

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>		<b>Permit No:</b> 02-0246	<b>Issue Date:</b> 2 9 2002	<b>CBL:</b> 021-023 284 A020001
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<b>Location of Construction:</b> 36 Devon St	<b>Owner Name:</b> Collins Marie A	<b>Owner Address:</b> 36 Devon St	<b>Phone:</b> 207-775-0167
<b>Business Name:</b> n/a	<b>Contractor Name:</b> Rick Sawyer Construction	<b>Contractor Address:</b> 77 Union Road Waldoboro	<b>Phone:</b> 2077750167
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Alterations - Dwellings	<b>Zone:</b> R-3

<b>Past Use:</b> Single Family	<b>Proposed Use:</b> Single Family / Replacement of existing porch to become 12' x 14' laundry / bath.	<b>Permit Fee:</b> \$142.00	<b>Cost of Work:</b> \$17,000.00	<b>CEO District:</b> 3
<b>Proposed Project Description:</b> Replace porch to become 12' x 14' Laundry / Bath.		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: R3 Type: SB 30CA 99 Signature: <i>J. Reed</i>	

<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

<b>Permit Taken By:</b> gg	<b>Date Applied For:</b> 03/21/2002	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied Date: <i>03/25/02</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	Signature: <i>[Handwritten Signature]</i>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

3/28/02 Spoke w/ owner. Went over all requirements. Including  
T+R, PRE-DEMO Inspection, still need to know the exact  
Roof Pitch. QR will be 4/12 pitch

3/29/02 Demo insp - OK to remove.

4/8/02 foundation forms / siting done -  
OK to pour Foundation

Application ID Number: 2-0246

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 30 Devon St

Approval Date: 03/25/2002

Update Date: 03/22/2002

Approved by: Marge Schmuckal Date: 03/25/2002

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Created Date: 03/22/2002 By: gg Update Date: 03/25/2002 By: mes



# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

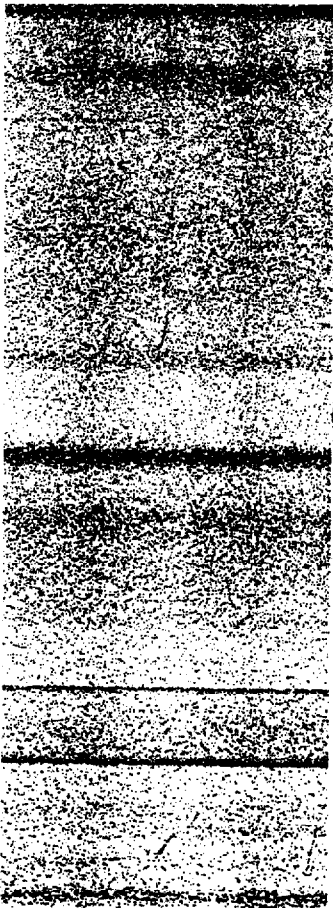
Location/Address of Construction: <u>30 DEVON ST., PORTLAND, ME 04102</u>		
Total Square Footage of Proposed Structure <u>12 x 14 = 168 sq feet</u>	Square Footage of Lot <u>12000</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>284</u> Block# <u>A</u> Lot# <u>1622-50</u>	Owner: <u>MARIE COLLINS</u>	Telephone: <u>775.0167</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>MARIE COLLINS, MATTHEW HAND</u> <u>30 DEVON ST.</u> <u>PORTLAND, ME 04102</u>	Cost Of Work: \$ <u>17,000.00</u> Fee: \$ <u>142.00</u>
Current use: <u><del>SHED</del> STORAGE OFF HOUSE back porch</u>		
If the location is currently vacant, what was prior use: <u>SUNY ATM</u>		
Approximately how long has it been vacant: <u>—</u>		
Proposed use: <u>NEW ENTRANCE, LAUNDRY ROOM, 1/2 BATH</u>		
Project description: <u>Replacement of existing porch to become laundry/Bath</u>		
Contractor's name, address & telephone: <u>RICK SAWYER CONSTRUCTION</u> <u>207-832-7416</u> <u>77 UNION RD., WALDOBORO, ME 04572</u>		
Who should we contact when the permit is ready: <u>MARIE COLLINS</u>		
Mailing address: <u>30 DEVON ST.</u> <u>PORTLAND, ME 04102</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b> <u>775.0167</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Matthew Hand</u>	Date: <u>March 21, 02</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**



REAR OF  
SUBJECT PROPERTY



STREET SCENE

ADDITIONAL PHOTOGRAPHS ON REVERSE SIDE

Learn360 Software by Day One, Inc., 1998

THIS IS NOT A BOUNDARY SURVEY

INSPECTION OF PREMISES

30 DEVON STREET  
PORTLAND, MAINE

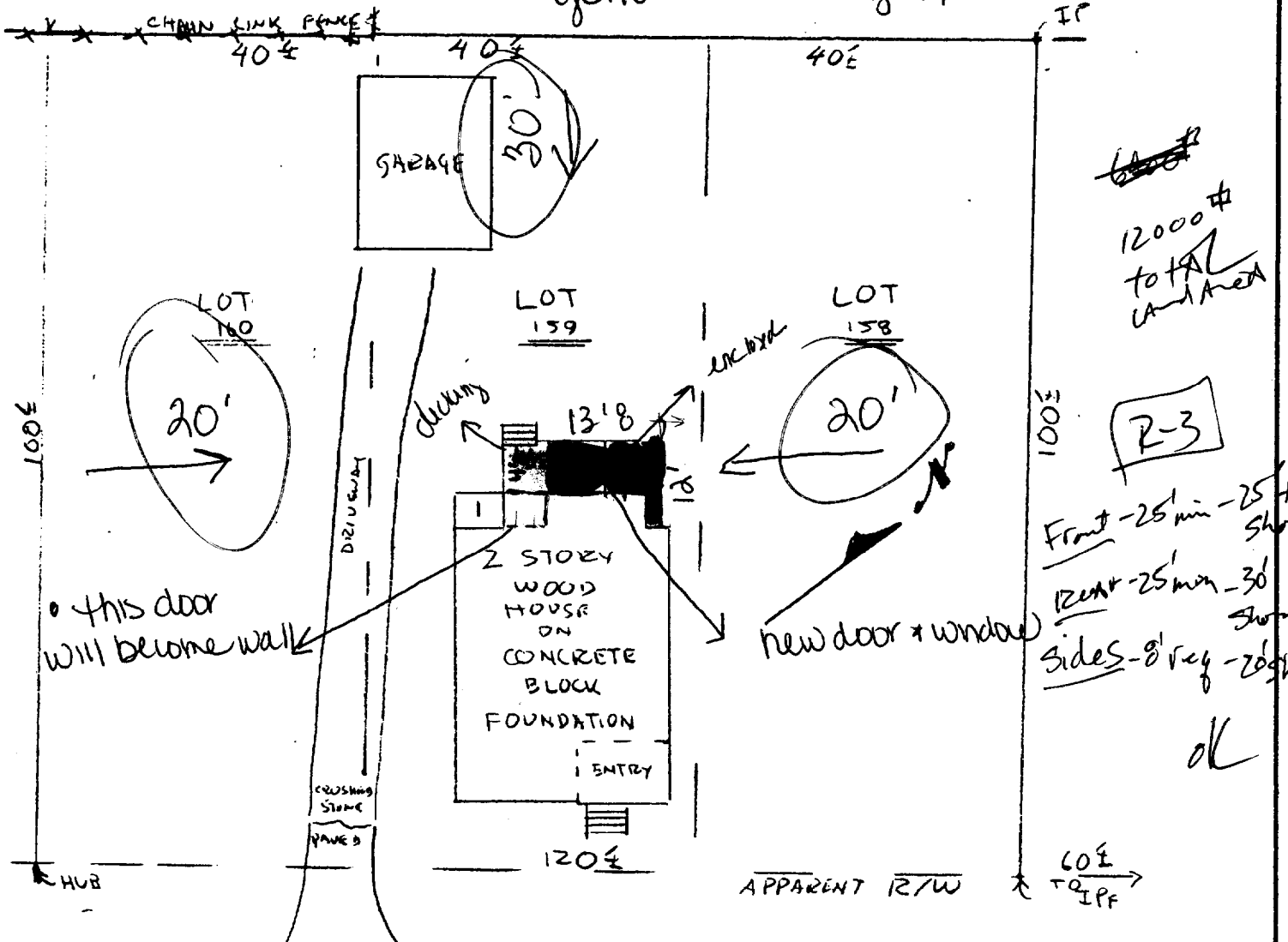
Job number: 111-64  
Date of inspection: 3-24-89  
Scale: 1" = 20'

I HEREBY CERTIFY TO CLASSIC TITLE Co. COMPED  
The monumentation is in harmony with current deed description.  
The building setbacks are in conformity with town zoning requirements.  
The land and the dwelling do not appear to fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.

owner 3/25/02

BUYER: MARIE COLLINS  
SELLER: COOPER MILLIKEN

- orange indoxed living area
- yellow - decking / put roofed



12000#  
total land area

2-3

Front - 25' min - 25' +  
Rear - 25' min - 30'  
Sides - 8' reg - 20' show

OK

- Adding 18" on Bright side x 12'
- putting stair back

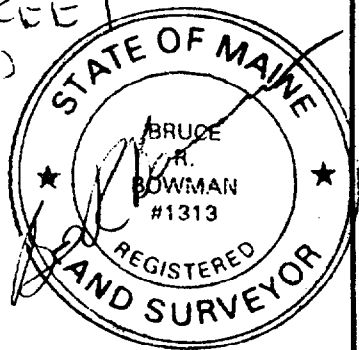
Deck will stay as in size when (BITUMINOUS)  
entire back porch will be replaced  
re mark to add frost wall

This property is subject to all rights and easements of record. Those that are evident are shown. This plan might not reveal conflicts within abutting deeds. THIS PLAN IS NOT FOR RECORDING.

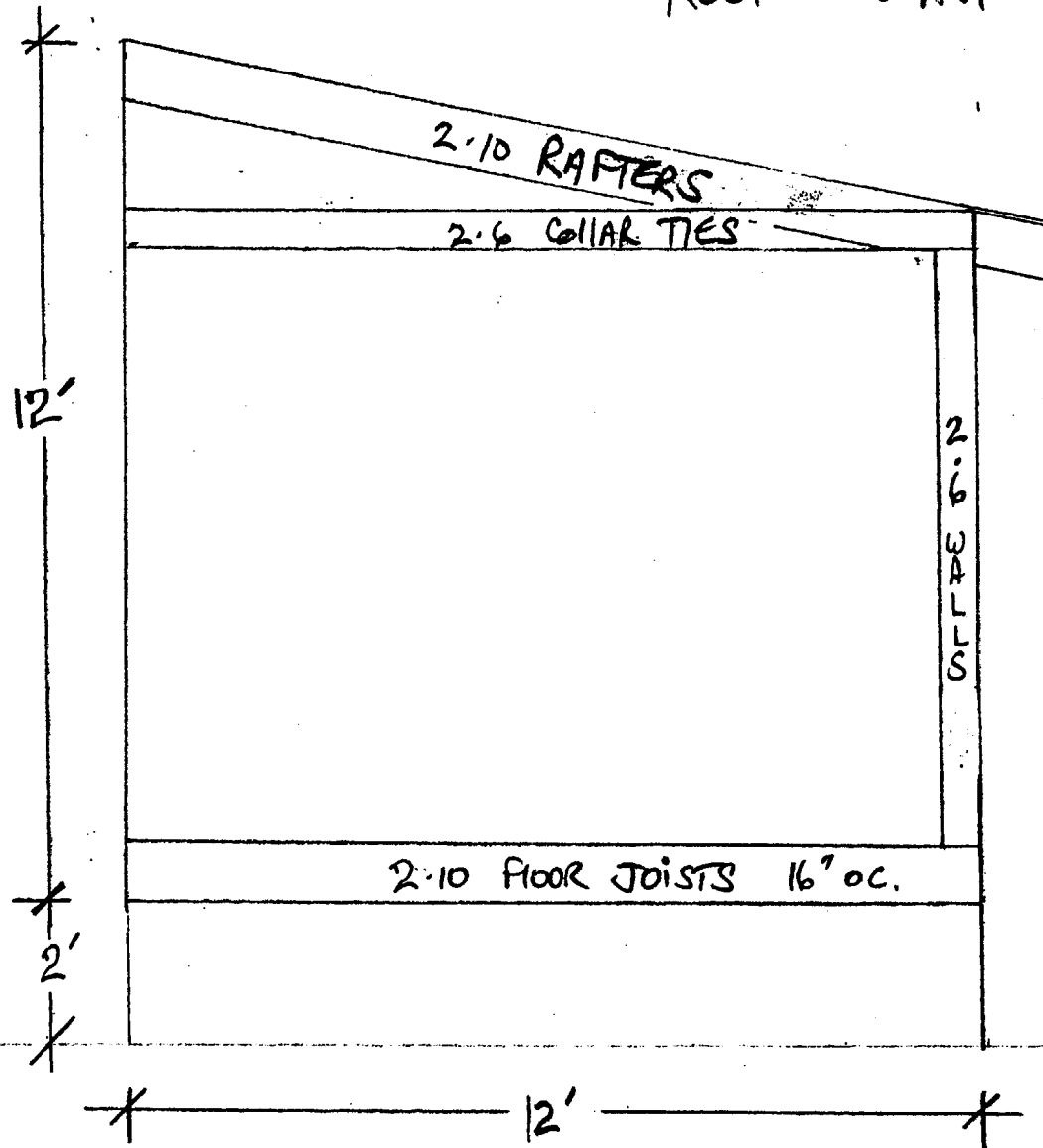
BRUCE R. BOWMAN R.L.S.  
20 Forest Avenue  
Cumberland, Maine 04021  
Phone: (207)829-3959

PLAN BOOK 8 PAGE 11 LOTS 158, 159, 160

DEED BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ COUNTY CUMBERLAND Drawn By BRB



# ROOF + WALL FRAMING PLAN



- ⊗ WALL + ROOF FRAMING WILL BE 16" ON CENTER
- ⊗ WALL SHEATHING  $\frac{1}{2}$ " PLYWOOD
- ⊗ ROOF SHEATHING  $\frac{5}{8}$ " PLYWOOD w/CLIPS EVERY 8"
- ⊗ ALL WINDOW + DOOR HEADERS WILL BE 3- 2x8'S

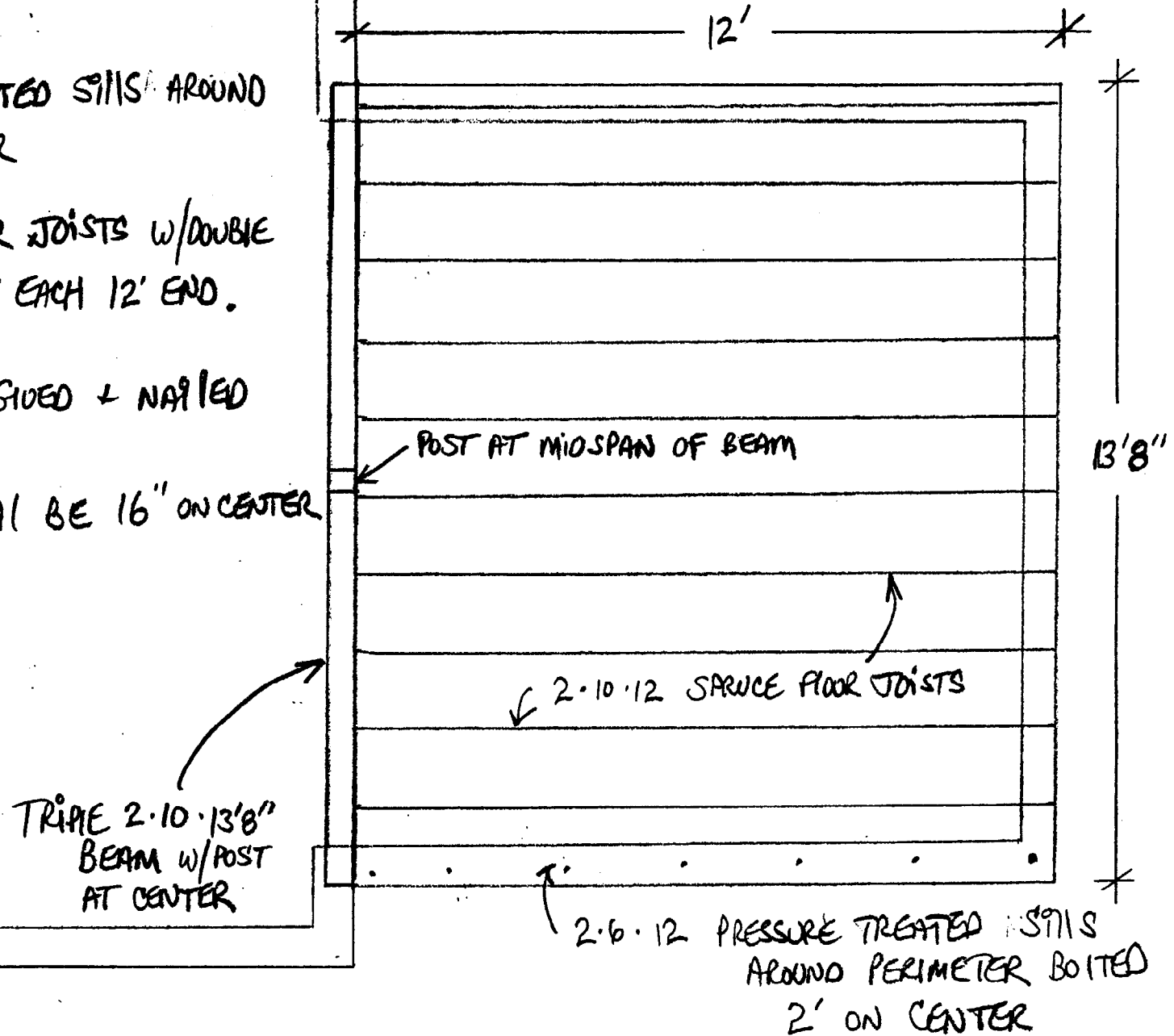
GRADE



## FLOOR SPECS.

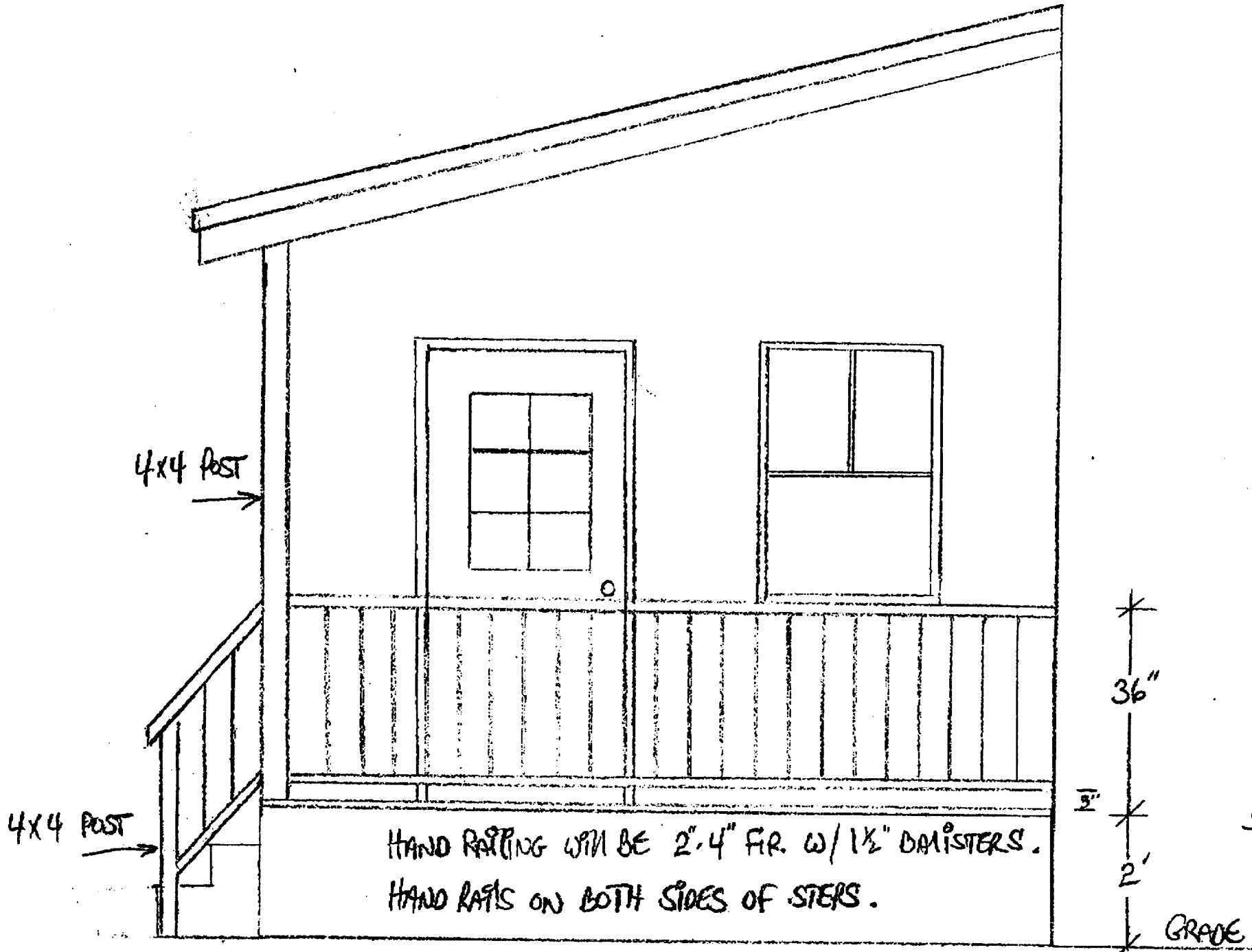
- ⊗ 2" x 6" PRESSURE TREATED SILL'S AROUND PERIMETER
- ⊗ 2" x 10" SPRUCE FLOOR JOISTS W/DOUBLE BOX S711 AT EACH 12' END.
- ⊗ 3/4" T/G PLYWOOD GIBED + NAILED
- ⊗ FLOOR JOIST WILL BE 16" ON CENTER

## FLOOR FRAMING PLAN

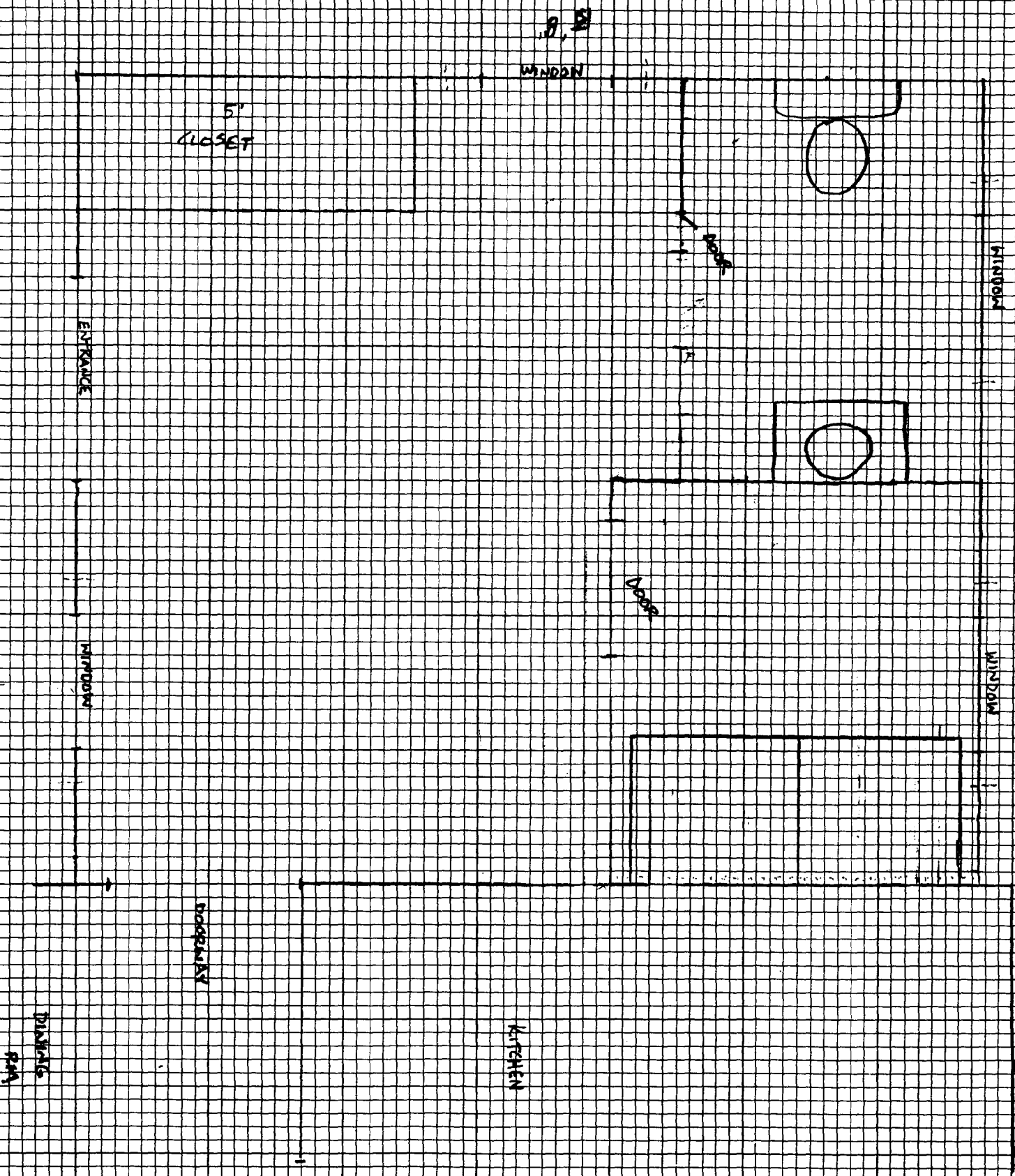


PORCH + RAILING DETAIL

29" x 48" window



SCALE  
1/2" = 1'



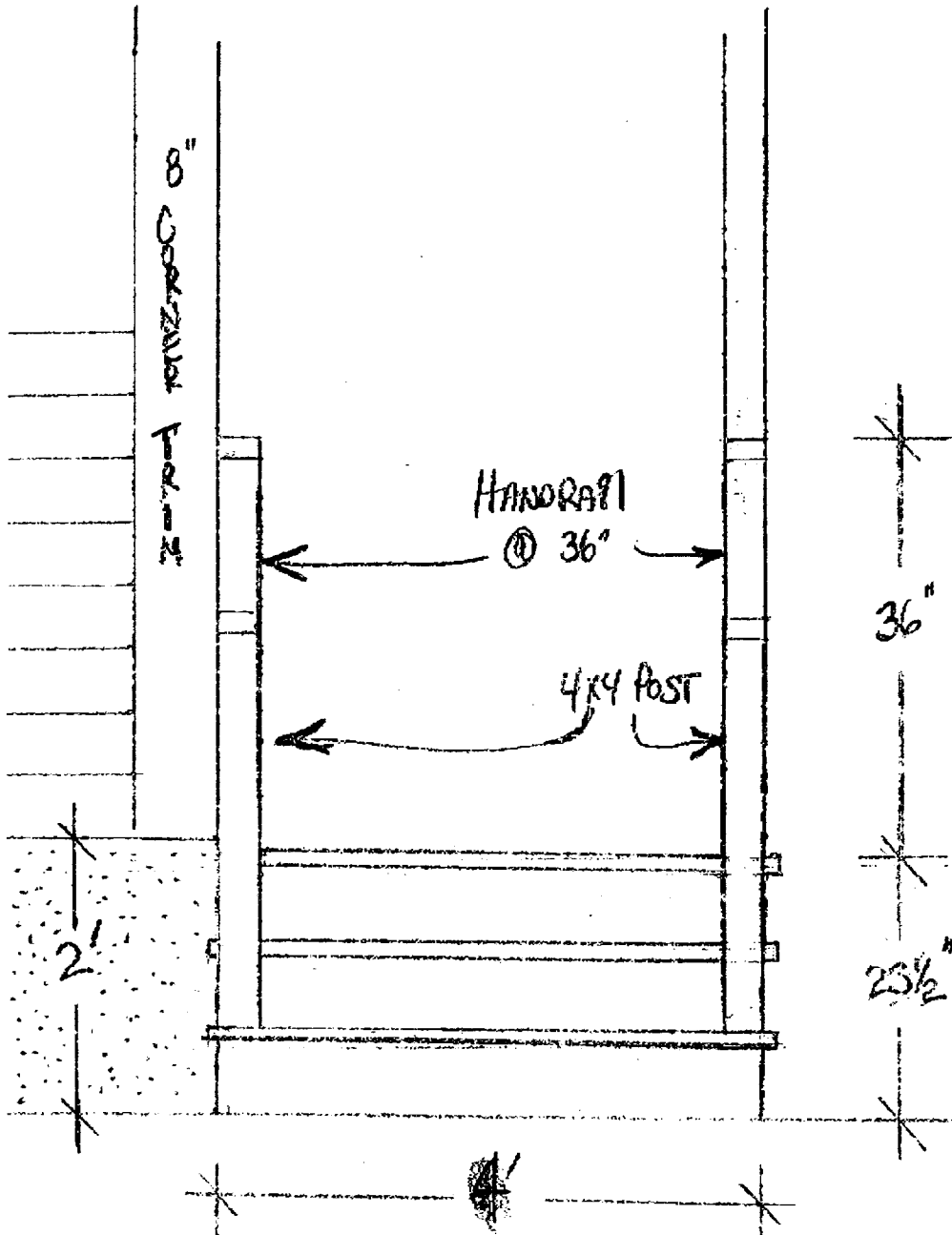
# BACK PORCH STAIRS

MARIE COLLINS / MATTHEW HAND  
30 DEVON ST.

MAR. 22. 2002 9:09AM DANFORSOTA DIALYSIS

10.495

1/2



DOOR (ENTRANCE) WILL BE 36" x 80"

STAIRS WILL HAVE  $7\frac{3}{4}$ " RISE  
w/ 10" TREADS.

DECK + TREADS WILL BE  
 $5\frac{1}{4}$  - 6 SPACED.

GRADE

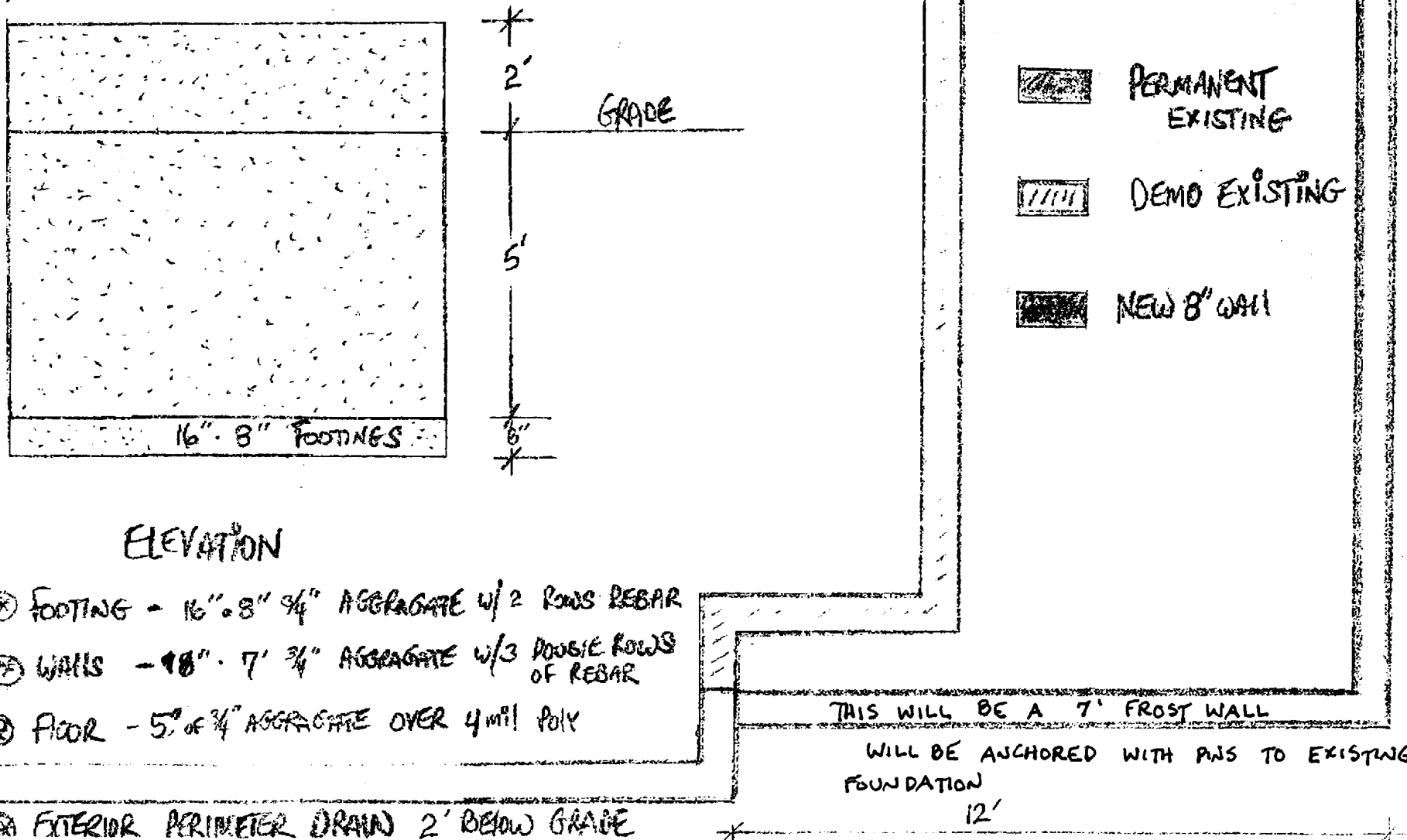
SCALE  $\frac{3}{4}$ " = 1'

# RENOVATION / ADDITION

MARIE COLLINS • MATTHEW HAND  
 30 DEVON ST. PORTLAND, ME.  
 207-775-0167

## ~~FOUNDATION PLAN~~

FROST WALL



### ELEVATION

- ⊗ FOOTING - 16" x 8" 3/4" AGGREGATE w/ 2 ROWS REBAR
- ⊗ WALLS - 18" x 7" 3/4" AGGREGATE w/ 3 DOUBLE ROWS OF REBAR
- ⊗ FLOOR - 5" OF 3/4" AGGREGATE OVER 4 MIL POLY

⊗ EXTERIOR PERIMETER DRAIN 2' BELOW GRADE

THIS WILL BE A 7' FROST WALL  
 WILL BE ANCHORED WITH PINS TO EXISTING FOUNDATION

MAR 14 2012 0:53 PM  
 DAWSON - A. DIAZ  
 10.456 1.2