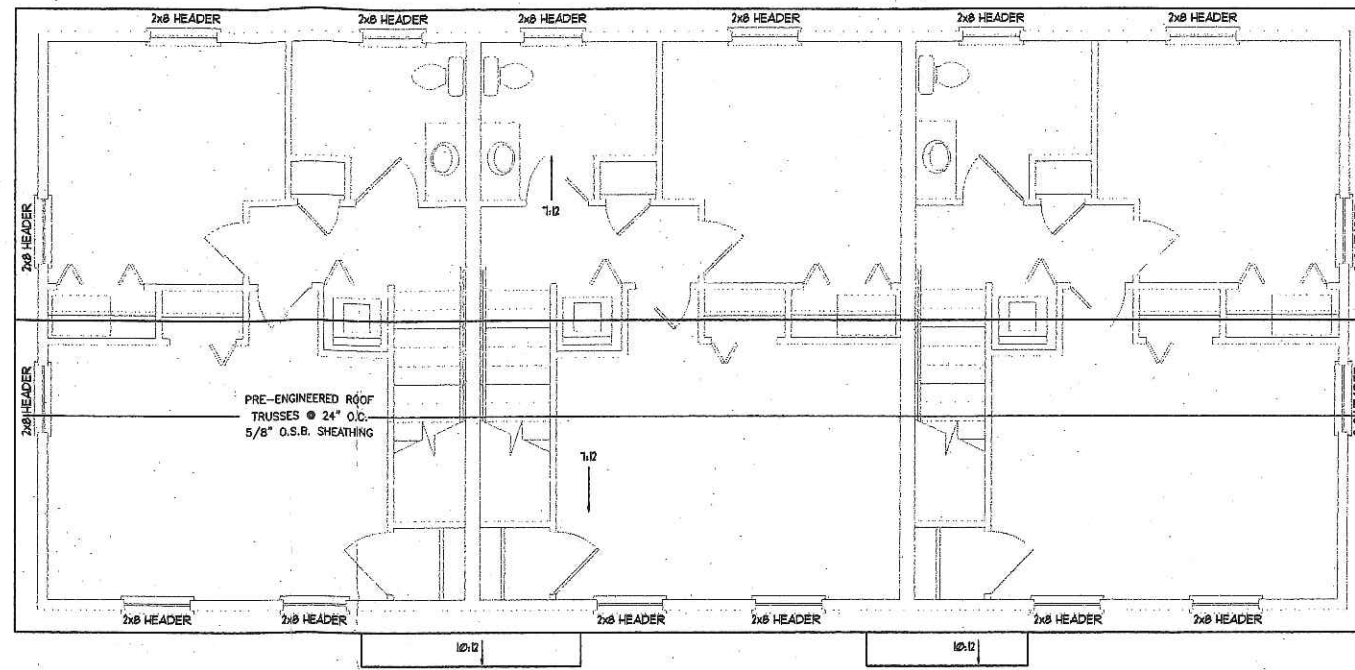
Copy: Dwight Brackett

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2X6 WOOD STUD WALLS @ 24" O.C. W/ 1/2" G.W.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL, 6" BATT INSULATION (R-19), AND 1/16" O.S.B. SHEATHING @ EXTERIOR FACE OF WALL.
2. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.W.B. EACH SIDE.
3. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
4. THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

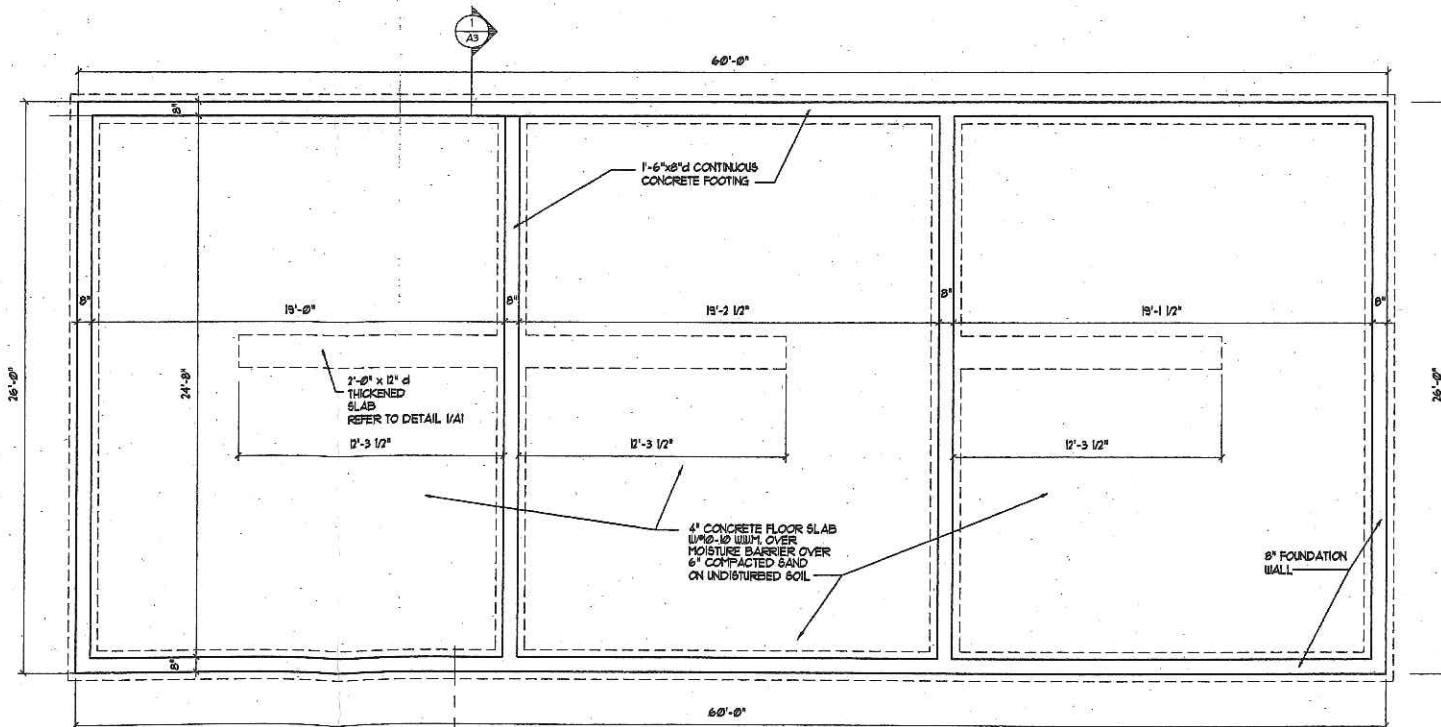
FOUNDATION NOTES:

1. PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
3. ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM FACE OF FOOTING.
4. ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
6. ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
7. SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
8. SET ALL FOOTINGS ON UNDISTURBED SOIL.
9. RADIANT HEAT IN SLAB.



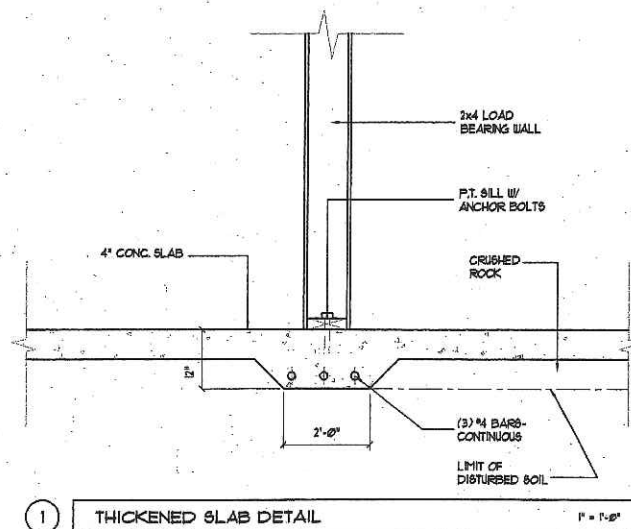
ROOF FRAMING PLAN

SCALE: 1/4" = 1' - 0"

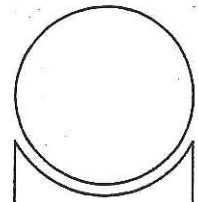


FOUNDATION / FRAMING PLAN

SCALE: 1/4" = 1' - 0"



1 THICKENED SLAB DETAIL



NO.	DATE	DESCRIPTION

THREE UNIT

DRAWINGS THIS SHEET
FOUNDATION PLAN
ROOF PLAN
NOTES/DETAILS

NUMBER	DATE
N/A	03/20/02
DRAWN	CHECKED
DLP	DLP

A1