

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 021234

This is to certify that C G B Properties Llc /Dwight Crackett
has permission to Build new 26' x 60', two story three family build
AT 19 Maggie Ln L 292 F001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or enclosed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name

RE REVIEWED
3/20/03
[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1234	Issue Date:	CBL: 292 F001001
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Location of Construction: 19 Maggie Ln	Owner Name: C G B Properties Llc	Owner Address: 84 Country Ln	Phone: 207-772-8629
Business Name: n/a	Contractor Name: Dwight Brackett	Contractor Address: 84 Country Lane Portland	Phone: 2077728629
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	Zone: R-5

Past Use: Vacant	Proposed Use: Multi Family / Build New 26' x 60', two story, three family Building.	Permit Fee: \$798.00	Cost of Work: \$100,000.00 \$150,000	CEO District: 1	18,937 ^A
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B RA REVIEWED 3/29/03		

Proposed Project Description:
Build new 26' x 60', two storey, three family building.

Signature: *[Signature]* Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 10/30/2002	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Zone 7 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2002-0233</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>3/11/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: JOHN H. LEASURE ARCHIT INC.

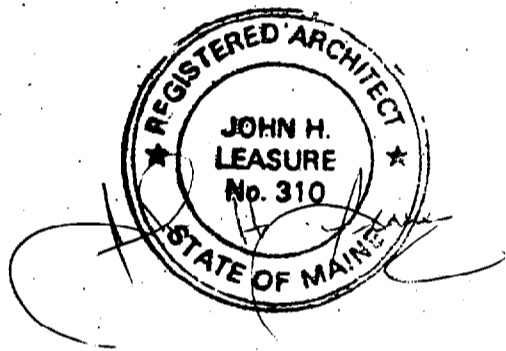
Address of Project #1 & #2 Maggie Lane

Nature of Project RESIDENTIAL RENTAL UNITS

Date MARCH 11, 03

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature [Handwritten Signature]

Title PRESIDENT

Firm JOHN H. LEASURE ARCHIT INC.

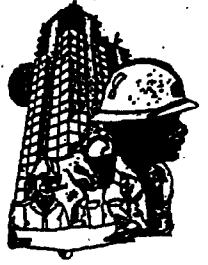
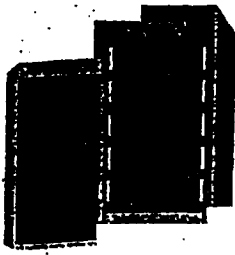
Address SIX Q ST.

S. P. ME 04106

Telephone 767-4600

THIS PROJECT IS NOT FUNDED FROM STATE OR FEDERAL MONIES.

JHL



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: JOHN H. LEASURE

RE: Certificate of Design

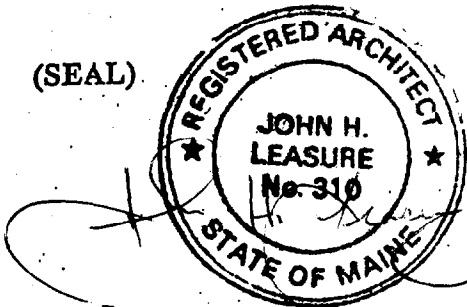
DATE: MARCH 11, 2003

These plans and/or specifications covering construction work on:

ONE THREE UNIT BLDG W/ BASEMENT
ONE THREE UNIT BUILDING

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.

(SEAL)



Signature [Handwritten Signature]

Title President

Firm JOHN H. LEASURE ARCH'T, INC.

Address SIX Q STREET
S.P. ME, 04106

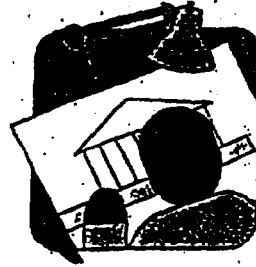
As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/202k

We assume no liability for Mechanical, Electrical or Civil Design Responsibilities.

JHL



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: L & L STRUCTURAL ENGINEERING
SERVICES INC.

DATE: 3-11-03

Job Name: MAGGIE LANE RESIDENTIAL NEW CONST.

Address of Construction: #1 & #2 MAGGIE LANE

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) R3
Type of Construction SA Bldg. Height 3 UNIT - 20'-7 1/8" Bldg. Sq. Footage 3 UNIT 2869 SF HABITABLE
Seismic Zone TWO / AV - 0.10 Group Class CATEGORY II
Roof Snow Load Per Sq. Ft. 42 Dead Load Per Sq. Ft. 15
Basic Wind Speed (mph) 8.5 Effective Velocity Pressure Per Sq. Ft. 28
Floor Live Load Per Sq. Ft. 40

Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No

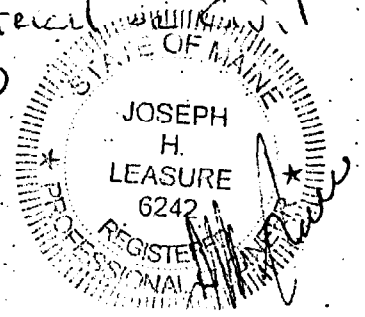
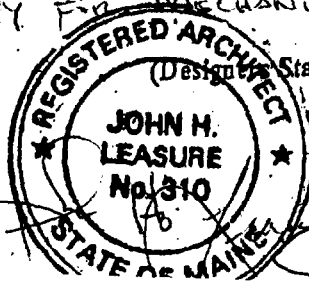
If mixed use, what subsection of 313 is being considered _____

List Occupant loading for each room or space, designed into this Project.

WE ASSUME NO LIABILITY FOR MECHANICAL, ELECTRICAL, PLUMBING, AND
DESIGN RESPONSIBILITIES,

PSH 6/07/2K

JHL





CITY OF PORTLAND

December 13, 2002

Jim Wolf
Diversified Properties, Inc.
P.O. Box 10127
Portland, ME 04104

Re: Lots #1 and #2 Maggie Lane
CBL: 292 F002001

Dear Jim:

We have reviewed the Maggie Lane subdivision plats on file in our office and have found no approval for the increase of units on Lot #2 from 3 units to 4 units, nor have we found an approval for the annexation of land adjacent to lot #1. We did, however, find the approved plat containing the 4th set of alterations (#201-498). This plat included changes to driveway easements and was approved administratively. On this plat, changes had been made to increase the number of units on lot#2 and to annex the adjacent land. These changes were not reviewed, nor were they approved.

According to state subdivision law 30A-MRSA 4401, and the Subdivision Ordinance, any addition of units or lots to a previously approved subdivision must be reviewed and approved by the Planning Board.

Should you decide to proceed with a subdivision amendment, we can schedule a workshop with the Planning Board for January 28, 2003, pending receipt of an application.

Please call if you have any questions.

Sincerely,

Sarah Hopkins
Development Review Services Manager

cc.: Lee Urban, Director of Planning and Development
Alexander Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Jay Reynolds, Development Review Coordinator
Penny Littell, Associate Corporation Counsel
✓ Inspections Division
Dwight Bracket, CGB Properties, LLC, 84 Country Lane, Portland, Me, 04103

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2002-0233
Application I. D. Number

C G B Properties Llc
Applicant
84 Country Ln , Portland , ME 04103
Applicant's Mailing Address

09/23/2002
Application Date
1 2-story 3-unit building (lot 1)
Project Name/Description

Consultant/Agent
Applicant Ph: (207) 772-8629 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

19 - 19 Maggie Ln , Portland, Maine
Address of Proposed Site
292 F001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1,560 s.f. Proposed Building square Feet or # of Units **_____** Acreage of Site **_____** **R5** Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$400.00** Subdivision _____ Engineer Review _____ Date **10/31/2002**

Insp Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

D.A. Brackett & Co., Inc.
84 Country Lane
Portland, ME 04103
Phone: (207) 772-8629

PROPERTY DETAIL

October 29, 2002

RE: Three Unit Building on Maggie Lane, Portland, ME

I propose building a 26' x 60', two storey, three family building. Each unit having a kitchen and living room on the first floor and two bedrooms and a bathroom on the second floor. Each unit has a full basement.

Total square footage on first and second floors, 3,120 sq. ft. (includes three units).

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: LOT #1 MAGGIE LAWE		Zone:
Total Square Footage of Proposed Structure 1560 SQ.FT.		Square Footage of Lot 18,937
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 297 = 00	Property owner, mailing address: DWIGHT BRACKETT 84 COUNTRY LAWE PORTLAND ME 04103	Telephone: 772-8629
Consultant/Agent, mailing address, phone & contact person	Applicant name, mailing address & telephone: 772-8629	Project name: LOT 1 MAGGIE LAWE SUBIT
Proposed Development (check all that apply) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots _____ \$25.00 per lot \$ _____ <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot _____ <input type="checkbox"/> Traffic Movement \$1,000 <input type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other _____ <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00 Major Development _____ \$500.00 Minor Development <u> 1 </u> \$400.00 Plan Amendments: <input type="checkbox"/> Board review \$200.00 <input type="checkbox"/> Staff review \$100.00		
Who billing will be sent to: DWIGHT BRACKETT Mailing address: 84 COUNTRY LAWE State and Zip: PORTLAND ME 04103 Contact person: DWIGHT BRACKETT Phone: 772-8629		


Submittals shall include (9) separate folded packets of the following:

- a. copy of application
 - b. cover letter stating the nature of the project
 - c. site plan containing the information found in the attached sample plans check list
- Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: cl.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 9/23/02
--	----------------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

SPACE AND BULK REQUIREMENTS - LOTS 1 & 2

MINIMUM LOT SIZE: ~~6,000~~ S.F. 18,000 *min for 3 DY*

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS: 20 FT.

FRONT YARD

REAR YARD 20 FT.

SIDE YARD*

1 STORY 8 FT.

1 1/2 STORY 8 FT.

2 STORY 12 FT.

2 1/2 STORY 14 FT.

MINIMUM LOT WIDTH: ~~60~~ FT. *9*

OTHER USES

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Design: DER	Date: JUL 2001
Draft: RAT	Job No.: 334
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

GP Traffic and Civil Engineering Services

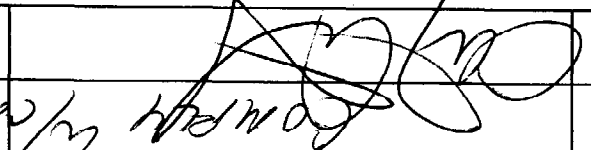
PO Box 1237, 26 Main Street
Gray, ME 04039
207-657-6910

Drawing Name: **Space & Bulk Requirements Lots 1 & 2**

Project: **MAGGIE LANE, PORTLAND**

Figure No. **1**

See Chimney Summary Checklist
NONE

Header Schedule	Type of Heating System	Stairs	Smoke Detectors	Plan Reviewer Signature
<p>Header Schedule</p>	<p>Type of Heating System</p> <p>Not Stair</p>	<p>Number of Stairways</p> <p>2 PER UNIT</p> <p>2 1/2" x 10" W/COIT + HEAD ROOM OK</p> <p>Interior</p> <p>Exterior</p> <p>2 EACH</p> <p>Treads and Risers - 7 3/4" x 10"</p> <p>Width</p> <p>3' 8 1/4"</p> <p>Headroom</p> <p>6' 8"</p> <p>Guards and Handrails</p> <p>ENCLOSED STAIRS</p> <p>w/CONCRETE</p> <p>(Section 315)</p>	<p>Smoke Detectors</p> <p>Location and type/Interconnected</p> <p>NONE</p> <p>STAIR W/ICE</p> <p>COMPANY w/NOT</p>	<p>Plan Reviewer Signature</p> 

Attic or additional Floor Joist Species 503.3.1(I) & Table 503.3.2(1)	ROOF TRUSSES	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))		
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	FLOOR: 3/4" T&G W/ ATC: 7/16" PLY ROOF: 5/8" PLY	
Fastener Schedule (Table 602.3(1) & (2))		
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside) Fire separation	NONE	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	N/A	
Egress Windows (Section 310)	36 X 24' GLASS ACC BEDROOM WINDOWS	
Roof Covering (Chapter 9)	ASPH & FIS FELT UNDER	
Safety Glazing (Section 308)	GLASS BATHROOM DOORS SCUTTE IN BATH UNIT	
Attic Access (BOCA 1211.1)		
Draft Stopping around chimney		

Soil type/Presumptive Load Value (Table 401.4.1)	Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	16' x 8' Foot 7'6" deep ALL FOUNDATION		
Foundation Drainage Dampproofing (Section 406)	Not A Good Detail		
Ventilation (Section 409.1) Crawls Space ONLY	N/A		
AnchorBolts/Straps (Section 403.1.4)	5/8 Bolts 3'0" @ 2 to corner 5. (STAMPED)		
Tally Column Type, Spacing and footing sizes (Table 502.3.4(2))	3'1/2" CONC/STEEL (STAMPED) 4" @ 12" MAX		
Built-Up Wood Center Girder Dimension/Type	4" - 2x10's (STAMPED)		
Sill/Band Joist Type & Dimensions (Table 502.3.4(2))	2x6 FT BATT		
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10's 16.00.		
Second Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10's 16.00		

LOT #

1 300 11

STATUTORY WARRANTY DEED

W.A. ONE, a Maine corporation with a principal place of business in Portland, in the County of Cumberland and State of Maine, with a mailing address of P.O. Box 10127, Portland, Maine 04104

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

C.G.B. PROPERTIES, LLC, a Maine Limited Liability Company with a mailing address of 84 Country Lane, Portland, Maine 04103

MAINE REAL ESTATE TAX PAID

Certain lots or parcels of land with any improvements thereon situated northeasterly of Forest Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lots 1, 2 and 10 as shown on a plan entitled "Maggie Lane Subdivision" made for Maggie Lane Development LLC dated February 2, 1999, prepared by Titcomb Associates and recorded at the Cumberland County Registry of Deeds in Plan Book 200, Page 128, as amended in Plan Book 200, Page 412 and further amended in Plan Book 200, Page 460.

Being a portion of the premises conveyed to Grantor herein by deed from Maggie Lane Development, LLC dated April 11, 2000, recorded at the Cumberland County Registry of Deeds in Book 15413, Page 106 (Lots 1 and 2) and the same premises (Lot 10) conveyed to Grantor herein by deed from Maggie Lane Development, LLC of even or recent date, to be recorded at said Registry of Deeds herewith.

The herein conveyance is subject to and together with the benefit of the following:

1. The rights in common with others to Maggie Lane as shown on said Plan.
2. Easement Deed from Maggie Lane Development, LLC to the City of Portland dated April 11, 2000 and recorded in Book 15413, Page 102.

3. Easement Deed from Maggie Lane Development, LLC, et al. to Portland Water District dated November 14, 2000 and recorded in Book 15846, Page 62.
4. Easements as set forth in the deed from W.A. One, Inc. to Maggie Lane Development, LLC dated April 11, 2000 and recorded in Book 15413, Page 106.
5. Declaration of Restrictions and Covenants, Maggie Lane dated June 7, 2000 and recorded in Book 15522, Page 54.
6. Easement and encumbrances as set forth on said plan for Maggie Lane Development, LLC dated February 2, 1999 and recorded in Plan Book 200, Page 460.
7. Notes as set forth on said plan of Maggie Lane Subdivision recorded in Plan Book 200, Page 460.
8. Lot 10 is subject to a detention area which includes a detention basin to be maintained by the City of Portland as shown on said Plan.
9. Lot 10 is subject to a drainage easement to the City of Portland as shown on said Plan.
10. Lot 10 is subject to a Common Driveway Easement with Lot 11 as shown on said plan. Said Lot 10 herein conveyed and said Lot 11 shall share equally in the use, maintenance and repair of said driveway, and no occupants of either lot shall do anything to interfere with the use of said driveway by the occupants of the other lot.
11. Lot 2 is subject to a Common Driveway Easement with Lots 4 and 22 as shown on said plan. Said Lot 2 herein conveyed and said Lots 4 and 22 shall share equally in the use, maintenance and repair of said driveway, and no occupants of any of said lots shall do anything to interfere with the use of said driveway by the occupants of the other lots.

This conveyance is subject to the following restrictions, which Grantee covenants and agrees by acceptance of the herein deed shall be binding upon Grantee, its successors and assigns:

1. The lot herein conveyed shall not be further subdivided without Maggie Lane Development, LLC's written, recorded approval. This restriction shall include the prohibition against boundary transfers or deeding of easements for any purpose.
2. The herein conveyance specifically excludes any rights in a certain twenty-five (25) foot right-of-way extending from the northeasterly sideline of Forest Avenue to the southwesterly sideline of Lot 17 as shown on said plan.
3. Lots ~~4, 2 and~~ 10 shall be limited to not more than two (2) residential units ~~on each lot~~ and Lots 1 and 2 shall be limited to not more than three (3) residential units on each lot.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which Grantee herein by its acceptance of this deed hereby assumes and agrees to pay.

IN WITNESS WHEREOF, the said W.A. ONE has caused this instrument to be signed in its corporate name and sealed with its corporate seal by James M. Wolf, its President thereunto duly authorized this 25 day of AUGUST, 2001.

W.A. ONE

[Signature]

By: [Signature]
Its President

STATE OF MAINE
CUMBERLAND, SS.

AUGUST 25, 2001

Then personally appeared the above-named JAMES M. WOLF, President of W.A. ONE as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.

Before me,

RECEIVED
RECORDED REGISTRY OF DEEDS
2001 AUG 29 PM 2: 04
CUMBERLAND COUNTY
John B O'Brien

[Signature]
Attorney at Law/Notary Public
THOMAS S. WOLF

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

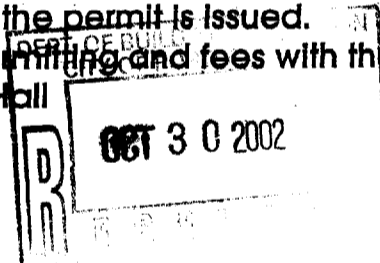
Location/Address of Construction: <u>LOT # 1 MAGGIE LANE</u>		
Total Square Footage of Proposed Structure <u>1560</u>	Square Footage of Lot <u>18,937</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>292</u> Block# <u>F</u> Lot# <u>001</u>	Owner: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>	Telephone: <u>772-8629</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>100,000</u> Fee: \$ <u>Bldg Fee 723</u> <u>City Fee 400</u> <u>Cost 75</u>
Current use: <u>MULTIPLE 3 units</u> <u>Cost 75</u>		
If the location is currently vacant, what was prior use: <u>VACANT LOT AT THIS TIME</u>		
Approximately how long has it been vacant: <u>1 YEAR</u>		
Proposed use: <u>MULTI UNITS</u>		<u>Total \$ 1,196</u>
Project description: <u>3 units 26' x 60'</u>		
Contractor's name, address & telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE PORTLAND ME 04103</u>		
Who should we contact when the permit is ready: <u>DWIGHT BRACKETT</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 772-8629		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Dwight Brackett Date: 9/27/02

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Applicant: Dwight B Adlett Date: 11/12/02
Address: 19 Maggie Lane (lot #1) C-B-L: 292-F-001

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5 # 02-123A

Interior or corner lot -

Proposed Use/Work - Construct 3 Dwelling multifamily ^{FEAR} NO Decks NO Porches
Sewage Disposal - City 26' x 60'

Lot Street Frontage - 50' req - 200'+ shown

Front Yard - 20' min - 28.8' shown

Close → Rear Yard - 20' min - 20.5' shown

Close → Side Yard - 12' req - 12.3' shown
2 story

Projections - wooden canopy over entry doors

Width of Lot - 90' req - 100' shown

Height - 35' MAX - 26.5' scaled to roof

Lot Area - 18,000[#] min 18,937[#] given

Lot Coverage/ Impervious Surface 40% MAX = 7,576.4[#] MAX

Area per Family - 6,000[#]/fam = 18,000[#] min

Off-street Parking - 6 pkg spcs req - 6 pkg sps shown

Loading Bays - N/A

Site Plan - # 2002-0233

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 7 Zone X

NO Daylight Basement

OK
26' x 60' = 1560[#]

Application ID Number: 2-1234

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 19 Maggie Lane

Approval Date: 11/12/2002

Given On Date: 11/04/2002

OK to Issue Permit Name: Marge Schmuckal Date: 11/12/2002 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

The application shows no decks or stairs on your submitted plot plan. None have been approved.

The applications shows no daylight basement on your submitted plans. No daylight basement has been approve.

Create Date: 10/31/2002 By: gg Update Date: 11/12/2002 By: mes



CITY OF PORTLAND

February 21, 2003

Mr. Dwight Brackett
CGB Properties, LLC
84 Country Lane
Portland, ME 04103

RE: 19-23 Maggie Lane, Lot 1 Triplex
(CBL 292F001) (ID# 2002-0233)

Dear Mr. Brackett:

On February 21, 2003, the Portland Planning Authority granted minor site plan approval for the construction of a triplex on Maggie Lane lot 1 with the following conditions:

- 1. Applicant must address the grading and drainage concerns stated in the development review coordinator's letter dated February 20, 2003 (see attached).*

Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1234	Date Applied For: 10/30/2002	CBL: 292 F001001
------------------------------	--	----------------------------

Location of Construction: 19 Maggie Ln	Owner Name: C G B Properties Llc	Owner Address: 84 Country Ln	Phone: 207-772-8629
Business Name: n/a	Contractor Name: Dwight Brackett	Contractor Address: 84 Country Lane Portland	Phone: (207) 772-8629
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Multi Family	

Proposed Use: Multi Family / Build New 26' x 60', two story, three family Building.	Proposed Project Description: Build new 26' x 60', two storey, three family building.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/12/2002
Note: 19 Maggie Lane **Ok to Issue:**

- 1) The applications shows no daylight basement on your submitted plans. No daylight basement has been approve.
- 2) The application shows no decks or stairs on your submitted plot plan. None have been approved.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 03/20/2003
Note: **Ok to Issue:**

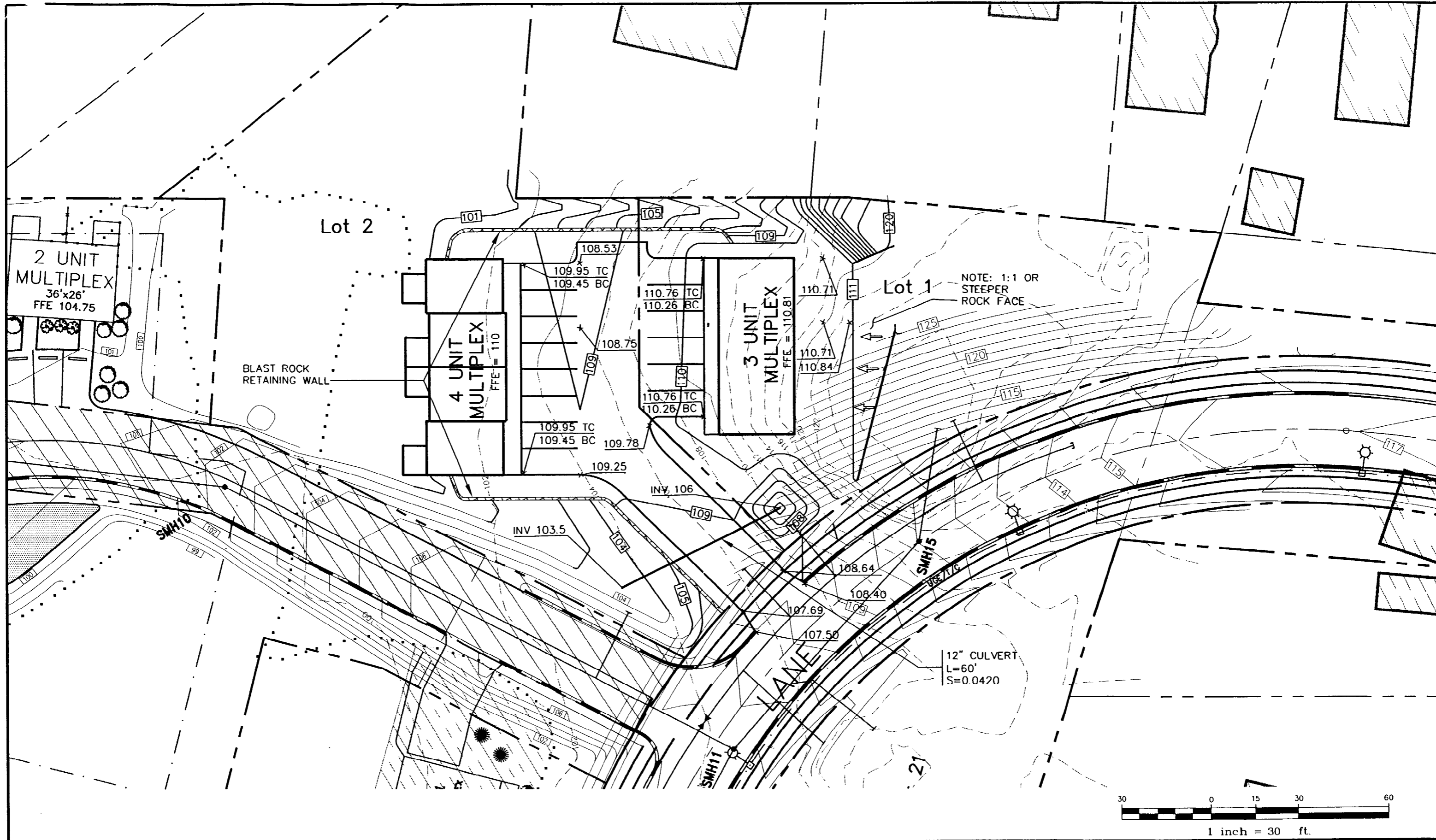
- 1) Heating system and exhaust needs separate permit, not part of this review and approval
 Fire supression, plumbing & electrical require separate permits
- 2) Perimeter drain must have stone & Fabric as required by code
 Code compliant guards may be required on front & rear steps depending on final grade.
- 3) The 1 hour Fire Separation assembly must extend to the underside of the roof sheathing.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. McDougall **Approval Date:** 11/05/2002
Note: **Ok to Issue:**

- 1) the sprinkler system shall be installed in accordance with NFPA 13 r
- 2) Application requires State Fire Marshal approval.


Comments:

11/13/2002-jodinea: lm on am for Dwight 772-8629 explaining the drawing has to be stamped and the cost of 100,000 is questionable, will need breakdown of costs.
 12/06/2002-jodinea: cost was brought up to 150,000 and additional fee of 350.00 was paid
 03/18/2003-kwd: New plans received, plus site plan review. Will go through approval process for new plans.



Rev.	Date	Revision

Design: PDO/DER	Date: OCT 2002
Draft: DB/SGB	Job No.: 334
Checked: AMP	Scale: 1"=30'
File Name: 99103-all-lots2.dwg	


Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services
 PO Box 1237
 15 Shaker Road
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name:	Grading & Drainage Plan, Lots 1 & 2
Project:	MAGGIE LANE, PORTLAND

Figure No.	3
------------	----------

NOTES:
 1. EXACT BUILDING LOCATION TO BE WITHIN MINIMUM SETBACK AS SHOWN ON FIGURE 1.
 2. EXACT INVERT ELEVATIONS OF PROPOSED MANHOLE TO BE DETERMINED UPON TEST PIT INFORMATION ON EXISTING SERVICE.

Lot 2
 24,568 SF
 0.56 AC

2 UNIT MULTIPLEX
 36'x26'
 FFE 104.75

4 UNIT MULTIPLEX
 73.5'

3 UNIT MULTIPLEX
 26'
 3/4" CURB STOP

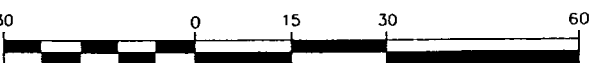
Sub **Lot 1**
 8,937 SF
 0.44 AC

Lot 22
 1.62 ACRES

6" SAN
 L=76.5'
 S=0.0104

2" CURB STOP
 SMH
 6" INV IN 96.74
 6" INV IN 96.74
 6" INV OUT 96.64

2" CURB STOP
 INV 97.04 MIN
 DOUBLE CLEANOUT



1 inch = 30 ft.

Rev.	Date	Revision

Design: PDO/DER	Date: OCT 2002
Draft: DB/SCB	Job No.: 334
Checked: AMP	Scale: 1"=30'
File Name: 99103-all-lots2.dwg	

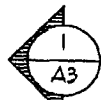
GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

PO Box 1237
 15 Shaker Road
 Gray, ME 04039

207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

Drawing Name:	Site Layout & Utility Plan, Lots 1 & 2
Project:	MAGGIE LANE, PORTLAND

Figure No.
2



RIDGE VENT

25 YEAR FIBERGLASS SHINGLES W/ FELT PAPER

BITUTHANE ICE & WATER SHIELD UP EAVES (TYP.) 3'-0" MIN.

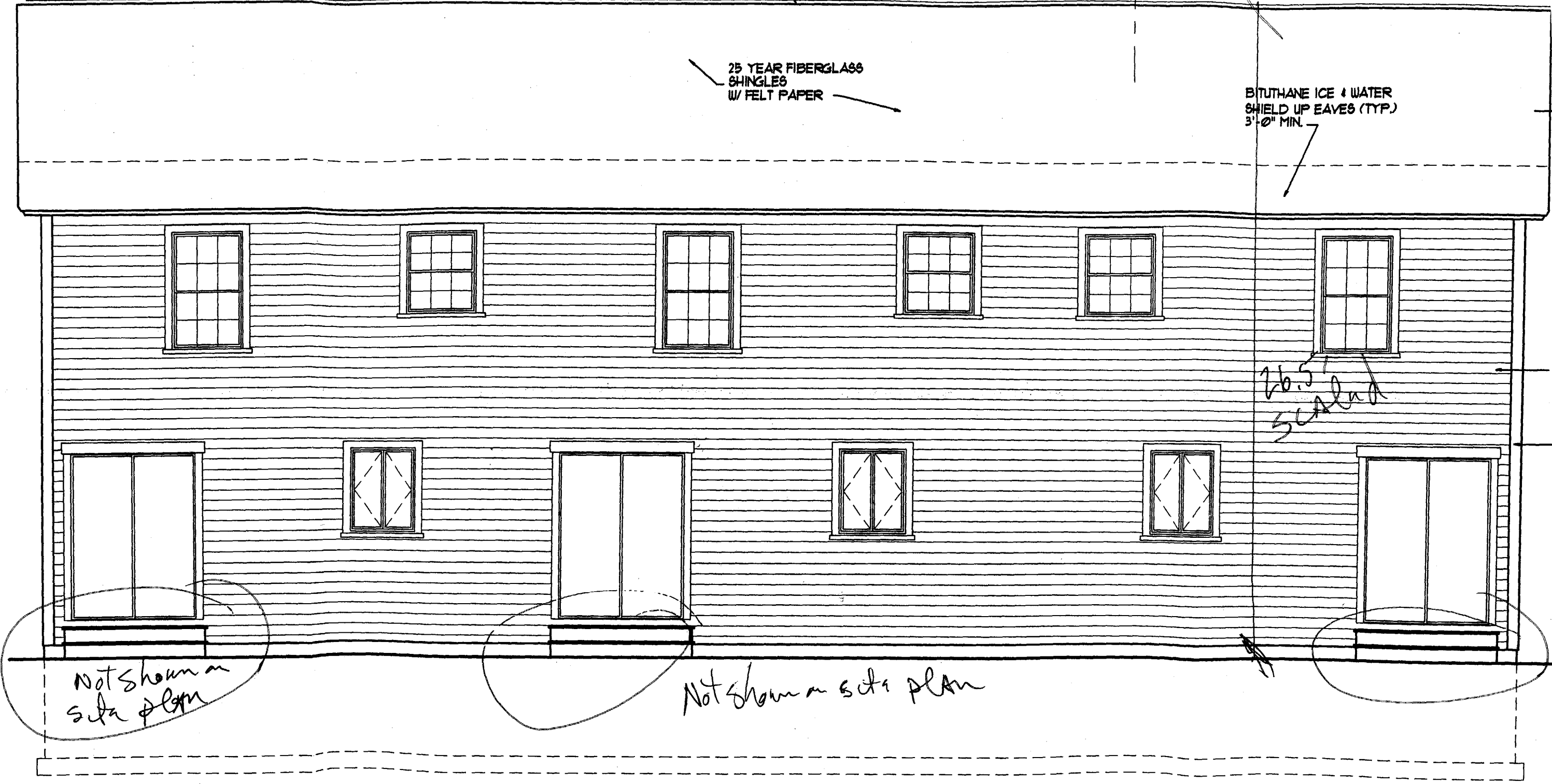
26.5' scaled

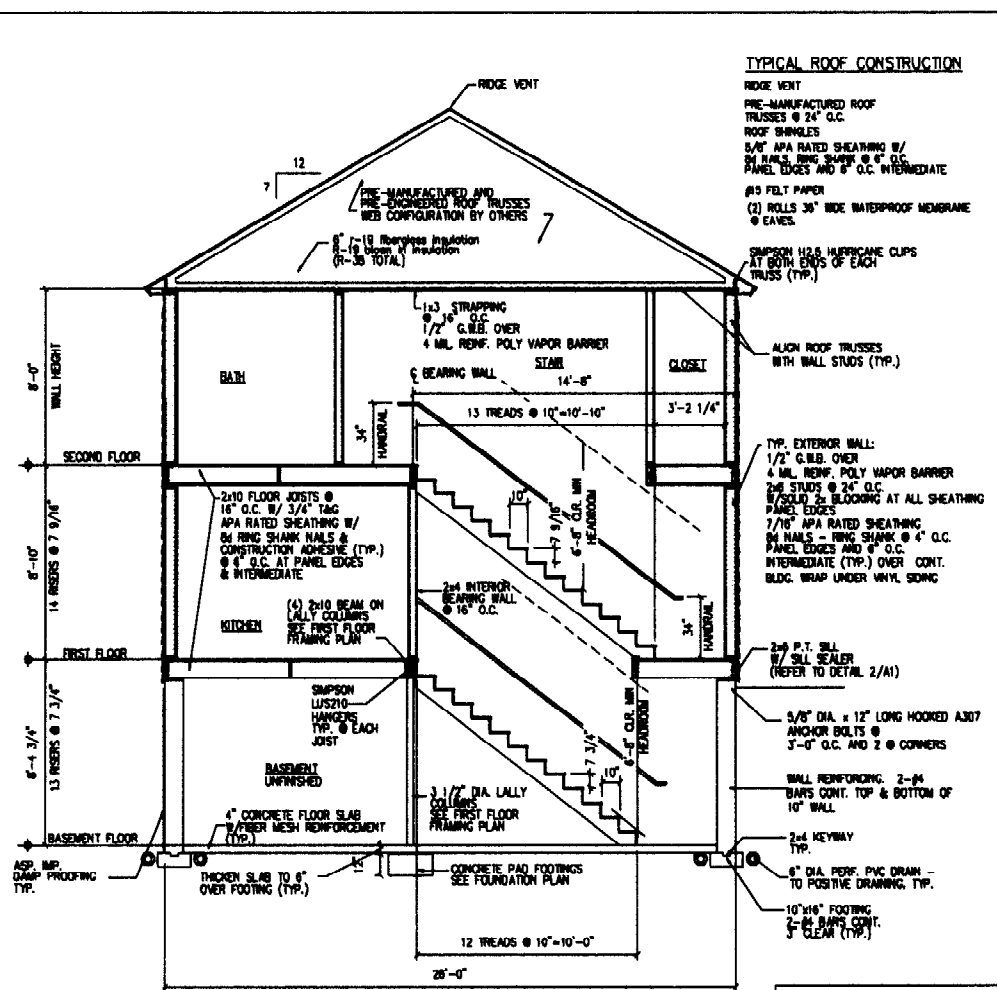
Not shown on site plan

Not shown on site plan

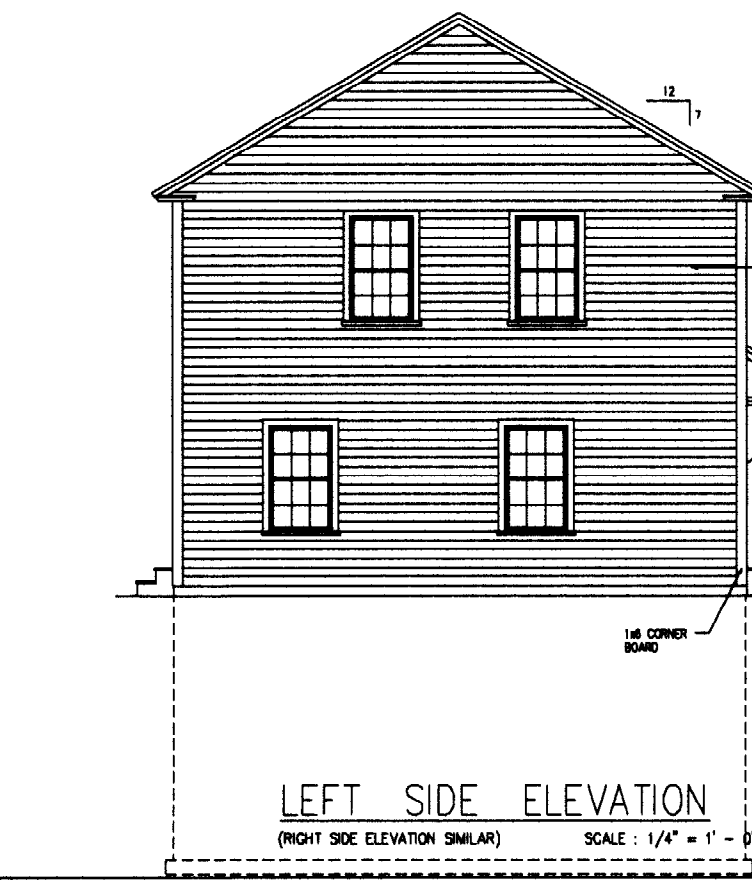
REAR ELEVATION

SCALE: 1/4" = 1'-0"





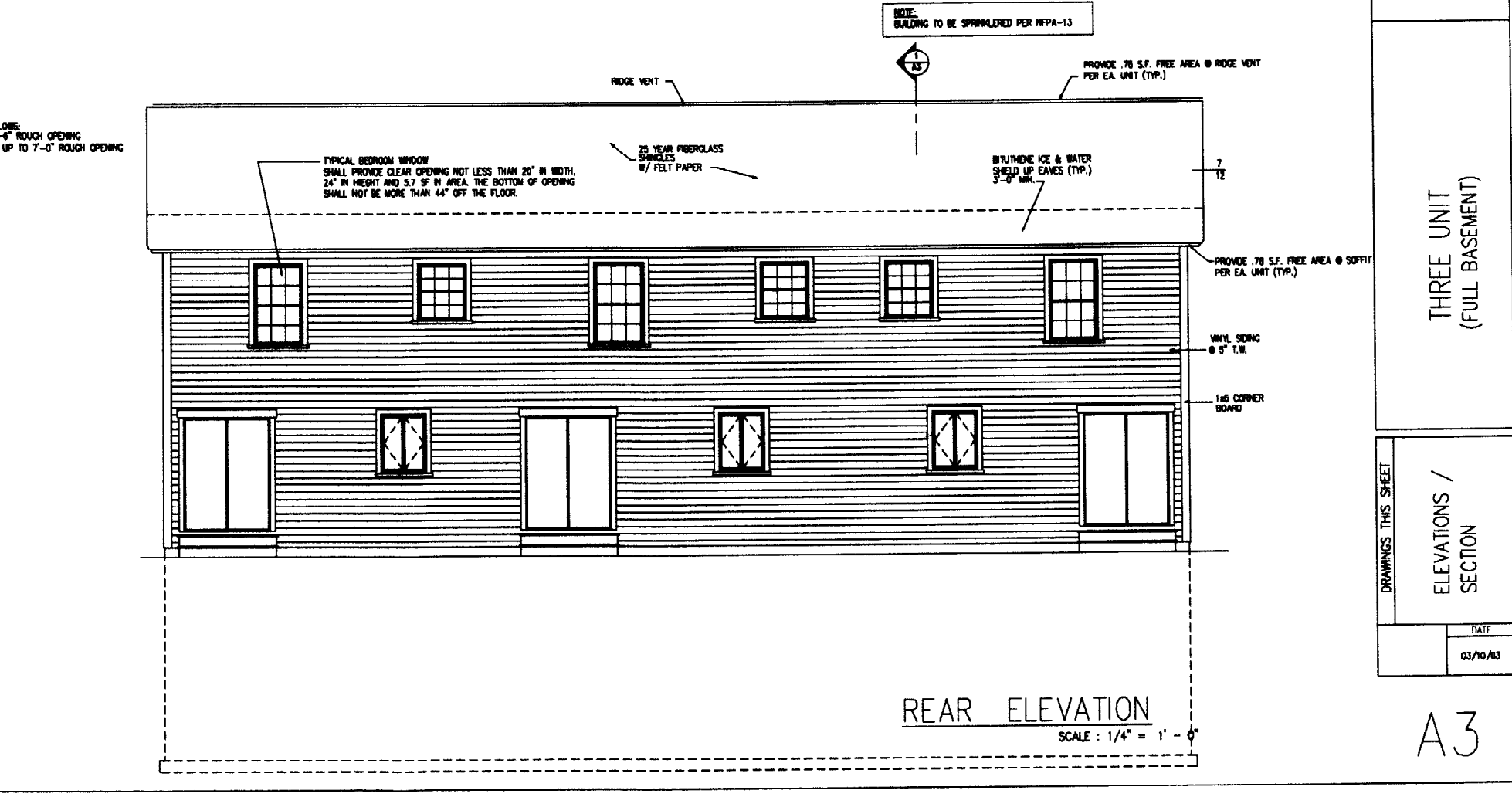
SECTION THRU HOUSE
SCALE: 1/4" = 1' - 0"



HEADER SCHEDULE

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-7" - 5'-6"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
(2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



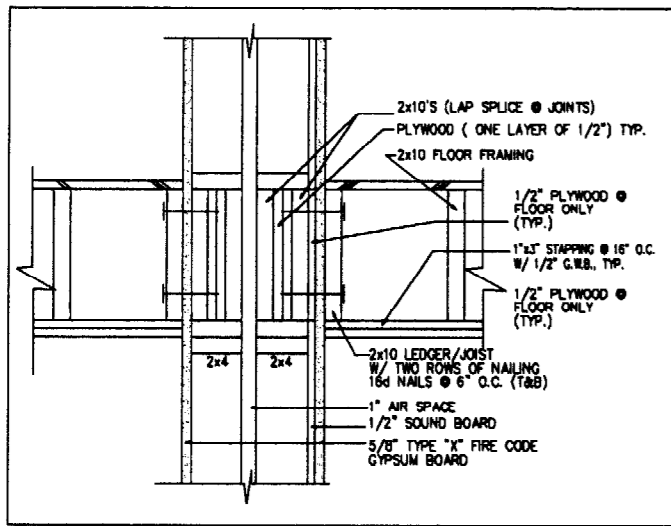
NOTE: BUILDING TO BE SPRINKLERED PER NFPA-13

DRAWINGS THIS SHEET

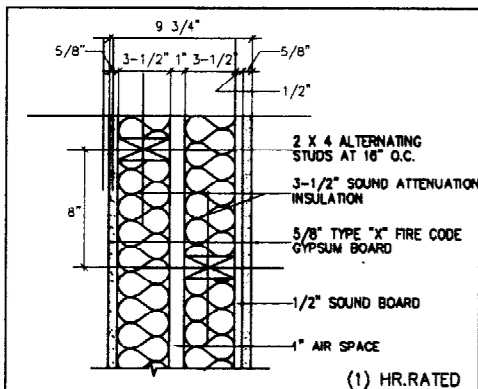
ELEVATIONS / SECTION

THREE UNIT (FULL BASEMENT)

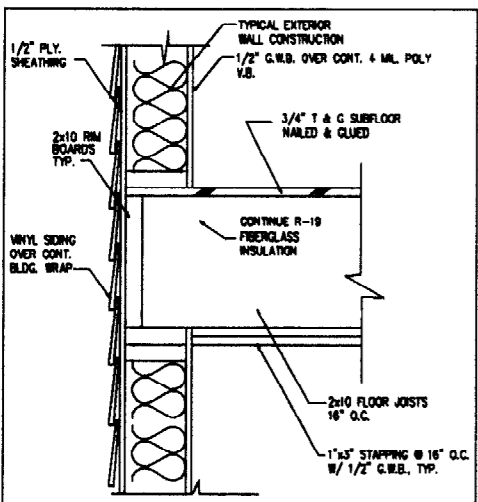
DATE
03/10/03



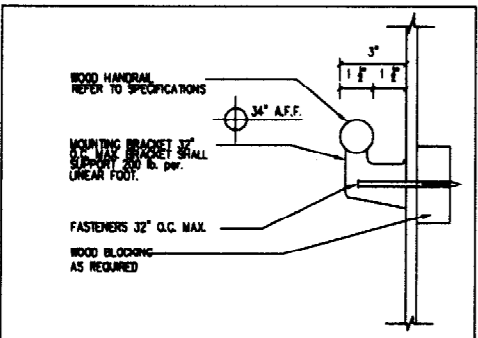
3 SECTION ● PARTY WALL DETAIL 1/2" = 1'-0"



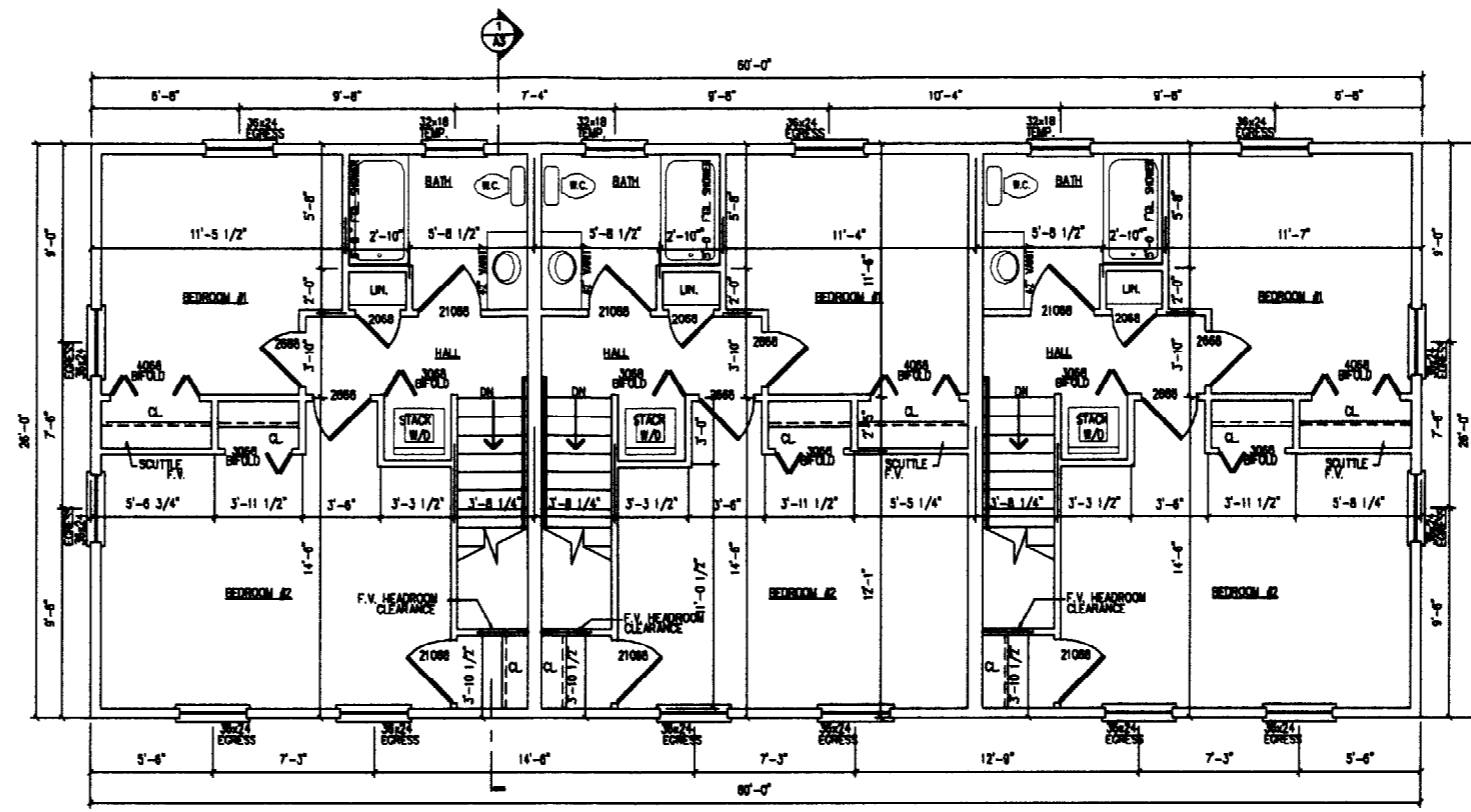
2 PARTY WALL DETAIL 1/2" = 1'-0" UL # U305 SIM



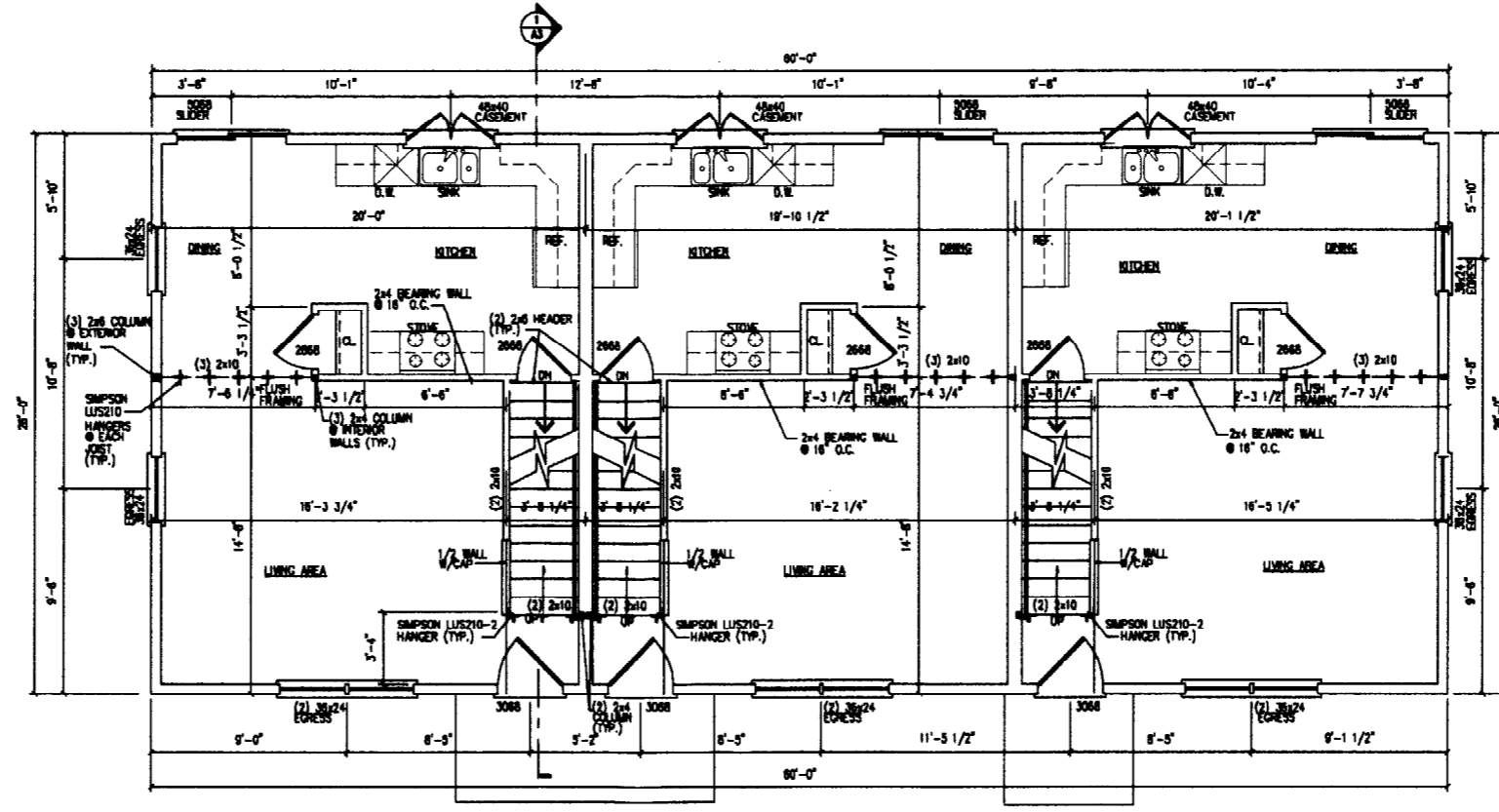
1 FLOOR FRAMING DETAIL 1/2" = 1'-0"



HANDRAIL DETAIL NTS



SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN (SECOND FLOOR FRAMING PLAN) SCALE: 1/4" = 1'-0"

- GENERAL NOTE FOR PARTY / SHEAR WALL:
1. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES & INTERMEDIATE. PROVIDE SCREWS @ 6" O.C. @ PANEL EDGES & INTERMEDIATE.
 2. RUN 2x4 WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) ALIGNED W/DOME OF THE 2x4 WALLS IN THE PARTY WALL BELOW. PROVIDE (1) LAYER 7/16" APA RATED SHEATHING ONE SIDE ONLY. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES. PROVIDE 6d NAILS @ 6" O.C. @ PANEL EDGES & INTERMEDIATE.
 3. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATING SHOWN.

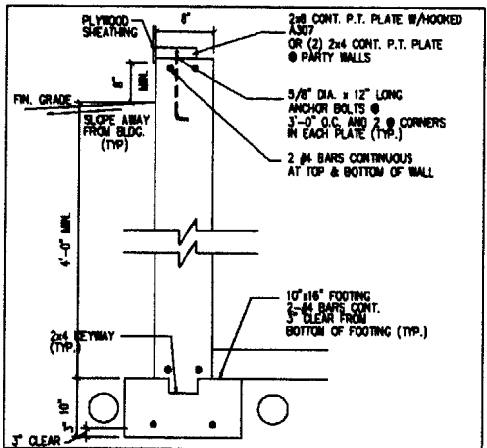
NOTE: BUILDING TO BE SPRINKLERED PER NFPA-13

THREE UNIT (FULL BASEMENT)

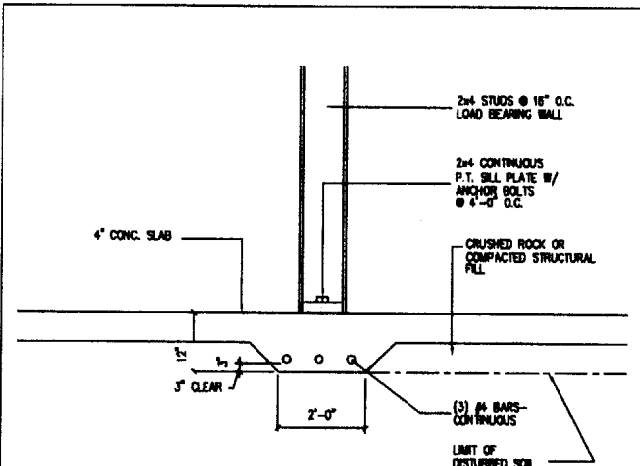
DRAWINGS THIS SHEET

FIRST FLOOR PLAN / SECOND FLOOR PLAN DETAILS

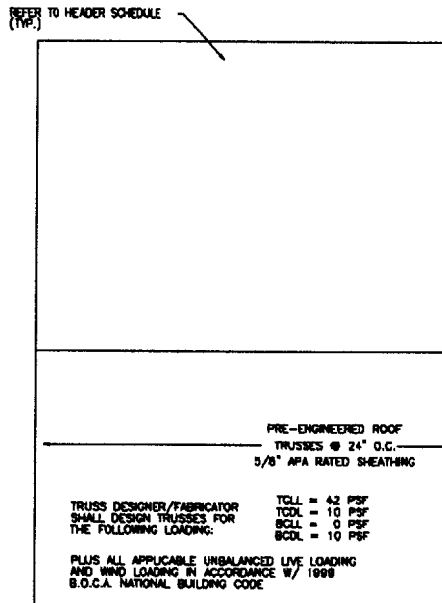
DATE 03/10/03



2 TYPICAL FOUNDATION WALL SCALE: 1"=1'-0"



1 THICKENED SLAB DETAIL 1"=1'-0"



REFER TO HEADER SCHEDULE

ROUGH OPENING	HEADER SIZE
0 - 3'-0"	(3) - 2x6
3'-1" - 4'-8"	(3) - 2x6
4'-9" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4'-4" ROUGH OPENING
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

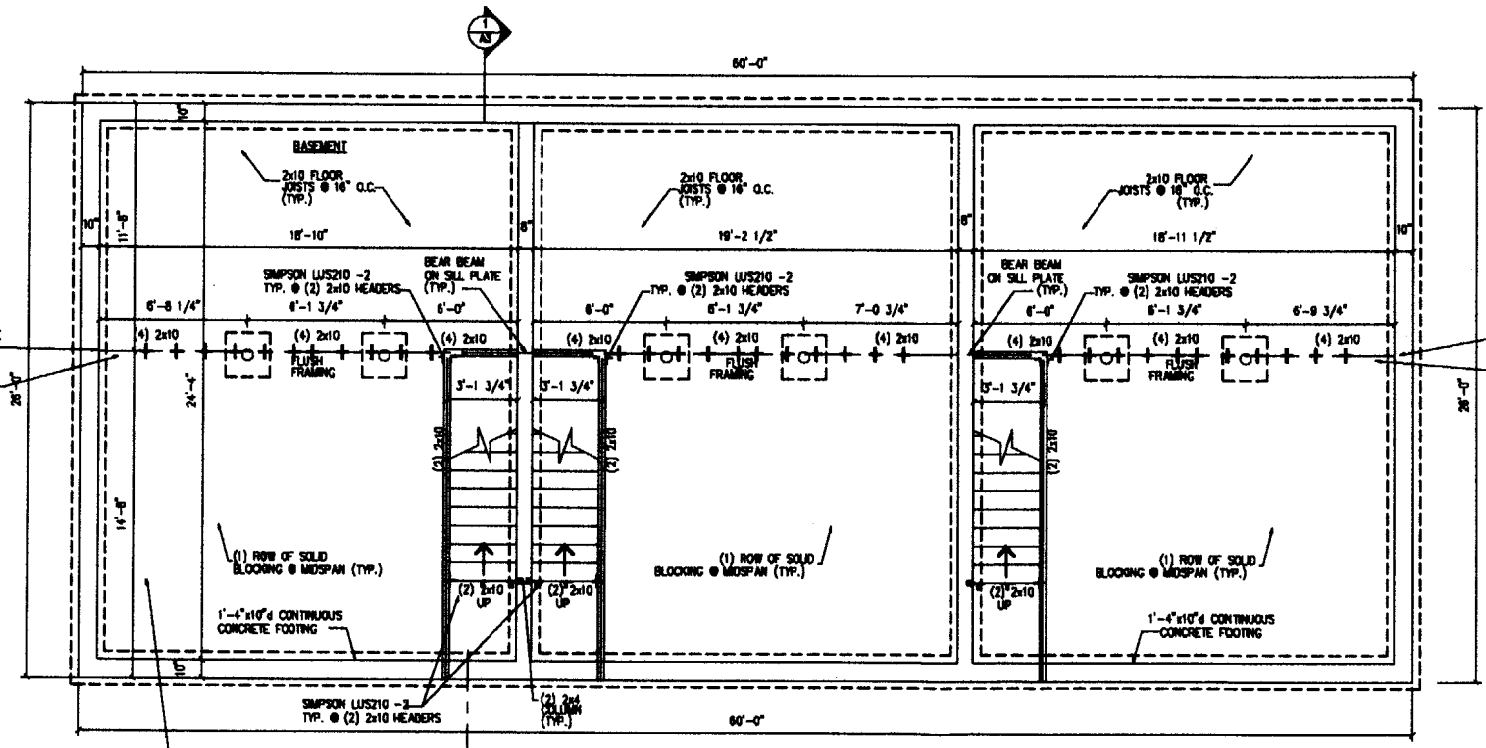
FIRE PARTITION TO EXTEND TO UNDERSIDE OF ROOF SHEATHING

ROOF FRAMING PLAN SCALE: 1/4" = 1' - 0"

- ### GENERAL NOTES:
- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L., NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
 - All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
 - All required City and State permits must be obtained before any construction begins.
 - It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting, temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
 - Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
 - All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire sealing material.
 - Building shall be sprinklered in accordance with NFPA-13. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
 - Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
 - Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101. Local authority having jurisdiction needs to provide written requirements.
 - Balconies must maintain a 42" general height and shall be kept free and clear of ice and snow at all times to ensure the second means of egress.
 - HVAC installation to be in accordance with ASHRAE, NFPA-90A, OR NFPA-90B and all federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-211, NFPA-31, NFPA-94 and NFPA-70 as applicable.

- ### FRAMING NOTES:
- ALL EXTERIOR WALLS TO BE 2x6 WOOD STUD WALLS @ 24" O.C. W/ 1/2" G.I.B.B. AND VAPOR BARRIER @ INSIDE FACE OF WALL, 1" BATT INSULATION (R-19), AND 7/16" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
 - ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" G.I.B.B. EACH SIDE.
 - INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
 - THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

- ### FOUNDATION NOTES:
- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
 - FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
 - ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
 - ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
 - ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED W/CCA TO 0.64/CF RETENTION PER ANPA.
 - ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
 - SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
 - SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
 - RADIANT HEAT IN SLAB.
 - FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE W/ FIBER MESH REINFORCEMENT. PROVIDE CONTROL JOINTS @ 15'15" SPACING (225F).
 - ALL CONCRETE SHALL BE 3000 PSI (f'c) STRENGTH AT 28 DAYS.
 - ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%/A.
 - ALL OTHER ADMIXTURES SHALL BE PRE-APPROVED.



FOUNDATION PLAN SCALE: 1/4" = 1' - 0"

THREE UNIT (FULL BASEMENT)

DRAWINGS THIS SHEET

FOUNDATION PLAN
 ROOF PLAN
 NOTES/DETAILS

DATE
 03/10/03