

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-139	Issue Date: SEP 21 2001	CBL 28 A003001
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Location of Construction: 44 Woodfield Rd	Owner Name: Fineberg Abraham Wwii Vet &	Owner Address: 44 Woodfield Rd	Phone: 773-3296
Business Name: n/a	Contractor Name: M & M Industries	Contractor Address: 34-5 Gilman St. Portland	Phone: 2073294875
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single Family	Proposed Use: Same: Build a 20' X 24' Addition w/ an attached 20' X24' Deck	Permit Fee: \$252.00	Cost of Work: \$38,000.00	CEO District: 3
Proposed Project Description: Build a 20' X 24' Addition w/ an attached 20' X24' Deck		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> <i>N/A</i> <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>BOCA 99</i> Signature: <i>DC</i>
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Permit Taken By: cjh	Date Applied For: 09/14/2001	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> <i>OK</i> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/21/01 DC</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/21/01 DC</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

400' SQ DECORATION

Location/Address of Construction: 44 WOODFIELD ROAD

Total Square Footage of Proposed Structure EACH OF 400' SQ. FT DECOR & ADDITION Square Footage of Lot 14,836 SFT

Tax Assessor's Chart, Block & Lot Number: Chart# 286 Block# B Lot# 3
Owner: ABRAMAM & TARA FINEBERG
44 WOODFIELD ROAD
PORTLAND, ME 04102
Telephone#: (207) 773-3296

Lessee/Buyer's Name (If Applicable):
Owner's/Purchaser/Lessee Address: SAME
Cost Of Work: \$ 38,000 Fee: \$ 252.00

Current use: RESIDENTIAL
If the location is currently vacant, what was prior use:
Approximately how long has it been vacant:
Proposed use: SAME
Project description: BUILD 20'X24' GREAT ROOM W/ ATTACHED 20'X24' DECOR

Contractor's Name, Address & Telephone: M & M INDUSTRIES 90 PEARL ST
SO. PORTLAND, ME 04106 207-329-4875 / 767-2701
Applicants Name, Address & Telephone: MARK A MAWHANNEY - ADDRESS AS ABOVE
Who should we contact when the permit is ready: MARK MAWHANNEY
Telephone: 207-329-4875 xx call
If you would like the permit mailed, what mailing address should we use:
9/14/01
Rec'd By: [Signature]

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PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

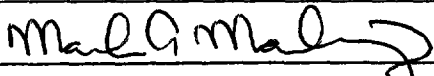
- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 9 / 7 / 2001
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Applicant: Abraham Finberg

Date: 9/17/01

Address: 44 Woodfield

C-B-L: 286A-3

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing Built 1965

Zone Location - R-3

Interior or corner lot - Inter.

Proposed Use/Work - 20x24 Addition + 20x24 deck

Sewage Disposal - Public

Lot Street Frontage - 90' shown

Front Yard - 27 shown - N/A - 25' Req.

Rear Yard - 57' + shown - 25' Req.

Side Yard - 15' + 34' - (8' Req. 1 story) (14' Req. 2 stories)

Projections - 24x20 2 story proposed addition / 20x24 proposed deck /

Width of Lot - 75'

Height - 35' Max

Lot Area - 14,379

Lot Coverage/ Impervious Surface - $25\% = 3594.75 \text{ SF}$

Area per Family -

1456 SF House
480 SF Addition
480 SF deck

Off-street Parking -

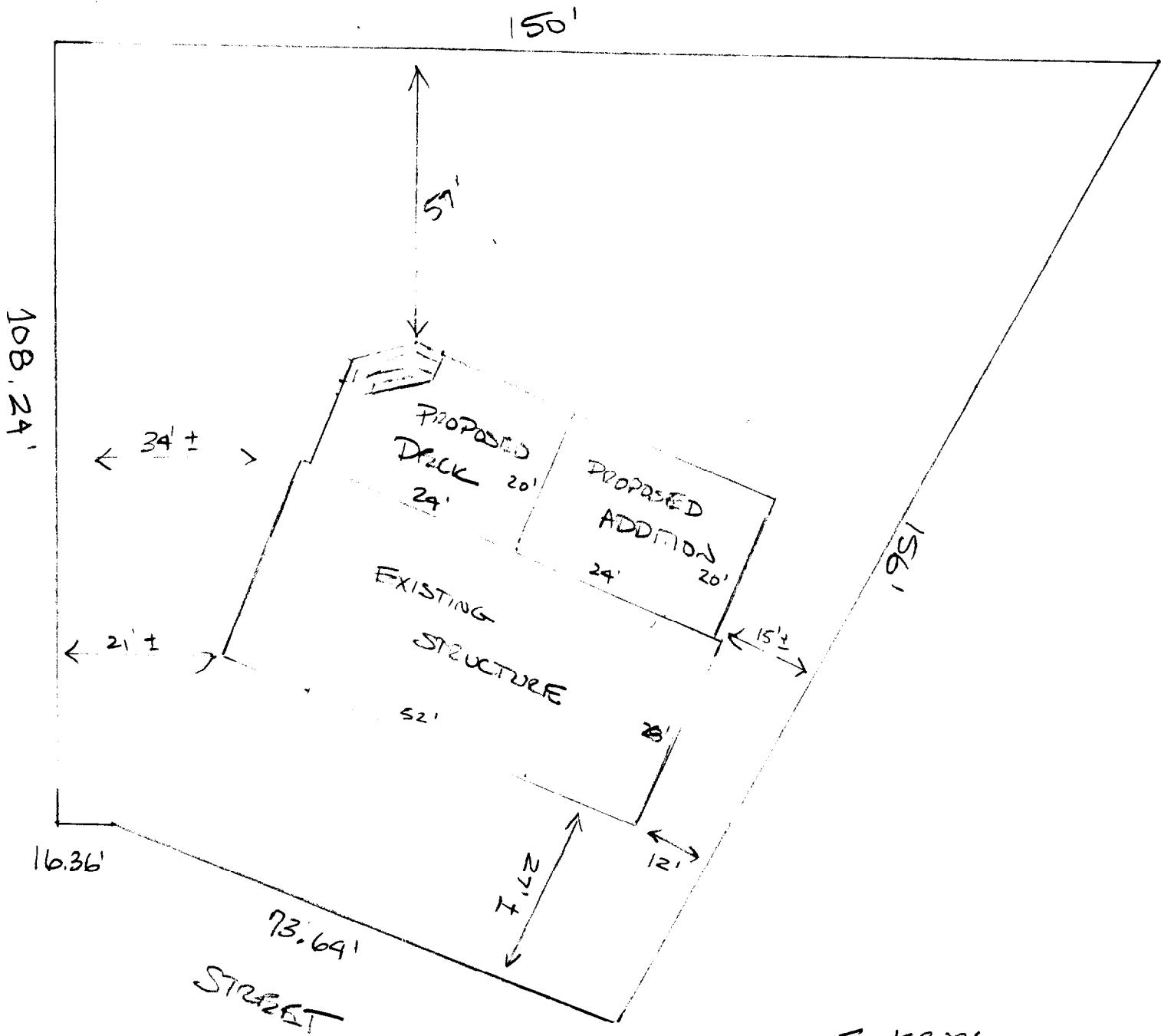
2416 SF OK

Loading Bays - N/A

Site Plan - N/A

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 6 Zone X



FINEBURG
 MAP 286
 BLOCK A
 LOT #3
 44 WOODFIELD ROAD

SCALE $\frac{1}{2}'' = 10'$

M & M Industries
90 Pearl Street #1
South Portland, ME 04106

September 20, 2001

City of Portland
389 Congress Street
Portland, Maine 04101

Attention: Tammy Munson

Re: 44 Woodfield Road

Construction of the addition will include the following items:

Footing shall be 8" x 16"

Concrete walls shall be 8"

The floor joists shall be 2" x 10" KD.

The walls shall be 2" x 6" KD with R-19 faced insulation.

The roof joists shall be 2" x 10" KD with R-25 insulation with poly

The deck will consist of 4" x 8" PT beam and 2" x 8" PT joists.

Sincerely yours,

Mark A. Mawhinney

SEI **SHELLEY ENGINEERING, INC.**
STRUCTURAL CONSULTANTS

September 19, 2001

Mr. Mike Richman
Custom Concepts, Inc.
636 U.S. Route 1, Box 6
Scarborough, ME 04074

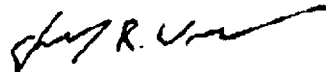
Subject: The Finburg Residence Addition [2001-603]

Dear Mr. Richman:

This letter is to acknowledge that Shelley Engineering has provided a beam and header size for the Finburg Addition in Portland Maine. The beam is the main structural ridge for the new additions. The required beam size is either a 5¼"x14" LVL or a W12x19, and is approximately 20'-0" long. The header is located in the new exterior wall under the main ridge beam. The required header size is either a 5¼"x9½" LVL or a 3½"x11½" LVL. All LVL's shall be Versa-Lam's as manufactured by Boise Cascade, or approved equal. The main ridge shall be installed such that roof rafters provide lateral support to the ridge beam.

If you have any further questions or concerns, please call at any time.

Sincerely,



Jeffrey R. Walker, E.I.T.
Project Engineer

cc: File

DUPLICATE

GENERAL RECEIPT

CITY OF PORTLAND, MAINE

DEPARTMENT Sanitation DATE 9/14/12

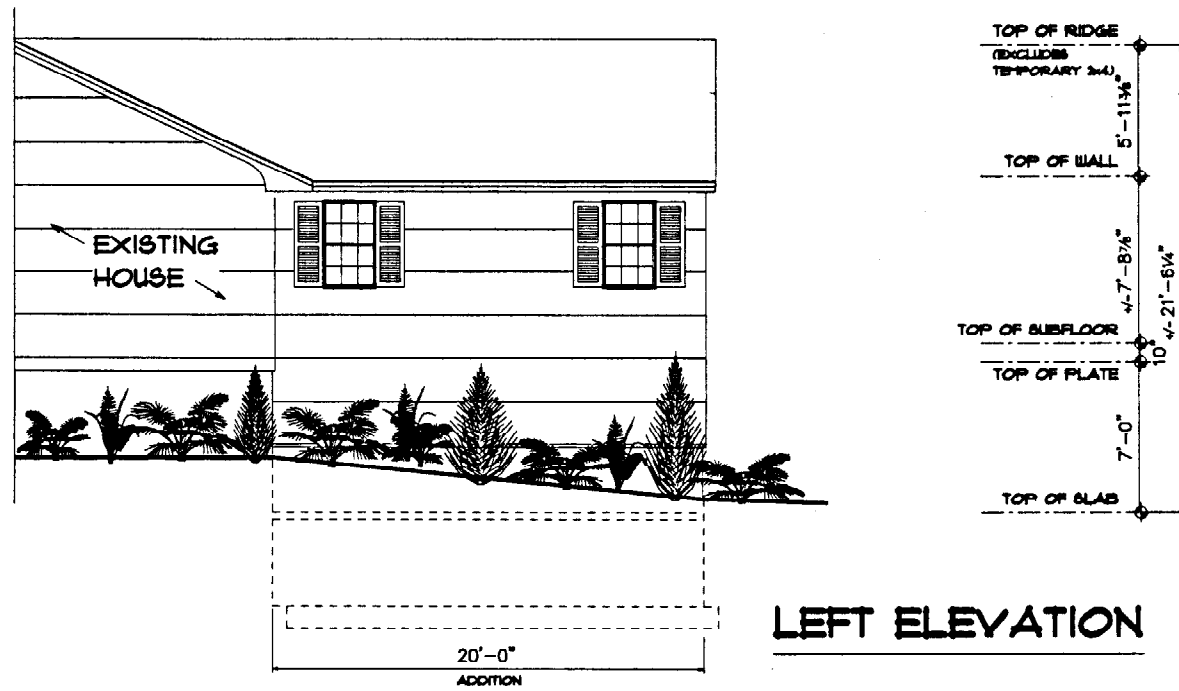
RECEIVED FROM M. M. In addition

ADDRESS 44 Grandfield

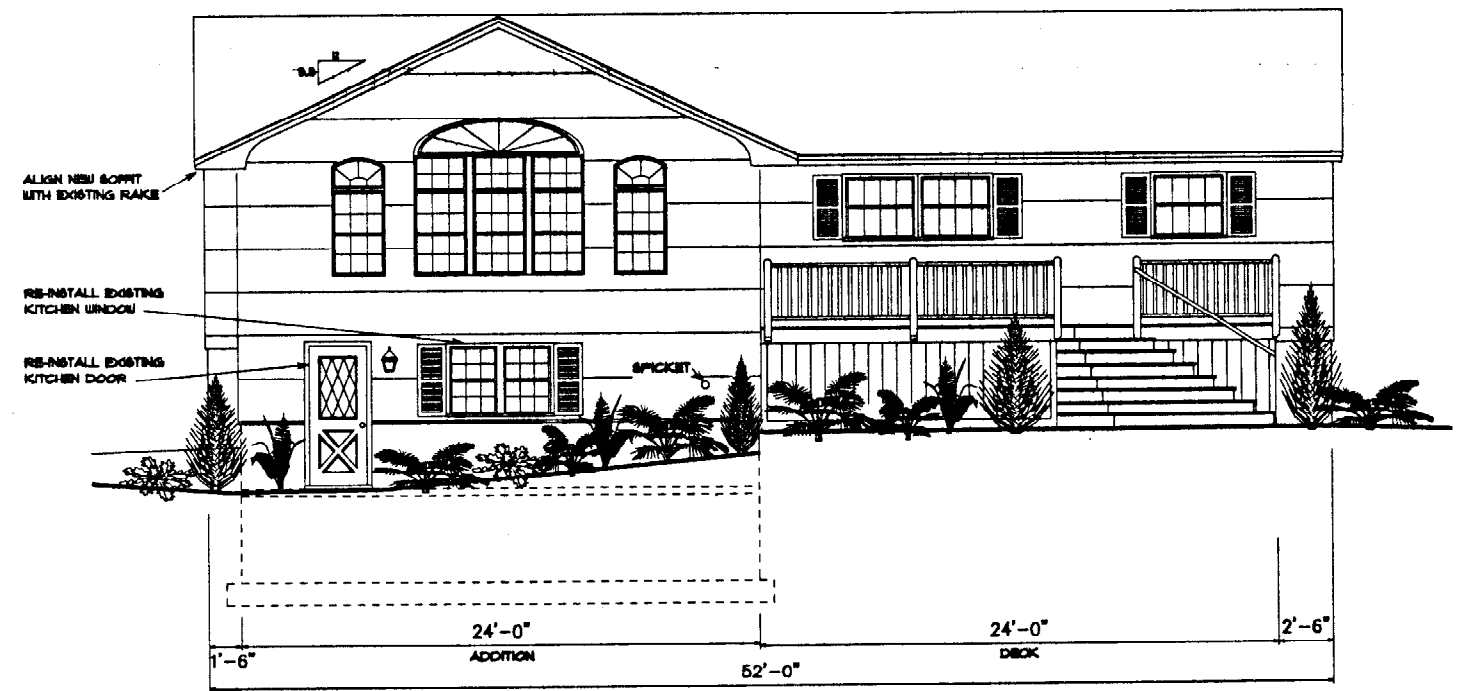
UNIT	ITEM	REVENUE CODE	DOLLAR AMOUNT
	check # 1000		255.00
	check # 3369		
	CB 21 086 A 003		

CASH CHECK OTHER TOTAL 255.00

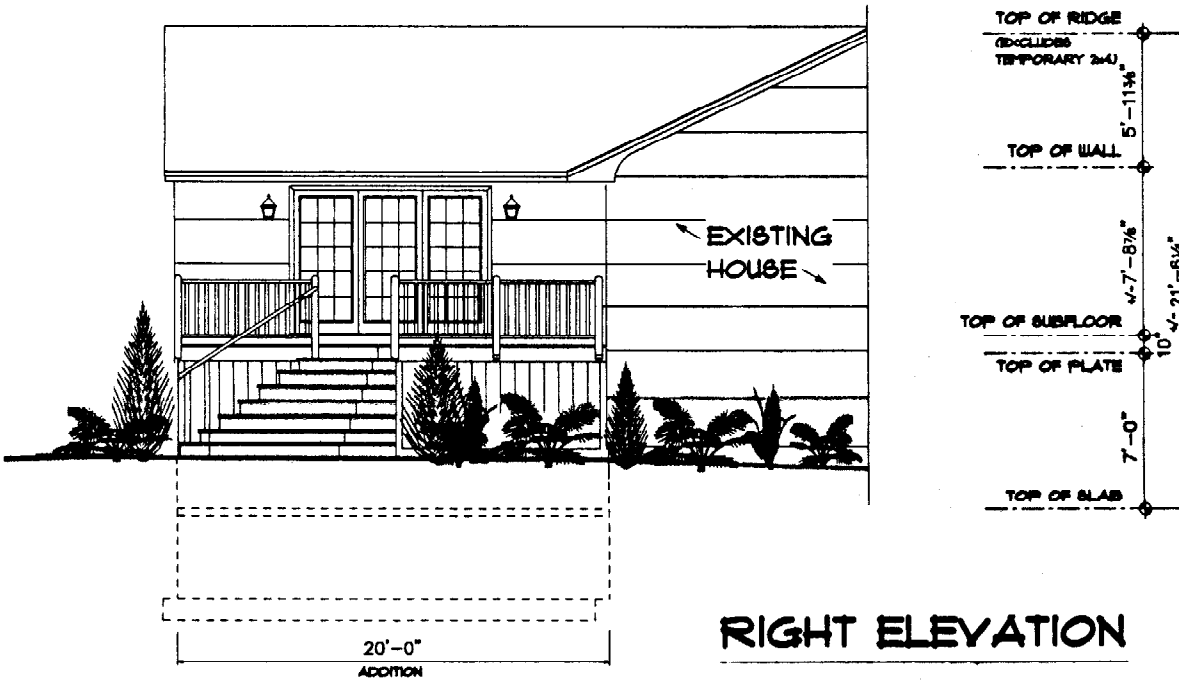
RECEIVED BY [Signature]



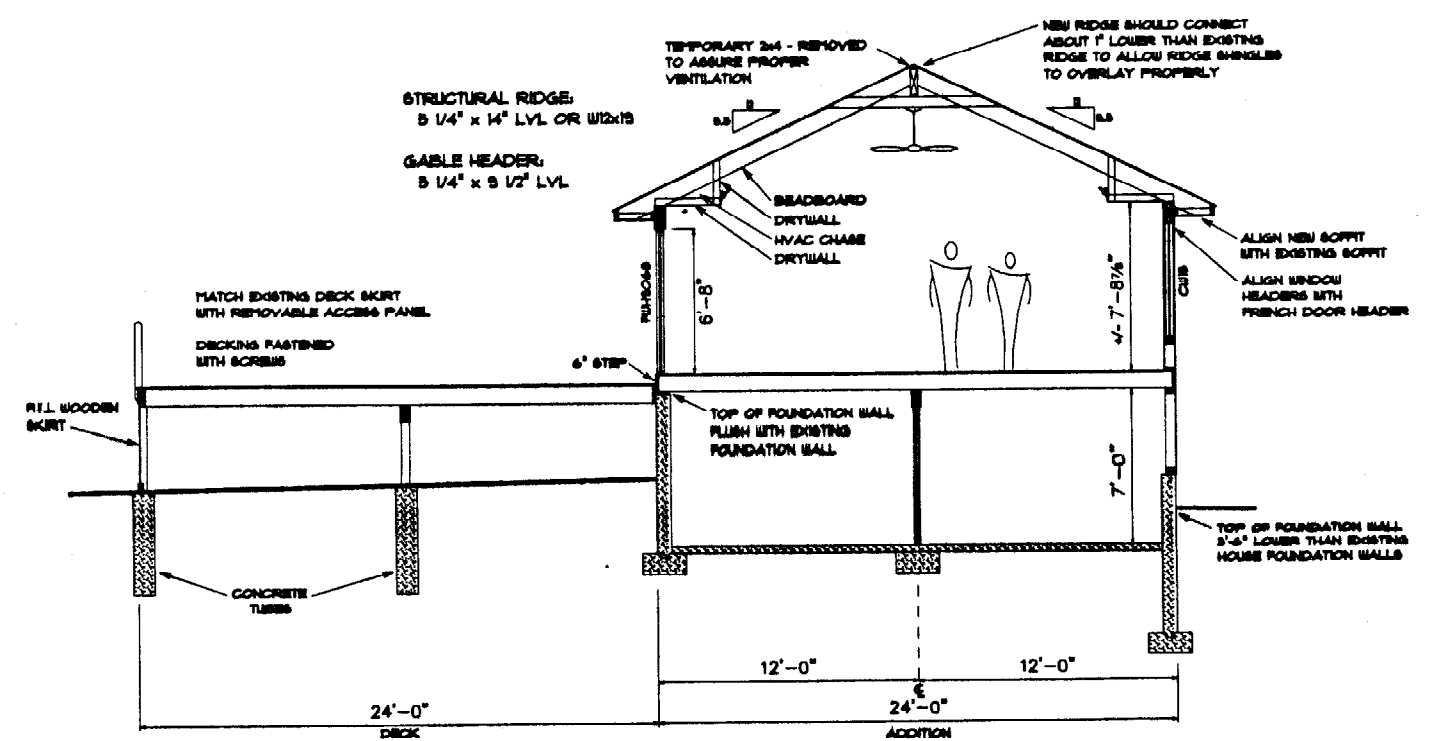
LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



SECTION A

THESE PLANS ARE PROVIDED TO THE BUILDING CONTRACTOR TO ILLUSTRATE THE INTENTIONS OF THE DESIGNER. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL AND MECHANICAL ASPECTS OF THE PROJECT AS WELL AS MEETING ALL APPLICABLE CODES.

- PRELIMINARY DESIGN (for client review)
- DESIGN DEVELOPMENT (for client review and cost estimating)
- CONTRACT DOCUMENTS (for permits, bids and construction)



CUSTOM CONCEPTS INC.

JOB: FINISHING ADDITION	JOB #: 10471-01
DRAWING: ELEVATIONS AND CROSS SECTION	SCALE: 1/4" = 1'-0"
APPROVED BY:	UPDATED: 9/15/01
APPROVED BY:	DRAWN BY: TFE

A1

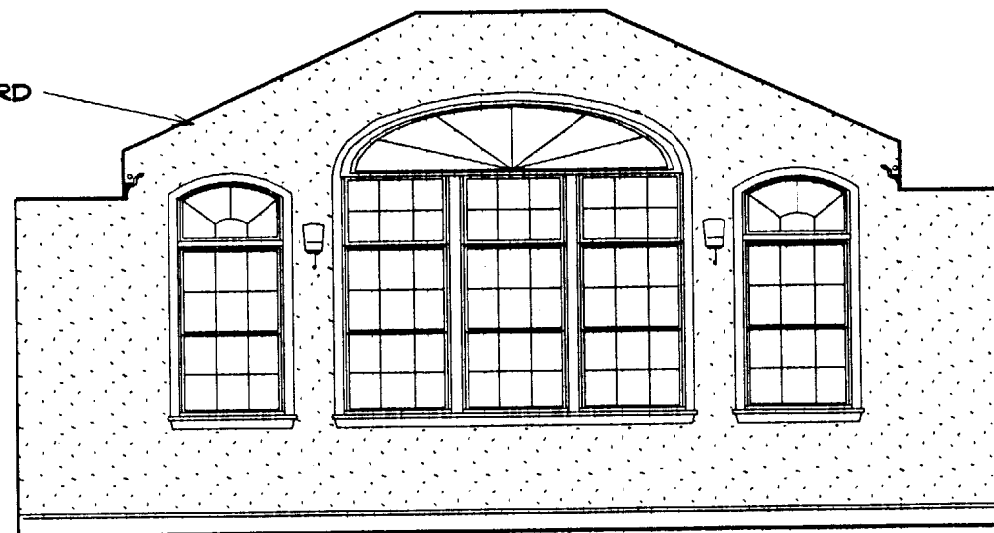
TEL (207) 883-0083 FAX (207) 883-0081



A - INTERIOR ELEVATION
LEFT ELEVATION

BEADBOARD

CUT THRU
BUILT-IN
UNIT



B - INTERIOR ELEVATION
REAR ELEVATION

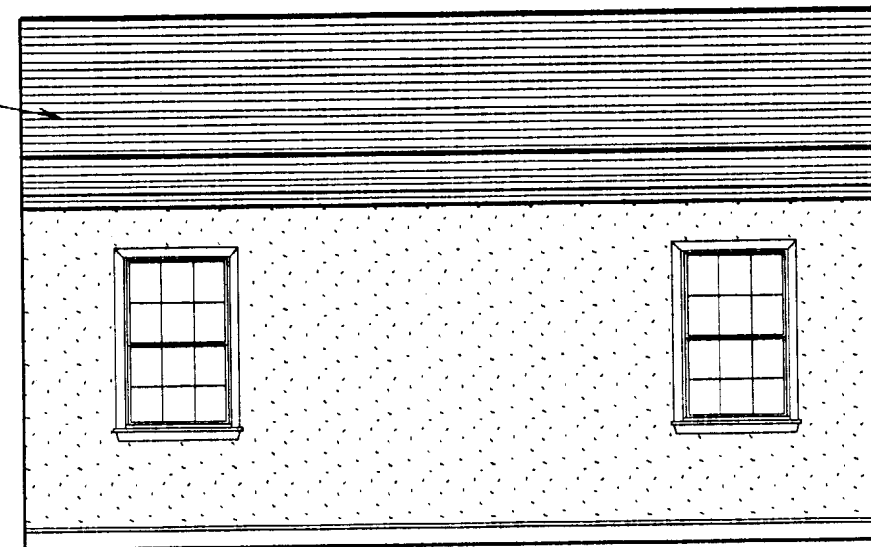


C - INTERIOR ELEVATION
FRONT ELEVATION

BEADBOARD

ADJUSTABLE
GLASS SHELVING

OPENING INTO
KITCHEN



D - INTERIOR ELEVATION
RIGHT ELEVATION

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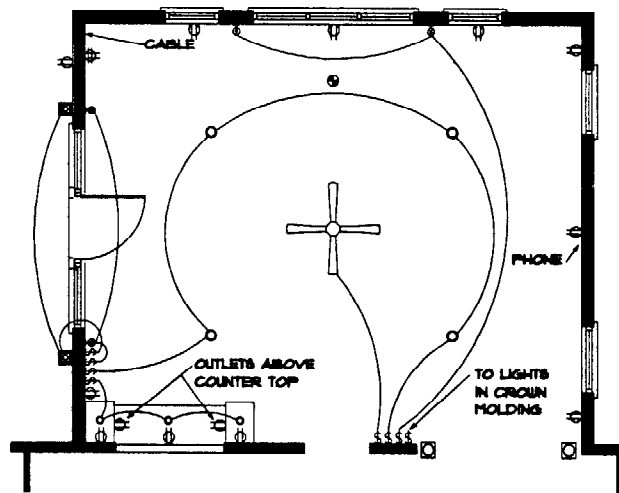
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CUSTOM CONCEPTS INC.

JOB: FINISHING ADDITION	JOB #: 108101	A3
DRAWING: INTERIOR ELEVATIONS	SCALE: 1/2" = 1'-0"	
APPROVED BY:	UPDATED: 8/1/2001	
APPROVED BY:	DRAWN BY: FR	

TEL (201) 883-0083 FAX (201) 883-0081



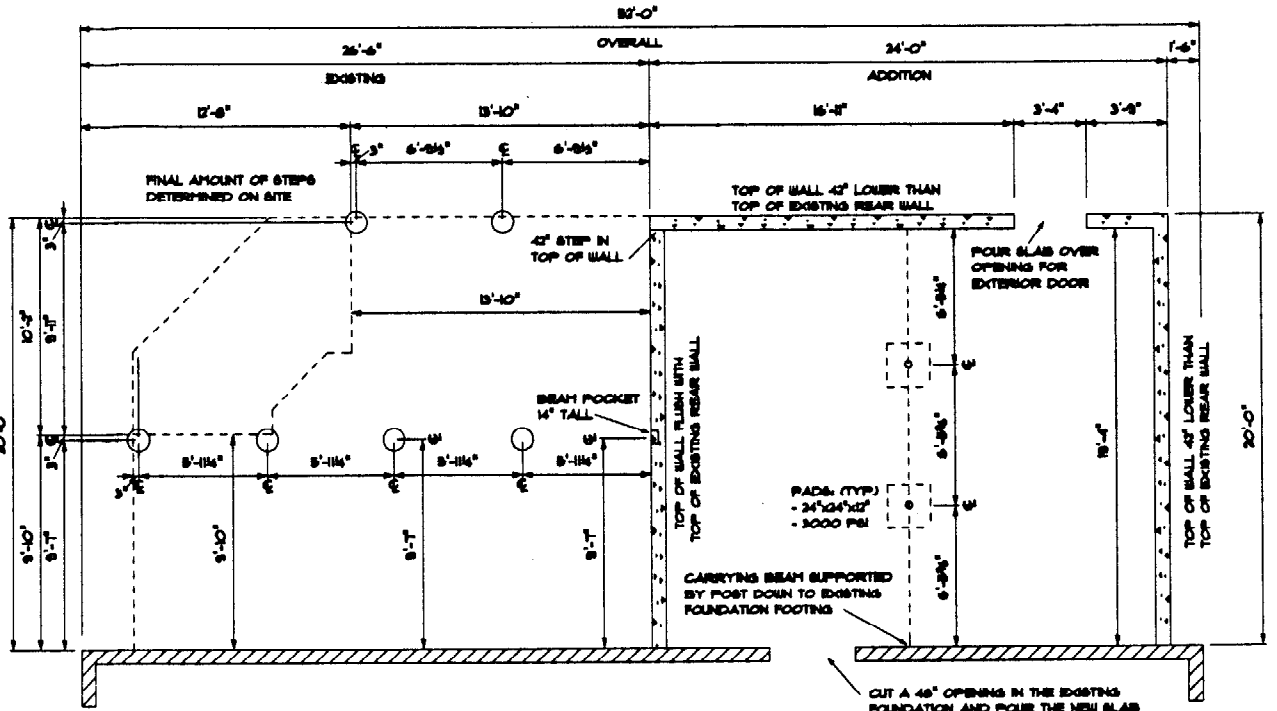
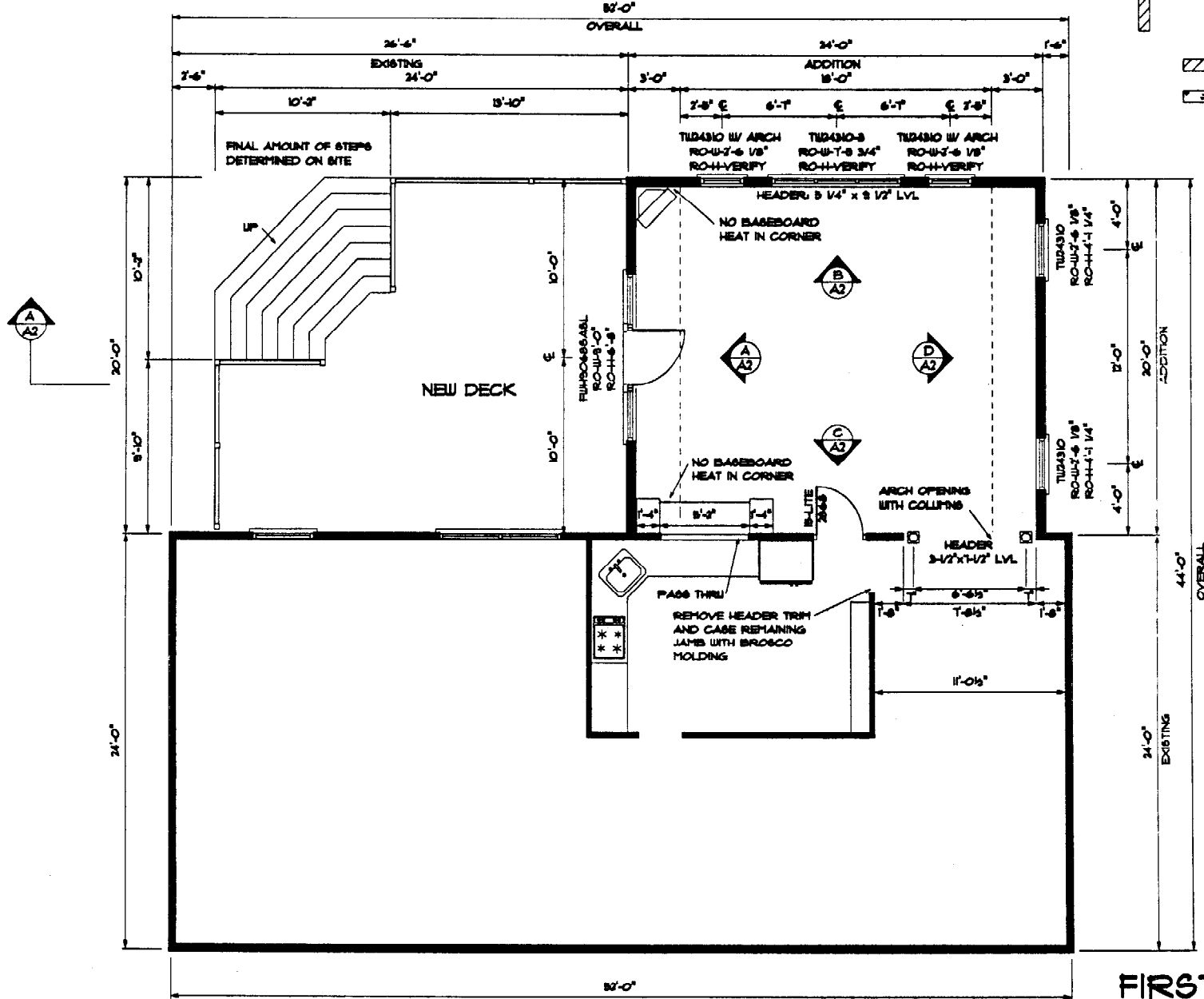
ELECTRICAL KEY

- ⬇ LIGHT SWITCH
- RECEPTACLE
- RECESSED LIGHT ON DIMMER
- ⊠ EXTERIOR LIGHT
- ⊙ SMOKE DETECTOR
- ⊞ WALL SCONCE ON DIMMER
- ⊕ CEILING FAN

PROVIDE SWITCH AND POWER TO LANDSCAPE LIGHT POST

MOVE EXISTING REAR FLOOD LIGHTS TO LEFT HAND CORNER OF EXISTING ROOF.

ELECTRICAL LAYOUT



FOUNDATION PLAN

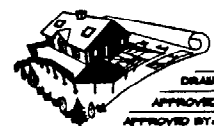
WINDOW SCHEDULE

ANDERSEN TILT-WASH WITH WHITE VINYL EXTERIOR AND CLEAR PINE INTERIOR, LOW-E ARGON FILLED UNITS WITH ALL SCREENS AND GRILLS AS SHOWN, 6 3/16" JAMBS, BRUSHED BRASS HARDWARE.

SUNROOM	LOCATION	QUANTITY	MODEL NUMBER	GRILL	NOTES
REAR WALL		2	TU24310 WITH ARCH	6/6 AS SHOWN	FACTORY MILLED
		1	TU24310 WITH DHT2415	6/6 AS SHOWN	FACTORY MILLED
		1	ETS/C/PD/NL	6/1 AS SHOWN	
LEFT WALL		1	SO666ASL	15-LITE	
RIGHT WALL		2	TU24310	6/6	

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JOB: FRISBERG ADDITION JOB #: 1061-01
 DRAWING: FLOORPLAN, FOUNDATION & ELECTRICAL SCALE: 1/4" = 1'-0"
 APPROVED BY: [Signature] UPDATED: 9/1/2001
 APPROVED BY: [Signature] DRAWN BY: FR

A2

FIRST FLOOR