

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>		Permit No: 01-1109	Issue Date: SEP 24 2001	CBL: 292 A039001
Location of Construction: 44 Maggie Ln Lot #19	Owner Name: Maggie Lane Development Llc	Owner Address: Po Box 18127	Phone: 207-772-8629	
Business Name: n/a	Contractor Name: DA Brackett	Contractor Address: 29 Primrose Lane Portland	Phone: 2077728629	
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Duplex	Zone: R-5	

Past Use: Vacant	Proposed Use: 26' x 40' two storey, Duplex	Permit Fee:	Cost of Work: \$100,000.00	CEO District: 1
Proposed Project Description: Build 26' x 40' Duplex		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied <b>INSPECTION:</b> Use Group: <b>PERMIT ISSUED WITH REQUIREMENTS</b> Signature: <i>[Signature]</i>		
		<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 09/05/2001	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone PAND 7 Zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2001-0231 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM Date: 9/21/01	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:

**PERMIT ISSUED WITH REQUIREMENTS**

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE  
PERMIT IS ISSUED

## All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>LOT #19 MAGGIE LANE</u>		
Total Square Footage of Proposed Structure <u>1976</u>	Square Footage of Lot <u>6,027</u>	
Tax Assessor's Chart, Block & Lot Number  Chart# <u>292</u> Block# <u>A</u> Lot# <u>039</u>	Owner: <u>DWIGHT BRACKETT</u> <u>C.G.B. PROPERTY</u>	Telephone#: <u>772-8629</u>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work: <u>\$ 100,000</u> Fee: <u>\$ 624.00</u>
Current use: <u>MULTI FAMILY</u> If the location is currently vacant, what was prior use: Approximately how long has it been vacant:		<u>Site Fee 400.00</u>  <u>TOTAL \$ 1,024.</u>
Proposed use: <u>TWO FAMILY DWELLING</u>		
Project description: <u>26'x40' TWO UNIT</u>		
Contractor's Name, Address & Telephone: <u>DWIGHT BRACKETT</u> <u>84 COUNTRY LANE</u> <u>PORTLAND ME 04103</u>		
Applicants Name, Address & Telephone: <u>DWIGHT BRACKETT</u> <u>772-8629</u>		
Who should we contact when the permit is ready: <u>DWIGHT BRACKETT</u> <u>772-8629</u>		
Telephone: <u>772-8629</u>		
If you would like the permit mailed, what mailing address should we use:		
SEP - 5 2001		
Rec'd By: <u>Gay</u> <u>9/5/01</u>		

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE  
PERMIT IS ISSUED**

**PLOT PLAN INCLUDES THE FOLLOWING:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:**

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
  - Floor Plans & Elevations
  - Window and door schedules
  - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC  
AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE  
PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER  
THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant:

*Dwight Burke*

Date:

*9/5/01*

**Site Review Pre-Application**  
**Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling**  
**or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

DWIGHT BRACKETT  
Applicant

9/3/01  
Application Date

84 COUNTRY LAKE PORTLAND 04103  
Applicant's Mailing Address

LOT #19 26X40  
Project Name/Description

Consultant/Agent

LOT #19 MAGGIE LAKE  
Address Of Proposed Site

7728629  
Applicant/Agent Daytime telephone and FAX

242 A 039  
Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply) ☒ New Building ☐ Building Addition ☐ Change of Use ☐ Residential ☐ Office ☐ Retail  
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other(Specify) \_\_\_\_\_

1976  
2000 SQFT 2 UNITS 0.14  
Proposed Building Square Footage and /or # of Units Acreage of Site

2 FAMILY DWELLING  
Zoning

Major Site Plan \_\_\_\_\_

Minor Site Plan ☒

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 9 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant <u>Dwight Brackett</u>	Date: <u>9/3/01</u>
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Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

# BUILDING PERMIT REPORT

DATE: 12 September 2001 ADDRESS: 44 Maggie Lane (Lot 19) CBL: 292-A-439  
 REASON FOR PERMIT: Duplex dwelling unit  
 BUILDING OWNER: Maggie Lane Development LLC  
 PERMIT APPLICANT: \_\_\_\_\_ / CONTRACTOR D. A. Brackett  
 USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 100,000.00 PERMIT FEES: 1,424.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

## CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1 \*2 \*3 \*4 \*5 \*9 \*10  
\*11, \*13, \*14, \*16, \*20, \*27, \*28, \*29, \*30, \*32, \*33, \*34, \*35, \*36, \*38, 1, 1, 1, 1, 1

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- \*3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- \*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- \*5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- \*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- \*10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- \*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7) **R-3 (ONE & TWO FAMILY DWELLINGS) GUARD HEIGHT IS 36" MINIMUM.**
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- \*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- \*14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
- \*16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

95

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

29. All requirements must be met before a final Certificate of Occupancy is issued.

30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

32. Please read and implement the attached Land Use Zoning report requirements. *All requirements & conditions on the attach*

33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *Site Development Review Sheets shall be met.*

34. Bridging shall comply with Section 2305.16.

35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

36. All flashing shall comply with Section 1406.3.10.

37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

38. *Roofing shall comply with section 1505.9*

P. Samuel Hennes, Building Inspector

Cc: L. McDougall, PFD

Marge Schmuckal, Zoning Administrator

Michael Nugent, Inspection Service Manager

PSH 10/L00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

...THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )

\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00

Applicant: Dwight Brackett Date: 9/21/01

Address: 44 Maggie Lane (lot #19) C-B-L: 292-A-039

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - construct duplex (2 fam) 26 x 40 No garage

Sewage Disposal - Private

Lot Street Frontage - 50' req - 70' shown

Front Yard - 20' req - 28' scaled

check → Rear Yard - 20' req - 20.5' shown

Side Yard - 14' req - 15' scaled  
2 story

Projections - 12 x 4 front porch - 16 x 18 rear deck

Width of Lot - 60' req - 70' shown

Height - 35' max - 22.5' scaled

Lot Area - 6,000<sup>sq</sup> min - 6,027<sup>sq</sup> shown

Lot Coverage/ Impervious Surface - 40% max of 2410.8<sup>sq</sup> max

Area per Family - 3,000<sup>sq</sup>

be sure pavement goes back  
far enough → Off-street Parking - 4 req - 4 shown in driveway

Loading Bays - N/A

Site Plan - minor # 2001-0231

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 7 - Zone X

$$12' \times 14' = 168'$$

$$26' \times 40' = 1040'$$

$$16' \times 8' = 128'$$

$$OK \quad \frac{128}{1216'}$$

Valuation: \$~~100,000.00~~ Plan Review # \_\_\_\_\_  
Fee: \$1024.~~60~~ Date: 12 September ~~2001~~  
Building Location: 44 Maggie Lane CBL: 292-A-039  
Building Description: Duplex Dwelling units  
Reviewed By: S. Hoffses / T. Manson.  
Use or Occupancy: B-3 Sec. 310.5 Type of Construction: 5B

\*NR: Not Required      NA: Not Applicable      SR: See Report      X: OK per plan

REV: PSH 6/16/01



[illegible]

## Foundations (Chapter 18)

### Wood Foundation (1808)

NA Design  
NA Installation

### Footings (1807.0)

X Depth below (outside) grade 4' minimum;  
but below frost line except for insulated footings.  
NA Insulated footing provided  
X Soil bearing value (table 1804.3)  
X Footing width  
X Concrete footing (1810.0) .3.1, 3.2  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### Foundation Walls

X Design (1812.1)  
X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)  
SA Waterproofing and damp-proofing Section 1813  
SA Sill plate (2305.17)  
SA Anchorage bolting in concrete (2305.17)  
X Columns (1912)  
SA Crawl space (1210.2) Ventilation  
SA Crawl opening size (1210.2.1)  
SA Access to crawl and attic space ( 1211.0 )  
\_\_\_\_\_

### Floors (Chapter 16-23)

X Joists - Non sleeping area LL40PSF (Table - 1606)  
X Joists - Sleeping area LL30PSF (Table - 1606)  
X Grade  
X Spacing  
X Span  
X Girder 4" bearing 2305

### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- NA Roof rafters - Design (2305.15) spans
- X Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- X Roof trusses (2313.3.1)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Roof Coverings (Chapter 15)

- SA Approved materials (1404.1)
- X Performance requirement (1505)
- X Fire classification (1506)
- X Material and installation requirements (1507)
- X Roof structures (1510.0)
- X Type of covering (1507)

### Chimneys and Fireplaces BOCA Mechanical/1993

- X Masonry (1206.0)
- X Factory - built (1205.0)
- X Masonry fireplaces (1404)
- X Factory - built fireplace (1403)
- SA NFPA 211

### Mechanical 1993 BOCA Mechanical Code

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSE</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Seismic Zone	<u>C</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>
Exterior balconies	<u>60 PSF</u>	<u>X</u>
Decks	<u>42 PSF</u>	<u>X</u>
Guardrails & Handrails	<u>200 Live Load</u>	<u>X</u>

### Glazing (Chapter 24)

<u>21</u>	Labeling (2403.1)
<u>/</u>	Louvered window or jalousies (2403.5)
<u>/</u>	Human impact loads (2406.0)
<u>/</u>	Specific hazardous locations (2406.2)
<u>/</u>	Sloped glazing and skylights (2405)
<u>/</u>	Safety glazing (2406.0)

### Private Garages (Chapter 4)

<u>NQ</u>	General (407)
<u>/</u>	Beneath rooms (407.3)
<u>/</u>	Attached to rooms (407.4)
<u>/</u>	Door sills (407.5)
<u>/</u>	Means of egress (407.8)
<u>/</u>	Floor surface (407.9)

## Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
  - ~~52~~ Sleeping room window (1010.4)
  - ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
  - ~~X~~ Landings (1014.3.2) stairway
  - ~~NA~~ Ramp slope (1016.0)
  - ~~52~~ Stairways (1014.3) 36" W
  - ~~52~~ Treads (1014.6) 10" min.
  - ~~52~~ Riser (1014.6) 7 3/4" max.
  - ~~52~~ Solid riser (1014.6.1)
  - ~~NA~~ Winders (1014.6.3)
  - ~~NA~~ Spiral and Circular (1014.6.4)
  - ~~52~~ Handrails (1022.2.2.) Ht.
  - ~~52~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
  - ~~52~~ Guards (1012.0) 36" min.
- \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## Smoke Detectors (920.3.2)

- ~~52~~ Location and interconnection
- ~~52~~ Power source

## Dwelling Unit Separation Table 602

Section 310.5



**CITY OF PORTLAND, MAINE**  
**DEVELOPMENT REVIEW APPLICATION**  
**PLANNING DEPARTMENT PROCESSING FORM**  
**Insp Copy**

2001-0231

Application I. D. Number

09/05/2001

Application Date

Maggie Lane Lot #19

Project Name/Description

Maggie Lane Development Llc

Applicant

Po Box 10127, Portland, ME 04104

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-8629

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

44 - 44 Maggie Ln, Portland, Maine

Address of Proposed Site

292 A039001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail  
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☒ Other (specify) 26' x 40' two unit

1976 sq. ft.

6027 sq. ft.

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |                                                                |                                                   |                                                |                                                  |
|----------------------------------------------------------------|---------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance          | <input type="checkbox"/> Other                 |                                                  |

Fees Paid: Site Plan \$400.00 Subdivision Engineer Review Date: 09/10/2001

**Insp Approval Status:**

Reviewer Marge Schmuckal

- ☐ Approved ☒ Approved w/Conditions See Attached ☐ Denied

Approval Date 09/21/2001

Approval Expiration 09/21/2002

Extension to

☒ Additional Sheets Attached

☒ Condition Compliance

Marge Schmuckal

09/21/2001

signature

date

Performance Guarantee

☒ Required\*

☐ Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

☒ Performance Guarantee Accepted

09/21/2001

date

\$2,200.00

amount

06/01/2002

expiration date

☐ Inspection Fee Paid

date

amount

☐ Building Permit Issued

date

☐ Performance Guarantee Reduced

date

remaining balance

signature

☐ Temporary Certificate of Occupancy

date

☐ Conditions (See Attached)

expiration date

☐ Final Inspection

date

signature

☐ Certificate Of Occupancy

date

☐ Performance Guarantee Released

date

signature

☐ Defect Guarantee Submitted

submitted date

amount

expiration date

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2001-0231

Application I. D. Number

09/05/2001

Application Date

Maggie Lane Lot #19

Project Name/Description

Maggie Lane Development Llc

Applicant

Po Box 10127, Portland , ME 04104

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-8629      Agent Fax:

Applicant or Agent Daytime Telephone, Fax

44 - 44 Maggie Ln , Portland, Maine

Address of Proposed Site

292 A039001

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Insp**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pools and/or garage.
- 3 It is noted that there is no daylight basement. No daylight basement is being approved.
- 4 This structure shall be outfitted with a fire protection sprinkler system in accordance with NFPA 13d or 13r.

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees PER UNIT must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 42-44 Maggie Lane, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



**CITY OF PORTLAND, MAINE**  
**DEVELOPMENT REVIEW APPLICATION**  
**PLANNING DEPARTMENT PROCESSING FORM**  
**Insp Copy**

2001-0231

Application I. D. Number

9/5/01

Application Date

Maggie Lane Lot ~~40~~ 19

Project Name/Description

Maggie Lane Development LLC

Applicant

Po Box 10127, Portland, ME 04104

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-8629 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

44 - 44 Maggie Ln, Portland, Maine

Address of Proposed Site

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Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail  
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☒ Other (specify) 26' x 40' two unit

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**Check Review Required:**

- |                                                                |                                                         |                                                |                                                  |
|----------------------------------------------------------------|---------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |                                                  |

Fees Paid: Site Plan \$400.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date 9/10/01

**Insp Approval Status:**

Reviewer \_\_\_\_\_

- ☐ Approved ☐ Approved w/Conditions  
See Attached ☐ Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_ ☐ Additional Sheets  
Attached

☐ Condition Compliance \_\_\_\_\_  
signature date

Performance Guarantee ☐ Required\* ☐ Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |                                                             |                |                                                    |                 |
|-------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____                                              | _____           |
|                                                             | date           | amount                                             | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____                                              |                 |
|                                                             | date           | amount                                             |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____                                              | _____           |
|                                                             | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|                                                             | date           |                                                    | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____                                              | _____           |
|                                                             | submitted date | amount                                             | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |

## STATUTORY WARRANTY DEED

CUSTOM BUILT HOMES OF MAINE, INC., a Maine corporation with a principal place of business in Windham, in the County of Cumberland and State of Maine, with a mailing address of 27 Main Street, Windham, Maine 04062

For Consideration Paid, GRANT with WARRANTY COVENANTS TO

C.G.B. PROPERTIES LLC, a Maine Limited Liability Company with a mailing address of 84 Country Lane, Portland, Maine 04103

A certain lot or parcel of land with any improvements thereon situated northeasterly of Forest Avenue in the City of Portland, County of Cumberland and State of Maine, and being Lot 19 as shown on a plan entitled "Maggie Lane Subdivision" made for Maggie Lane Development LLC dated February 2, 1999, prepared by Titcomb Associates and recorded at the Cumberland County Registry of Deeds in Plan Book 200, Page 128, as amended in Plan Book 200, Page 412 and further amended in Plan Book 200, Page 460.

Being the same premises conveyed to Grantor herein by deed from Maggie Lane Development, LLC dated August 8, 2001 and recorded at the Cumberland County Registry of Deeds in Book 16627, Page 7.

The herein conveyance is subject to and together with the benefit of the following:

1. The rights in common with others to Maggie Lane as shown on said Plan.
2. Easement Deed from Maggie Lane Development, LLC to the City of Portland dated April 11, 2000 and recorded in Book 15413, Page 102.
3. Easement Deed from Maggie Lane Development, LLC, et al. to Portland Water District dated November 14, 2000 and recorded in Book 15846, Page 62.
4. Easements as set forth in the deed from W.A. One, Inc. to Maggie Lane Development, LLC dated April 11, 2000 and recorded in Book 15413, Page 106.

5. Declaration of Restrictions and Covenants, Maggie Lane dated June 7, 2000 and recorded in Book 15522, Page 54.
6. Easement and encumbrances as set forth on said plan for Maggie Lane Development, LLC dated February 2, 1999 and recorded in Plan Book 200, Page 460.
7. Notes as set forth on said plan of Maggie Lane Subdivision recorded in Plan Book 200, Page 460.

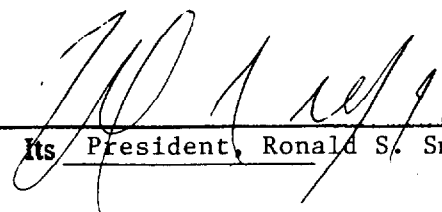
This conveyance is subject to the following restrictions, which Grantee covenants and agrees by acceptance of the herein deed shall be binding upon Grantee, its successors and assigns:

1. The lot herein conveyed shall not be further subdivided without Maggie Lane Development, LLC's written, recorded approval. This restriction shall include the prohibition against boundary transfers or deeding of easements for any purpose.
2. The herein conveyance specifically excludes any rights in a certain twenty-five (25) foot right-of-way extending from the northeasterly sideline of Forest Avenue to the southwesterly sideline of Lot 17 as shown on said plan.
3. Lot 19 shall be limited to not more than two (2) residential units.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland subject to proration at the closing, which Grantee herein by its acceptance of this deed hereby assumes and agrees to pay.

IN WITNESS WHEREOF, the said Custom Built Homes of Maine, Inc. has caused this instrument to be signed and sealed by Ronald S. Smith, Jr., its President thereunto duly authorized this 21st day of August, 2001.

Custom Built Homes of Maine, Inc.

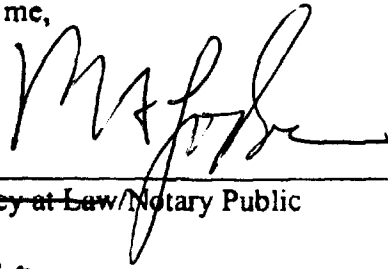
By:   
Its President, Ronald S. Smith, Jr.

STATE OF MAINE  
CUMBERLAND, SS.

August 21, , 2001

Then personally appeared the above-named Ronald S. Smith, Jr.,  
President of Custom Built Homes of  
Maine, Inc. as aforesaid and acknowledged  
the foregoing instrument to be his free act and deed in his said capacity and the free act  
and deed of said corporation.

Before me,



~~Attorney at Law~~ Notary Public

Peter H. Godsoe  
Notary Public, Maine  
My Commission Expires November 5, 2002

## SPACE AND BULK REQUIREMENTS – LOT 19

MINIMUM LOT SIZE: 6,000 S.F.

MINIMUM FRONTAGE: 50 FT.

MINIMUM SETBACKS: 20 FT.

FRONT YARD

REAR YARD

SIDE YARD\*

20 FT.

1 STORY 8 FT.

1 1/2 STORY 8 FT.

2 STORY 12 FT.

2 1/2 STORY 14 FT.

MINIMUM LOT WIDTH:  
OTHER USES 60 FT.

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

received  
9/19/01

Design: DER	Date: JUNE 2001
Draft: RAT	Job No.: 165
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

<b>GP</b>	<i>Traffic and Civil Engineering Services</i>
PO Box 1237, 26 Main Street Gray, ME 04039 207-657-6910	

Drawing Name: Space & Bulk Requirements Lot 19
Project: MAGGIE LANE, PORTLAND

Figure No. <b>1</b>
------------------------

D.A. Brackett & Co., Inc.  
84 Country Lane  
Portland, ME 04103  
Phone: (207) 772-8629

**PROPERTY DETAIL**

September 3, 2001

RE: Duplex on Maggie Lane, Portland, ME

I propose building a 26' x 40', two storey, two family duplex. Each unit having a kitchen and living room on the first floor and two bedrooms and a bathroom on the second floor. Each unit has a full basement.

Total square footage on first and second floors, 2,080 sq. ft. (includes both units).

See revised plans  
original site plans  
Thrown out  
to eliminate  
confusion

DUPLICATE

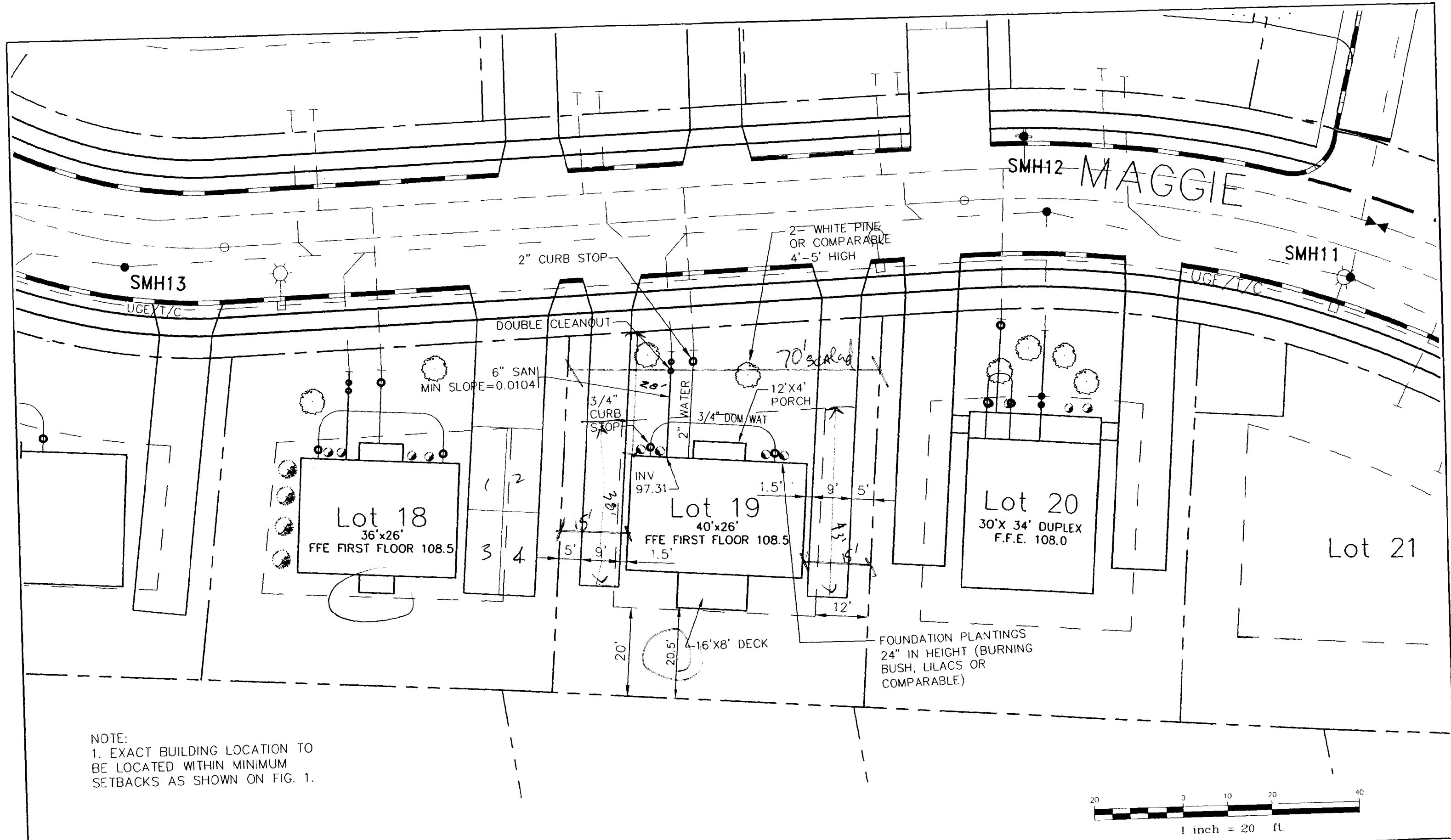
GENERAL RECEIPT

# CITY OF PORTLAND, MAINE

DEPARTMENT Inspections DATE 9/15/01  
RECEIVED FROM Dwight S. Brackett  
ADDRESS Lot 19 Maggie Lane  
JO

UNIT	ITEM	REVENUE CODE	DOLLAR AMOUNT
	<u>Building Fee</u>		<u>624.00</u>
	<u>Site Fee</u>		<u>40.00</u>
	<u>CDL: 092 A039</u>		
	<u>Check # 4039</u>		
<input type="checkbox"/> CASH <input checked="" type="checkbox"/> CHECK <input type="checkbox"/> OTHER		TOTAL	<u>1,624.00</u>

RECEIVED BY J. [Signature]



Rev.	Date	Revision

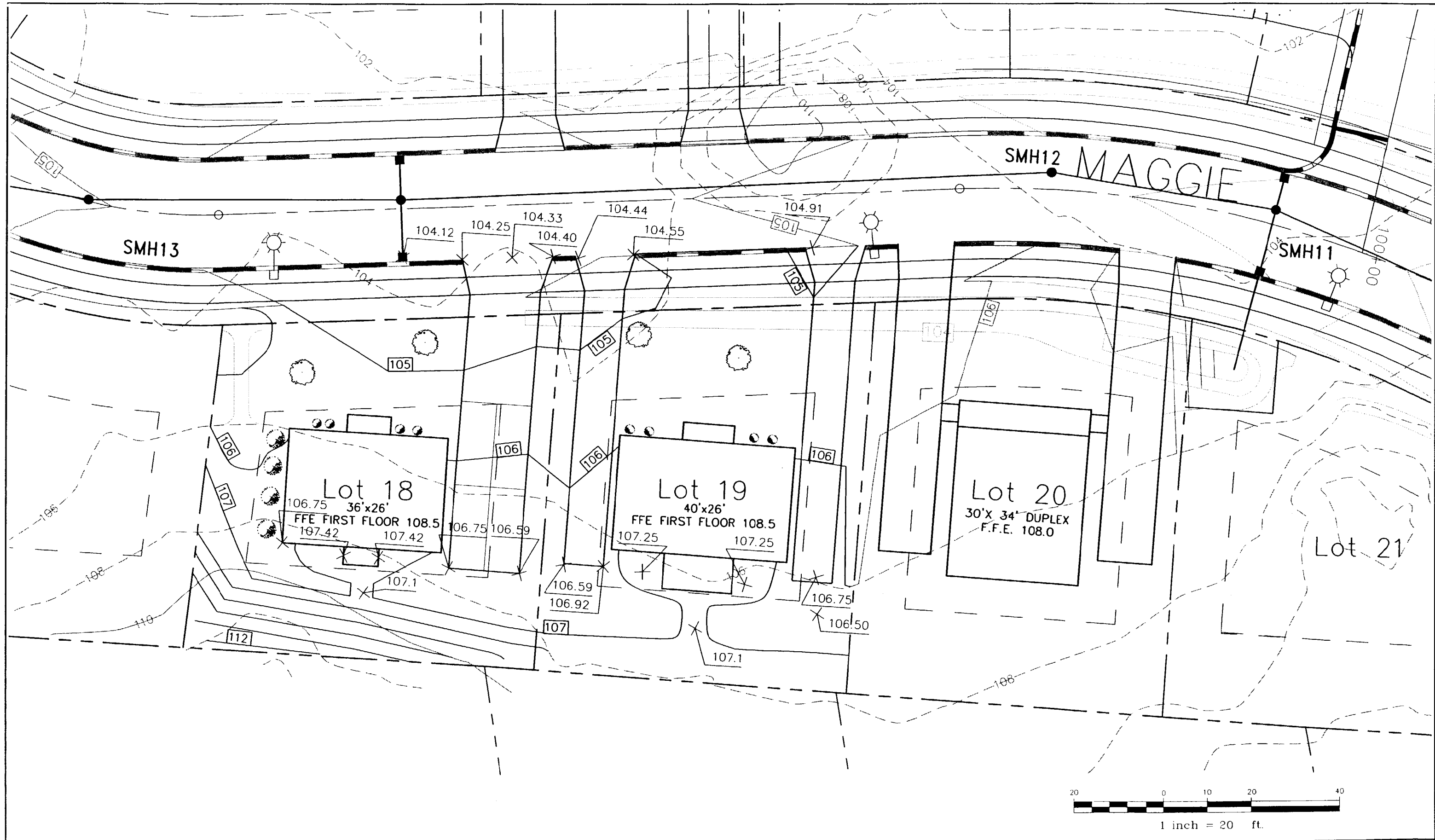
Design: QER	Date: JUNE 2001
Draft: RAT	Job No.: 165
Checked: AMP	Scale: 1"=20'
File Name: 99103-ALL LOTS2.DWG	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Traffic and Civil Engineering Services  
PO Box 1237  
26 Main Street  
Gray, ME 04039  
207-657-6910  
FAX: 207-657-6912  
E-Mail: gpcei@maine.rr.com

Drawing Name:	Layout & Utilities Lot 19
Project:	MAGGIE LANE DEVELOPMENT, LLC.

Figure No.  
**2**





Rev	Date	Revision

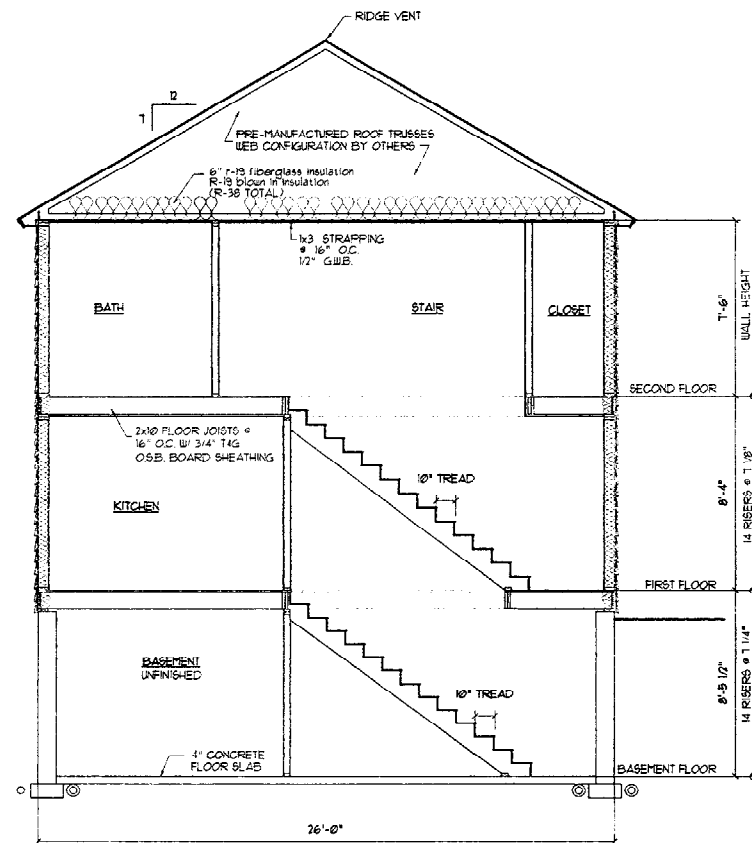
Design: DER	Date: JUNE 2001
Draft: RAT	Job No.: 165
Checked: AMP	Scale: 1"=20'
File Name: 99103-ALL-LOTS2.DWG	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
 Traffic and Civil Engineering Services

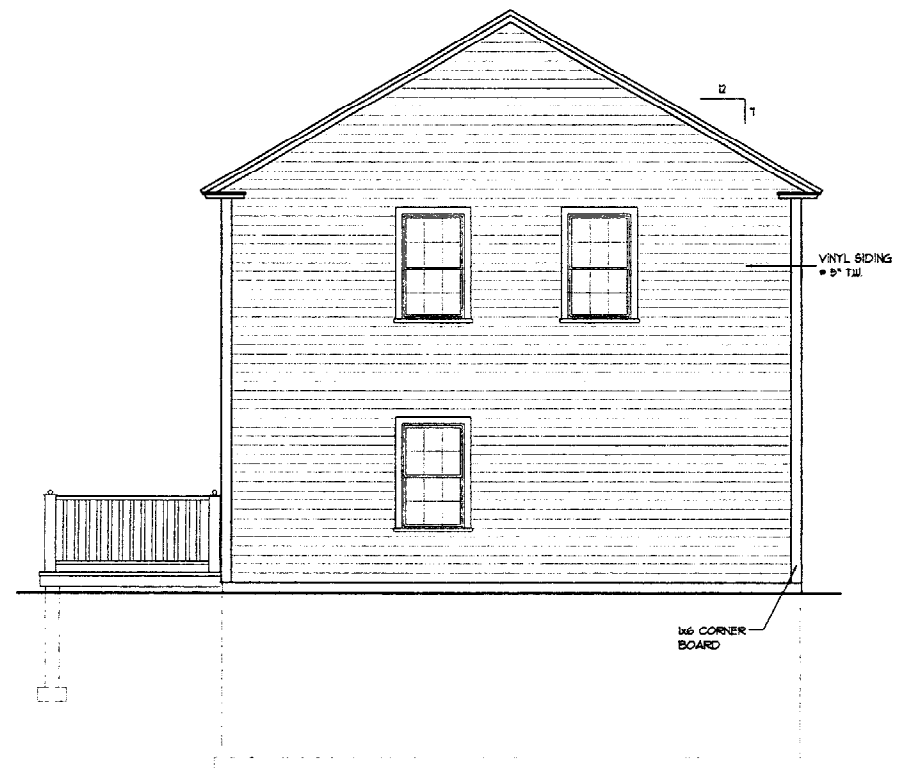
PO Box 1237  
 26 Main Street  
 Gray, ME 04039

207-657-6910  
 FAX: 207-657-6912  
 E-Mail: gpcei@maine.rr.com

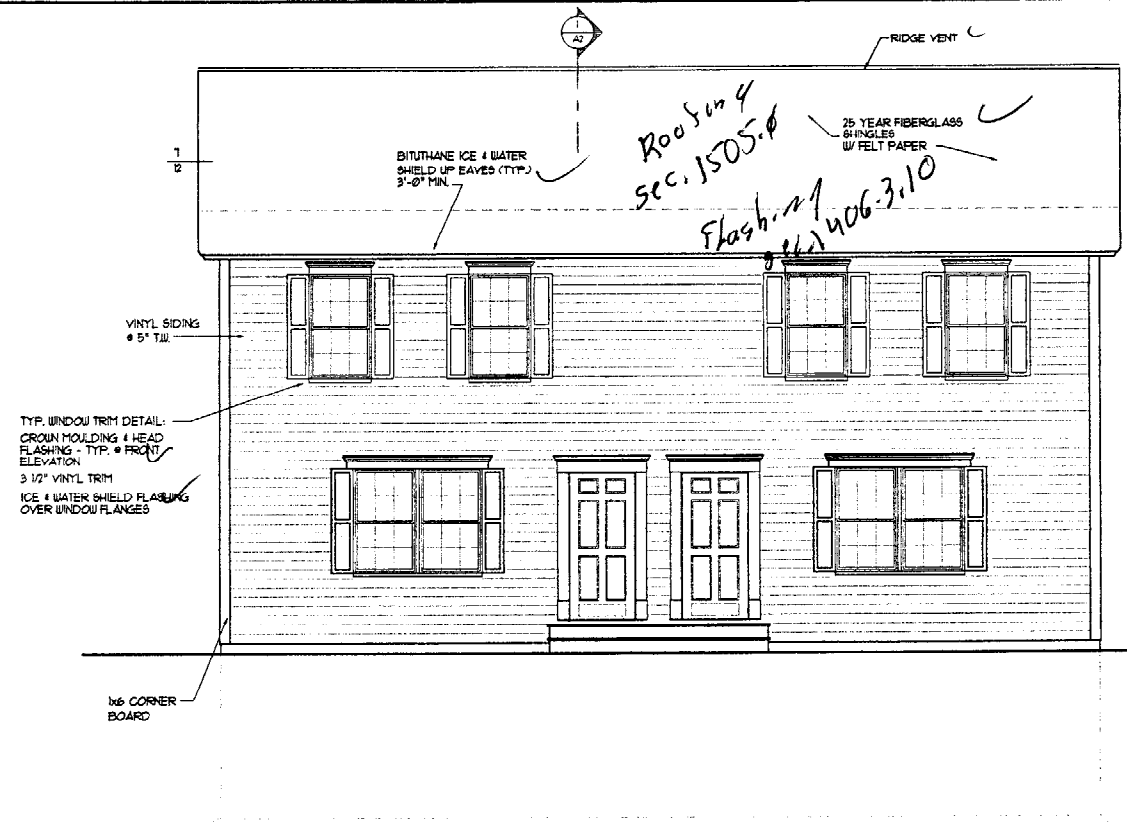
Drawing Name	Grading & Drainage Lot 19
Project	MAGGIE LANE DEVELOPMENT, LLC.



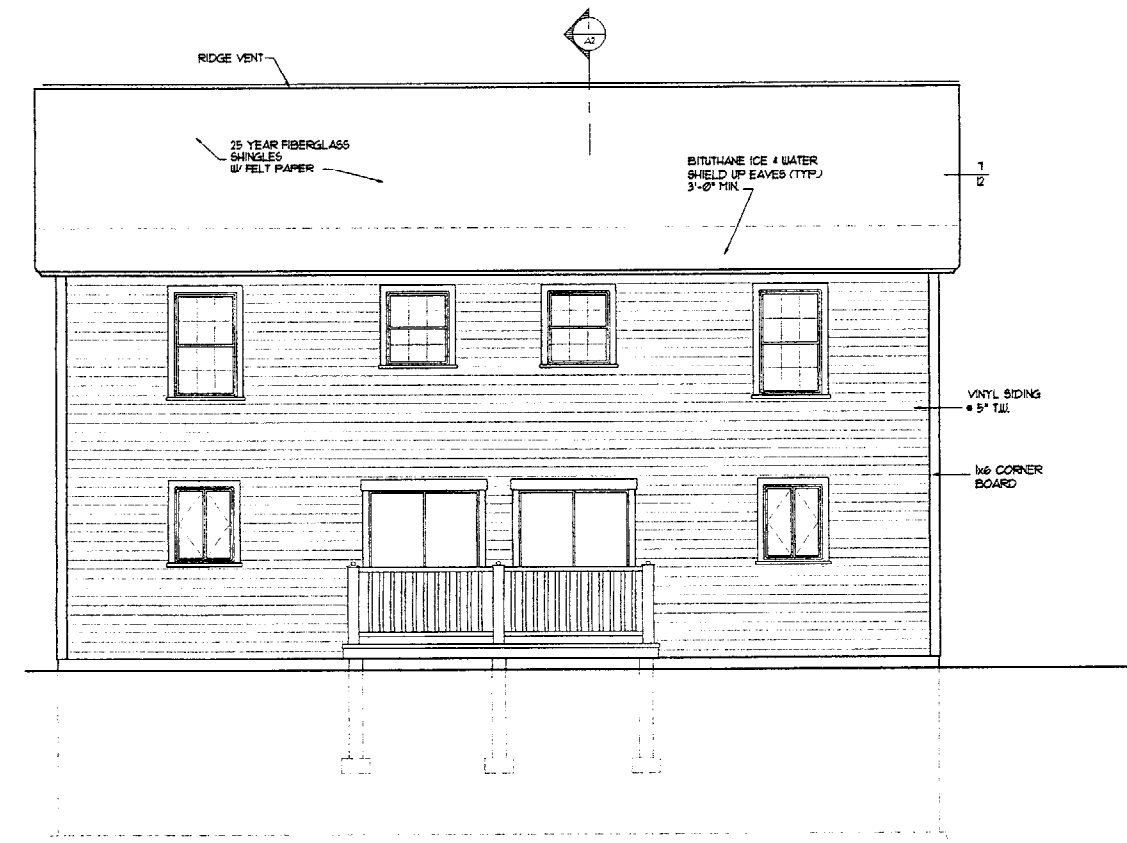
SECTION THRU HOUSE  
SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION  
(RIGHT SIDE ELEVATION SIMILAR) SCALE: 1/4" = 1' - 0"



FRONT ELEVATION  
SCALE: 1/4" = 1' - 0"



REAR ELEVATION  
SCALE: 1/4" = 1' - 0"

NO.	DATE	DESCRIPTION

DUPLEX UNIT

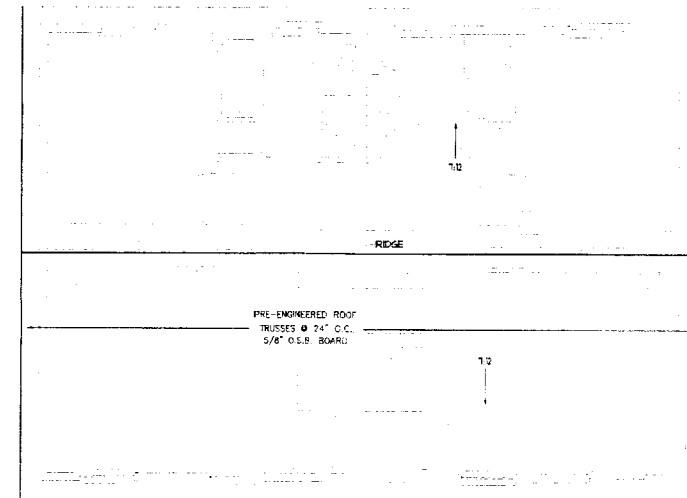
DRAWINGS THIS SHEET	
ELEVATIONS / SECTION	

NUMBER	DATE
N/A	08/21/01
DRAWN	CHECKED
DL6	DL6

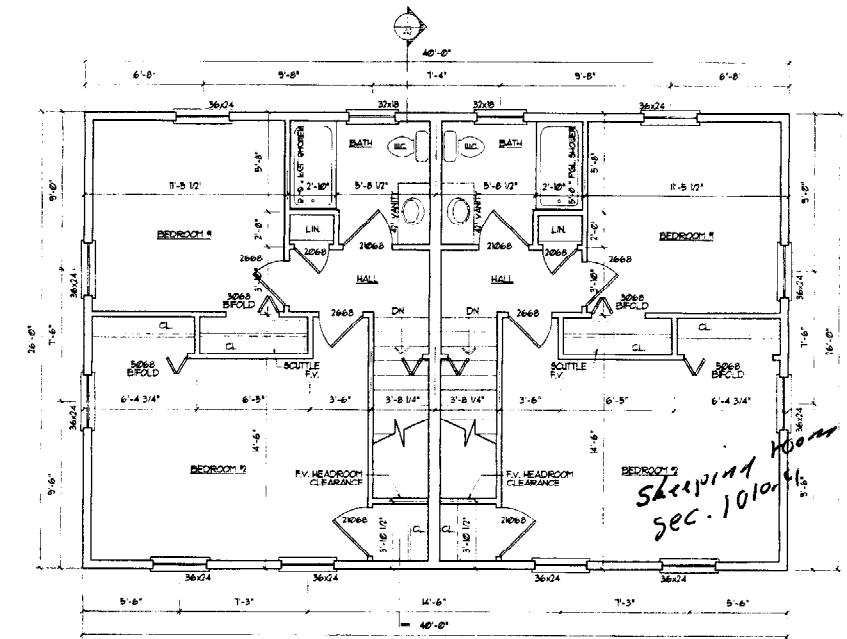
A2

1. ALL EXTERIOR WALLS TO BE 2X6 WOOD STUD WALLS  
• 2"4" O.C. 1/2" G.W.B. AND VAPOR BARRIER • INSIDE  
FACE OF WALL, 6" BATT INSULATION (R-19); AND 7/16"  
O.S.B. SHEATHING • EXTERIOR FACE OF WALL. ✓
2. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD  
WALLS (UNLESS NOTED OTHERWISE) 1/2" ONE  
LAYER 1/2" G.W.B. EACH SIDE. ✓
3. INSTALL BLOCKING BEHIND ALL SURFACE  
APPLIED FIXTURES, TRIM, AND SHELVES  
WHEN MOUNTED ON WALLS. ✓
4. THE LOCATION OF ALL DOOR FRAMES SHALL BE 4" ✓  
(UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

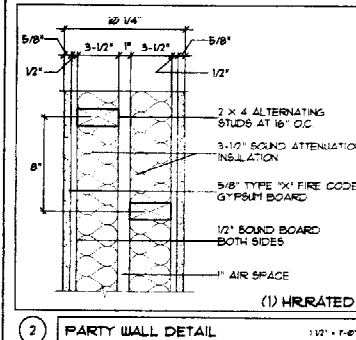
1. PROVIDE SIL. SEALER ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
3. ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM FACE OF FOOTING.
4. ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM OF 2" CLEAR FROM FACE OF WALL.
5. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.
6. ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BROOM FINISH.
7. SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
8. DOUBLE FLOOR FRAMING BELOW ALL PARTITIONS AND KITCHEN CABINET BASES / TOES.
9. SET ALL FOOTINGS ON UNDISTURBED SOIL.



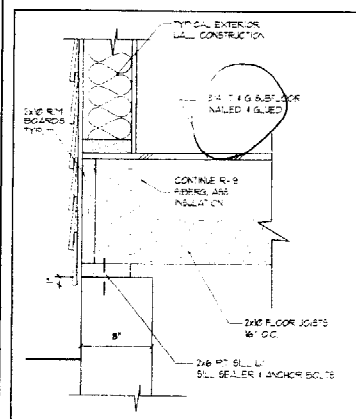
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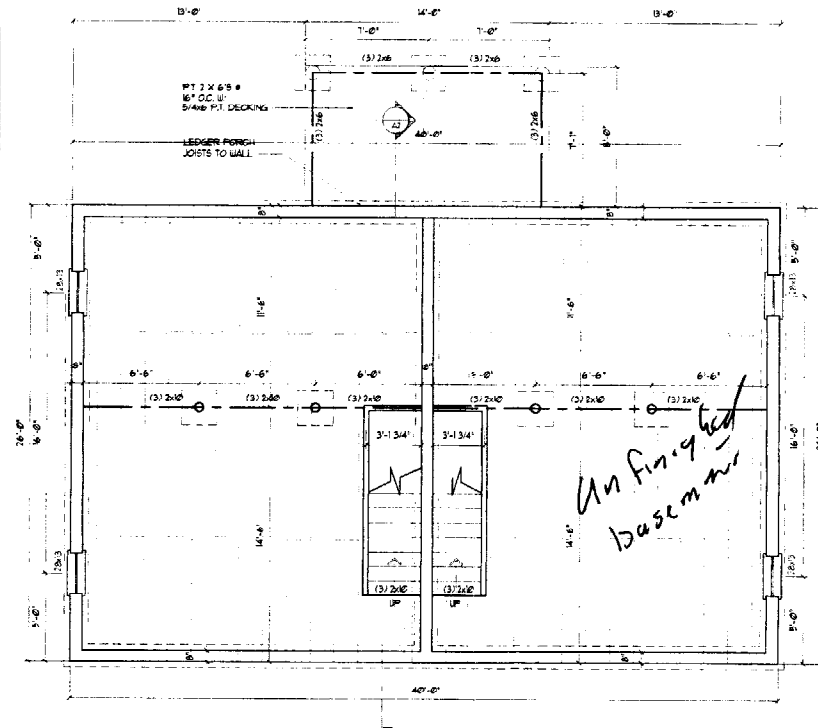
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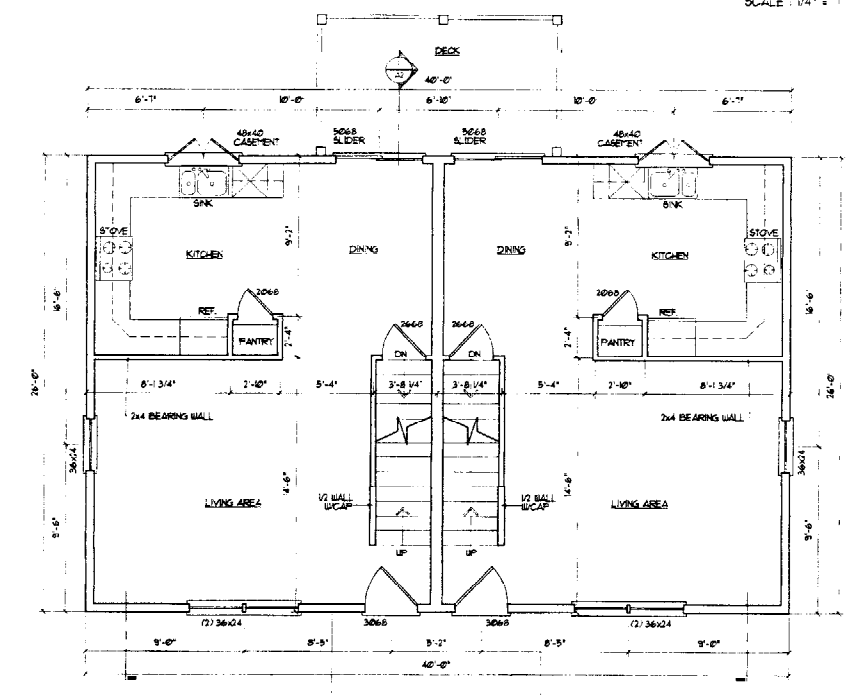
2 PARTY WALL DETAIL 1/2" = 1'-0"



① FOUNDATION DETAIL 1/2" x 1'-0"



SCALE : 1/4" = 1' - 0"



SCALE : 1/4" = 1' - 0"