

Permit No: **90506**

PERMIT ISSUED
MAY 21 1999
CITY OF PORTLAND

Zone: **CBL** CBL: 286-A-022

Zoning Approval: *5/17/99*

Special Zone or Reviews:
 Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT 3

Location of Construction: **20 Ladlow Terrace 04102**
 Owner: **Bethany M. Williams**
 Phone: **828-5961 work**
775-0045 home

Lessee/Buyer's Name: _____
 Business Name: _____
 Phone: _____

Contractor Name: **CSA Carpentry**
 Address: **35 Depot Street Windham, ME 04062**
 Phone: **893-2344**

Past Use: **1-Family**

Proposed Use: **Same**

COST OF WORK:
 \$ **2,500**

PERMIT FEE:
 \$ **35.00**

FIRE DEPT. Approved Denied
 Signature: _____
 Use Group: **A3** Type: **5/3**

PEDESTRIAN ACTIVITIES DISTRICT (PAD.)
 Signature: _____
 Action: Approved Approved with Conditions Denied

Signature: _____ Date: _____

Permit Taken By: **UB** Date Applied For: **5-17-99**

Proposed Project Description:
Build a 16 x 20 deck.

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
 2. Building permits do not include plumbing, septic or electrical work.
 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

PERMIT ISSUED
WITH REQUIREMENTS

SIGNATURE OF APPLICANT _____ DATE: **5-17-99** ADDRESS: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

COMMENTS

59599 Drill Reconstruct meets w/ owner
as he will call when holes
set deep for some tubes (mm)

7/199 Deck completed should
framing & wiring ready wiring completed
at 9:00

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

ALL DATA TAKEN FROM
BOUNDARY SURVEY BY
NADEAU & LODGE, INC
DECEMBER 19, 1997

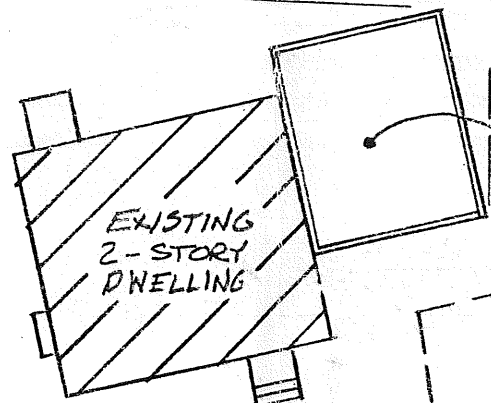
SET #5 STEEL REBAR
N/SURVEY CAP #2124

FOUND 5/8" IRON PIPE
(LOOSE & BENT)

25' req on rear
14' req on side
25' req on front

N/F
REESE

PROPOSED
18' x 22'
TWO-STORY
ADDITION



$N68^{\circ}-25'-48''E$

192.38'

APPROX 35'

TOP OF BANK

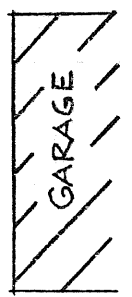
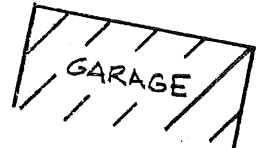
APPROX. 40'

143.80

$S24^{\circ}-17'-24''E$

$N71^{\circ}-22'-49''W$

158.20'



FOUND 1" IRON PIPE

$S65^{\circ}-42'-36''W$
4.96' (TOTAL)

FOUND 1" IRON PIPE

EDGE OF PAVEMENT

LUDLOW TERRACE

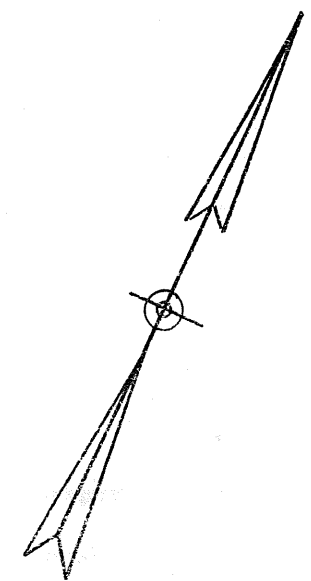
N/F
CARP

136

SHED

137

138



MAGNETIC NORTH 1997

PROPOSED FUSCO ADDITION 31 LUDLOW TERRACE PORTLAND, MAINE	
SCALE 1" = 20'	APRIL 25, 1999
MAINE STATE BUILDERS INC.	SITE PLAN

FOUND 1"
IRON PIPE

LUDLOW STREET

PLAN REFERENCES:

1. "PLAN OF PROPERTY LOCATED IN LONGFELLOW WOODS, SEC. E, MADE FOR THE MINAT CORP.", DATED MAY 1962 BY CARL E. EMERY, REGISTERED CIVIL ENGINEER. RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 61, PG. 29.
2. "PLAN OF PROPERTY LOCATED IN LONGFELLOW WOODS, SEC. F, MADE FOR THE MINAT CORP.", DATED JULY 1963 BY CARL E. EMERY, REGISTERED CIVIL ENGINEER. RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 65, PG. 72.

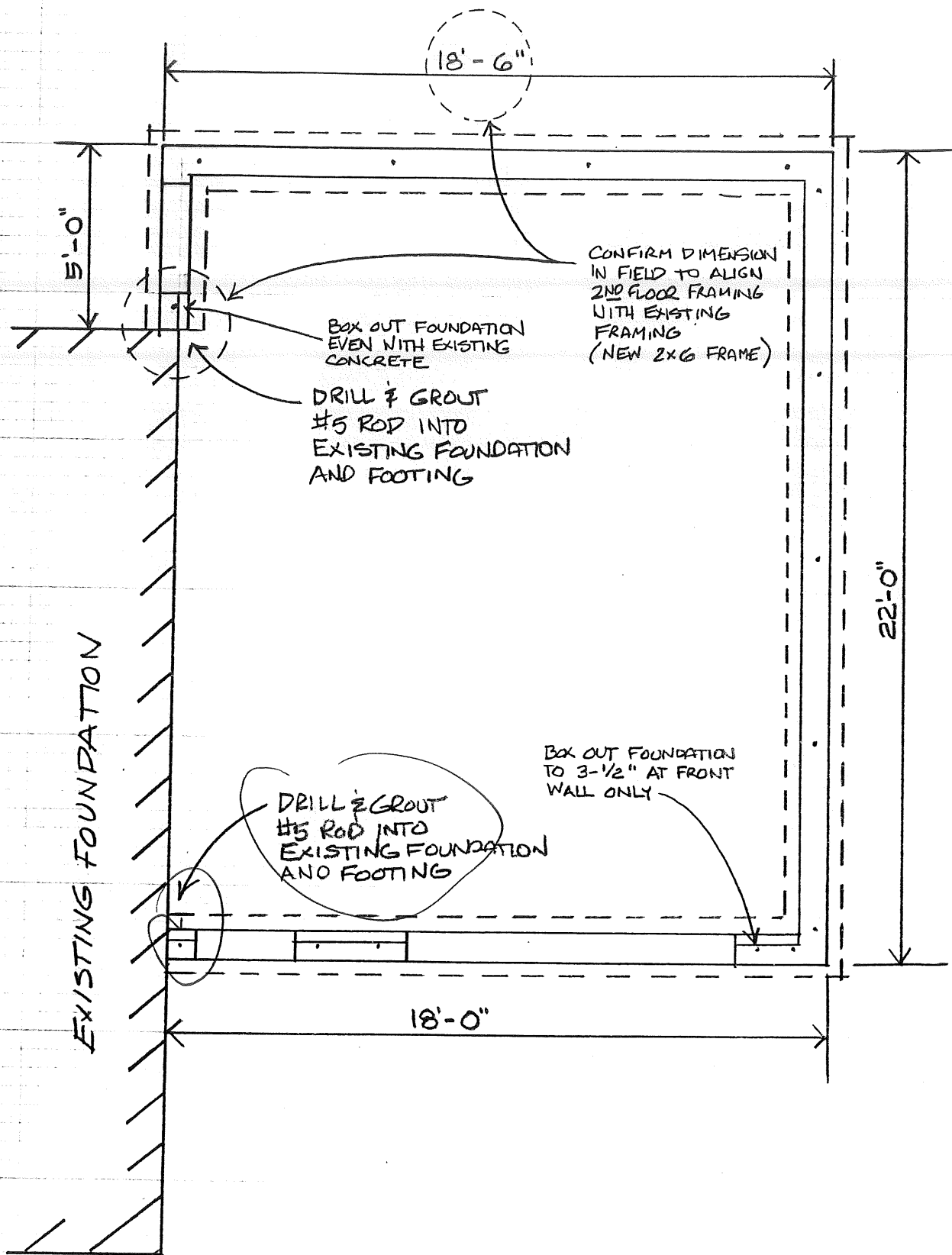
GENERAL NOTES:

1. EILEEN LENN HORTON FORMERLY KNOWN AS EILEEN E. LENN.
2. LOCUS PARCEL IS SHOWN ON CITY OF PORTLAND ASSESSORS MAP 286, BLOCK A AS LOT 26.
3. TOTAL AREA OF LOCUS PARCEL EQUALS 14,035 S.F. MORE OR LESS.
4. THERE IS NO WRITTEN REPORT WITH THIS SURVEY.
5. LOCUS CHAIN OF TITLE ACQUIRED A TRIANGULAR PORTION OF LOT 136 BY A DEED FROM THE MINAT CORPORATION TO ALBERT G. CHASE AND LOIS T. CHASE, DATED OCTOBER 4, 1963 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 2780, PG. 102.
6. THE RIGHT OF WAY LINE OF LUDLOW TERRACE IS BASED ON CITY OF PORTLAND ENGINEERING FIELD NOTES AND PLAN REFERENCE #1.
7. THE LOT NUMBERS DEPICTED ON THIS PLAN ARE BASED ON PLAN REFERENCES #1 & #2.

PLAN DEPICTING THE RESULTS OF A STANDARD BOUNDARY SURVEY
MADE FOR
DONALD F. FUSCO AND KATHERINE H. FUSCO
ON LAND LOCATED AT
**31 LUDLOW TERRACE
PORTLAND, MAINE**

NADEAU & LODGE, INC.
PROFESSIONAL LAND SURVEYORS
844 STEVENS AVENUE 232 CLARKS WOODS ROAD
PORTLAND, MAINE 04103 LYMAN, MAINE 04002
(207) 878-7870 (207) 282-0331

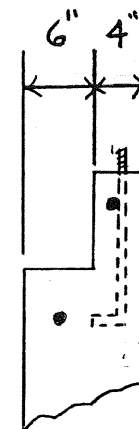
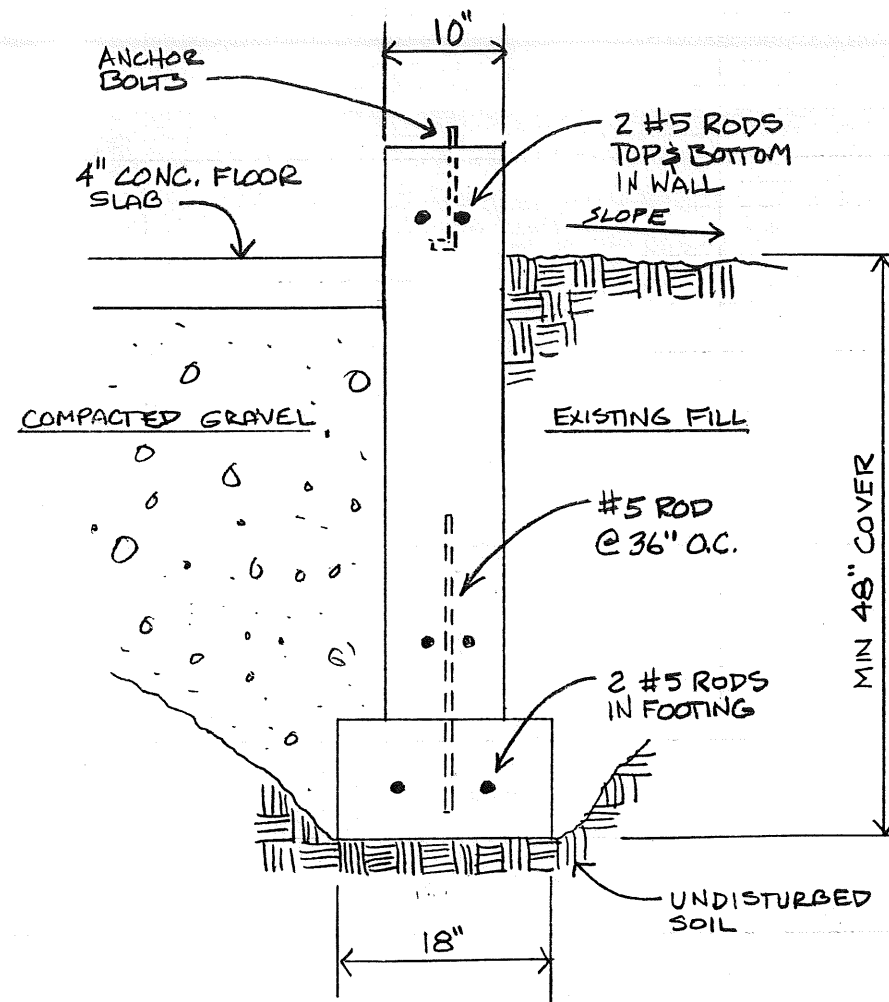
RECORD OWNER: <i>FUSCO 31 LUDLOW TERRACE PORTLAND, ME 04102</i>	DRAWN BY: <i>JDN</i>	DATE: <i>DEC 19, 1997</i>
	CHKD BY: <i>BRL/TPB</i>	SCALE: <i>1" = 20'</i>
BOOK No. <i>77</i>	JOB No. <i>7848</i>	SHEET No. <i>1 OF 1</i>



FOUNDATION PLAN
SCALE 1/4" = 1 FOOT

CONCRETE NOTES:

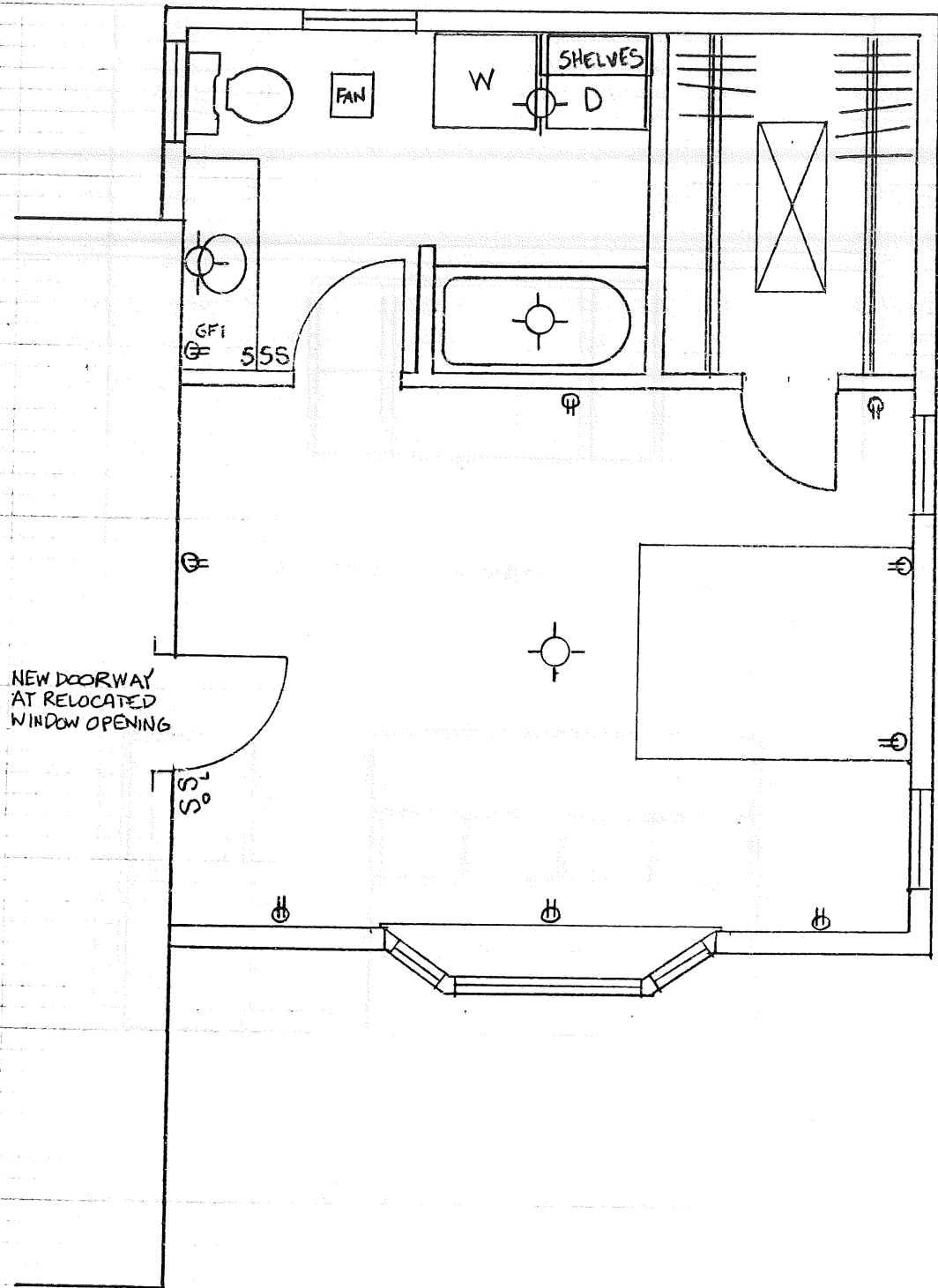
1. FOOTINGS & WALLS TO BE 3000 PSI CONCRETE.
2. FLOOR SLAB TO BE 4000 PSI CONCRETE WITH FIBERMESH.
3. SLOPE FLOOR SLAB TO GARAGE DOOR MINIMUM 1/8" PER FOOT.
4. APPLY CURE-N-SEAL TO TOP 18" OF WALL



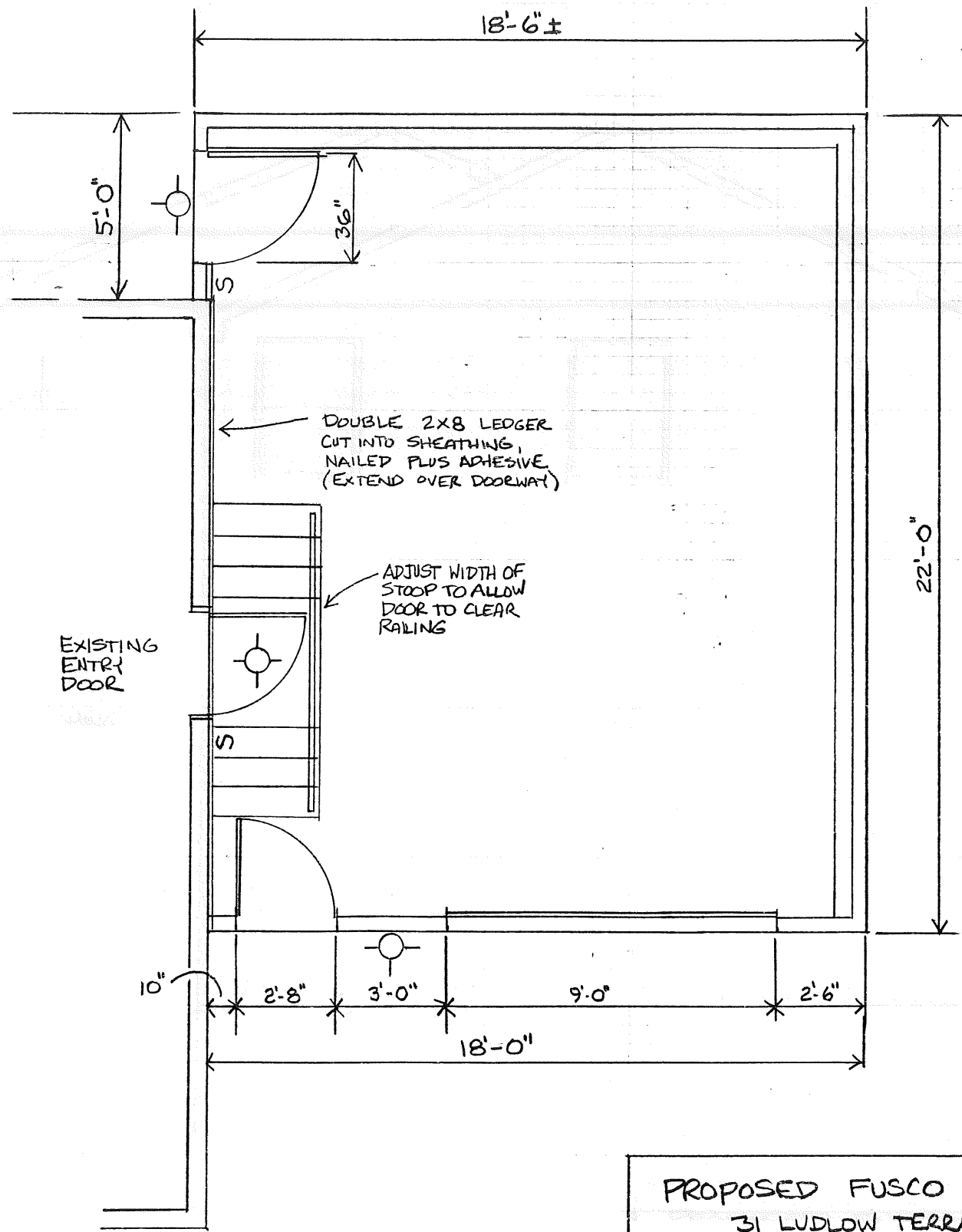
DETAIL AT TOP OF WALL AT BOXED-OUT SECTIONS

FOUNDATION SECTION
SCALE 3/4" = 1 FOOT

PROPOSED FUSCO ADDITION 31 LUDLOW TERRACE PORTLAND, MAINE	
SCALE AS NOTED	APRIL 25, 1999
MAINE STATE BUILDERS INC.	FOUNDATION



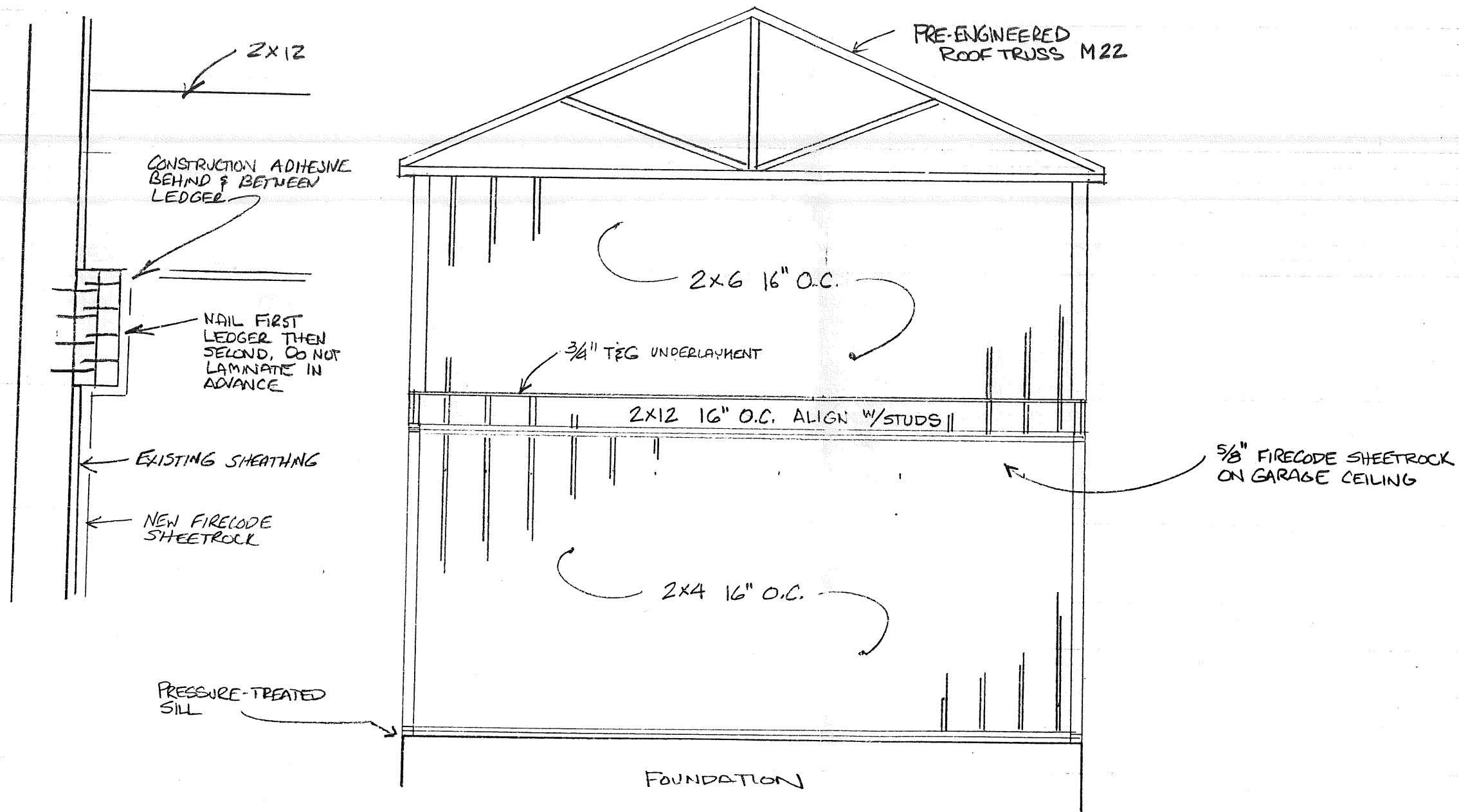
SECOND FLOOR



FIRST FLOOR

PROPOSED FUSCO ADDITION 31 LUDLOW TERRACE PORTLAND, MAINE	
SCALE 1/4" = 1 FOOT	APRIL 25, 1999
MAINE STATE BUILDERS INC.	FLOOR PLANS

DETAIL OF LEDGER BEAM
AT EXISTING HOUSE WALL



PROPOSED FUSCO ADDITION
31 LUDLOW TERRACE
PORTLAND, MAINE

SCALE 1/4" = 1 FOOT

APRIL 25, 1999

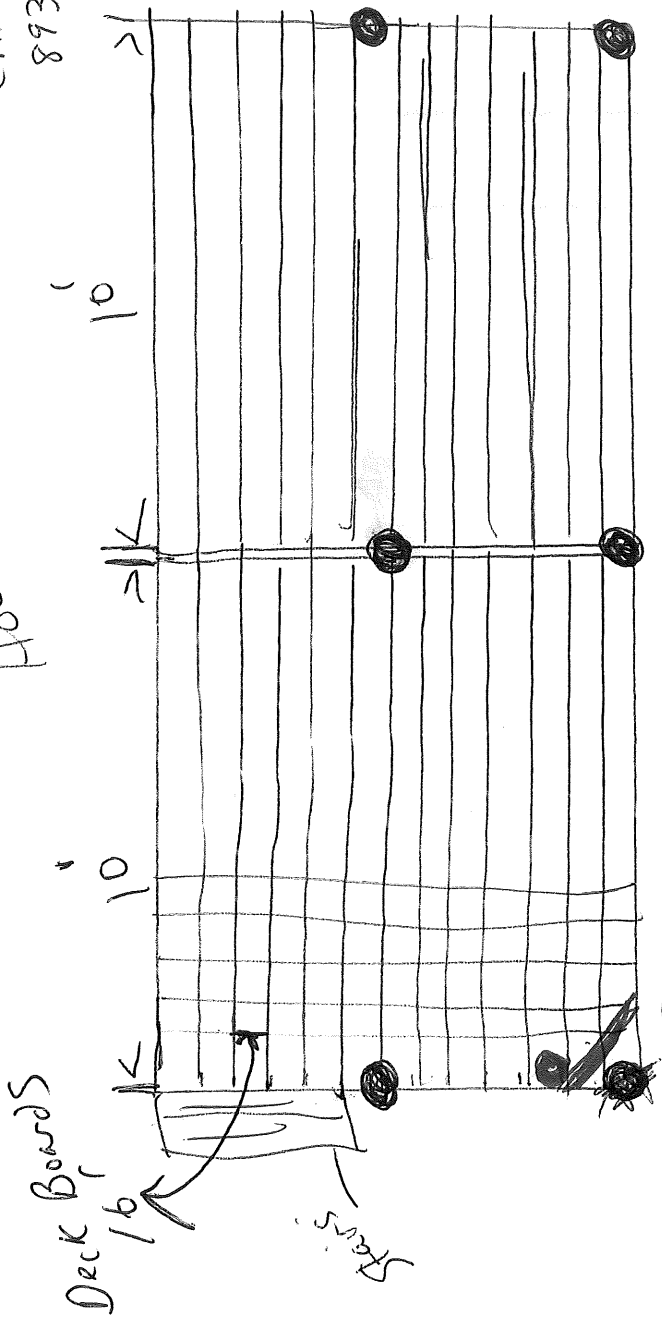
MAINE STATE BUILDERS,
INC

FRAMING PLAN

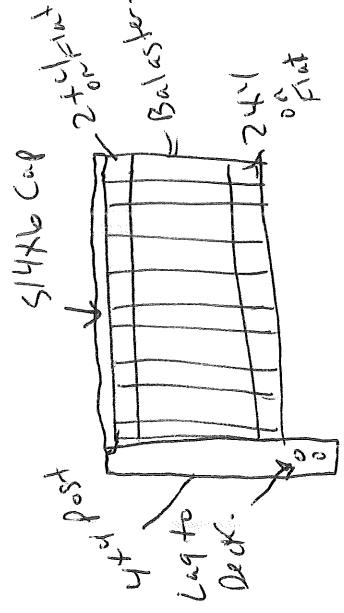
\$2500 Total Labor + Materials

Have Any Questions
Please Feel Free to Call
CMA CARPENTRY
CHRIS ALLEN
893-2344.

HOUSES



Sono Tube
4' Deep.
ON FOOTINGS



5/4x6 Deck Boards 16' ✓

2x8 Joist (2) 10' Decks — MAX SPAN 12' ✓

Double rim on Three Sides ✓

Lag to house with 4 1/2 lag Bolts ✓

Flashing on house ✓

Stairs will be 2x12 with top 5/4x6 wide Stairs ✓

Railing will be 36" high (no more than 4" Between Balusters) ✓

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

* Location/Address of Construction: 20 Ludlow Terrace 04102

Tax Assessor's Chart, Block & Lot Number		Owner:	Telephone#:
Chart# <u>286</u>	Block# <u>A</u>	Lot# <u>022</u>	<u>893-5981</u>
Owner's Address:		Lessee/Buyer's Name (If Applicable)	Cost Of Work: Fee
<u>20 Ludlow Terrace</u>		<u>Belthany M. Williams</u>	<u>\$ 2500.00</u> <u>\$ 35</u>
Proposed Project Description: (Please be as specific as possible)			
<u>16x20 deck.</u>			
Contractor's Name, Address & Telephone		Rec'd By:	
<u>CMA Carpentry 35 Depot Street Winthrop ME</u>		<u>893-2344</u>	<u>04062</u>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

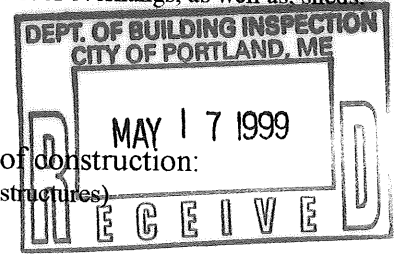
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Belthany M. Williams Date: 5-17-99

Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

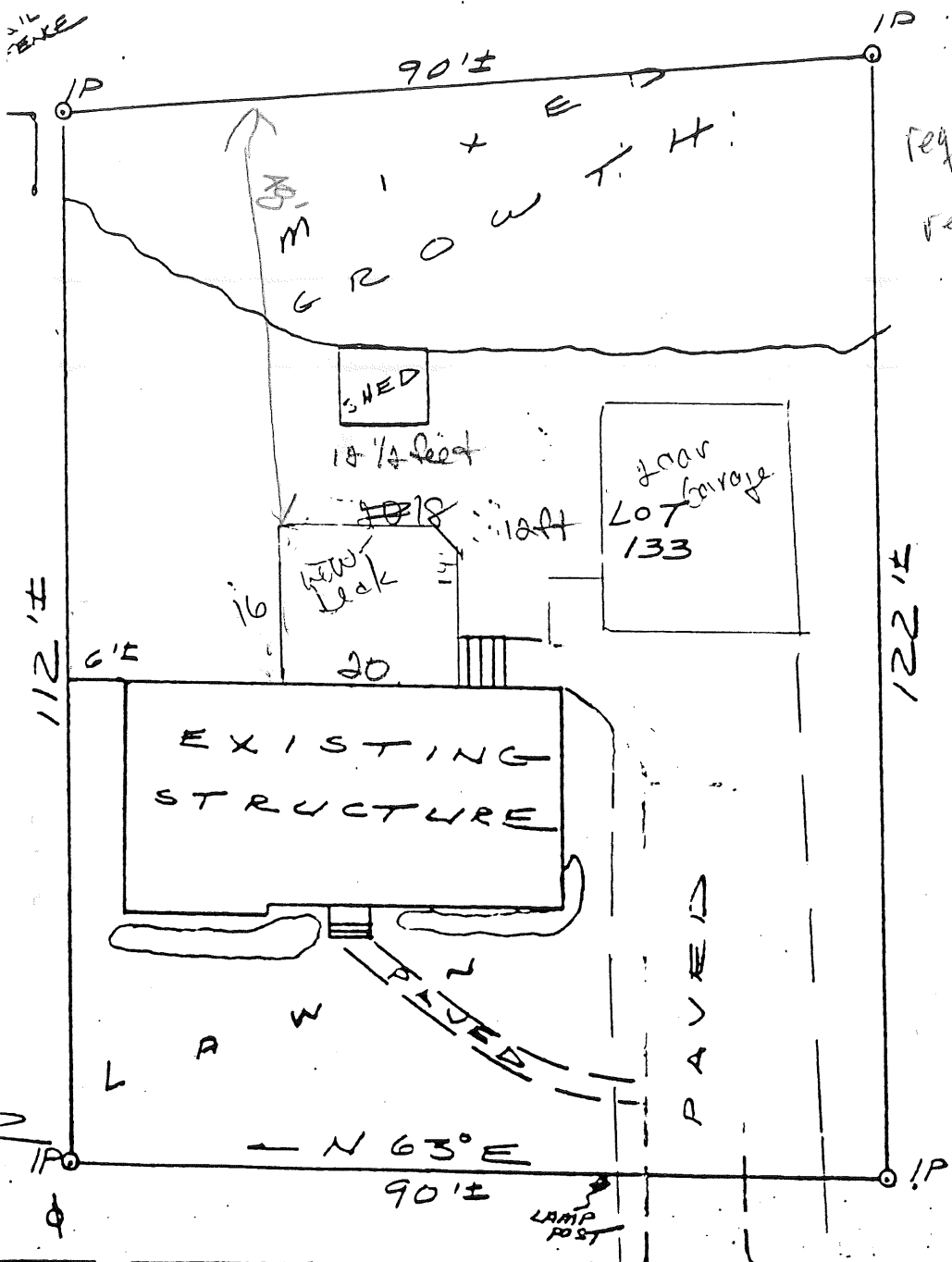


work

FOR EASTERN MORTGAGE CO., INC. & ITS MORTGAGE TITLE INSURER.

N/F
MAXELL

R-3 Zone
req 25' rear - 24' show
req 8' side - 24' show
gol



N/F
KING
LOT
134

UDLOW TERRACE

50 x 25 = 1250
16 x 20 = 320
22 x 26 = 572

25% = 2745

2142

20 scale SKETCH PLAN FOR

MADE FROM AN
AND IS NOT FOR
THE PLAN SHOWS
OF THE DATE

BUILDING PERMIT REPORT

DATE: 20 MAY 98 ADDRESS: 202udlow Terrace CBL: 286-A-022
 REASON FOR PERMIT: 16' x 20' deck
 BUILDING OWNER: Bethany M. Williams
 PERMIT APPLICANT: _____ /Contractor CMA Carpentry
 USE GROUP R-3 (U) BOCA 1996 CONSTRUCTION TYPE 5B

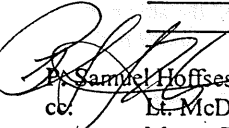
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *4, *11, *13, *32, *34

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17) Anchor between pier and Footing.
5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)

18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 &19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements.
32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
34. MAX span of 2x8 @ 16" O.C. IS 12'
35. _____
36. _____


 Samuel Hoffses, Building Inspector
 cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

****On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.**