

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0170

Application I. D. Number

07/02/2001

Application Date

Maggie Ln Lot #18

Project Name/Description

Maggie Lane Development Llc

Applicant

Po Box 10127, Portland , ME 04104

Applicant's Mailing Address

Danny McCarthy

Consultant/Agent

Agent Ph: (207)842-3149 Agent Fax: (207) 892-1383

Applicant or Agent Daytime Telephone, Fax

50 - 50 Maggie Ln , Portland, Maine

Address of Proposed Site

292 A038001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) 26 X 36 Duplex

1872 SqFt

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

DRC Approval Status:

Reviewer Jay Reynolds

- Approved Approved w/Conditions
See Attached Denied

Approval Date 08/06/2001 Approval Expiration 08/06/2002 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 08/06/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|--|---------------------------|--|--------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <u>08/06/2001</u>
date | <u>\$2,000.00</u>
amount | _____
expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____
date | _____
amount | |
| <input type="checkbox"/> Building Permit Issue | _____
date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____
date | _____
remaining balance | _____
signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____
date | <input type="checkbox"/> Conditions (See Attached) | _____
expiration date |
| <input type="checkbox"/> Final Inspection | _____
date | _____
signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____
date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____
date | _____
signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____
submitted date | _____
amount | _____
expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____
date | _____
signature | |

[Click here and type address]

.....

facsimile transmittal

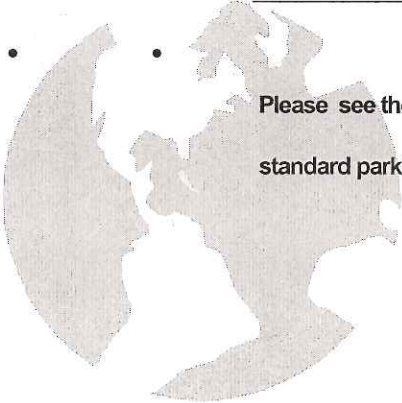
To: Danny McCarthy **Fax:**

From: Jay Reynolds *J.R.* **Date:** 08/03/2001

Re: Driveway Standards **Pages:** 1

CC: Jim Wolf, Doug Reynolds

Urgent For Review Please Comment Please Reply Please Recycle



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Please see the attached copy of the city of Portland technical specifications. Please note that the standard parking space is 9 feet wide by 19 feet long.

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SECTION III -- TRAFFIC DESIGN STANDARDS AND GUIDELINES

completely contained within the facility, and vehicles located within one portion of the facility shall have access to all other portions without using the adjacent street system.

- (h) Off-street truck maneuvering: Where the use of a plot includes a truck loading, parking, or service facility, adequate space shall be provided such that all truck maneuvering is performed off the street.

B. Single and Two-Family (up to 4 spaces)

- (a) Minimum/maximum driveway width: Any site shall have a minimum twelve (12) foot driveway, where multi-units are proposed, a maximum twenty (20) foot driveway will be allowed.
- (b) Location of driveway: Driveways shall be located on the lot in a manner to provide a minimum twenty (20) foot spacing between existing or proposed driveways.

NOTE: Refer to "Guidelines for Driveway Design and Location", Institute of Transportation engineers, 1985 or current, for additional design guidelines (on file in Traffic Department).

C. Ingress Lanes (Slip lanes)

- (a) Ingress left-turn lanes requirements: A twelve (12) foot wide left-turn lane with appropriate storage and transition shall be provided at each driveway where the peak hour inbound left-turn volume is thirty (30) vehicles or more.
- (b) Ingress right-turn lanes: For any site, a twelve (12) foot wide right-turn lane with appropriate storage and transition shall be provided at each driveway where the highway average daily traffic exceeds 10,000 vehicles per day, permitted highway speeds exceed 35 miles per hour, and driveway volume exceeds 1,000 vehicles per day with at least forty (40) right-turn movements during peak periods. For any site, a right-turn lane as described in this subparagraph shall be provided at each driveway where right-turn ingress volumes exceed seventy-five (75) vehicles per peak hour.

3. STANDARDS: Parking Lot/Parking Space Design

- A. Parking space: The standard parking space is 9 feet wide by 19 feet long.
- B. Compact spaces: Any parking lot may be designed with a maximum allowance of 35 percent compact spaces over and above the required minimum number of spaces by the zoning ordinance. The space shall have a minimum design of 7-1/2 feet wide by 15 feet long.
- C. Parking lot layout: Lot layout shall conform to Figures III-1 and III-2.
- D. Aisles: Vehicular access shall be provided by one or more aisles, minimum widths of aisles are outlines in Figures III-1 and III-2.

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

TO: Duane Kline, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: March 16, 2004
SUBJECT: Request for Release of Defect Guarantee
48-50 Maggie Lane Duplex (lot 18)
(ID# 2001-0170) (Lead CBL#292A038)

Please release the escrow account #710-0000-233-26-00 for the duplex at 48-50 Maggie Lane.

Remaining Sum \$ 2,000.00

Approved:




Alexander Jaegerman
Planning Division Director

cc: Sarah Hopkins, Development Review Services Manager
Jay Reynolds, Development Review Coordinator
Todd Merkle, Public Works
Code Enforcement
File

O:\PLAN\CORRESP\DRC\PERFORM\MAGGIELOT18A.DOC

TO: Inspections

FROM: Jay Reynolds, Development Review Coordinator 

DATE: November 27, 2001

RE: C. of O. for # 48-50 Maggie Lane, Lot 18 Duplex
Lead CBL (292A038) ID# (2001-0170)

After visiting # 48-50 Maggie Lane, I have the following comments:

1. Final Grading Incomplete.
2. Landscaping Incomplete.
3. Loam and Seed Incomplete.

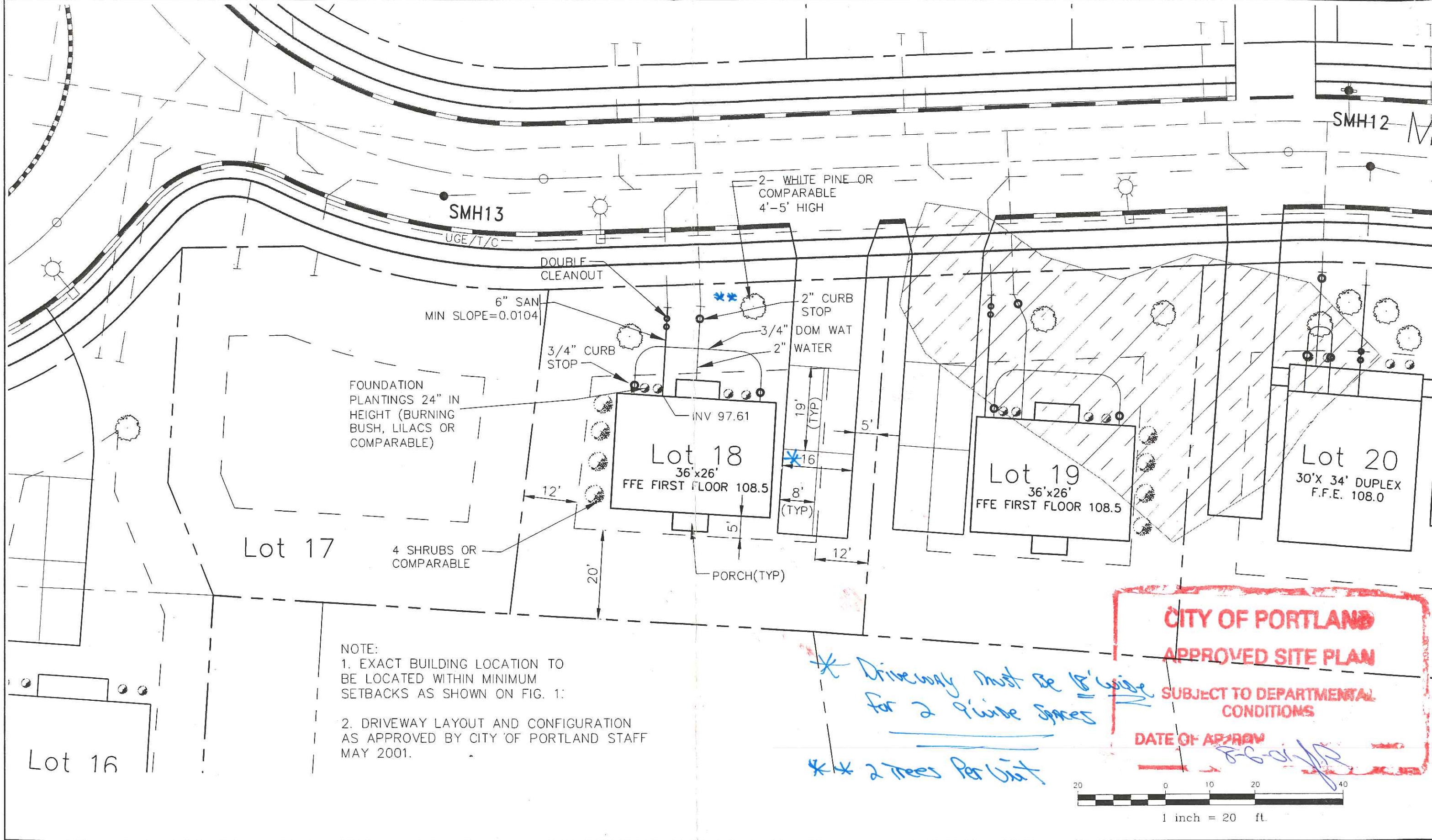
Due to the time of year, it is not possible to complete these items. I would estimate that these items could be completed by **June 1, 2002**. Once these items are addressed and re-inspected, then a permanent Certificate of Occupancy can be issued.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
file

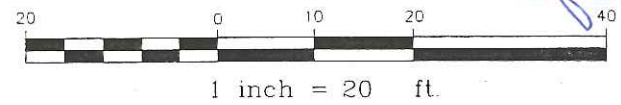
File: O:\drc\maggielot18b.doc



NOTE:
 1. EXACT BUILDING LOCATION TO BE LOCATED WITHIN MINIMUM SETBACKS AS SHOWN ON FIG. 1:
 2. DRIVEWAY LAYOUT AND CONFIGURATION AS APPROVED BY CITY OF PORTLAND STAFF MAY 2001.

CITY OF PORTLAND
APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL CONDITIONS
 DATE OF APPROVAL: 5/6/01

** Driveway must be 18' wide for 2 private spaces*
*** 2 trees per lot*



Rev.	Date	Revision

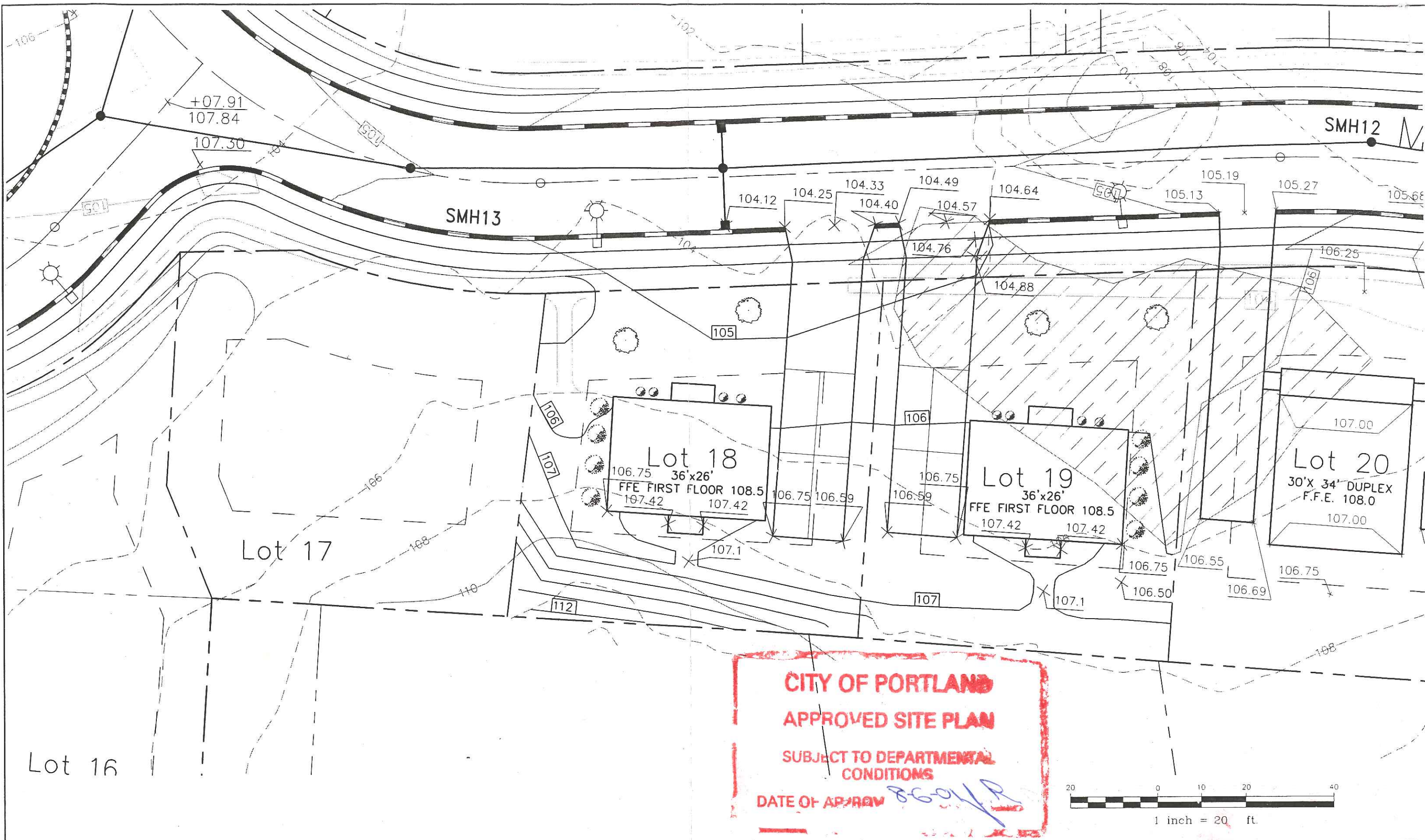
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Draft: RAT	Job No.: 165
Checked: AMP	Scale: 1"=20'
File Name: 99103-ALL-LOTS2.DWG	

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

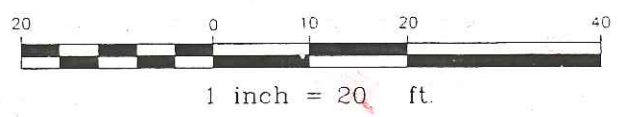
PO Box 1237
 26 Main Street
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: gpcei@maine.rr.com

Drawing Name:	Layout & Utilities Lot 18
Project:	MAGGIE LANE DEVELOPMENT, LLC.

Figure No.
2



CITY OF PORTLAND
APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL
 CONDITIONS
 DATE OF APPROVAL *8/6/01*



Rev.	Date	Revision

Design: DER	Date: JUNE 2001
Draft: RAT	Job No.: 165
Checked: AMP	Scale: 1"=20'
File Name: 99103-ALL-LOTS2.DWG	

Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
 26 Main Street
 Gray, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: gpcei@moine.rr.com

Drawing Name:	Grading & Drainage Lot 18
Project:	MAGGIE LANE DEVELOPMENT, LLC.

Figure No.
3



CITY OF PORTLAND

August 20, 2001

Daniel McCarthy
Custom Built Homes of Maine, Inc.
27 Main Street
Windham, ME 04062

Dear Mr. McCarthy:

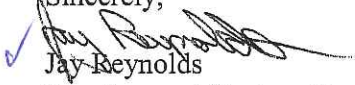
On August 20, 2000, the Portland Planning Authority granted approval for blasting at Maggie Lane Lots 18 and 19.

The approval is based on the request that was submitted (attached letter dated August 1, 2001). Please note the following provision and requirement for all site plan approvals:

1. Prior to blasting, Prior to Blasting, or issuance of a blasting permit, applicant shall submit to the city's planning department the necessary pre-blast information.

If there are any questions, please contact the Planning Staff.

Sincerely,


Jay Reynolds

Development Review Coordinator

cc:

Alexander Jaegerman, Chief Planner
Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspections Services Manager
Penny Littell, Corporation Counsel
Approval Letter File



27 Main Street
Windham, Maine 04062
(207) 892-3149
1-877-892-3149
Fax: (207) 892-1383
E-mail: cbhm@gwi.net

8/1/01

To city of Portland

RE: Lot # 19 Maggie Lane;

Custom Built Homes of Maine has applied for a building permit on said lot as of 8/1/01. Do to us needing to blast on lot # 18, and David Bracket Blasting on lots #17 & #16 we feel that it is in the best interest of everyone involved to do all four lots on the same day to minimize damage. We are requesting permission to blast for the foundation and utilities, before permit is issued. We will stop further excavation at that point until permit has been issued.

Thank You,
Daniel J. McCarthy
Daniel McCarthy

**Department of Planning and Urban Development
SUBDIVISION/SITE DEVELOPMENT**

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: 8/1/01

Name of Project: Maggie Lane

Address/Location: Lot # 18

Developer: Custom Built Homes of ME.

Form of Performance Guarantee: _____

Type of Development: Subdivision X Site Plan (Major/Minor) _____

TO BE FILLED OUT BY THE APPLICANT:

Item	Quantity	PUBLIC		PRIVATE		
		Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road						
Granite Curbing						
Sidewalks						
Esplanades						
Monuments						
Street Lighting						
Street Opening Repairs						
Other						
2. EARTH WORK						
Cut						
Fill						
3. SANITARY SEWER						
Manholes						
Piping						
Connections						
Main Line Piping						
House Sewer Service Piping						
Pump Stations						
Other						
4. WATER MAINS						
5. STORM DRAINAGE						
Manholes						
Catchbasins						
Piping						
Detention Basin						
Stormwater Quality Units						
Other						

6. SITE LIGHTING	_____	_____	_____	_____	_____
7. EROSION CONTROL	_____	_____	_____	_____	_____
Silt Fence	_____	_____	_____	_____	_____
Check Dams	_____	_____	_____	_____	_____
Pipe Inlet/Outlet Protection	_____	_____	_____	_____	_____
Level Lip Spreader	_____	_____	_____	_____	_____
Slope Stabilization	_____	_____	_____	_____	_____
Geotextile	_____	_____	_____	_____	_____
Hay Bale Barriers	_____	_____	_____	_____	_____
Catch Basin Inlet Protection	_____	_____	_____	_____	_____
8. RECREATION AND OPEN SPACE AMENITIES	_____	_____	_____	Trees	Lawn
9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	_____	_____	_____	700	400
10. MISCELLANEOUS	_____	_____	_____	_____	Paving
TOTAL:	_____	_____	_____	2,000	900
GRAND TOTAL:	_____	_____	_____	2,000	_____

INSPECTION FEE (to be filled out by the City)

	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A: 2.0% of totals:	<u>0</u>	<u>300.00</u>	<u>300.00</u>
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____	_____	_____
	(name)	(name)	


SPACE AND BULK REQUIREMENTS – LOT 18

MINIMUM LOT SIZE:	6,000 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	20 FT.
FRONT YARD	
REAR YARD	20 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	12 FT.
2 1/2 STORY	14 FT.
MINIMUM LOT WIDTH:	
OTHER USES	60 FT.

* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

THE SIDE YARDS SHOWN ON THE FOLLOWING FIGURES ARE BASED UPON A 2 STORY STRUCTURE AND MAY BE INCREASED OR DECREASED DEPENDING UPON THE NUMBER OF STORIES.

Design: DER	Date: JUNE 2001
Draft: RAT	Job No.: 165
Checked: AMP	Scale: NONE
File Name: 99103-ALL-LOTS2.DWG	

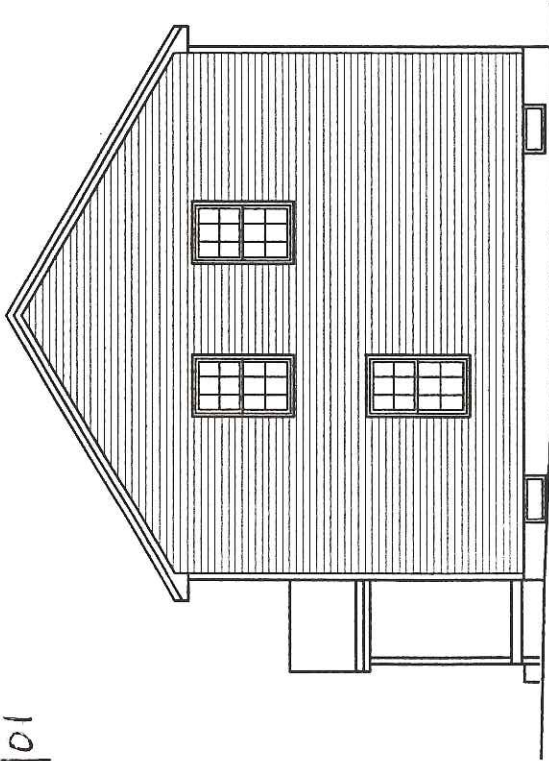
 <i>Traffic and Civil Engineering Services</i>

Drawing Name: Space & Bulk Requirements Lot 18
Project: MAGGIE LANE, PORTLAND

Figure No. 1

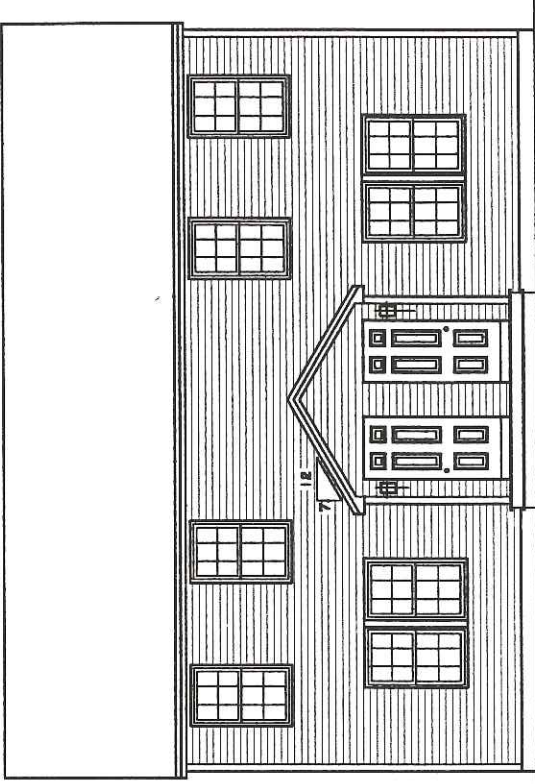
SMITH DUPLEX

6/28/01



RIGHT ELEVATION

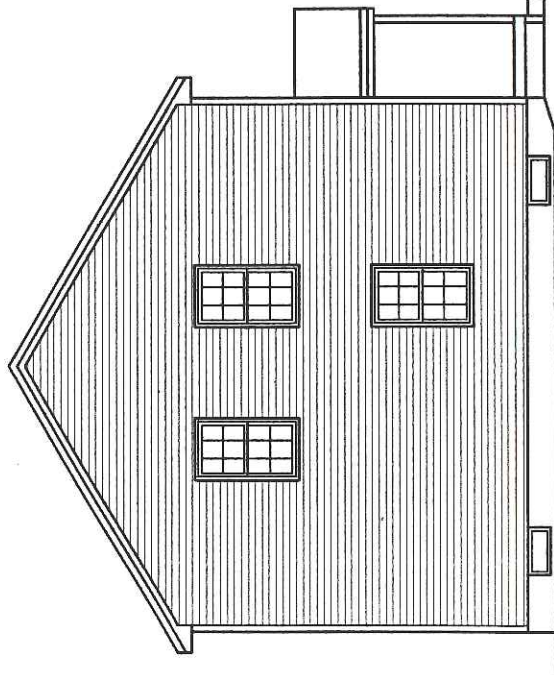
Scale: NTS



F.V. Covered Entry

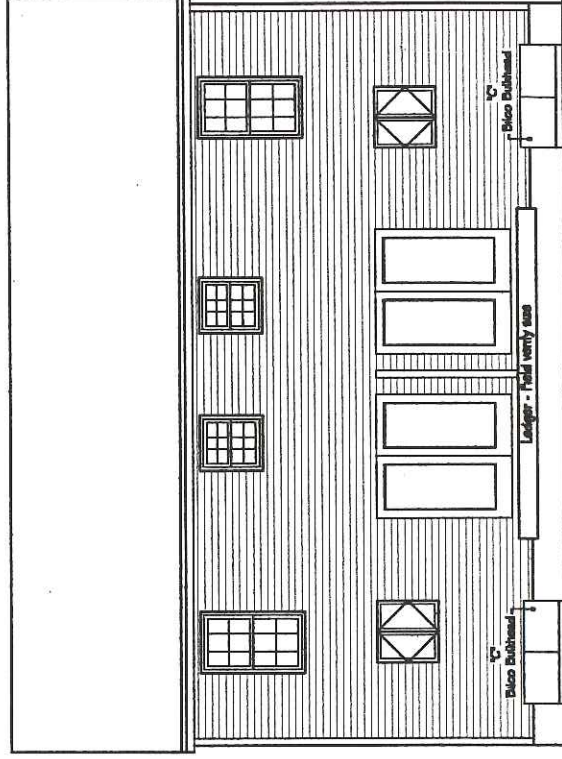
FRONT ELEVATION

Scale: NTS



LEFT ELEVATION

Scale: NTS



Place Bulbhead

Place Bulbhead

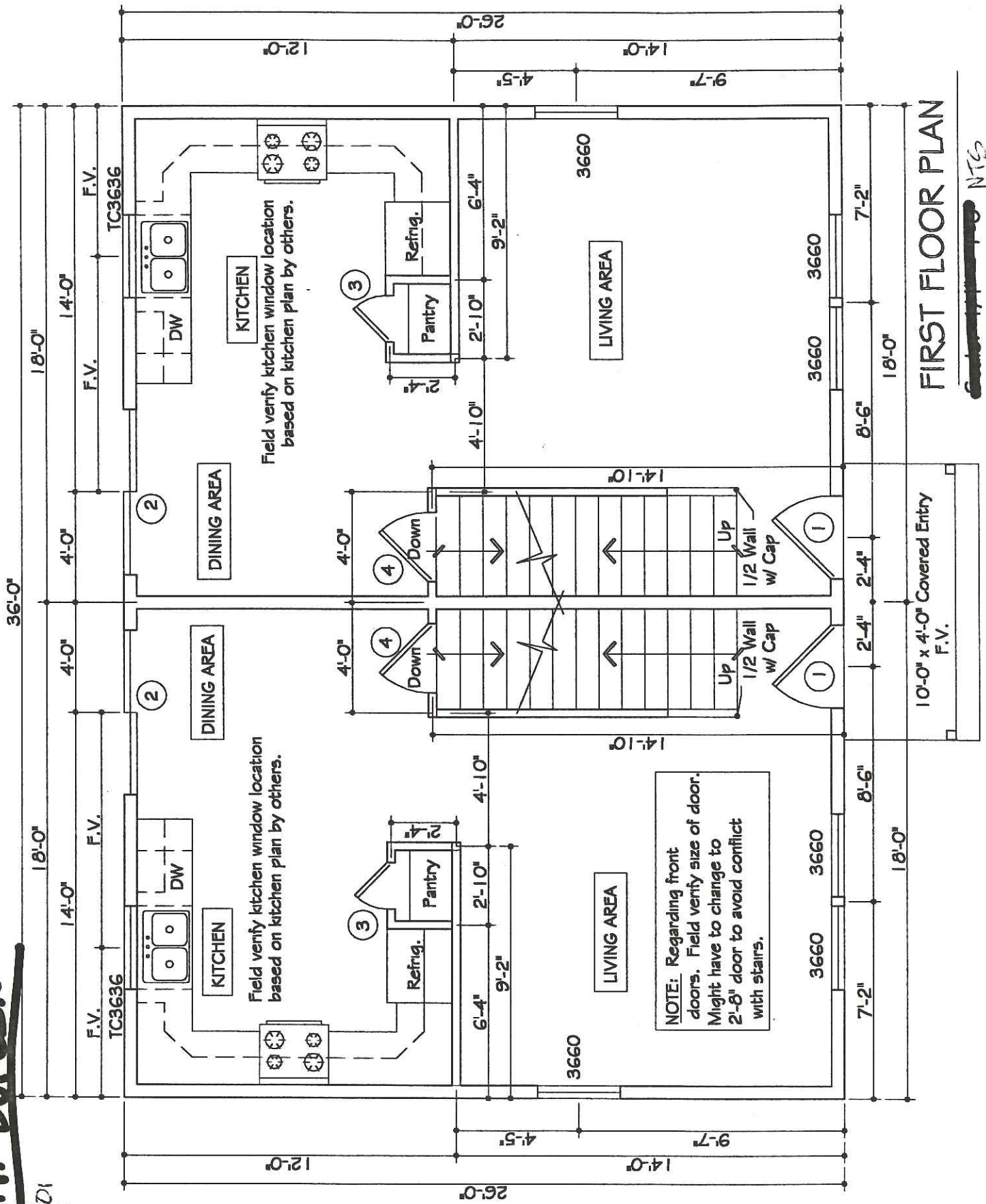
Ledger - Hold vanity case

REAR ELEVATION

Scale: NTS

SMITH DUPLEX

6/28/01

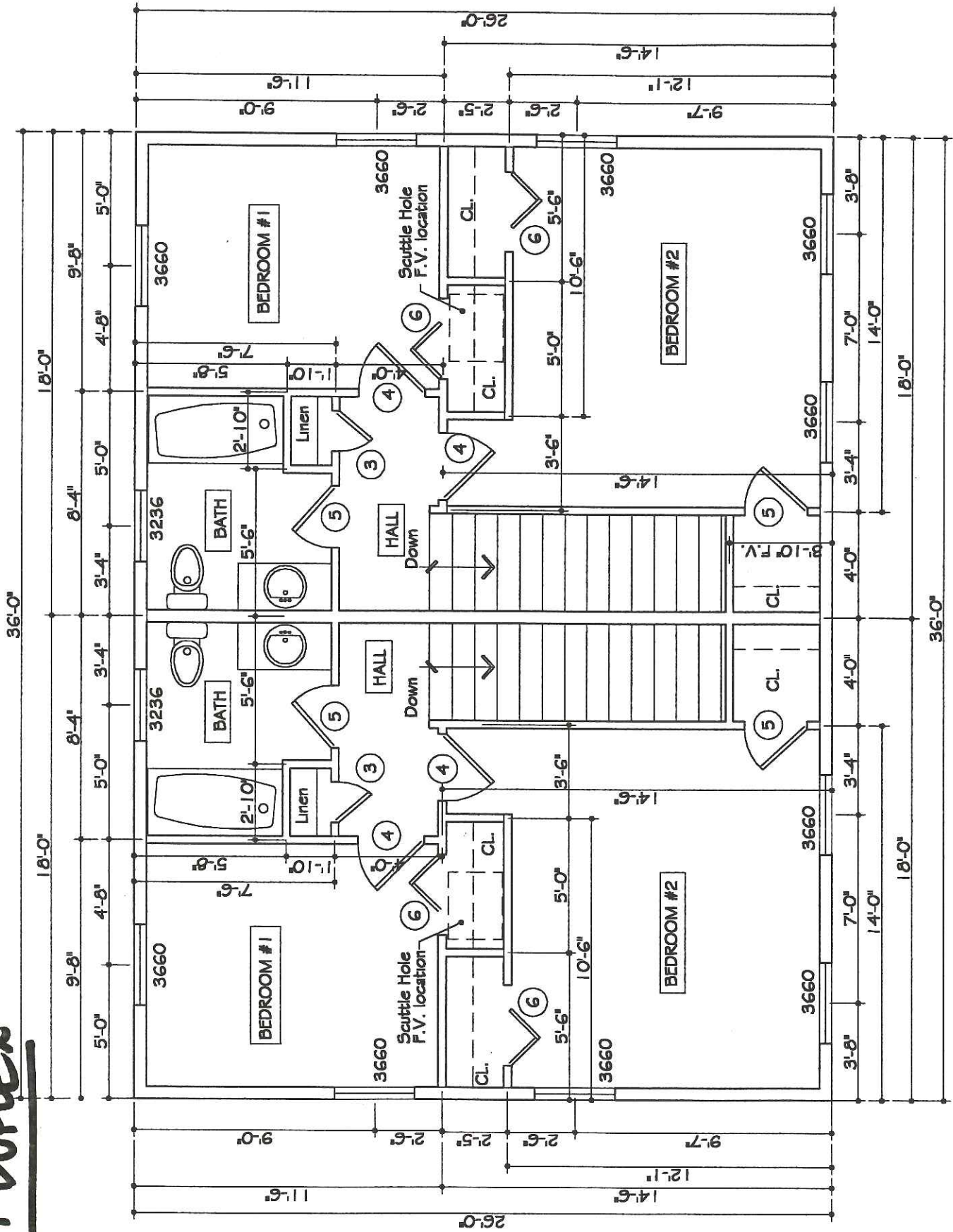


FIRST FLOOR PLAN

NTG

SMITH DUPLEX

6/28/01

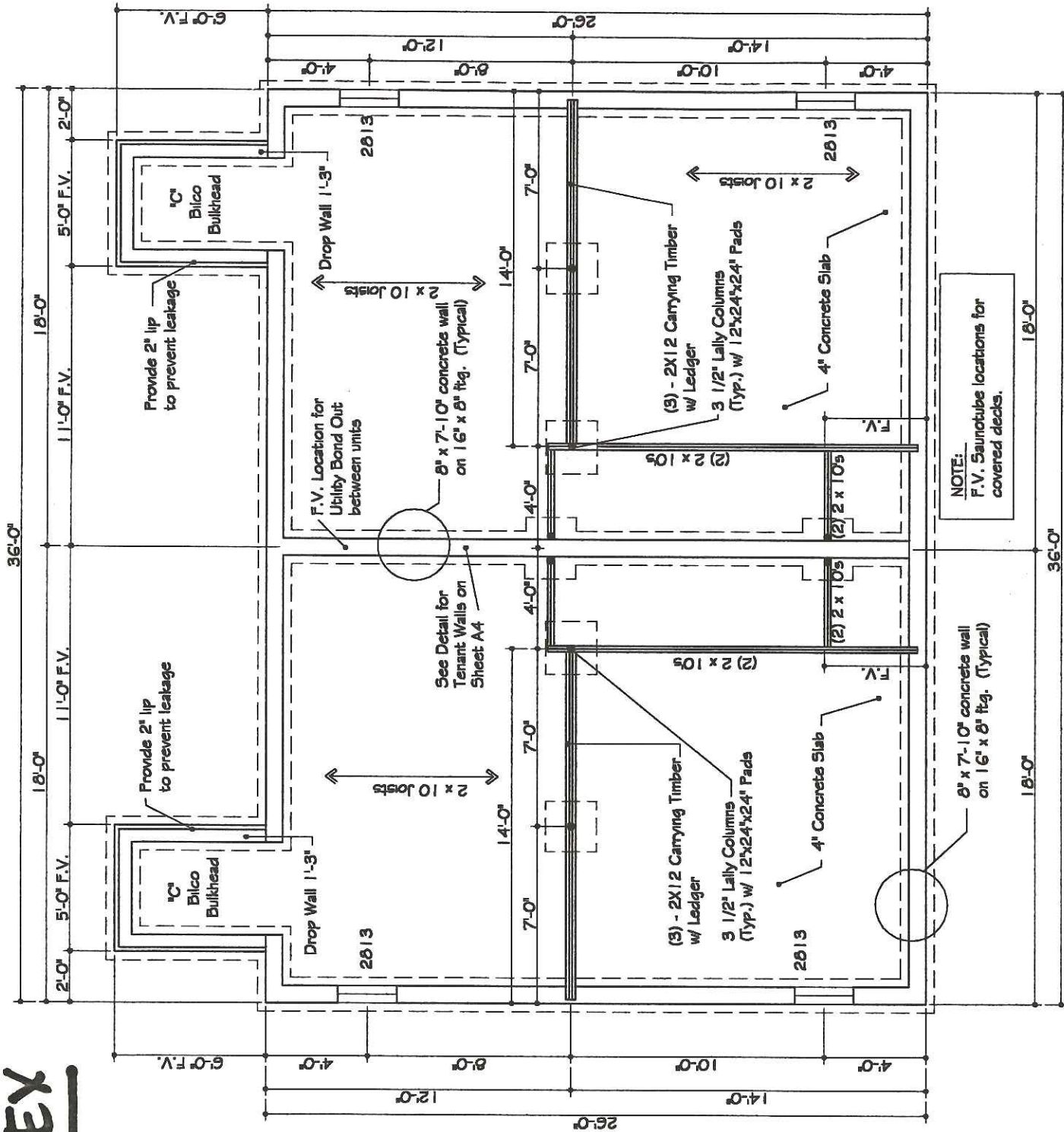


SECOND FLOOR PLAN

NTS

SMITH DUPLEX

6/28/01



NOTE:
F.V. Saunotube locations for covered decks.

FOUNDATION PLAN

NTS

CUSTOM BUILT HOMES OF MAINE, INC.
27 MAIN STREET
WINDHAM, MAINE 04062

12479

52-7451
2112

DATE	INVOICE	AMOUNT

PAY AMOUNT OF Two Thousand Dollars ²⁰ DOLLARS

DATE	GROSS AMT.	ALLOW.	DISC.	CHECK AMOUNT
08-01-01	2000.00			2000.00

TO THE ORDER OF

CITY OF WINDHAM

 Security features included. Details on back.

 NORWAY SAVINGS BANK - NORWAY, MAINE 04268

[Signature]

⑆012479⑆ ⑆21274515⑆0699 0021617⑆

351440-04-01

CUSTOM BUILT HOMES OF MAINE, INC.
27 MAIN STREET
WINDHAM, MAINE 04062

12478

52-7451
2112

DATE	INVOICE	AMOUNT

PAY AMOUNT OF Two Thousand Dollars ²⁰ DOLLARS

DATE	GROSS AMT.	ALLOW.	DISC.	CHECK AMOUNT
8-1-01	2000.00			2000.00

TO THE ORDER OF

CITY OF WINDHAM

 Security features included. Details on back.

 NORWAY SAVINGS BANK - NORWAY, MAINE 04268

[Signature]

⑆012478⑆ ⑆21274515⑆0699 0021617⑆

351440-04-01



27 Main Street
Windham, Maine 04062
(207) 892-3149
1-877-892-3149
Fax: (207) 892-1383
E-mail: cbhm@zwi.net

7/1/01

Custom Built Homes of Maine proposes to build a 26'x36', 2 story duplex on lot # 18 Maggie Lane. Each unit will have 2 bedrooms and 1 bath. Completion date is approximately 120 days after start.