

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that GABOR KORTHY

Located At 1289 FOREST AVE

Job ID: 2012-08-4826-MF 3

CBL: 292- A-006-001

has permission to Build a 20'x25' detached garage on slab, 1 story
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

A handwritten signature in black ink, appearing to read "Jamie Bouke".

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-08-4826-MF 3

Located At: 1289 FOREST AVE

CBL: 292- A-006-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.
3. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
4. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.

Building

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans, including:
 - Eave height on a slab is a maximum of 10', showing 12', will be corrected
 - Garage door header will be a minimum of 2-2x12
 - There are no ceiling joists at this time, the rafter ties are required in the lower 1/4 of the attic with 2x8 rafters
 - Braced wall panels are required per the APA recommendations for portal frame bracing without hold down devices, attachment included
 - A minimum 1/2" J-bolt anchors shall be installed 6' OC, 12" from ends through the CMU perimeter block, and the slab will be anchored to the filled block with rebar at the same frequency
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-08-4826-MF 3	Date Applied: 8/28/2012	CBL: 292- A-006-001	
Location of Construction: 1289 FOREST AVE	Owner Name: GABOR KORTHY	Owner Address: 1289 FOREST AVE PORTLAND, ME 04103	Phone: 318-5406
Business Name:	Contractor Name: Matthew Higgins	Contractor Address: 248 Old Alfred Road, Arundel, ME 04046	Phone: 332-5942
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG	Zone: R-5
Past Use: Three (3) Family Dwelling	Proposed Use: Same: three family dwelling – to construct 20' x 25' 2-car detached garage	Cost of Work: \$8,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A Signature: <i>JMB</i>	Inspection: Use Group: R-2 Type: 5B MURBER Signature: <i>JMB</i> 9/28/12
Proposed Project Description: new 20' x 25' two car garage		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> S/MM</p> <p>Date: <i>OK - with conditions</i> <i>8/28/12</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

2012 08 4826 66



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted. **F-5**

Location/Address of Construction: <u>1289 Forest Ave</u>		
Total Square Footage of Proposed Structure/Area <u>500</u>	Square Footage of Lot <u>21,332[#]</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>292</u> Block# <u>A 006</u> Lot# <u>005</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Gabor KORTHY</u> Address <u>1289 Forest Ave</u> City, State & Zip <u>Portland ME 04103</u>	Telephone: <u>207-318-5406</u>
Lessee/DBA (If Applicable) RECEIVED AUG 28 2012 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>8,000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>3 unit 3 legal Duplex Manufacture</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>2 car garage</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>20' x 25' 2 car garage on a 545</u>		
Contractor's name: <u>Mathew Higgins</u> Address: <u>248 Old Alfred Rd</u> City, State & Zip: <u>Arundel, ME 04096</u> Telephone: <u>207-332-5442</u> Who should we contact when the permit is ready: <u>Gabor Korthy 207-318-5406</u> Telephone: Mailing address: <u>1289 Forest Ave Portland, ME 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8/28/12

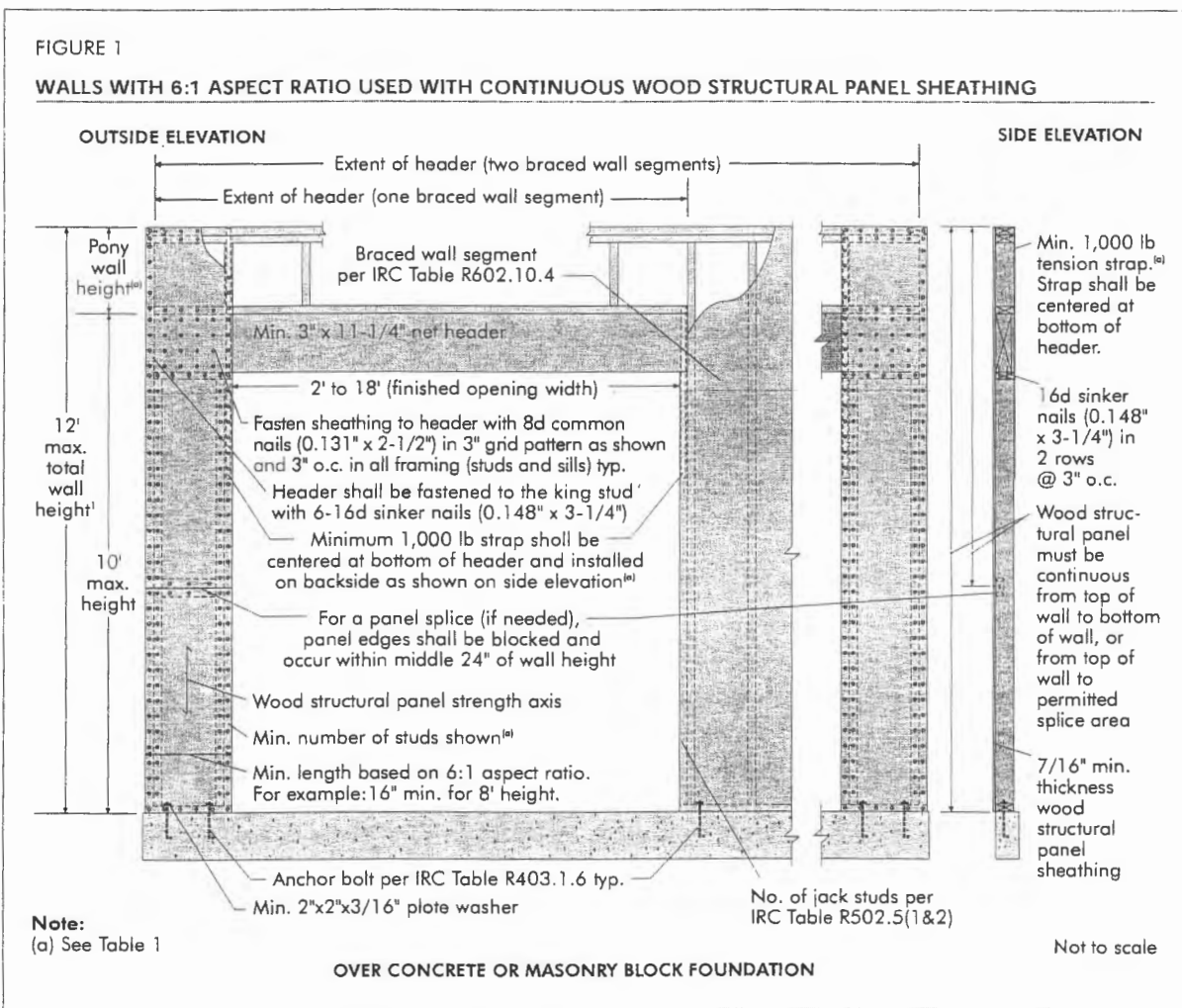
This is not a permit; you may not commence ANY work until the permit is issue

APA RECOMMENDATIONS

Wall segments having a maximum 6:1 aspect ratio shall be permitted to be built in accordance with Figures 1–3 and Table 1. The maximum 6:1 aspect ratio is based on height being measured from the top of the header to the bottom of the wall segment bottom plate.

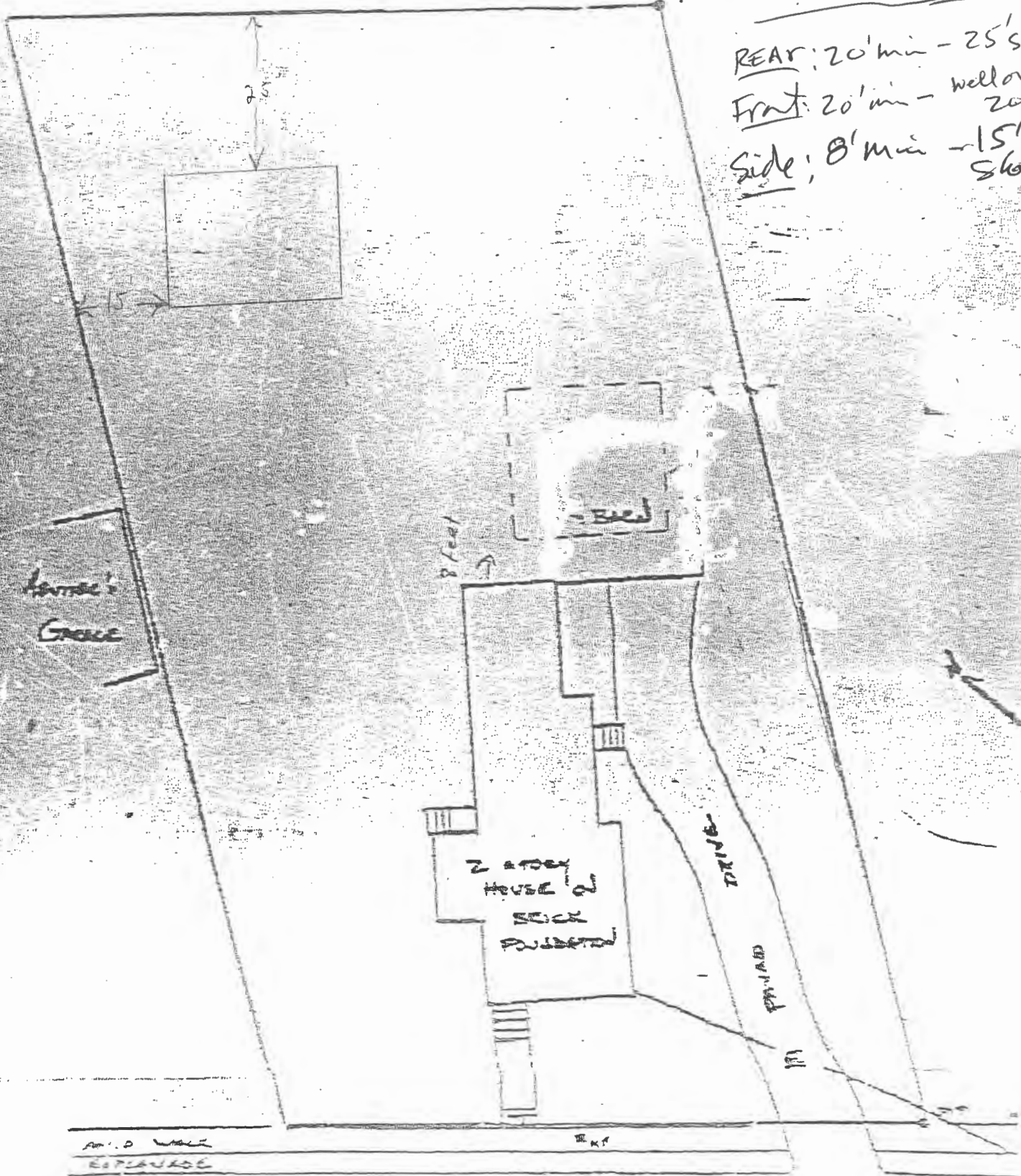
For purposes of calculating the percentage of bracing present in the braced wall line, i.e., per 2006 IRC Table R602.10.1, the width of the full height sheathing segment shall be equal to its measured width. For example, a portal frame without hold downs with a 16-inch-wide wall segment is counted as 16 inches of bracing.

If applicable, the bracing amount reduction factors (0.8 or 0.9 from 2006 IRC Section R602.105) for continuously sheathed braced walls next to given openings shall be applied when calculating the total amount of wall bracing required for the entire braced wall line.



R.S. Zone

REAR: 20' min - 25' show
FRONT: 20' min - well over 20'
SIDE: 8' min - 15' show



Scale 1/4" = 5'



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Receipts Details:

Tender Information: Check , BusinessName: Nos-Pro, Check Number: 1728
Tender Amount: 100.00

Receipt Header:

Cashier Id: gguertin
Receipt Date: 8/28/2012
Receipt Number: 47625

Receipt Details:

Referance ID:	7816	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	100.00	Charge Amount:	100.00
Job ID: Job ID: 2012-08-4826-MF 3 - new 20' x 25' two car garage			
Additional Comments: 1289 Forest, Nos-pro			

Thank You for your Payment!

Administrative Authorization Decision

Name: Kathy Gabor
Address: 1289 Forest Avenue
Project Description: 2 car garage – Construct free standing wood frame 20' X 25' garage on a slab

Criteria for an Administrative Authorizations:
(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

a) Is the proposal within existing structures?	N	N
b) Are there any new buildings, additions, or demolitions?	Y	Y
c) Is the footprint increase less than 500 sq. ft.?	Y	Y
d) Are there any new curb cuts, driveways or parking areas?	N	N
e) Are the curbs and sidewalks in sound condition?	N/A	N/A
f) Do the curbs and sidewalks comply with ADA?	N/A	N/A
g) Is there any additional parking?	N/A	N/A
h) Is there an increase in traffic?	N/A	N/A
i) Are there any known stormwater problems?	N	N
j) Does sufficient property screening exist?	Y	Y
k) Are there adequate utilities?	Y	Y
l) Are there any zoning violations?	N	N
m) Is an emergency generator located to minimize noise?	N/A	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	N	N

I called Matthew Higgins on 9/6/2012 regarding whether any other site improvements were being proposed. He stated that the garage would be located just off the existing pavement in the rear of the lot and only a ramp to the entrance will be installed.

The Administrative Authorization for the two car garage at 1289 Forest Avenue was approved by Barbara Barhydt, Development Review Services Manager on September 6, 2012 with the following condition of approval listed below:

1. **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.



Barbara Barhydt
Development Review Services Manager
Date of Approval: September 6, 2012



2012-582

Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME:

2 car garage

2012 084826

PROJECT ADDRESS:

1289 Forest Ave

CHART/BLOCK/LOT:

292-A-6-

APPLICATION FEE:

50 (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Construct free standing wood frame 20'x25' garage on a slab

CONTACT INFORMATION:

OWNER/APPLICANT

Name:

Gabor Karthy

Address:

1289 Forest Ave
Portland, ME 04103

Work #:

Cell #:

207-318-5706

Fax #:

Home #:

E-mail:

henderson1966@aol.com

CONSULTANT/AGENT

Name:

Matthew Higgins

Address:

248 Old Africa Rd
Portland, ME 04106

Work #:

207-332-5992

Cell #:

Fax #:

Home #:

E-mail:

Criteria for an Administrative Authorization:

(see section 14-523(4) on pg .2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

Applicant's Assessment
Y(yes), N(no), N/A

N
Y
Y
N
NA
NA
NA
NA
N
Y
Y
N
NA
N

RECEIVED AUG 27 2012

Signature of Applicant:

Date:

8/20/12

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.



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Receipts Details:

Tender Information: Check , BusinessName: NOS-PRO, Check Number: 1729

Tender Amount: 50.00

Receipt Header:

Cashier Id: ldobson

Receipt Date: 8/28/2012

Receipt Number: 47652

Receipt Details:

Referance ID:	1752	Fee Type:	PEZ-ADAUTH
Receipt Number:	0	Payment Date:	
Transaction Amount:	50.00	Charge Amount:	50.00
Job ID: Project ID: 2012-582 - 1289 Forest Ave.; 20' x 25' Garage			
Additional Comments: 1729			

Thank You for your Payment!



3700

292 A023

7077

1315

7077

292 A003

30893

292 A039
44

6027

1326 14

1326 16

16 15

1320

1303

292 A004

292 A005

FOREST AVE

15720

292 D003

1314

11652

292 A00

21332

292 D004

13295

1295

1312

1300 9

1300 10

1300 8

1300 7

1300 11

1300 12

1300 6

1300 5

292 D005

1300 13

82963

1300 4

1300 14

1300 1

1300 3

1300 15

1300 17

1300 2

1286

66c
1300
0061

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

CBL 292 A006001
Land Use Type THREE FAMILY
Property Location 1289 FOREST AVE
Owner Information KORTHY GABOR
 1289 FOREST AVE
 PORTLAND ME 04103
Book and Page 29459/020
Legal Description 292-A-6
 FOREST AVE 1285-1291

Current Assessed Valuation:

TAX ACCT NO. 32474 **OWNER OF RECORD AS OF APRIL 2012**
 KORTHY GABOR
LAND VALUE \$75,100.00 1289 FOREST AVE
BUILDING VALUE \$160,700.00 PORTLAND ME 04103
NET TAXABLE - REAL ESTATE \$235,800.00
TAX AMOUNT \$4,437.76

browse city services a-z

browse facts and links a-z

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](mailto:).

Building Information:



Building 1
Year Built 1885
Style/Structure Type OLD STYLE
Stories 1.5
Units 3
Bedrooms 6
Full Baths 3
Total Rooms 10
Attic NONE
Basement FULL
Square Feet 1774

[View Sketch](#) [View Map](#) [View Picture](#)



Best viewed at 800x600, with Internet Explorer

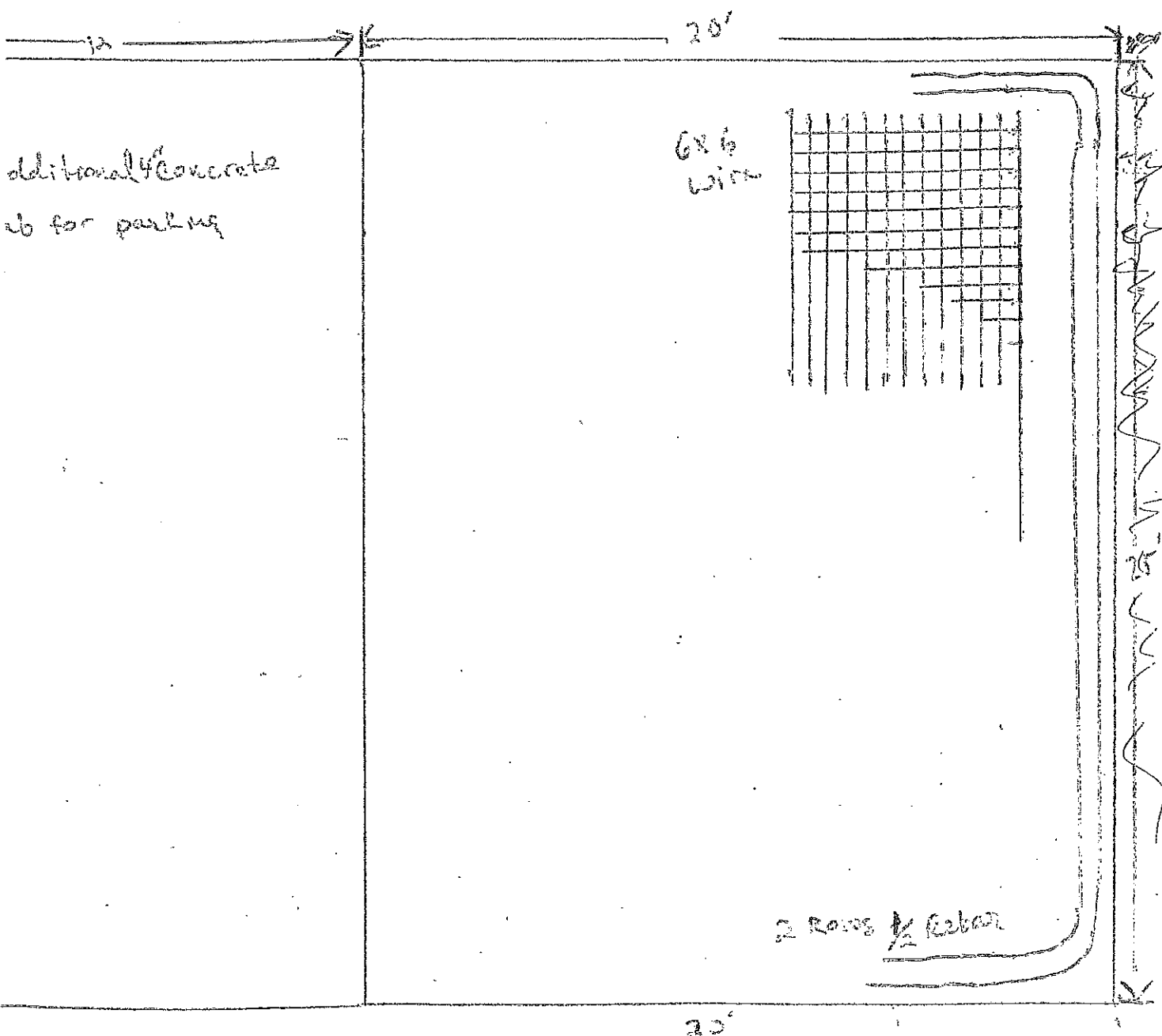
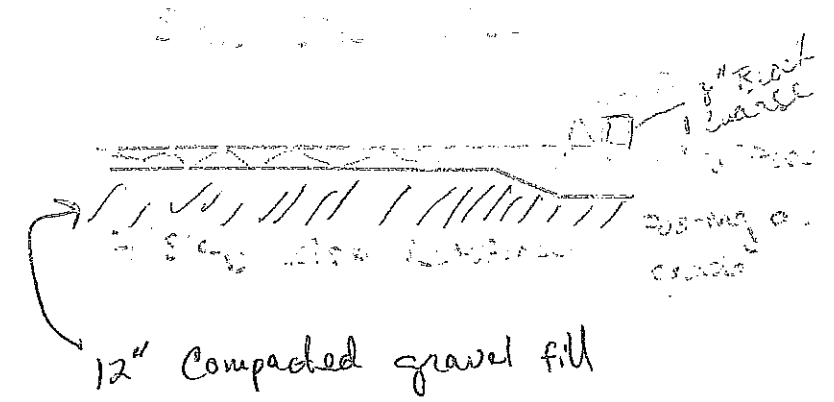
Sales Information:

Sale Date	Type	Price	Book/Page
3/28/2012	LAND + BUILDING	\$0.00	29459/020
6/5/2006	LAND + BUILDING	\$183,000.00	24033/17
6/1/2003	LAND + BUILDING	\$253,000.00	19647/310
3/5/1992	LAND + BUILDING	\$0.00	9940/127
5/28/1991	LAND + BUILDING	\$0.00	9580/286

[New Search!](#)



Foundation/Slab plan



3/4" Crushed stone
Drip line
Grade sloping from
Building

Property
line

Existing parking area
Paved/Grout

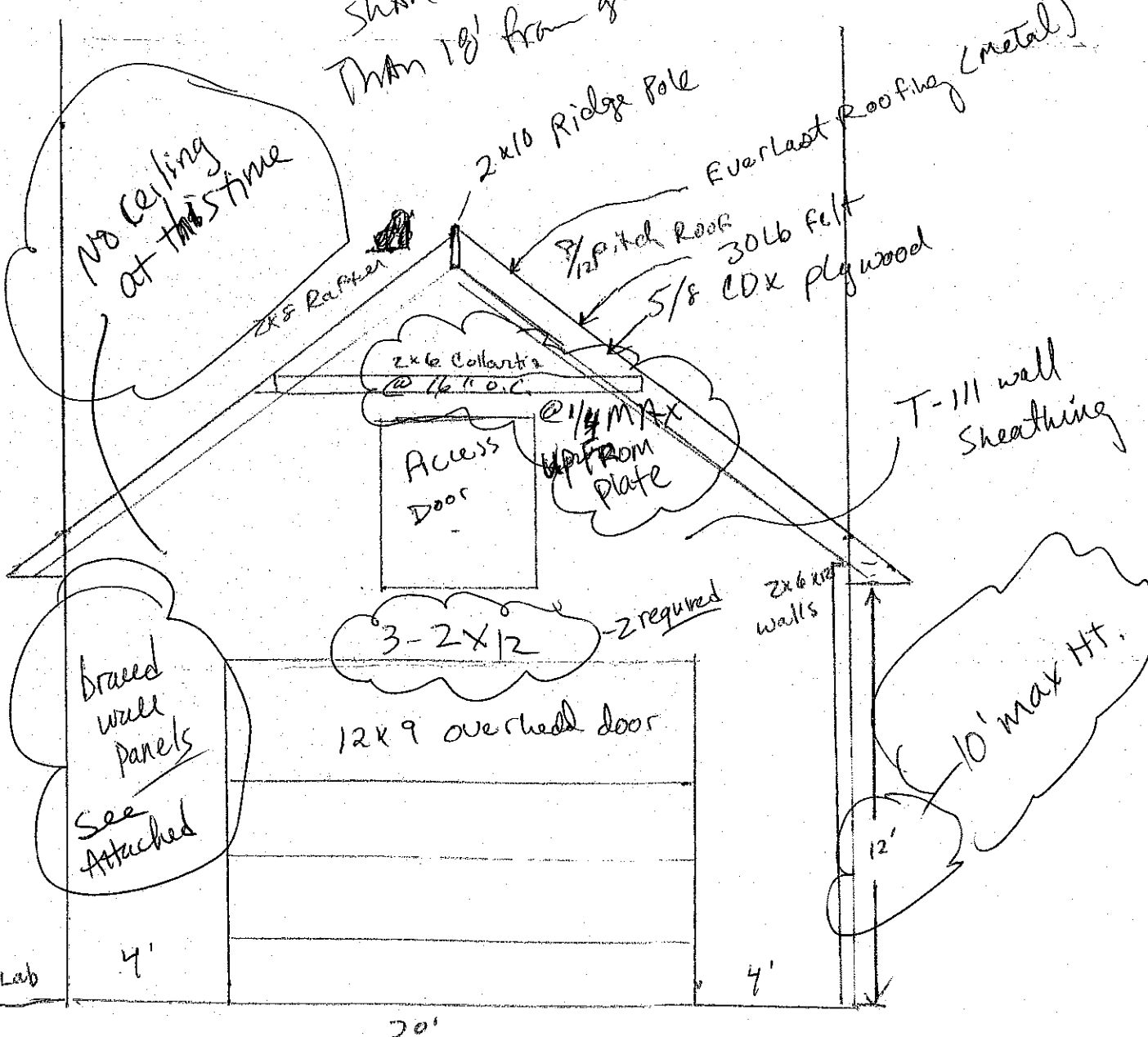
Scale 1/4" = 1'-0"

201-732-5712

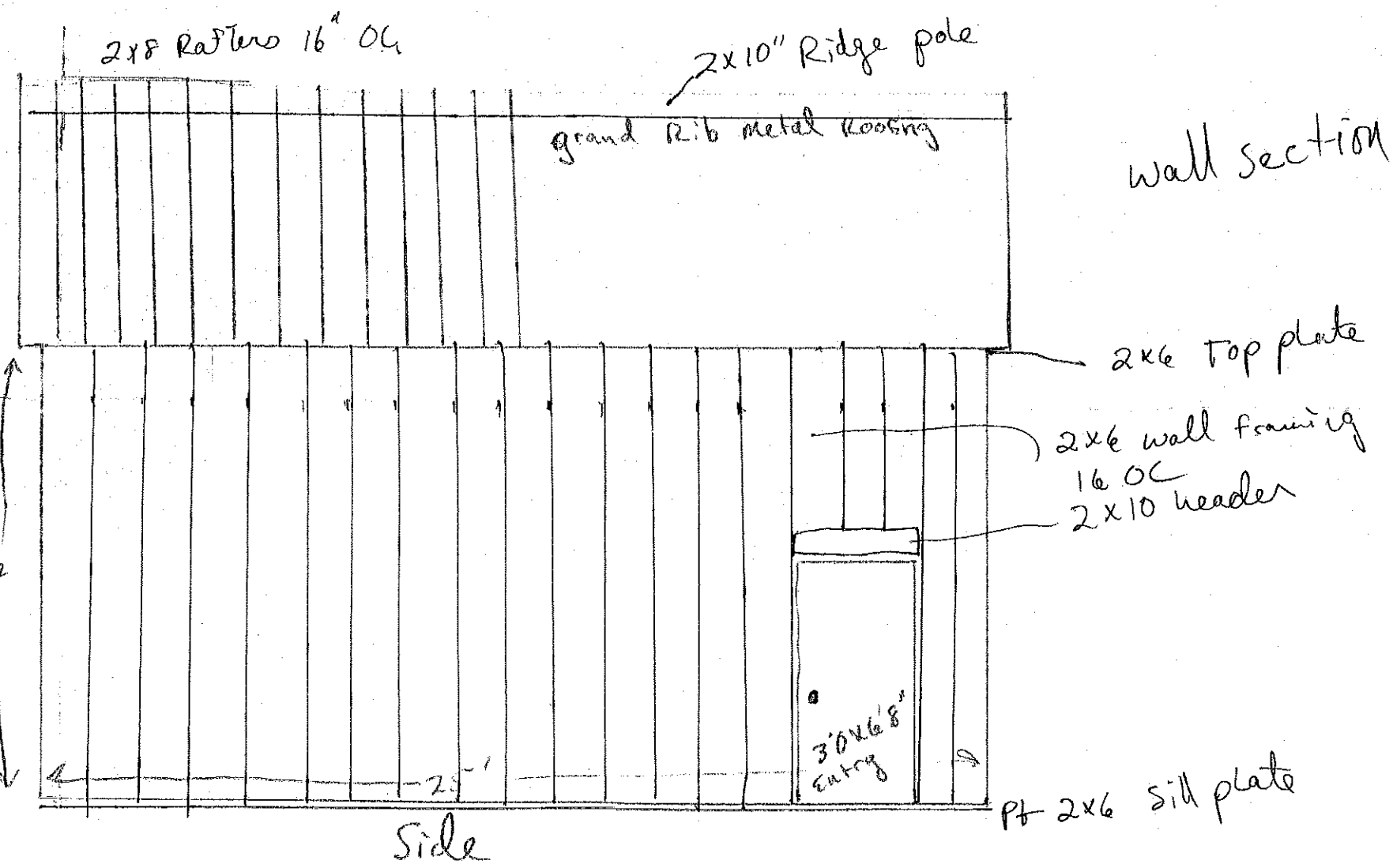
205 old road
Pavement, the
slab

9/21/12
 Notes per tel con
 w/ Matthew H.

shall be not be higher
 than 18' from grade to mid point



Framing Plan



No ceiling
 at this time

3-2x12
 2 required
 12x9 overhead door

T-111 wall
 Sheathing

10' max Ht.

wall section

FRONT

Side

Slab

4'

20'

4'

12'

12'

25'

3'0x6'8\"/>
 Entry

Pt 2x6 sill plate

2x6 Top plate
 2x6 wall framing
 16 OC
 2x10 header

2x8 Rafters 16\"/>
 OC

2x10\"/>
 Ridge pole

Grand Rib metal Roofing

2x6 Collar ties
 @ 16\"/>
 O.C.

Access
 Door
 @ 1/4\"/>
 MAX
 UP FROM
 Plate

1/4\"/>
 MAX
 UP FROM
 Plate

2x6 x12
 walls

2 required

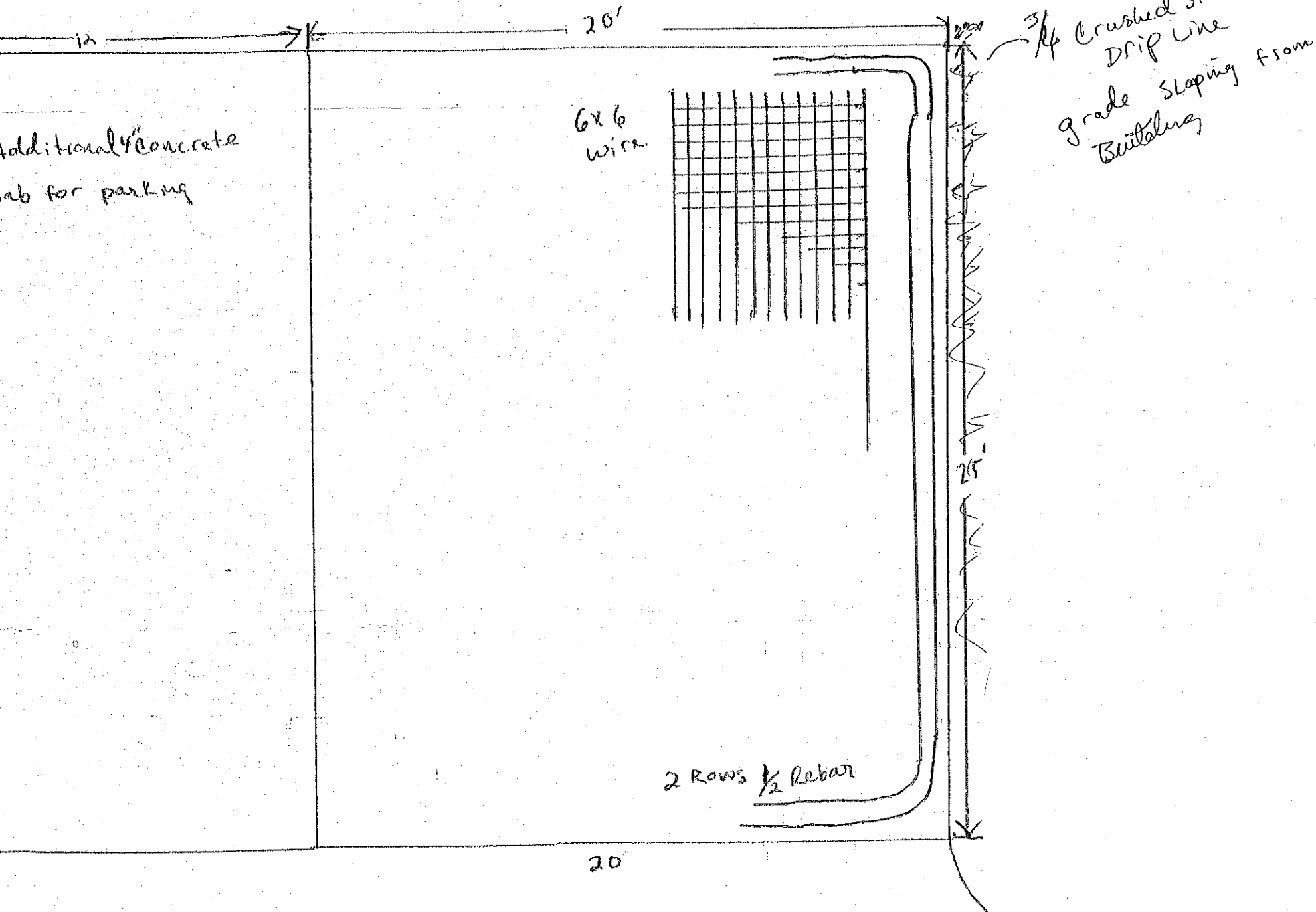
12'

12'

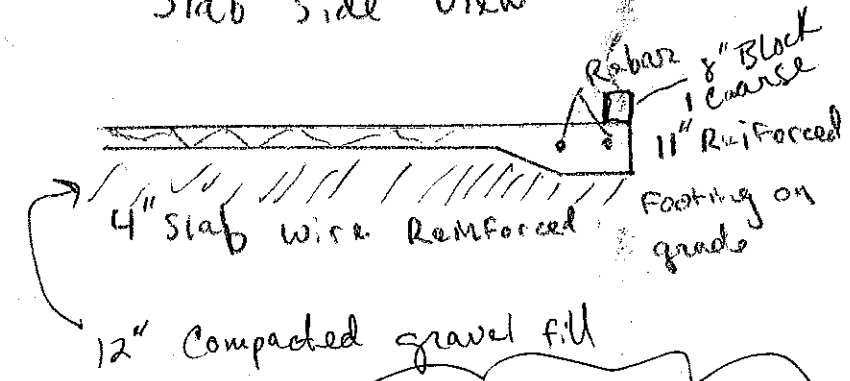
Pt 2x6 sill plate

Property line

Foundation/Slab plan



Slab side view



1/2" Bolt @ 6' oc.
@ 12" oc corners
Embedded into slab
and CMU perimeter
block with rebar
extension

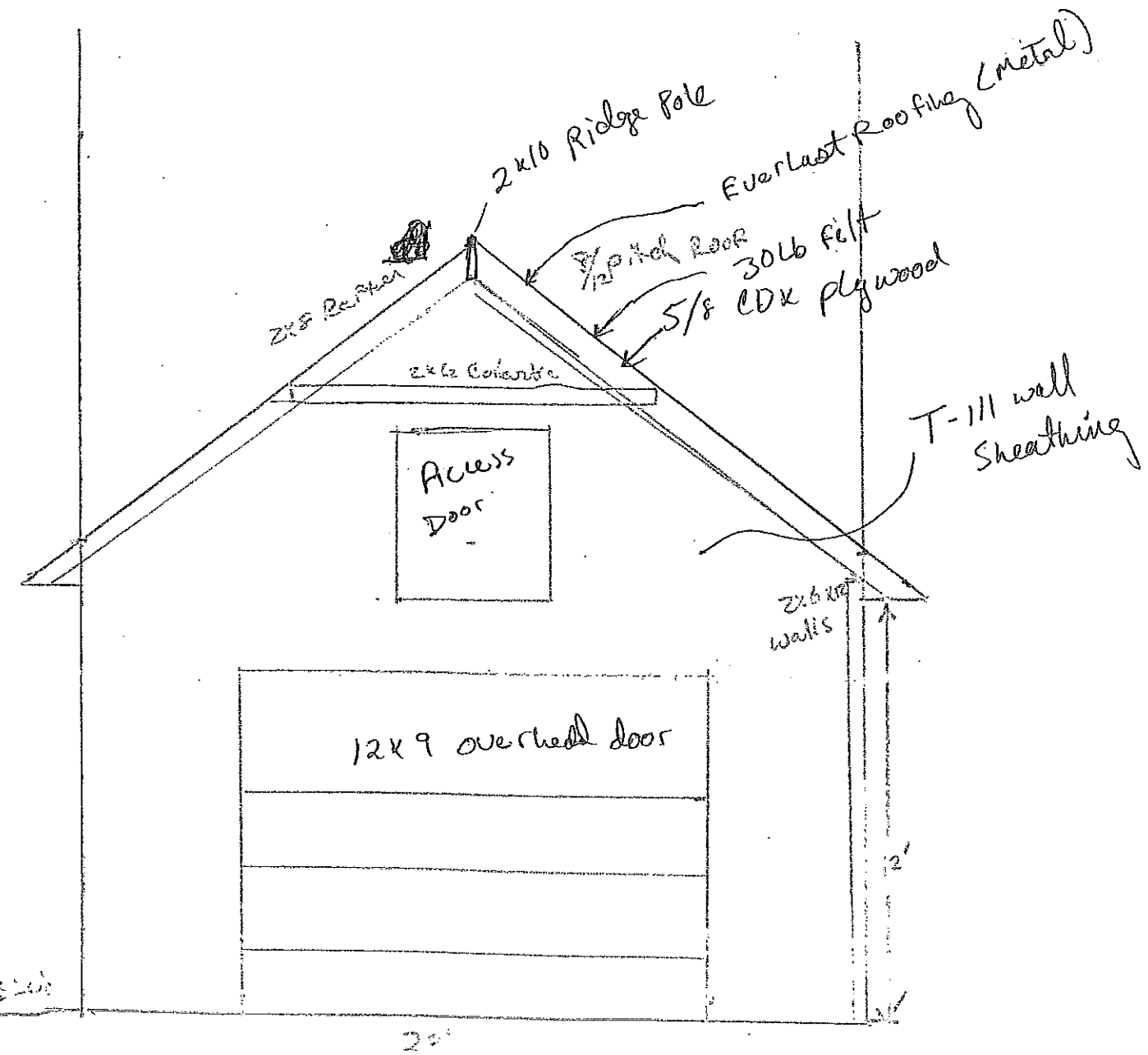
Property line

Scale 1/4" = 1 FT

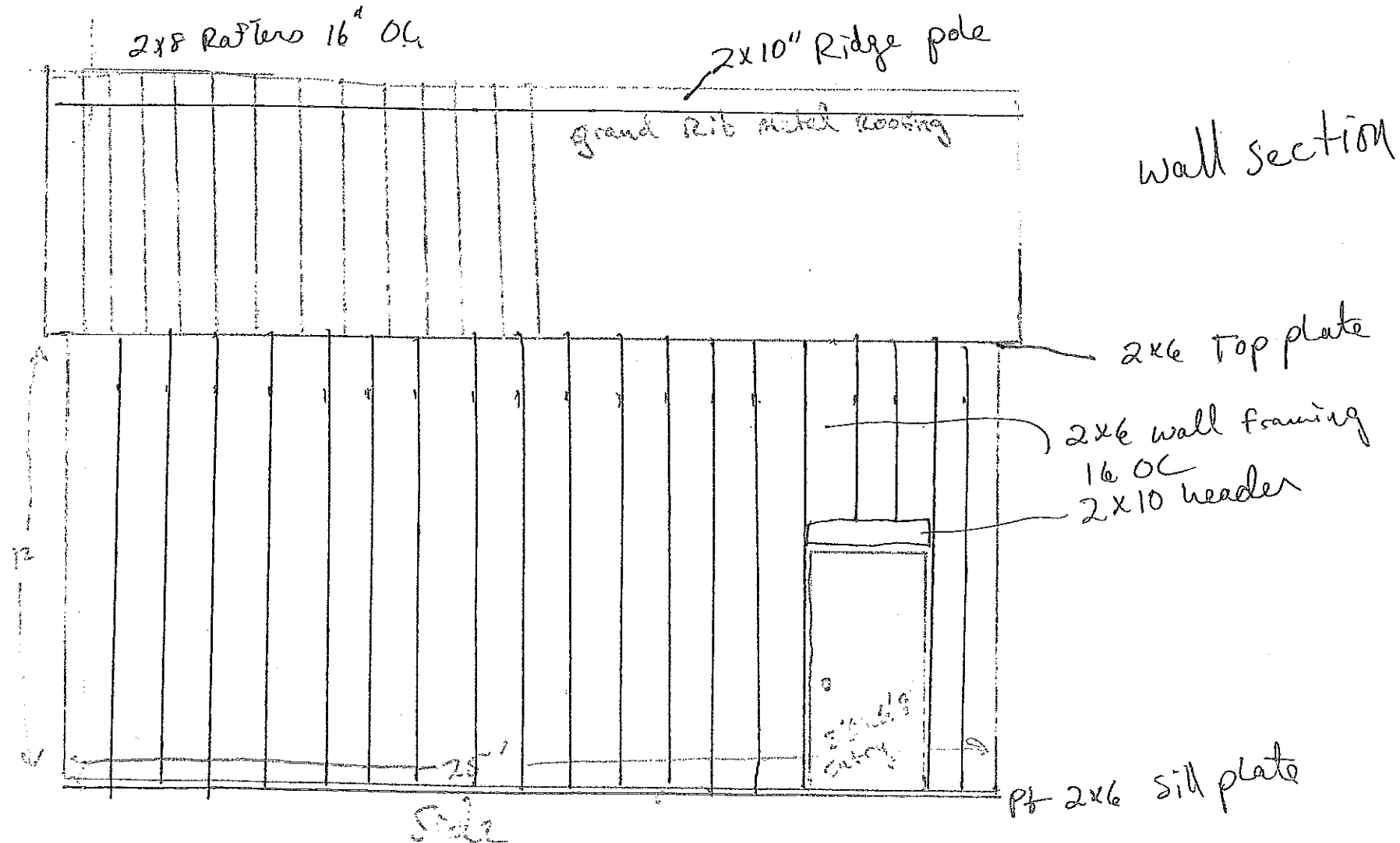
Matthew Higgins

245 old Alford Rd.
Arlundel, ME

Framing Plan



Front



Side