

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT



This is to certify that SAMBA,LLC

Located At 899 BRIGHTON AVE

Job ID: 2011-11-2733-ALTCOMM (#2012-14783)

CBL: 284-C-001-001

has permission to install 3 wall signs for Three D's Variety

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

N/A

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

*A. B. M.* 11/17/12

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

### Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

Director of Planning and Urban Development

Penny St. Louis

Job ID: 2011-11-2733-ALTCOMM (2011-14783) Located At: 899 BRIGHTON AVE CBL: 284- C-001-001

## Conditions of Approval:

### **Zoning**

1. The existing signage for this tenant is legally nonconforming because three signs have been permitted in the past. This permit allows the tenant to replace the existing three signs.

### **Building**

1. Signage and Awning Installation to comply with Chapters 16 (Structural Loads), 31 (Materials) & 32 (ROW Height & Encroachments) of the IBC 2009 building code.

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-11-2733-ALTCOMM 2012-14783-SIGN	Date Applied: 1/17/2012	CBL: 284- C-001-001	
Location of Construction: 899 BRIGHTON AVE (895)	Owner Name: SAMBA, LLC	Owner Address: P.O.BOX 10110  PORTLAND, ME 04104	Phone:  207-773-0617
Business Name: Three D's Variety Store	Contractor Name: Sign Design	Contractor Address: 306 Warren Ave., Portland,	Phone:  (207) -856-2600
Lessee/Buyer's Name: Peter DiPietrautonio	Phone: 207-797-9239	Permit Type: BLDG - Building	Zone:  B-1
Past Use:  Retail	Proposed Use:  Same - Retail - install three building signs - one 3' x12' & two 3' x 8'	Cost of Work:	CEO District:
		Fire Dept:  <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A  Signature:	Inspection: Use Group: Type:  Sisa Signature: ARU
Proposed Project Description: install three building signs		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: OK w/condition 1/17/12 ARU	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: ARU

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



2011-11-2733 2012-11783

Completed 1/17/12

# Signage/Awning Permit Application

284

85

COO1 001

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 885 Brighton Ave. Portland, Me. 04102

Tax Assessor's Chart, Block & Lot Chart# <u>284</u> Block# <u>C</u> Lot# <u>01</u>	Owner: <u>Phillip DiBiase</u>	Telephone: <u>773-0617</u> <u>ex 91</u>
Lessee/Buyer's Name (If Applicable) <u>Three D's Variety Store</u>	Contractor name, address & telephone: <u>Sign Design Inc.</u> <u>306 WARDEN AVE.</u> <u>PORTLAND, ME. 856-2600</u>	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00 For H.D. signage \$75.00 Fee: \$ _____ Awning Fee= cost of work _____ Total Fee: \$ _____

Who should we contact when the permit is ready: Pete DiPietro phone: 797-9239

Tenant/allocated building space frontage (feet): Length: 52 ft Height: 12 ft  
Lot Frontage (feet) 394 x 50 ft Single Tenant or Multi Tenant Lot Multi Tenant Lot

Current Specific use: Convenience store  
If vacant, what was prior use: AT+T store  
Proposed Use: Convenience store

Information on proposed sign(s):  
Freestanding (e.g., pole) sign? Yes \_\_\_ No X Dimensions proposed: \_\_\_\_\_ Height from grade: \_\_\_\_\_  
Bldg. wall sign? (attached to bldg) Yes X No \_\_\_ Dimensions proposed: 36" x 144"  
36" x 96" 36" x 96" 3-signs

Proposed awning? Yes \_\_\_ No X Is awning backlit? Yes \_\_\_ No \_\_\_  
Height of awning: \_\_\_\_\_ Length of awning: \_\_\_\_\_ Depth: \_\_\_\_\_  
Is there any communication, message, trademark or symbol on it? Yes \_\_\_ No \_\_\_  
If yes, total s.f. of panels w/communications, message, trademark or symbol: \_\_\_\_\_ s.f.

Information on existing and previously permitted sign(s):  
Freestanding (e.g., pole) sign? Yes \_\_\_ No X Dimensions: \_\_\_\_\_  
Bldg. wall sign? (attached to bldg) Yes X No \_\_\_ Dimensions: \_\_\_\_\_  
Awning? Yes \_\_\_ No X Sq. ft. area of awning w/communication: \_\_\_\_\_

A site sketch and building sketch showing exactly where existing and new signage is located must be provided.  
Sketches and/or pictures of proposed signage and existing building are also required.

H625086 92  
93  
94

3' x 8' =  
3 x 8' =  
3 x 12 =  
84' x 2 = 168.00  
+ 30.00

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may require additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), top by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 12/19/11

This is not a permit; you may not commence ANY work until the permit is issued.

Diane Olmstead

1/12/12

Revised 10/19/09

B-1 multi-kiosk

$52 \times 1.5 = 78 \phi$

$36 \times 144 = 36 \phi$

~~33.86~~

one per front - two if front on more than one street.

$\frac{1}{2} = 39 \phi$

$36 \times 96 = 24 \phi$

21.77

frank on kent too. -

24

35 signs permitted in parts

RECEIVED 198.00  
JAN 17 2012  
DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND MAINE



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

**Original Receipt**

1/17 2012

Received from TR Sign Design

Location of Work 885 Brighton Ave

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Sign

Total: 198.00

Building (IL) \_\_\_\_\_ Plumbing (IS) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2)

Other \_\_\_\_\_

CBL 284 001 001

Check #: 5690 Total Collected \$ 198

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by ISS

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

**Brighton Avenue Retail**  
2,370± SF | 885 BRIGHTON AVENUE



*[Handwritten scribble]*

*zip  
04102*

This space at 885 Brighton Avenue enjoys great visibility at the highly traveled Brighton Avenue/Capsic Street lighted intersection in Portland. Pull-in parking spaces are at the front of the 11,980± SF plaza with additional spaces in the rear that may be accessed from either side of the building. This space has high ceilings and large windows and was most recently an AT&T retail store.

- Excellent visibility • Well-known neighborhood center • High traffic corridor •
- 2,370± SF end unit • Available Now • On-site parking •

For further information and to see this space contact:

Peter Harrington  
(207) 772-0088 direct  
(207) 358-7916 direct fax  
(207) 772-2422 office  
peter@malonecb.com

*[Handwritten signatures and scribbles]*



Malone Commercial Brokers, Inc.  
5 Moulton Street  
Portland, Maine 04101  
Tel (207) 772-2422  
www.malonecb.com



# Brighton Avenue Retail

2,370± SF | 885 BRIGHTON AVENUE

*[Handwritten scribble]*



*zip  
04102*

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peter@malonecb.com

*About 17,500 sq ft*  
*3,000 sq ft*  
*= 30,500 sq ft*



**Malone Commercial Brokers, Inc.**  
5 Moulton Street  
Portland, Maine 04101  
Tel (207) 772-2422  
www.malonecb.com





←







*Lily's Nails*  
Full Set \$25  
Fill in \$15  
Mani Cure \$12  
Pedi. Cure \$25  
Mani. Pedt \$35  
Pink White Set \$45  
773 4667



# 3 New Signs Proposed

Left Side View

Three D's Variety  
Discount Cigarettes + Beverages  
Battery Tickets



Front View

Three D's Variety  
Discount Cigarettes + Beverages  
Battery Tickets

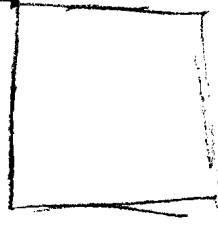
144"

36"

21ft

Right Side View

Three D's Variety  
Discount Cigarettes + Beverages  
Battery Tickets



51ft

885 Brighton Ave Portland

52ft

48ft

12ft

36"

12ft

This Design is Provided By **Sign Design Inc.**

306 Warren Ave. Portland, ME  
Phone: 207.856.2600 Fax: 207.856.7600  
signdesi@maine.rr.com

3 Single Sided, Interior Illuminated Sign Cabinets, Lexan Faces With Vinyl Graphics



Proof may reflect color shifts due to the color conversion from ink to paint and or  
d. Also, PMS colors will be approximated to the best of our ability.  
Customer supplied artwork files (300 dpi required) will be used as is, and  
Sign Design Inc. is not responsible for any faults in the design.

Black outlines appearing on this proof are for representation only. They are to  
distinguish sign components such as borders, retainers, faces and reveals. Unless  
otherwise specified, they are not considered as part of the sign graphics.

Sign Design Inc. is not responsible for errors occurring due to improper review of this submitted proof.

Client: Coke Rev. 1  
File: 22689  
Date: 12.13.11

Approval:

Design By: E.F.C. Comp. 1

Customer approval is a signed confirmation that  
dimensions, colors, spelling, graphics and all other  
job specifics are correct.





# ACORD CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
12/30/2011

PRODUCER (207)992-5200 FAX: (207)992-5291  
Sargent, Tyler & West  
60 Summer Street, Ste 1  
PO Box 1240  
Bangor ME 04402-1240

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED  
Three D's Variety Store Inc.  
165 Main Street Suite 102  
Biddeford ME 04005

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Middlesex Mutual Assur.	
INSURER B:	
INSURER C:	
INSURER D:	
INSURER E:	

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR/ADD'L LTR/INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR	CB0100036323 Renewal	01/01/2011	01/01/2012	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ 5,000
			01/01/2012	01/01/2013	PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMPROP AGG \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC				
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	OTHER Liquor Liability	CL0100036354 Renewal	01/01/2011 01/01/2012	01/01/2012 01/01/2013	General Aggregate 2,000,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

## CERTIFICATE HOLDER

Philip Dibiase  
885 Brighton Ave  
Portland, ME

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.  
AUTHORIZED REPRESENTATIVE

# Brighton Avenue Retail

## 885 Brighton Avenue, Portland, ME 04103



Listing ID: 15309564  
 Property Type: Retail-Commercial For Lease  
 Retail-Commercial Type: Free-Standing Building, Mixed Use  
 Rental Rate: \$18 PSF (Annual)  
 Monthly Rent: \$3,555  
 Lease Types: NNN  
 Contiguous Space: 2,370 SF  
 Total Available: 2,370 SF



### Property Overview

This space at 885 Brighton Avenue enjoys great visibility at the highly traveled Brighton Avenue/Capsic Street lighted intersection in Portland. Pull-in parking spaces are at the front of the 11,980± SF plaza with additional spaces in the rear that may be accessed from either side of the building.

- Excellent visibility
- Well-known neighborhood center
- High traffic corridor
- 2,370± SF end unit

### More Information Online

<http://malonecb.catylist.com/listing/15309564>



### QR Code

Scan this image with your mobile device:

- On-site parking

### Property Details

#### General Information

Listing Name:	Brighton Avenue Retail	Zoning:	B-1 Neighborhood Business Zone
Retail-Commercial Type:	Free-Standing Building, Mixed Use, Other	Building Size (RSF):	2,370 SF

#### Available Space

Suite/Unit Number:	Building	Lease Rate:	\$18 PSF (Annual)
Space Available SF:	2,370 SF	Date Available:	08/05/2011
Minimum Divisible SF:	2,370 SF	Lease Type:	NNN
Maximum Contiguous SF:	2,370 SF	Space Type:	Relet
Space Description:	This space has high ceilings and large windows and was most recently an AT&T retail store.	Parking Spaces:	0
		CAM Expenses (PSF):	\$3.50

#### Area & Location

Road Type:	Paved	Highway(s) Access:	Less than 2 miles to the entrance of I-95 North and South bound.
Property Visibility:	Excellent	Airports:	Portland International Jetport
Transportation:	Bus, Shuttle, Rail, Highway, Airport, Taxi		

#### Building Related

Tenancy:	Single Tenant	Exterior Description:	Vinyl Clapboard
Total Number of Buildings:	1	Parking Type:	Surface
Number of Stories:	1	Parking Description:	Paved on site, off street parking
Construction/Siding:	Other		

October 21, 2011 on Malone Commercial Brokers

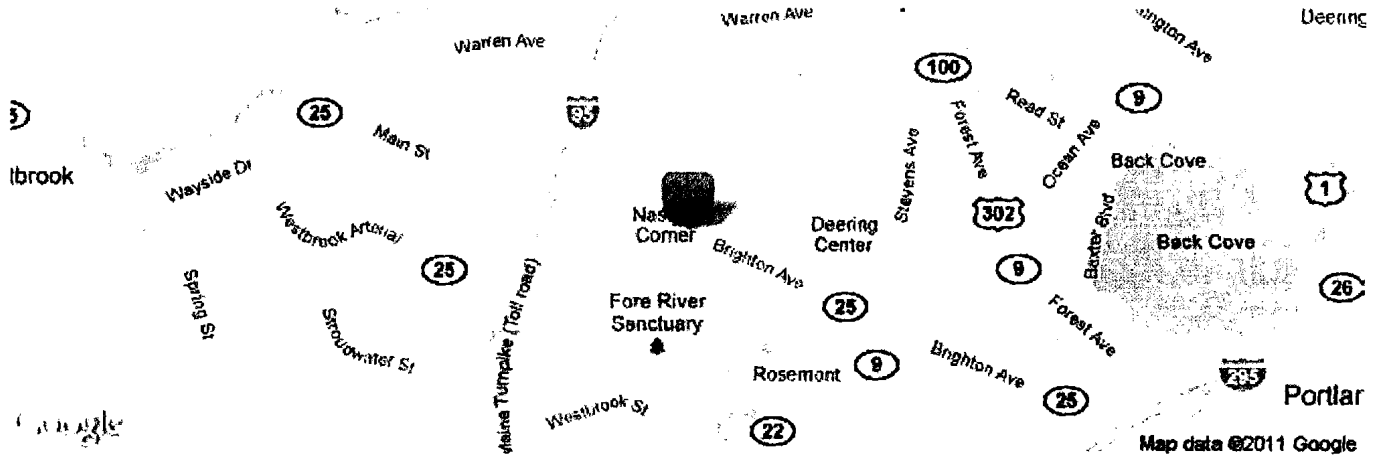
**Land Related**

Total Land Size: 0.53 Acres

**Location**

Address: 885 Brighton Avenue  
Portland, ME 04103

County: Cumberland  
MSA: Portland-South Portland-Biddeford



**Property Images**



Center



Center2

**Property Contacts**

**Peter A. Harrington**  
Malone Commercial Brokers  
207-318-8888 (M)  
207-772-2422 (O)  
peter@malonecb.com